



# REPORT TO PLANNING AND DESIGN COMMISSION City of Sacramento

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915 I Street, Sacramento, CA 95814-2671  
www.CityofSacramento.org

PUBLIC HEARING  
December 8, 2016

To: Members of the Planning and Design Commission

**Subject: Silverleaf Tentative Map (P16-006)**

A request to subdivide three parcels totaling 5± acres into 31 lots for the future development of single-unit dwellings in the Single-Unit Dwelling(R-1) zone.

- A. Environmental Determination:** Environmental Exemption (Per CEQA Guidelines Section 15332 - Infill Development Projects);
- B. Tentative Subdivision Map** to subdivide 5± acres into 31 lots for the future development of single-unit dwellings in the Single-Unit Dwelling (R-1) zone;
- C. Site Plan and Design Review** with deviations for lot size, lot width, lot depth and front setbacks in the Single-Unit Dwelling (R-1) zone; and

**Location/Council District:**

7716, 7800, and 7808 Shasta Avenue, Elk Grove, CA 95758

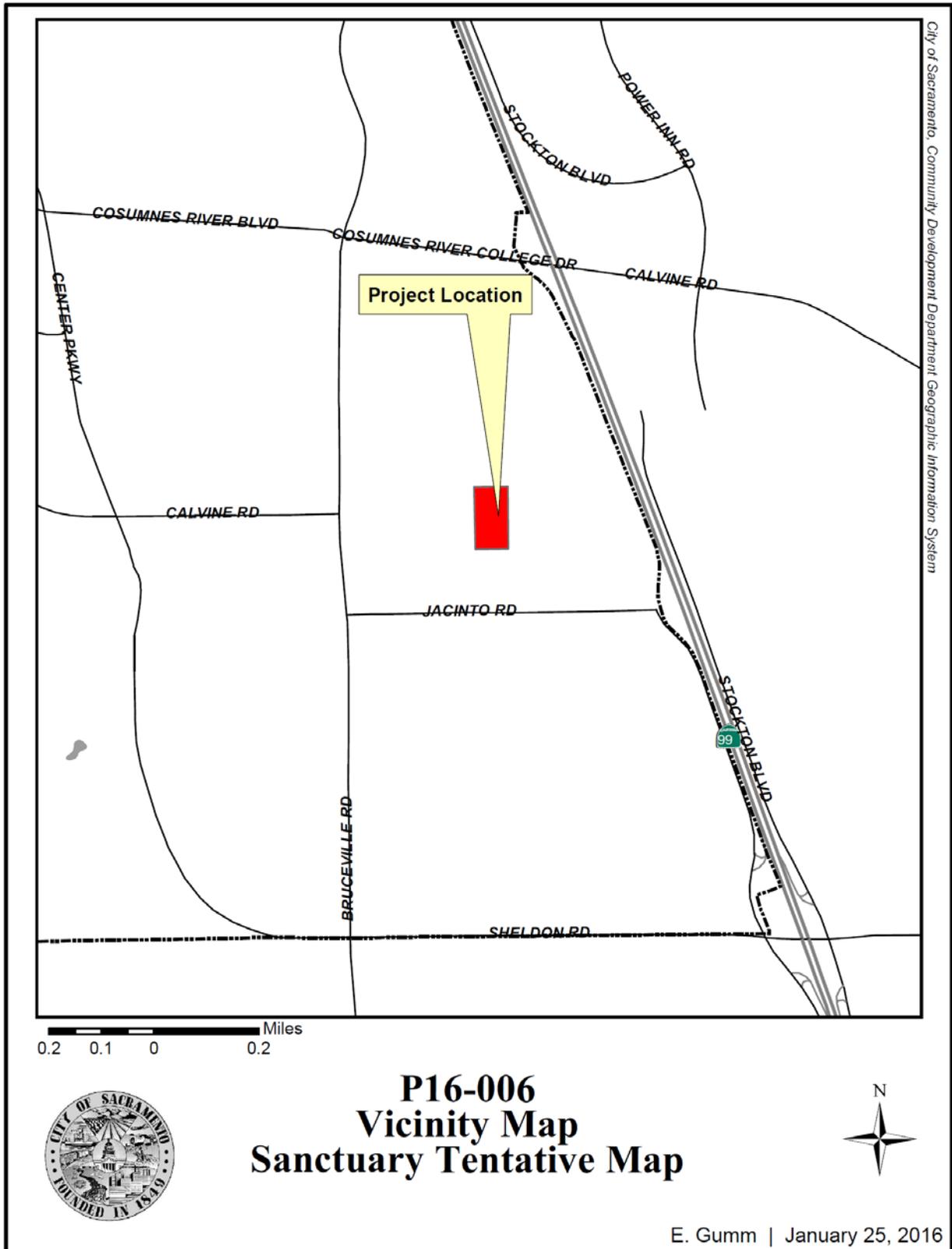
Assessor's Parcel Number: 117-0202-003, 117-0202-004, and 117-0202-005

Council District: 8

**Recommendation:** Staff recommends the Planning and Design Commission approve the project based on the findings and subject to the conditions listed in Attachment 1. The Commission has final approval authority over items A, B, and C above, and its decision is appealable to City Council. At the time of writing this report, staff is not aware of any opposition to the project and **the item is considered to be non-controversial.**

**Contact:** Arwen Wacht, Associate Planner, (916) 808-1964, [awacht@cityofsacramento.org](mailto:awacht@cityofsacramento.org); Antonio Ablog, Senior Planner, (916) 808-7702, [aablog@cityofsacramento.org](mailto:aablog@cityofsacramento.org);

### Vicinity Map



**Applicant:** Steve Norman, CNA Engineering, INC., (916) 485-3746, 2575 Valley Road, Sacramento, CA 95821

**Owner:** FFREO LLC c/o Donnie Hanly, (916) 822-3220, 1510 J Street # 140, Sacramento, CA 95814 (FFREO LLC is managed by Next Generation Capital)

**Summary:** The applicant is requesting to subdivide three parcels totaling 5± acres into 31 single-unit dwelling parcels in the Single-Unit Dwelling (R-1) zone. This project requires the approval of a tentative map to subdivide the parcels and site plan and design review with deviations for the parcel sizes and front setback for one parcel. Deviations to the standard lot size, width, and depth requirements are being requested.

<b>Table 1: Project Information</b>
<b>General Plan designation:</b> Suburban Neighborhood Low Density, 3-8 dwelling units per net acre (du/na)
<b>Existing zoning of site:</b> R-1, Single-Unit Dwelling Zone
<b>Existing use of site:</b> Residential (one single-unit dwelling on each existing parcel)
<b>Property area:</b> Approximately five (5) acres
<b>Proposed Density:</b> Eight (8) dwelling units per net acre (du/na)



Figure 1: Aerial of Project Site

**Background Information:** In 1992, this area was annexed into the City of Sacramento as part of the Cosumnes River College Area Annexation / Reorganization (P92-029). On June 20, 1995, the City Council adopted the General Plan and Community Plan land use designations and policies for the development of the Jacinto Creek Planning Area (JCPA / P93-142). All three properties were developed with single-family residences prior to this area being annexed into the City of Sacramento boundaries. The applicant is requesting to subdivide these three parcels to allow for the future development of thirty-one (31) single-unit dwellings in the Single-Unit Dwelling (R-1) zone. There are existing single-family residences to the east, south, and west and Shasta Avenue and vacant (R-1A zoned) property to the north.

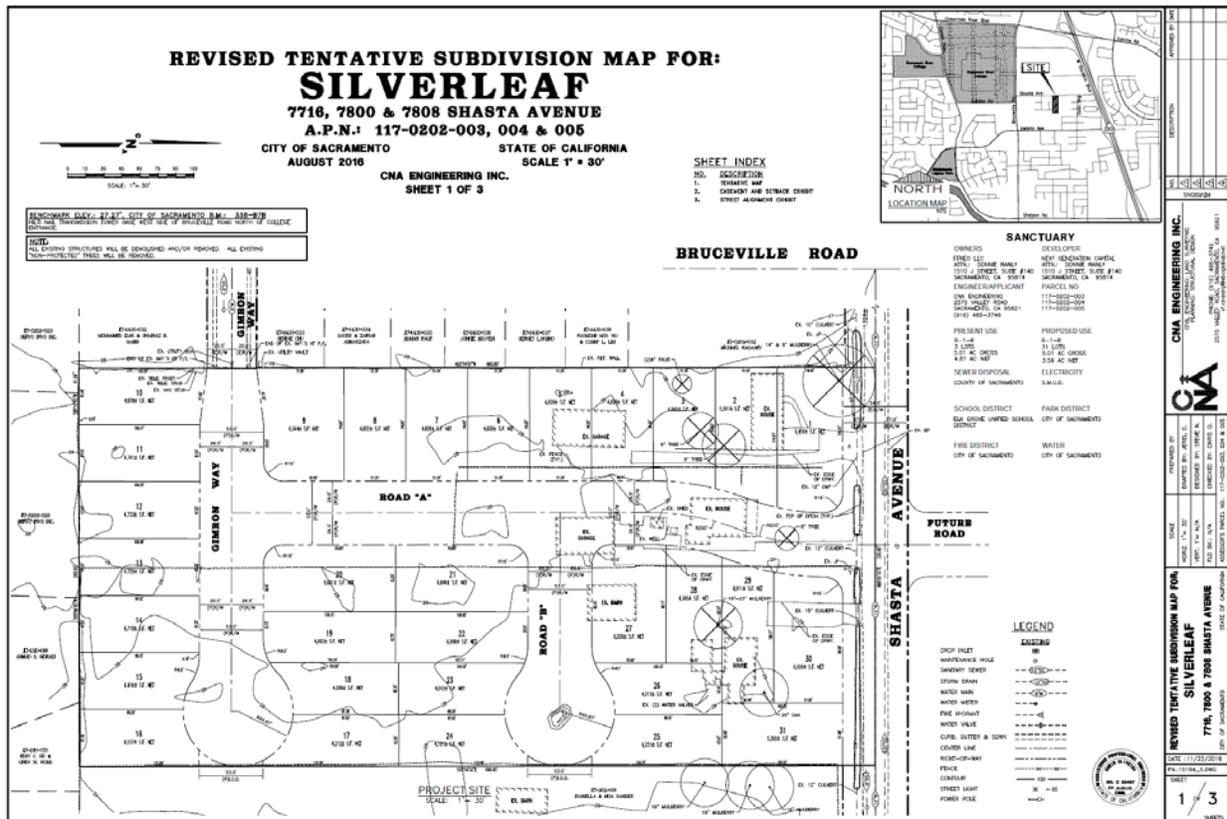


Figure 2: Proposed Tentative Subdivision Map

**Public/Neighborhood Outreach and Comments:** The project was routed to the North Laguna Creek Neighborhood Association (NLCNA), Environmental Council of Sacramento (ECOS), Sacramento Area Bicycle Advocates (SABA), Sacramento Housing Alliance, and WalkSacramento. The site was posted more than 10 days prior to the hearing and public notices for this hearing were mailed to property owners within 500 feet of the subject site. At the time of writing this report, staff is not aware of any opposition to the project.

**Environmental Considerations:** The project consists of a proposal to subdivide three parcels totaling 5± acres into 31 lots for the future development of single-unit dwellings in the Single-Unit Dwelling(R-1) zone. The Community Development Department,

Environmental Planning Services Division has reviewed this project and determined that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects). Class 32 consists of projects characterized as in-fill development meeting the following conditions:

- (a) *The project is consistent overall with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations;* Overall, the proposal is consistent with the general plan land use designation of Suburban Neighborhood Low Density and all applicable general plan policies, and the applicable Single-Unit Dwelling (R-1) zone designation and applicable regulations for this development.
- (b) *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;* The proposed development site is located within the City of Sacramento city limits, the site is slightly less than five acres, and is substantially surrounded by urban (residential) uses.
- (c) *The project site has no value as habitat for endangered, rare or threatened species;* The project site has been evaluated and it has been determined that there are no plant or wildlife species of concern, wetlands or “other waters of the U.S.” or State, or other sensitive habitat that would be adversely affected by the currently proposed project.
- (d) *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality;* The project has been analyzed by City departments and outside agencies and it is determined that as proposed and conditioned, the proposed development, would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) *The site can be adequately service by all required utilities and public services.* The project has been analyzed by City departments and outside utility agencies and it has been determined that as proposed and conditioned, the site can be adequately serviced by all required utilities and public services.

***Policy Considerations:***

**Flood Hazard Zone:** State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new development will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within a flood hazard zone and is an area covered by SAFCA’s Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the local flood management agency, SAFCA, has made adequate progress on the construction of a flood protection

system that will ensure protection from a 200-year flood event or will achieve that protection by 2025. This is based on the SAFCA Urban level of flood protection plan, adequate progress baseline report, and adequate progress toward an urban level of flood protection engineer's report that were accepted by City Council Resolution No. 2016-0226 on June 21, 2016.

**General Plan:** The 2035 General Plan designation of the subject site is Suburban Neighborhood Low Density, which provides for low-intensity housing single-family detached and attached dwellings. The project proposes eight units per net acre consistent with the allowed density range between three and eight units per net acre. The proposed project can be supported based on the following General Plan goals and policies:

***Goal LU 4.1 Neighborhoods.*** *Promote the development and preservation of neighborhoods that provide a variety of housing types, densities, and designs and a mix of uses and services that address the diverse needs of Sacramento residents of all ages, socio-economic groups, and abilities.* Staff finds that the proposed project promotes diversity in housing types and densities to address the housing needs for residents.

***Goal LU 4.2 Suburban Neighborhoods.*** *Encourage the creation of more complete and well-designed suburban neighborhoods that provide a variety of housing choices and mix of uses that encourage walking and biking.* Staff finds that the proposed project is a suitable infill development that provides additional housing choices and encourages walking and biking.

The proposed project meets the above 2035 General Plan goals and policies related to the Suburban Neighborhood Low Density land use designation and will provide additional housing opportunities in the neighborhood.

### ***Single Family Residential Design Principles***

The single family residential design principles are provided to assist developers, homebuilders, and architects in the design of new single family residences and subdivisions. These principles promote quality design and innovative solutions that in turn encourage viable neighborhoods of enduring value. The applicant is not requesting to construct new dwellings in the subdivision at this time. The future development of the subdivision will be subject to approval of further planning entitlements; the site and building design will be reviewed for compliance with the Single Family Residential Design Principles.

### **ENTITLEMENT REVIEW:**

#### **Tentative Map**

**Map Design:** The tentative map proposes to subdivide approximately 5 acres into 31 single-unit dwelling parcels. The density of the development is eight units per net acre,

which is consistent with the R-1 zone and the Suburban Neighborhood Low Density General Plan designation. The proposed lot sizes, along with deviations are noted in the Lot Design section and Table 3 of this report.

**Vehicular Circulation and Parking:** Access to the subdivision will be via Shasta Avenue from the north and Gimron Way from the west. Gimron Way was built with a 41' street section, so a transition from the proposed 53' street section required for this development will be provided to connect this development to Gimron Way to the west. Should future development be proposed to the east, connections may be provided to the east from the cul-de-sacs on proposed Road "B" and Gimron Way (see Exhibit 3 and below). Parking will be available on street and with the future development of the residences.

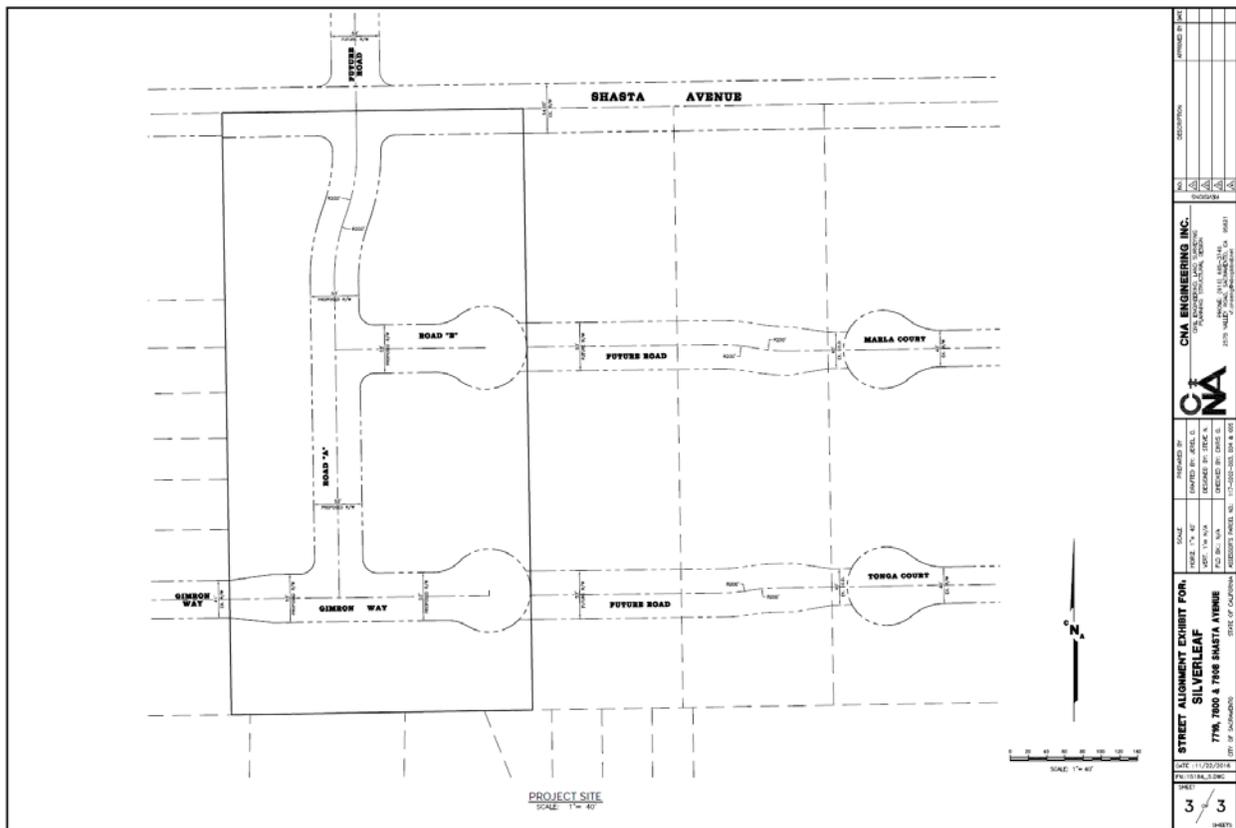


Figure 3: Proposed Street Alignment Exhibit

**Pedestrian Circulation:** There will be detached sidewalks on both sides on most the proposed public streets (Roads A, B and Gimron Way) that will connect to the attached sidewalks to Gimron Way to the west. In the immediate vicinity, where there are sidewalks on Shasta Avenue they are also separated from the roadway by a landscape planter. These proposed and existing sidewalks will provide pedestrian connections throughout the site.

Subdivision Review Committee (SRC): On November 16, 2016, the Subdivision Review Committee, with all ayes, voted to recommend approval of the proposed Tentative Map, subject to conditions of approval.

In evaluating tentative maps, the Commission is required to make the following findings:

1. None of the conditions described in Government Code section 66474 exist with respect to the proposed subdivision as follows:
  - a. The proposed map is consistent with the General Plan, all applicable community and specific plans, Title 16 of the City Code, and all other applicable provisions of the City Code;
  - b. The design and improvement of the proposed subdivision is consistent with the General Plan, all applicable community and specific plans, Title 16 of the City Code, and all other applicable provisions of the City Code;
  - c. The site is physically suitable for the type of development;
  - d. The site is physically suitable for the proposed density of development;
  - e. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
  - f. The design of the subdivision and the type of improvements are not likely to cause serious public health problems;
  - g. The design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.
2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan, all applicable community and specific plans, Title 16 of the City Code, and all other applicable provisions of the City Code (Gov. Code §66473.5).
3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in a violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision (Gov. Code §66474.6).
4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Gov. Code §66473.1).
5. The City has considered the effect of the approval of this tentative subdivision map on the housing needs of the region and has balanced these needs against the public service needs of its residents and available fiscal and environmental resources (Gov. Code §66412.3).

Staff finds that the Tentative Map is consistent with the policies of the General Plan and Title 16 of the City Code. The site is physically suitable for the type of development proposed and suited for the proposed density; the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife and their habitat, and the design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use, of, property within the proposed subdivision. The project will not overly burden the sewer system, nor will it preclude future passive or natural heating and cooling opportunities.

### Site Plan and Design Review with Deviations

The project requires an entitlement for Site Plan and Design Review of the proposed subdivision, which address the layout and design of the site. Site Plan and Design Review includes the authority to approve or require deviations that are more or less restrictive than the applicable design guidelines, setback standards, and development standards. The applicant is request deviations to the standards for lot size, lot width, and lot depth for almost all of the proposed parcels and is also requesting a deviation for the front setback specifically for parcel 31. The applicant is not proposing the construction of the dwelling units at this time. The development of the site shall be subject to the approval of subsequent Site Plan and Design Review for the individual house plans.

### Lot Design

The subject site is bounded by Shasta Avenue and vacant land to the north and existing single-unit dwelling residential developments and vacant to the east, west and south. The proposed lot dimensions are compared with development standards for the R-1 zone and are noted in the table below:

Parcel #:	Lot Size:	Lot Width:	Lot Depth:	Deviation?
Req.	5,200 sq. ft. (int.); 6,200 sq.ft. (corner)	52' (int.); 62' (corner)	Min. 100'	
1 (corner)	6,458 sq. ft.	54'	104'-116'	<b>Yes (lot width)</b>
2	5,581 sq. ft.	51'	100'-116'	<b>Yes (lot width)</b>
3	4,945 sq. ft.	51'	94'-100'	<b>Yes (lot size / width / depth)</b>
4-7	4,828 sq. ft.	51'	94'	<b>Yes (lot size / width / depth)</b>
8	4,822 sq. ft.	51'	94'	<b>Yes (lot size / width / depth)</b>
9 (corner)	6,344 sq. ft.	50'-72'	94'	<b>Yes (lot width / depth)</b>
10	4,870 sq. ft.	41'	100'-106'	<b>Yes (lot size / width)</b>

11	4,741 sq. ft.	47'	100'	Yes (lot size / width)
12	4,733 sq. ft.	47'	100'	Yes (lot size / width)
13	4,725 sq. ft.	47'	100'	Yes (lot size / width)
14	4,718 sq. ft.	47'	99'	Yes (lot size / width / depth)
15	4,414 sq. ft.	47'	86'-99'	Yes (lot size / width / depth)
16	4,537 sq. ft.	47'	86'-131'	Yes (lot size / width)
17	4,212 sq. ft.	42'	87'-133'	Yes (lot size / width)
18	4,006 sq. ft.	42'	87'-106'	Yes (lot size / width / depth)
19	4,662 sq. ft.	42'	104'-109'	Yes (lot size / width)
20 (corner)	6,001 sq. ft.	55'	93'-109'	Yes (lot size / width)
21 (corner)	6,044 sq. ft.	55'	93'-109'	Yes (lot size / width)
22	4,688 sq. ft.	42'	107'-109'	Yes (lot size / width)
23	4,012 sq. ft.	42'	88'-104'	Yes (lot size / width / depth)
24	4,191 sq. ft.	42'	87'-133'	Yes (lot size / width)
25	4,231 sq. ft.	42'	89'-134'	Yes (lot size / width)
26	4,013 sq. ft.	42'	89'-105'	Yes (lot size / width / depth)
27 (corner)	6,009 sq. ft.	58'	98'	Yes (lot size / width / depth)
28	4,365 sq. ft.	46'	88'-98'	Yes (lot size / width / depth)
29	4,911 sq. ft.	42'	108'-121'	Yes (lot size / width)
30 (corner)	6,008 sq. ft.	57'	108'	Yes (lot size / width)
31	5,206 sq. ft.	52'	100'	No

As shown in the chart above, only one parcel will meet all the minimum parcel size, width and depth requirements for the R-1 zone. Existing single-unit subdivisions in the area were developed with similar lot sizes, but with the previous 41' street section standards, which included attached sidewalks. With the currently required 53' street section standards (with separated sidewalks and a landscape planter strip), the applicant has had to provide smaller than standard width and depth to accommodate this street standard. Furthermore, the sizes of lots 18, and 23 – 26 were further reduced as cul-de-sacs were required at the eastern ends of Road "B" and Gimron Way for emergency vehicle turn around.

Staff supports the lot size, width, and depth deviations for the proposed residential parcels. It is staff's experience that the lot sizes provide can accommodate single-unit dwellings consistent with those in the area, while still providing the required street sections. Staff contemplated whether a rezone to the next higher zone, the Single-Unit and Duplex Dwelling (R-1A) zone, would be appropriate to accommodate the proposed subdivision, in that the R-1A zone allows lots as small as 2,900 square feet with a minimum width of 20 feet and minimum depth of 80 feet. The R-1A zone would allow far more than eight units per acre and therefore would not be consistent with the Suburban Neighborhood Low Density General Plan Designation. The requested deviations will allow the efficient development of the subject site in a manner that is compatible with the surrounding land uses and consistent with the General Plan.

Additional Site Plan and Design Review will be required for the development of the lots to ensure that setback and lot coverage requirements are met. Overall the project meets the density of the General Plan designation and the tentative map design is supported by the Subdivision Review Committee.

### **Setbacks**

The R-1 zone requires the following setbacks:

<b>Table 4: Setback Requirements</b>	
Front-yard setback:	The minimum front-yard setback is determined as follows: <ol style="list-style-type: none"> <li>1. If there are at least 2 other buildings with front-yard setbacks on the same side of the street on the same block as the lot for which the setback is being determined, the minimum front-yard setback is the average of the 2 front-yard setbacks of the nearest 2 buildings.</li> <li>2. If there is only one other building with a front-yard setback on the same side of the street on the same block as the lot for which the setback is being determined, the minimum front-yard setback is the front-yard setback of that building.</li> <li>3. If there is no other building with a front-yard setback on the same side of the street on the same block as the lot for which the setback is being determined, the minimum front-yard setback is 20 feet.</li> </ol>
Interior side-yard setback:	3'-0" for interior lots having a width of less than 52 feet and corner lots having a width of less than 62 feet.
Street side-yard setback:	12'-6"
Rear-yard setback:	15'-0"

Overall, the future development of the parcels should be able to meet the setback requirements for the R-1 zone, except for proposal parcel 31, which fronts onto Shasta

Avenue. Since the two closest residences along Shasta Avenue have larger front-yard setbacks (approximately 34' and 68'), this parcel would currently be required to have a 51' front-yard setback, while parcels 1 and 30 which side onto Shasta Avenue would have a 12'-6" street side-yard setback on Shasta Avenue. Due to the proposed depth of parcel 31 (100') and the 12'-6" street side-yard setbacks on Shasta Avenue for parcels 1 and 30, a 51' front-yard setback would not be feasible for the development of a single-unit dwelling nor would it provide consistency with the existing single-unit dwelling development in the overall area. Therefore, staff is supportive of the requested deviation to allow parcel 31 to have a 20' front-yard setback on Shasta Avenue.

### **Required Findings of Fact**

In evaluating site plan and design review proposals of this type, the Planning and Design Commission is required to make the following findings:

1. The design, layout, and physical characteristics of the proposed development are consistent with the general plan and any applicable specific plan or transit village plan;

The proposed development is consistent with the previously discussed goals and policies of the general plan land use designation of Suburban Neighborhood Low Density. The proposal is also compatible with the existing single-unit dwelling developments in the neighborhood, while still promoting diversity in housing types and densities. The proposed project is also a suitable infill development that provides additional housing choices and encourages walking and biking.

2. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards or, if deviations from design guidelines or development standards are approved, the proposed development is consistent with the purpose and intent of the applicable design guidelines and development standards;

Overall, the proposed development is consistent with the single family residential design principles and the purpose and intent of the applicable design guidelines and development standards of the Single-Unit Dwelling (R-1) zone. The proposed tentative subdivision map with the proposed deviations for lot sizes will encourage a viable neighborhood of enduring value, encourages the safety of pedestrians and bicyclists, and this type of alternative design solution is encouraged, which is consistent with the design principles. The proposed deviation for a reduced front setback for parcel 31 on Shasta Avenue will provide for a more interesting street environment, provide for a sense of security for pedestrians, and will discourage/avoid a deep homogenous front setback, which is consistent with the goals of the design principles.

3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards;

The project has been analyzed by City departments and it is determined that all streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards.

4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood;

The proposed development is compatible with the surrounding neighborhood in that the project will provide single-unit dwellings that are compatible in size and height to the other existing single-unit dwelling developments in the area.

5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged;

The proposed development will ensure energy consumption is minimized and use of renewable energy sources is encouraged in that staff recommends that the project, to the extent possible, incorporate green building methods in the construction of the proposed structures.

6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance.

The proposed development is not detrimental to the public health, safety, convenience, of welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that: 1) the proposed development is compatible with the single-unit dwelling developments in the surrounding neighborhood, and 2) the project will provide adequate parking for the proposed single-unit dwellings and their guests.

**Conclusion / Recommendation:** Staff recommends the Commission approve the request based on the findings and subject to the conditions listed in Attachment 1. The project is consistent with the policies of the General Plan for the Suburban Neighborhood Low Density designation and is compatible with surrounding uses.

Respectfully submitted by: Arwen Wacht  
ARWEN WACHT  
Associate Planner

Approved by: [Signature]  
ANTONIO ABLOG  
Senior Planner

Recommendation Approved:

Joy Patterson  
JOY PATTERSON  
Principal Planner

Attachments:

- |              |  |
|--------------|--|
| Attachment 1 | Proposed Findings of Fact and Conditions of Approval |
| Exhibit 1    | Revised Tentative Subdivision Map                    |
| Exhibit 2    | Easement and Setback Exhibit                         |
| Exhibit 3    | Street Alignment Exhibit                             |
| Attachment 2 | Aerial and Zoning Map                                |

**Attachment 1**  
**Proposed Findings of Fact and Conditions of Approval**  
**Silverleaf Tentative Map (P16-006)**

**Findings Of Fact**

**A. Environmental Determination: Exemption (15332)**

Based on the determination and recommendation of the City's Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the Project, the Planning and Design Commission finds that the Project is exempt from review under Section 15332 (Infill Development Projects) of the California Environmental Quality Act Guidelines as:

1. the project is consistent overall with the applicable general plan designation of Suburban Neighborhood Low Density and all applicable general plan policies as well as with applicable Single-Unit Density (R-zoning designations and regulations for this development;
2. the proposed development site is located within the City of Sacramento city limits, the site is slightly less than five acres, and is substantially surrounded by urban (residential) uses;
3. the project site has been evaluated and it has been determined that there are no plant or wildlife species of concern, wetlands or "other waters of the U.S." or State, or other sensitive habitat that would be adversely affected by the currently proposed project;
4. the project has been analyzed by City departments and outside agencies and it has been determined that as proposed and conditioned, the approval of the proposed project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
5. the project has been analyzed by City departments and outside utility agencies and it has been determined that as proposed and conditioned, the site can be adequately serviced by all required utilities and public services.

**B. The Tentative Subdivision Map to subdivide 5± acres into 31 lots for the future development of single-unit dwellings in the Single-Unit Dwelling (R-1) zone is **approved** based on the following findings:**

1. None of the conditions described in Government Code section 66474 exist with respect to the proposed subdivision as follows:

- a. The proposed map is consistent with the General Plan, all applicable community and specific plans, Title 16 of the City Code, and all other applicable provisions of the City Code;
  - b. The design and improvement of the proposed subdivision is consistent with the General Plan, all applicable community and specific plans, Title 16 of the City Code, and all other applicable provisions of the City Code;
  - c. The site is physically suitable for the type of development;
  - d. The site is physically suitable for the proposed density of development;
  - e. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
  - f. The design of the subdivision and the type of improvements are not likely to cause serious public health problems;
  - g. The design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.
2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan, all applicable community and specific plans, Title 16 of the City Code, and all other applicable provisions of the City Code (Gov. Code §66473.5).
  3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in a violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision (Gov. Code §66474.6).
  4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Gov. Code §66473.1).
  5. The City has considered the effect of the approval of this tentative subdivision map on the housing needs of the region and has balanced these needs against the public service needs of its residents and available fiscal and environmental resources (Gov. Code §66412.3).

**C.** The **Site Plan and Design Review** with deviations for lot size, lot width, lot depth and front setbacks in the Single-Unit Dwelling (R-1) zone **approved** based on the following findings:

1. The design, layout, and physical characteristics of the proposed development are consistent with the general plan and any applicable specific plan or transit village plan in that the project promotes diversity in housing types and densities to address the housing needs for residents, and meets the criteria for an infill development. Additionally, the proposed development is consistent with the goals and policies of the general plan land use designation of Suburban Neighborhood Low Density and is compatible with the existing single-unit dwelling development in the neighborhood.
2. The design, layout, and physical characteristics of proposed development, with deviations from design guidelines or development standards, are consistent with the purpose and intent of the applicable design guidelines and development standards in that, that the proposed project will create residential lots for future development that are consistent with the character and quality of this neighborhood, while still maintaining an overall consistency with the Single Family Residential Design Principles and the applicable development standards for this property.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards, in that: project has been analyzed by City departments and it is determined that as proposed and conditioned, all streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards.
4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood in that the proposed development is visually and functionally compatible with the surrounding neighborhood in that the project will provide single-unit dwellings that are compatible in size and height to the existing single-unit dwelling developments in the area.
5. The proposed development ensures energy consumption is minimized and use of renewable energy sources is encouraged in that staff recommends that the project, to the extent possible, incorporate green building methods in the construction of the proposed structures.
6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the

surrounding neighborhood and will not result in the creation of a nuisance in that: 1) the proposed development is compatible with the single-unit dwelling developments in the surrounding neighborhood, and 2) the project will provide adequate access and parking for the proposed single-unit dwellings and the neighborhood.

### **Conditions Of Approval**

- B.** The **Tentative Subdivision Map** to subdivide 5± acres into 31 lots for the future development of single-unit dwellings in the Single-Unit Dwelling (R-1) zone is approved subject to the following Conditions of Approval:

**NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map approved for this project (P16-006). The design of any improvement not covered by these conditions or the PUD Guidelines shall be to City standard.**

The applicant shall satisfy each of the following conditions prior to filing the Final Map unless a different time for compliance is specifically stated in these conditions. Any condition requiring an improvement that has already been designed and secured under a City Approved improvement agreement may be considered satisfied at the discretion of the Department of Public Works.

The City strongly encourages the applicant to thoroughly discuss the conditions of approval for the project with their Engineer/Land Surveyor consultants prior to City Planning Commission approval. The improvements required of a Tentative Map can be costly and are completely dependent upon the condition of the existing improvements. Careful evaluation of the potential cost of the improvements required by the City will enable the applicant to ask questions of the City prior to project approval and will result in a smoother plan check process after project approval:

#### **GENERAL:** All Projects

- B1. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
- B2. Pursuant to City Code Section 16.40.190, indicate easements on the Final Map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the Department of Public Works after consultation with the U.S. Postal Service.
- B3. Show all continuing and proposed/required easements on the Final Map.

#### **Jacinto Creek Planning Area (JCPA):** Special Conditions

- B4. The Applicant shall participate in the JCPA Financing Plan.

- B5. Place a 2-inch (minimum) sleeve(s) under the sidewalks for each single family lot along the 54 foot JCPA Enhanced Street Section, adjacent to single family residences in order to allow for landscaping and irrigation of the required 7 foot landscape planter. Sleeves shall be placed at the time sidewalks are constructed. Landscaping may be deferred until construction of the homes.

**Public Works:** Zarah Lacson (916) 808-8494

- B6. Submit a Geotechnical Analysis prepared by a registered engineer to be used in street design. The analysis shall identify and recommend solutions for groundwater related problems, which may occur within both the subdivision lots and public right-of-way. Construct appropriate facilities to alleviate those problems. As a result of the analysis, street sections shall be designed to provide for stabilized subgrades and pavement sections under high groundwater conditions.
- B7. Construct standard subdivision improvements as noted in these conditions pursuant to section 16.48.110 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Improvements required shall be determined by the city. The City shall determine improvements required for each phase prior to recordation of each phase. Any public improvement not specifically noted in these conditions or on the Tentative Map shall be designed and constructed to City standards.
- B8. Dedicate sufficient right-of-way and construct Shasta Avenue adjacent to the subject property as a 54-foot enhanced local street (JCPA section). Frontage improvements shall include a 4-ft separated sidewalk, 7-ft planter, vertical curb and gutter, a 16-ft travel lane (east bound) - measured from face-of-curb to street centerline, a 12-ft travel lane (west bound) and an acceptable shoulder and drainage. The design and construction of such improvements, including any necessary transitions from existing improvements, shall be to the satisfaction of the Department of Public Works.
- B9. Dedicate sufficient right-of-way and construct Road A as shown on the map as a 53-ft right-of-way street cross-section per City standards to the satisfaction of the Department of Public Works.
- B10. Dedicate sufficient right-of-way and construct Road B as shown on the map as a 53-ft right-of-way street cross-section per City standards to the satisfaction of the Department of Public Works.
- B11. Dedicate sufficient right-of-way and construct the extension of Gimron Way as a 53-ft right-of-way street cross-section per City standards to the satisfaction of the Department of Public Works.
- B12. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the

satisfaction of the Department of Public Works. The center lines of such streets shall be aligned.

- B13. Dedicate in the form of an Irrevocable Offer of Dedication (I.O.D.) the area east of the Road B cul-de-sac as shown on the map per City standards to the satisfaction of the Department of Public Works.
- B14. Dedicate in the form of an Irrevocable Offer of Dedication (I.O.D.) the area east of the Gimron Way cul-de-sac as shown on the map per City standards to the satisfaction of the Department of Public Works.
- B15. At its discretion, the City may require the inclusion of traffic calming devices along residential streets, to be constructed as part of the public improvements. These devices may include, but are not limited to, traffic circles, undulations, additional 4-way intersections, etc. Undulations will be required on certain streets adjacent to school/park combinations, as determined by the Department of Public Works.
- B16. Construct A.D.A. compliant ramps at the following intersections per City standards to the satisfaction of the Department of Public Works:
  - a. Shasta Avenue and Road A
  - b. Road A and Road B
  - c. Gimron Way and Road A
- B17. The applicant shall install permanent street signs to the satisfaction of the Department of Public Works.
- B18. The design and placement of walls, fences, signs and Landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height. The area of exclusion shall be determined by the Department of Public Works.

**Electrical:** Sompol Chatusripitak (916) 808-5961

- B19. This application requires street lights on Shasta Avenue as well as on public streets within the project area. The number and locations of street lights will be determined as civil plans are available for review.

**SMUD:** John Yu (916) 732-6321

- B20. Dedicate a 12.5-foot public utility easement for underground and overhead facilities and appurtenances adjacent to all public street rights of ways.

- B21. Dedicate any private drive, ingress and egress easement, or Irrevocable Offer of Dedication and a minimum of 10 feet adjacent thereto as a public utility easement for underground facilities and appurtenances.
- B22. Proposed SMUD facilities located on the customer's property outside of the existing or proposed PUE(s) may require additional PUE and/or a dedicated SMUD easement.

**SASD:** Stephen Moore (916) 876-6278

- B23. Connection to the SASD sewer system shall be required to the satisfaction of SASD. In order to obtain sewer service for this project, construction of onsite and offsite sewer infrastructure will be required. SASD Design Standards apply to any sewer construction.
- B24. Each parcel with a sewage source shall have a separate connection to the SASD public sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel shall have a separate connection to a private on-site sewer line or SASD public sewer line.
- B25. Subdividing this property will require payment of sewer impact fees to SASD and Regional San, in accordance with each District's Ordinances. Applicant should contact Permit Services Unit at (916) 876-6100 for sewer impact fee information.

**SRCS:** Robb Armstrong (916) 876-6104

- B26. Developing this property will require the payment of Regional San sewer impact fees (connection fees). Regional San sewer impact fees shall be paid prior to the issuance of building permits. For questions pertaining to Regional San sewer impact fees, please contact the Sewer Fee Quote Desk at (916) 876-6100.

**DOU:** Inthira Mendoza (916) 808-1473

- B27. Applicant shall participate in the Jacinto Creek Planning Area (JCPA) Finance Plan and pay all required fees.
- B28. Provide standard subdivision improvements per Section 16.48.110 of the City Code. Improvement plans shall be consistent with the JCPA Infrastructure and Utilities Plan, and the JCPA Drainage Master Plan that will provide for the ultimate development of the JCPA.
- B29. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if appropriate DOU Development Review and Field staff have reviewed the proposed number of taps and associated location and have no issues or concerns. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU.

- B30. A water main extension is required in the proposed public streets. Two points of service for the water distribution system for this subdivision or any phase of this subdivision are required. All water lines shall be placed within the asphalt section of public right-of-ways.
- B31. Prior to or concurrent with the submittal of the improvement plans, the applicant shall provide a project specific water study for review and approval by the DOU. The water distribution system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test is required for this project. Contact the DOU Water CIP Section (916-808-1400) for the pressure boundary conditions to be used in the water study.
- B32. A drainage analysis for this subdivision is required and shall be consistent with the JCPA Drainage Master Plan and current City drainage design standards. The drainage study must be reviewed and approved by the Department of Utilities prior to building permit issuance. The applicant is advised to contact the City of Sacramento Utilities Department Drainage Section (916-808-1400) at the early planning stages to address any drainage related requirements.
- B33. The finished floor shall meet current design standards and shall be to the satisfaction of the DOU. The 10-year and 100-year HGL's shall be shown on the improvement plans.
- B34. Per City Code, the Subdivider may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney.
- B35. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
- B36. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the subdivision improvement plans.

These plans shall also show the methods to control urban runoff pollution from the project site during construction.

- B37. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since this project is located in the Jacinto Creek Planning Area Watershed 2 and the proposed subdivision development is under 20-acre, only source control measures are required. Improvement plans must include the source control measures selected for the site. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento and South Placer Regions" Chapter 4 for appropriate source control measures.

**FIRE:** King Tunson (916) 808-1358

- B38. Roads used for Fire Department access shall have an unobstructed width of not less than 20' and unobstructed vertical clearance of 13'6" or more. CFC 503.2.1
- B39. Fire Apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. CFC 503.2.3
- B40. Provide the required fire hydrants in accordance with CFC 507 and Appendix C, Section C105. Hydrant spacing shall be decreased where T courts are used. Hydrants shall be provided halfway between each T court, on one side of the street, and to the satisfaction of the Fire Department.

**Special Districts:** Sheri Smith (916) 808-7204 / Eric Frederick (916) 808-5129

- B41. **Maintenance District:** The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), annex the project into an existing parks maintenance district, form an endowment, or otherwise mitigate the impact of the project on the City's park system to the satisfaction of the Finance Department and City Attorney's Office. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district.

**Parks:** Raymond Costantino (916) 808-1941

- B42. **Payment of In-lieu Park Fee:** Pursuant to Sacramento City Code Chapter 16.64 (Parkland Dedication) the applicant shall pay to City an in-lieu park fee in the amount determined under SCC §§16.64.040 and 16.64.050 equal to the value of land prescribed for dedication under 16.64.030 and not satisfied by dedication. (See Advisory Note)

**Advisory Notes:**

The following advisory notes are informational in nature and are not a requirement of this Tentative Map:

- ADV1. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
- ADV2. House plans shall comply with City Code Chapter 18.08 Driveway Permits which includes:
- 18.08.040.C All driveways shall be at least 20-ft apart from another driveway.  
18.08.040.F All driveways shall be at least 10-ft away from a pedestrian ramp.  
18.08.050.A Residential driveways shall have a width of at least 10-ft and a depth of at least 20-ft measured from the right-of-way line.
- ADV3. The proposed development is located within Sacramento Area Sewer District (SASD). Satisfy all SASD requirements.
- ADV4. The applicant is responsible for obtaining all necessary permits, easements and approvals from federal, state and local agencies, and private landowners for the construction of this project.
- ADV5. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof.
- ADV6. The Sacramento Area Sewer District (SASD) is responsible for providing local sewer service to the proposed project site via their local sanitary sewer collection system. Regional San is responsible for the conveyance of wastewater from the SASD collection system to the Sacramento Regional Wastewater Treatment Plant (SRWTP)\_ SASD will respond via separate correspondence.
- ADV7. Developer to comply with SMUD requirements; i.e. panel size/location, clearances from SMUD equipment, transformer location and service conductors.
- ADV8. Structural setbacks of less than 14 feet may create clearance issues. The developer shall meet with all utilities to ensure adequate setbacks are maintained.
- ADV9. To maintain adequate trench integrity, building foundations must have a minimum horizontal clearance of 5 feet from any SMUD trench. Developer to

verify with other utilities (Gas, Telephone, etc.) for their specific clearance requirements.

ADV10. SMUD equipment shall be accessible to a 26,000 pound service vehicle in all weather. SMUD equipment shall be no further than 15 feet from a drivable surface. The drivable surface shall have a minimum width of 20 feet.

ADV11. Developer to contact SMUD new services 1-888-742-SMUD (7683) for any new services.

ADV12. As per City Code, the applicant will be responsible to meet his/her obligations regarding:

- a) Title 16, 16.64 Park Dedication / In Lieu (Quimby) Fees, due prior to recordation of the final map. The Quimby fee due for this project is estimated at \$165,726. This is based on 31 single-family lots at an average land value of \$330,000 per acre for the South Area Community Plan Area, plus an additional 20% for off-site park infrastructure improvements. The land value may also be determined through a site specific appraisal as described in City Code section 16.64.050 and at applicant's expense. Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of payment.
- b) Title 18, 18.44 Park Development Impact Fee (PIF), due at the time of issuance of building permit. The Park Development Impact Fee due for this project is estimated at \$191,239. This is based on the construction of 31 single-family residential units at the standard rate of \$6,169 per unit. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit.
- c) Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

**C.** The **Site Plan and Design Review** with deviations for lot size, lot width, lot depth and front setbacks in the Single-Unit Dwelling (R-1) zone is **approved** subject to the following Conditions of Approval:

**Planning:**

C1. Development of individual lots shall be subject to the approval of site plan and design review.

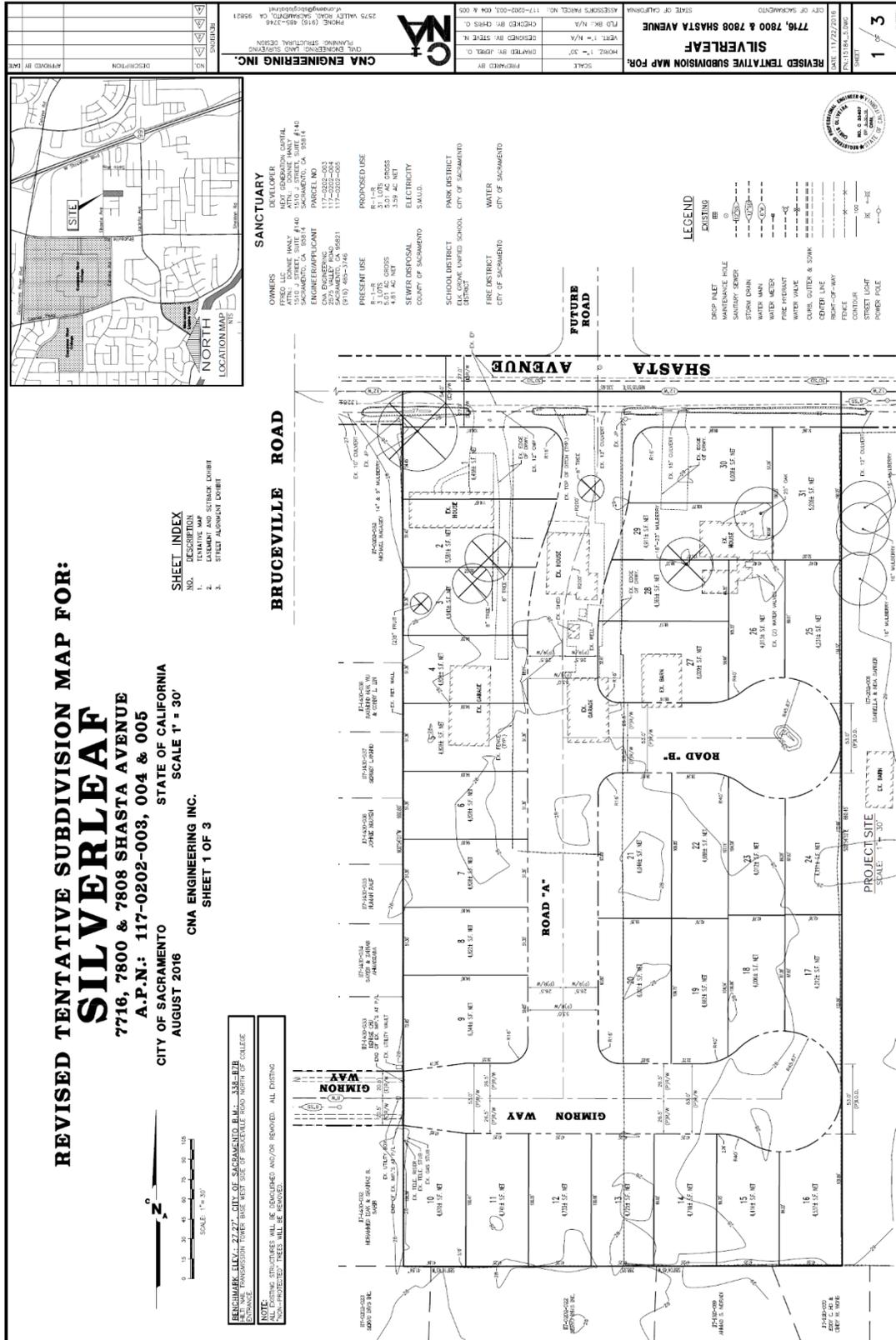
C2. The applicant shall obtain all necessary building permits for development on the site.

**SMUD:**

- C3. Developer to comply with SMUD requirements; i.e. panel size/location, clearances from SMUD equipment, transformer location and service conductors.
- C4. Structural setbacks of less than 14 feet may create clearance issues. The developer shall meet with all utilities to ensure adequate setbacks are maintained.
- C5. To maintain adequate trench integrity, building foundations must have a minimum horizontal clearance of 5 feet from any SMUD trench. Developer to verify with other utilities (Gas, Telephone, etc.) for their specific clearance requirements.
- C6. SMUD equipment shall be accessible to a 26,000 pound service vehicle in all weather. SMUD equipment shall be no further than 15 feet from a drivable surface. The drivable surface shall have a minimum width of 20 feet.
- C7. Developer to contact SMUD new services 1-888-742-SMUD (7683) for any new services.

**Advisory Notes**

- ADV1. To the extent possible, the project should incorporate green building methods in the construction of the proposed structures. (Planning)



REVISED TENTATIVE SUBDIVISION MAP FOR:

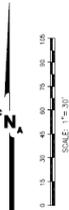
**SILVERLEAF**

7716, 7800 & 7808 SHASTA AVENUE  
A.P.N.: 117-0202-003, 004 & 005

STATE OF CALIFORNIA  
CITY OF SACRAMENTO  
AUGUST 2016

CNA ENGINEERING INC.  
SHEET 1 OF 3

- SHEET INDEX
- 1. DESCRIPTION
  - 2. LAYOUT AND STAKE EXHIBIT
  - 3. STREET ALIGNMENT EXHIBIT



BENCHMARK L.I.C. 22-27, CITY OF SACRAMENTO, B.M. 336-FUR  
IS A 1.5" DIA. BRASS MONUMENT TOWER BASED WEST SIDE OF BRUCEVILLE ROAD NORTH OF COLLEGE  
WAY.

NOTE:  
ALL EXISTING STRUCTURES WILL BE DEMOLISHED AND/OR REMOVED. ALL EXISTING  
NON-PROTECTED TREES WILL BE REMOVED.

**BRUCEVILLE ROAD**

**SANCTUARY**

OWNERS  
FRISB L.L.C.  
1510 J STREET, SUITE #140  
SACRAMENTO, CA 95811

DEVELOPER  
NEW GENERATION CAPITAL  
1510 J STREET, SUITE #140  
SACRAMENTO, CA 95811

ENGINEER/APPLICANT  
CNA ENGINEERING  
117-0202-003  
SACRAMENTO, CA 95851  
(916) 459-1146

PROPOSED USE  
3 LOTS  
5.0 AC CROSS  
4.91 AC NET

SEWER DISPOSAL  
S.W.A.U.D.  
CITY OF SACRAMENTO

SCHOOL DISTRICT  
ELK GROVE UNITED SCHOOL DISTRICT  
CITY OF SACRAMENTO

FIRE DISTRICT  
CITY OF SACRAMENTO

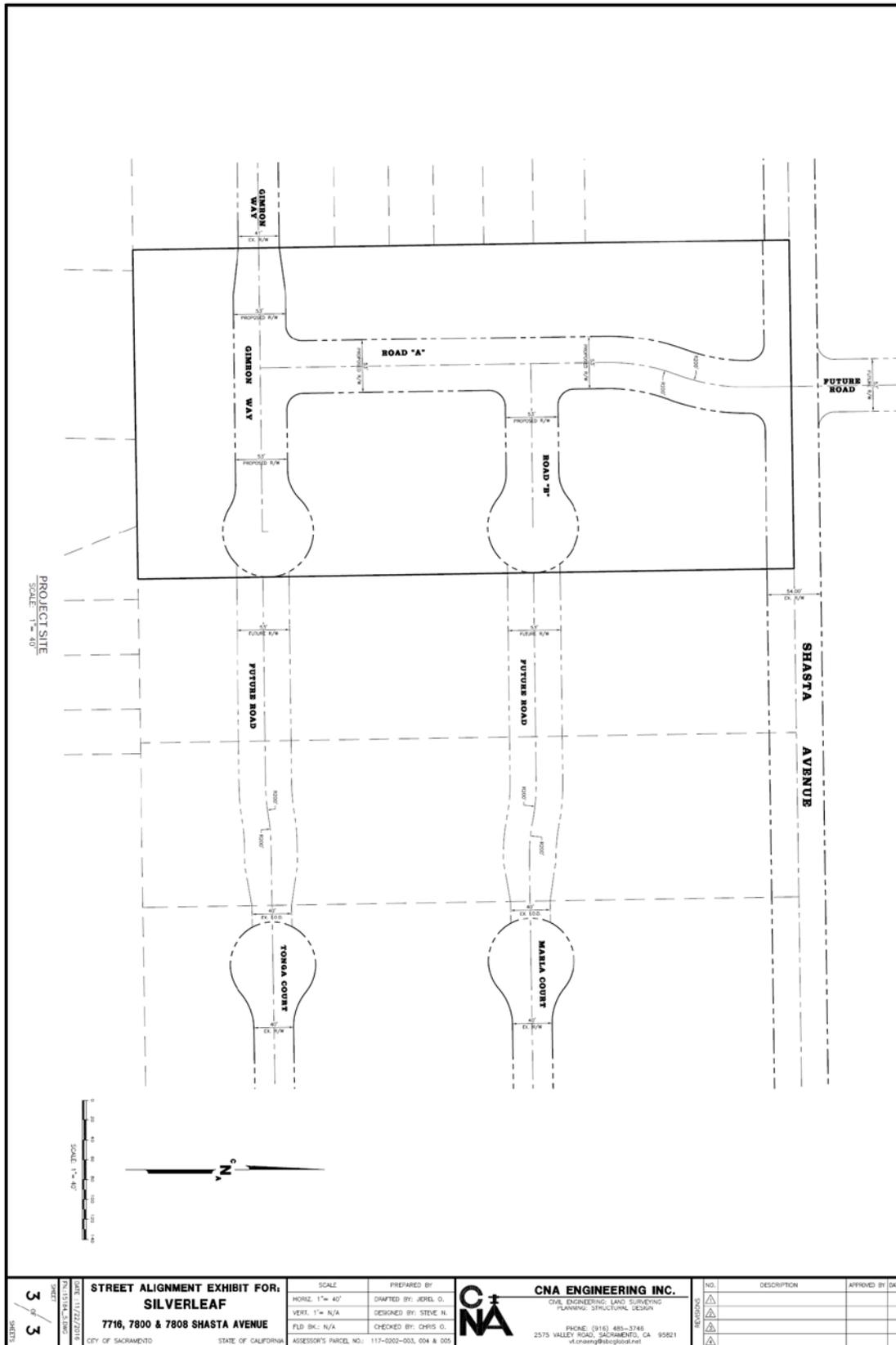
WATER  
CITY OF SACRAMENTO

REVISED TENTATIVE SUBDIVISION MAP FOR  
**SILVERLEAF**  
7716, 7800 & 7808 SHASTA AVENUE  
CITY OF SACRAMENTO  
SHEET 1 OF 3  
DATE: 11/22/2016  
SCALE: 1" = 30'

- LEGEND
- EXISTING
- DEMO PALET
  - MAINTENANCE HOLE
  - SANITARY SINK
  - STORM CHAIN
  - WATER MAIN
  - WATER METER
  - FIRE HYDRANT
  - WATER VALVE
  - CURB, GUTTER & SINK
  - SEWER LINE
  - SEWER MANHOLE
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  - SEWER 2424" DIA.
  - SEWER 2436" DIA.
  - SEWER 2448" DIA.
  - SEWER 2460" DIA.
  - SEWER 2472" DIA.
  - SEWER 2484" DIA.
  - SEWER 2496" DIA.
  - SEWER 2508" DIA.
  - SEWER 2520" DIA.
  - SEWER 2532" DIA.
  - SEWER 2544" DIA.
  - SEWER 2556" DIA.
  - SEWER 2568" DIA.
  - SEWER 2580" DIA.
  - SEWER 2592" DIA.
  - SEWER 2604" DIA.
  - SEWER 2616" DIA.
  - SEWER 2628" DIA.
  - SEWER 2640" DIA.
  - SEWER 2652" DIA.
  - SEWER 2664" DIA.
  - SEWER 2676" DIA.
  - SEWER 2688" DIA.
  - SEWER 2700" DIA.
  - SEWER 2712" DIA.
  - SEWER 2724" DIA.
  - SEWER 2736" DIA.
  - SEWER 2748" DIA.
  - SEWER 2760" DIA.
  - SEWER 2772" DIA.
  - SEWER 2784" DIA.
  - SEWER 2796" DIA.
  - SEWER 2808" DIA.
  - SEWER 2820" DIA.
  - SEWER 2832" DIA.
  - SEWER 2844" DIA.
  - SEWER 2856" DIA.
  - SEWER 2868" DIA.
  - SEWER 2880" DIA.
  - SEWER 2892" DIA.
  - SEWER 2904" DIA.
  - SEWER 2916" DIA.
  - SEWER 2928" DIA.
  - SEWER 2940" DIA.
  - SEWER 2952" DIA.
  - SEWER 2964" DIA.
  - SEWER 2976" DIA.
  - SEWER 2988" DIA.
  - SEWER 3000" DIA.



Exhibit 3 Street Alignment Exhibit



 SCALE 1" = 40' 0 20 40 60 80 100 120 140 160 180 200	<b>STREET ALIGNMENT EXHIBIT FOR SILVERLEAF</b> 7716, 7800 & 7808 SHASTA AVENUE CITY OF SACRAMENTO STATE OF CALIFORNIA		SCALE HORIZ. 1" = 40' VERT. 1" = N/A FLD BK. N/A	PREPARED BY DRAFTED BY: JEREL G. DESIGNED BY: STEVE N. CHECKED BY: CHRIS G.	<b>CNA ENGINEERING INC.</b> CIVIL ENGINEERING, LAND SURVEYING PLANNING, STRUCTURAL DESIGN PHONE: (916) 485-3746 2575 VALLEY ROAD, SACRAMENTO, CA 95821 sl.murray@cnaengineer.com	NO. DESCRIPTION APPROVED BY (DATE)

Attachment 2 Aerial and Zoning Map

