



REPORT TO COUNCIL City of Sacramento

34

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Public Hearing
July 15, 2008

**Honorable Mayor and
Members of the City Council**

Title: Arena Seniors Project (P08-013)

Location/Council District: Southwest corner of Truxel Road and Sports Parkway, Sacramento, CA 95835; Council District 1

Recommendation: Conduct a public hearing and upon conclusion adopt 1) a **Resolution** adopting the Mitigated Negative Declaration Addendum and Mitigation Monitoring Plan; 2) a **Resolution** approving the Planned Unit Development Schematic Plan Amendment for 8.5 acres within the Arena Corporate Center PUD; and 3) a **Resolution** approving the Arena Seniors project.

Contact: David Hung, Associate Planner, (916) 808-5530; Lindsey Alagozian, Senior Planner, (916) 808-2659

Presenters: David Hung, Associate Planner

Department: Development Services

Division: Current Planning

Organization No: 4885

Description/Analysis

Issue: The applicant is proposing to develop a 240-unit senior housing complex on approximately 8.5 net acres within the Arena Corporate Center Planned Unit Development. The project requires a PUD Schematic Plan Amendment, a Plan Review and various Special Permits. Staff is in support of the subject proposal for providing affordable housing for seniors. Staff recognized the difficulties with this Employment Center site for developing commercial and retail uses since there is no direct access at the public street frontage, due to the location of a future light rail station there, and that the main access will be off a private access road to the south. A senior housing development, which is a lower generator of vehicular trips and supports parking reduction, coupled with retail uses within walking distance, will create a viable land use for the site. Staff has received letters from the Natomas Park Planning Committee, the Natomas Community

Association and the Terrace Park Neighborhood Association; issues raised including poor site access, bad location for apartments, inadequate parking and too many housing units within the PUD. Staff acknowledges the concerns raised by the neighbors but feels that the project is feasible based on these main reasons: 1) the site is located adjacent to existing retail and commercial uses which helps to reduce trip generations; 2) the proposed high density use will be next to a future light rail station and will support transit ridership; and 3) the project provides a community building and ample outdoor amenities for use by its residents.

Policy Considerations:

General Plan and Community Plan: The proposed project is consistent with the land use designation and applicable policies of the General Plan and North Natomas Community Plan in promoting efficient growth in the area and to maintain a desirable quality of life for residents.

Smart Growth Principles: City Council adopted a set of Smart Growth Principles in December 2001 to encourage development patterns that are sustainable and balanced in terms of economic objectives, social goals, and use of environmental/natural resources. The project, in proposing affordable senior housing, will help create more choices for housing opportunity within close proximity to transit and commercial establishments.

Strategic Plan Implementation: The recommended action conforms with the City of Sacramento's Strategic Plan, specifically by adhering to goals that achieve sustainability, enhance livability, promote increased housing opportunities for Sacramento residents, and expand economic development throughout the City.

Environmental Considerations:

California Environmental Quality Act (CEQA):

In August of 2005, pursuant to the California Environmental Quality Act (Public Resources Code §21000 et seq. ("CEQA"), the CEQA Guidelines (14 California Code of Regulations §15000 et seq.), and the City of Sacramento environmental guidelines, the Planning Commission reviewed, considered and adopted the Arena Corporate Center Master Parcel Map Mitigated Negative Declaration (P94-089). The mitigation monitoring program (see Attachment 4, Exhibit 4A) from the Arena Corporate Center Master Parcel Map MND (P94-089) was approved.

In accordance with the CEQA Guidelines, Sections 15162 and 15164, the City has determined that an addendum to the previously adopted Mitigated Negative Declaration (MND) for the Arena Corporate Center Master Parcel Map project should be prepared for the Arena Seniors project. On the basis of the whole record before it, the City has determined that there is no substantial evidence that the project, as described in the attached Addendum and with the mitigation measures stated in the mitigation monitoring program, will have a significant effect on the environment.

Committee/Commission Action: On May 22, 2008, the Planning Commission continued the project to the June 19, 2008 meeting to allow the applicant time to consider site and building design issues. On June 19, 2008, the Planning Commission conducted a public hearing on, and forwarded to the City Council a recommendation to *approve* the Arena Seniors project. The proposal to amend the use of the site from office to residential within the Arena Corporate Center Planned Unit Development requires City Council approval.

Rationale for Recommendation: Staff finds that the proposed project complies with applicable General Plan and Community Plan goals and policies and that the plans meet the objectives of the Arena Corporate Center PUD Guidelines and the Multi-Family Residential Design Principles. Staff also finds that the proposed project will provide affordable housing for seniors that is compatible with the surrounding uses.

Financial Considerations: This project has no fiscal considerations.

Emerging Small Business Development (ESBD): No goods or services are being purchased under this report.

Respectfully Submitted by: 
David Kwong
Planning Manager

Approved by: 
William Thomas
Director of Development Services

Recommendation Approved:

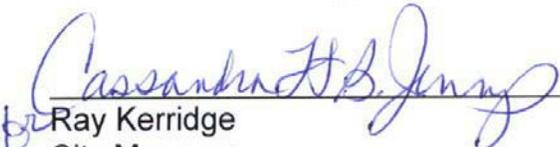
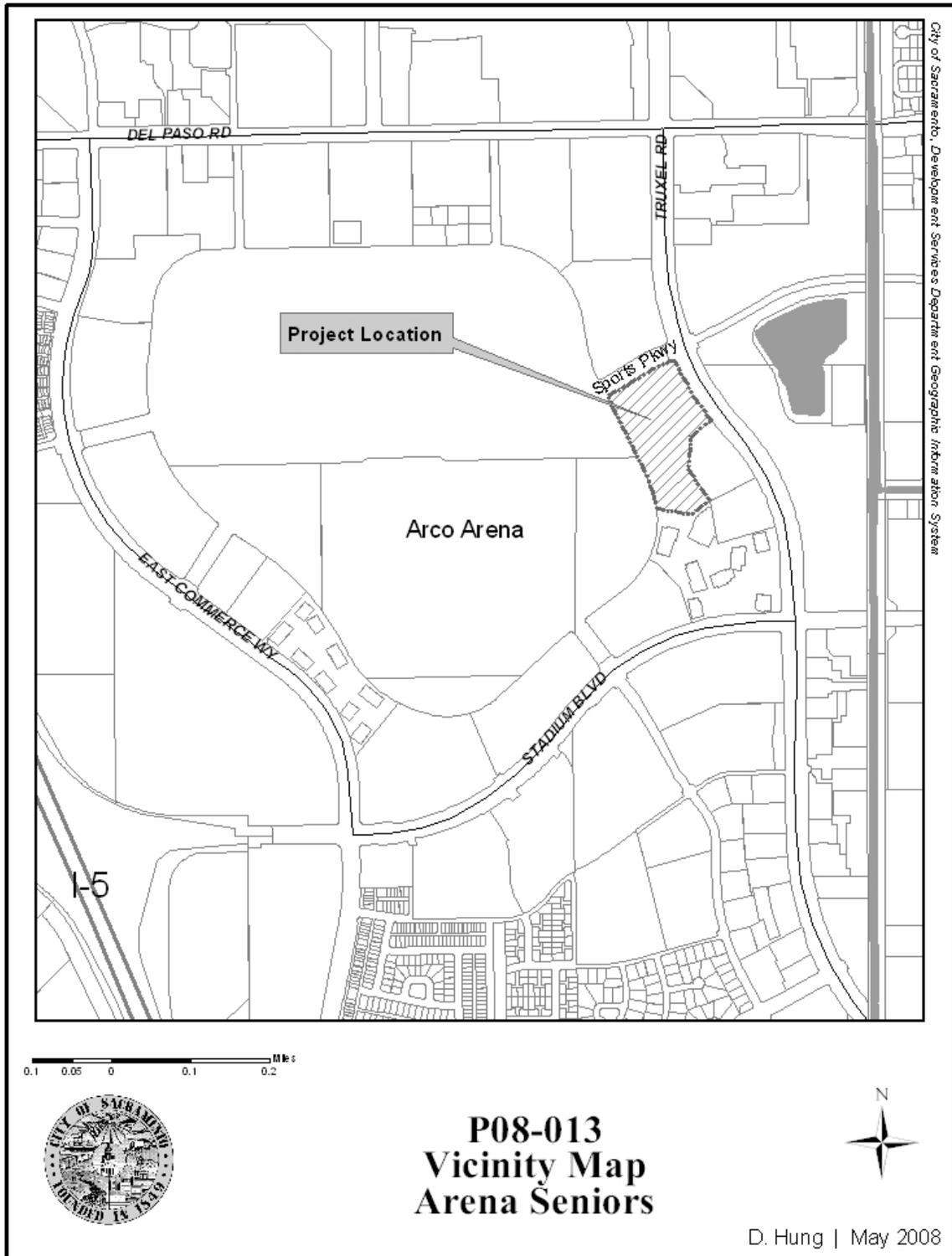

Ray Kerridge
City Manager

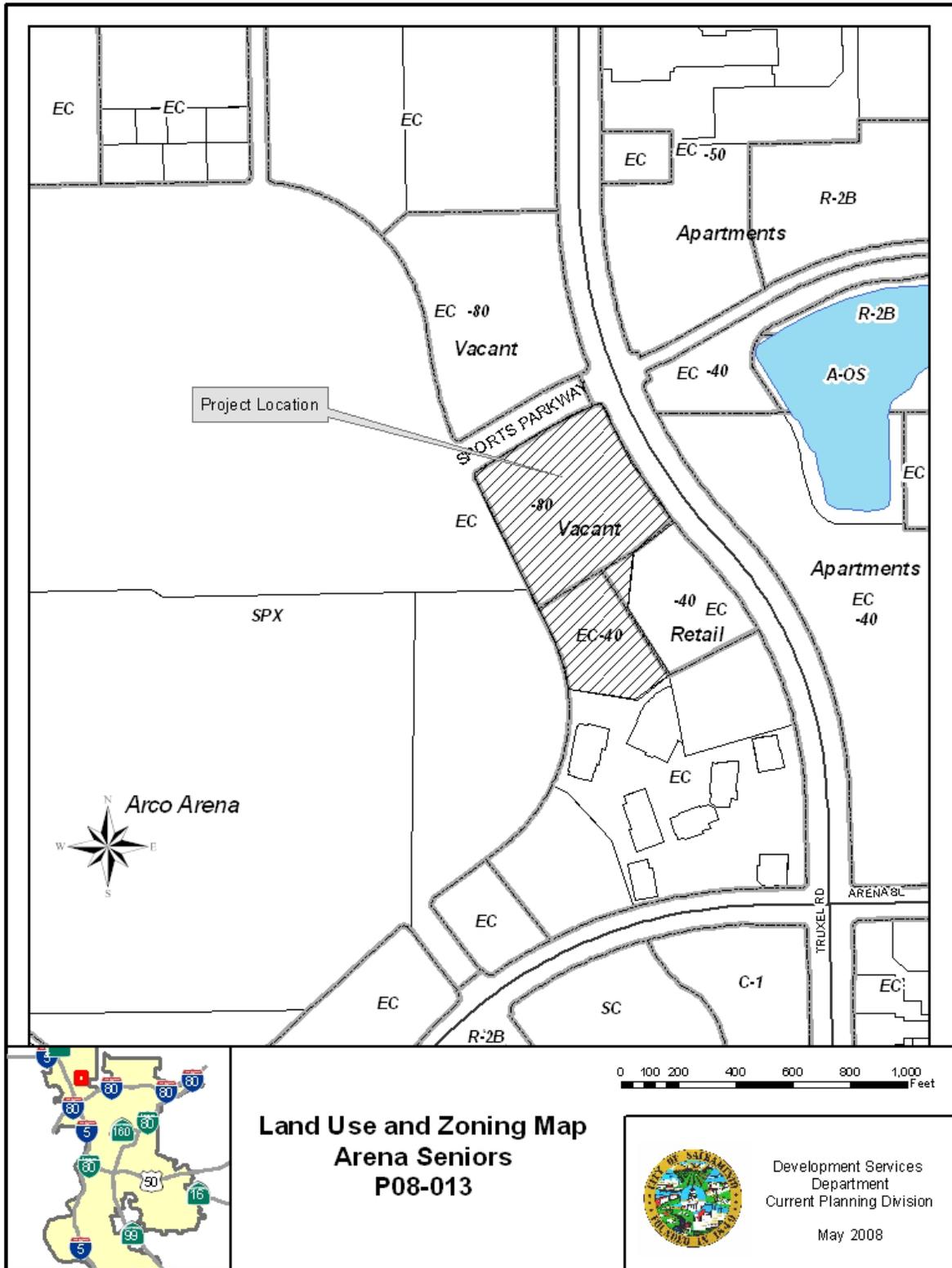
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Attachment 1: Vicinity Map



Attachment 2: Land Use & Zoning Map



Attachment 3: Background

Public/Neighborhood Outreach and Comments:

Staff routed the proposal to various neighborhood groups and associations and received comments from the Natomas Park Planning Committee (see Attachment 7), the Natomas Community Association (see Attachment 9), the Terrace Park Neighborhood Association (see Attachment 11), WalkSacramento (Attachment 13) and a community member (Attachment 14). Major issues were raised including poor site access, bad location for apartments, inadequate parking and too many housing units within the PUD. The applicant has provided an itemized response to each of the groups above (see Attachments 8, 10 and 12).

Staff is in support of the subject proposal for providing affordable housing for seniors. With a future light rail station platform located directly in front of this site and retail centers next to the site, the project fulfills one of the Residential implementing policies of the North Natomas Community Plan to have housing designed for seniors located near transit and commercial centers. Staff recognized the difficulties with this Employment Center site for developing commercial and retail uses since there is no direct access at the public street frontage, due to the location of a future light rail station, and that the main access will be off a private access road to the south. A senior housing development, which is a lower generator of vehicular trips and supports parking reduction, coupled with retail uses within walking distance, will create a viable land use for the site. Staff acknowledges the concerns raised by the neighbors but staff feels that the project is feasible based on the following reasons: 1) the site is located adjacent to existing retail and commercial uses which helps to reduce trip generations; 2) the proposed high density use will be next to a future light rail station and will support transit ridership; 3) senior housing typically requires less parking than non-senior housing and therefore a reduction in parking is supported; 4) the projects provides a community building and ample outdoor amenities for use by its residents; and 5) the site is not ideal for a commercial use because of its unique access issues. Also, to address the issue of residential use exceeding 25% of the acreage of the Planned Unit Development, see the staff discussion under North Natomas Community Plan section.

North Natomas Community Plan:

The North Natomas Community Plan (NNCP) designates the site as Employment Center: 40 employees/acre and Employment Center: 80 employees/acre. The development of a multi-family residential use in the employment center zone is considered a non-primary use ancillary to the primary use intended for the greater area of the employment center zoned parcels within a Planned Unit Development. The NNCP has been amended to allow an entitlement process to exceed the maximum allowable area of 25% residential use within a PUD if it exists within the specific area delineated as being bounded by the East Drain, I-5, Del Paso Road and Arena Boulevard. This geographic area contains 340± net acres. The Zoning Code and North

Natomas Community Plan allow 25% of the defined area to be residential which equates to 85± net acres residential use. The proposed project in combination with existing multi-family residential development will total approximately 72.28 net acres of residential development leaving a remainder of approximately 12.72 acres available for residential use, providing the appropriate findings can be made. The amendment to the NNCP provides for residential uses permitted as follows:

Except as provided below, a maximum of twenty-five percent (25%) of the PUD net acreage may be designated for and devoted to residential uses.

Exception: Within the geographic area bounded by the East Drain, I-5, Del Paso Road, and Arena Boulevard, acreage devoted to residential use(s) may exceed 25% of the individual EC PUD subject to a Special Permit. The project must comply with the following criteria:

- 1. The proposed increase in residential use is compatible with adjacent uses in the PUD as well as with adjacent uses within contiguous PUDs;*
- 2. The residential use has a component of mixed use or conjunctive use within the residential project to serve the residents and nearby workers or provides a component of affordable housing;*
- 3. The proposed increase in residential use will improve the balance of jobs and housing as provided in the Community Plan;*
- 4. The proposed increase in residential use will not result in an over-concentration of multi-family projects in the area;*
- 5. The project meets the Community Plan factors used to gauge the appropriateness of residential uses in an EC PUD: 1) proximity to the freeway and other noise generators, 2) compatibility of adjacent uses both inside and outside the PUD, and 3) availability of transit, commercial uses, open space, and public facilities to serve the potential residents;*
- 6. The total amount of acreage devoted to residential uses within this geographic area does not exceed twenty-five (25) percent.*

The increase of a residential use in the Arena Corporate Center PUD is compatible with existing and future uses in that the residential use becomes a mixed use component within the existing and proposed adjacent office and commercial uses. The proposed apartment complex provides a component of affordable housing with on-site open space, amenities, and a recreation facility for the residents. The North Natomas Community Plan (NNCP) includes a policy to maintain a jobs/housing ratio of 66 percent for the City portion of the Community Plan area. This ratio is a tool used to gauge the relative balance of jobs and housing units within the community. The addition of the residential units in the Employment Center (EC) zone has the potential to affect the NNCP jobs/housing ratio. It is important to note that the jobs/housing balance is to be

achieved on average for the entire NNCP area, not on a project by project basis. The jobs housing ratio is to be monitored over the entire Community Plan area and will take in to account other areas in which jobs have been added (e.g. Natomas Market Place) and housing reduced or increased (housing in EC zones, etc).

Three other multi-family complexes already exist in the Arena Corporate Center PUD: the Bella Rose Condominiums, Ashton Parc Apartments and Tuscaro Apartments. If approved, the proposed project will be the only senior housing development within the PUD. Within the defined geographic area which allows up to 25% residential use, the other existing multi-family complexes include the Fairfield Apartments and the Provence Condominiums. With the approval of the subject project, the total amount of acreage devoted to residential uses within the defined geographic area will be 72.28 acres and thus will not exceed the maximum 25%, 85 acres, as shown on the following table. The table also indicates that the total amount of acreage devoted to residential uses in the Arena Corporate Center PUD is 46% but only 21% within the overall multiple PUD area.

Table 2: Net Acreage for residential in the defined geographic area				
Item	Area/Project		Net Acres	Description
	Total Net Acreage - Arena Corporate Center PUD		96.7 net acres	(Development Site 1=10.85, Development Site 2=11.4, Development Site 3=27.7, Development Site 4 & 5 = 29.8, Development Site 6 = 16.9 Total ACCPUD=96.7 na)
1	Arena Corporate Center PUD	EC-40-PUD	<10.85 na>	Bella Rose Condominiums (P03-162)
2	Arena Corporate Center PUD	EC-40-PUD, AOS	<16.9 na>	Tuscaro Apartments (P98-042)
3	Arena Corporate Center PUD	EC-40-PUD	<8.23 na>	Ashton Parc Apartments (P04-240)
4	Arena Corporate Center PUD	EC-40-PUD, EC-80-PUD	<8.5 na>	Arena Seniors (P08-013)
	Total (Arena Corporate Center)		44.48 na	46% residential in the EC zone(44.48 ÷ 96.7)
5	Natomas Crossing PUD	(EC-50, R-2B)-PUD	<16.9 na>	Fairfield Apartments (P01-014)
6	Natomas Crossing PUD	EC-50-PUD	<10.9 na>	Provence Condominiums (P06-194)
	Total Residential (in defined geographic area)		72.28 na	
	Total Net Acreage in defined area		340 net acres	Allowable acres for residential if criteria met = 85 na

	% Residential in Defined Area		21.3%	
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The following table shows a list of multi-family housing projects in the North Natomas Community Plan area, including apartments and condominiums:

Table 3: Multi-Family Housing in North Natomas Community Plan Area				
Location	Project Name	Type	Units	
West of Interstate 5	Lofts (P02-084)	Apartment	188 (app'd)	
	Atrium Court (P02-035)	Apartment	224 (app'd)	
	Irongate (P98-071)	Apartment	280 (app'd)	
	Terracina Meadows (P01-050)	Apartment	148 (app'd)	
	Hurley Creek (P06-007)*	Apartment	208 (app'd)	
	Valencia Point (P05-212)	Apartment	168 (app'd)	
	Cambay West (P03-047)	Apartment	216 (app'd)	
	Duckhorn Village (P06-201)*	Apartment	75 (app'd)	
	Vista del Lago (P06-093)*	Condominium	219 (app'd)	
	Westlake Villas (P01-053)	Condominium	285 (app'd)	
	Brias del Lago (P06-139)	Townhouses	126 (pending)	
		Subtotal:		2137
	East of Interstate 5	Homecoming (P01-115)	Apartment	450 (app'd)
		Bella Rose (P03-162)	Condominium	201 (app'd)
Ashton Parc (P04-240)		Apartment	168 (app'd)	
Villagio (P99-059)		Apartment	272 (app'd)	
Creekside Crossing (P05-177)		Condominium/ Townhouses	434 (app'd)	
Tuscaro (P98-042)		Apartment	296 (app'd)	
Granite Pointe (P01-014)		Apartment	384 (app'd)	
Terracina Gold (P99-142)		Apartment	280 (app'd)	
Natomas Field (P04-236)		Townhouses	211 (app'd)	
JMA/Laing Condos (P05-164)		Condominium	92 (app'd)	
JMA/St. Anton (P05-136)		Apartment	108 (app'd)	
McKenzie (P01-016)		Apartment	152 (app'd)	
Miramonte/Trovass (P99-082)		Apartment	440 (app'd)	
Carriage Lane I (P03-085)		Condominium	156 (app'd)	
Carriage Lane II (P04-167)		Condominium	39 (app'd)	
Provence (P06-194)		Townhouses	187 (app'd)	
Syrah (P02-132)		Condominium	245 (app'd)	
Amara (P04-087)		Condominium	200 (app'd)	
Natomas Park (P01-100)	Apartment	212 (app'd)		
Broadstone (P04-096)	Condominium	142 (app'd)		

	Regency Park (P04-065)	Condominium	135 (app'd)
	Carefree (P00-005)*	Apartment	500 (app'd)
	Northpointe (P03-046)	Apartment	180 (app'd)
	Terraces (P04-196)	Condominium	321 (app'd)
	Natomas Place (P06-124)	Apartment	135 (app'd)
	Natomas Market Rate (P08-047)	Condominium	120 (pending)
	Vintage at Natomas Field (P05-116)*	Apartment	200 (app'd)
	Hampton Village (P04-058)	Condominium	264 (app'd)
	Heritage Point (P07-035)*	Condominium	229 (app'd)
	Arena Seniors (P08-013)*	Apartment	240 (pending)
		Subtotal:	6,993
Total Multi-Family Units in North Natomas:			9,130

There are a total of 9,130 multi-family dwelling units, both approved and pending, in the North Natomas Community Plan area as of April 2008. Out of the combined total, approximately 1,671 approved and pending units are for age-restricted or senior housing (projects marked with an asterisk). With an increasingly aging population, staff believes that there is a need to provide housing for older citizens; the proposed project has an affordability component that should attract seniors on lower income. Staff believes that the North Natomas area should continue to provide a variety of individual choice of tenure, type, price and location of housing.

The project meets the NNCP 'factors' in that the proposed project is not within close proximity to the Interstate 5 corridor, the residential use is compatible with the adjacent/proposed future uses within the PUD, and the site can be adequately served by public facilities, transit and open space. With a future light rail station platform located directly in front of this site and retail centers next to the site, the project fulfills one of the Residential implementing policies of the North Natomas Community Plan to have housing designed for seniors located near transit and commercial centers. The site can be adequately served by public facilities and provides adequate on-site open space features. The site is also within close proximity to the future regional park site.

This project is a high density development and has 28.2 dwelling units per net acre. The proposed project does not lie within a designated 'neighborhood' as defined within the Community Plan, Figure 4, Proposed Neighborhoods (p. 17). However, the project will provide senior housing opportunities and will potentially serve a population which may or may not need all of the amenities found within a neighborhood structure in close proximity. Even though the project exceeds the threshold of 200 units and 8 acres for high density residential project referenced in the Community Plan, the development is divided into three buildings and the building closest to Truxel Road is separated from the other two buildings by an internal roadway. In conclusion, staff supports the project and finds the proposed project is in compliance with the goals and policies of the North Natomas Community Plan.

Mixed Income Inclusionary Housing Ordinance:

The project is allowed in the EC zone due to amendments to the Community Plan (Resolution 2002-047) and the EC Zone (Ordinance 2002-001) adopted in 2002. These amendments allow for the residential component of EC development within the geographic area bounded by the East Drain, Interstate 5, Del Paso Road and Arena Boulevard to exceed 25% within the individual PUD with the approval of a special permit; the subject site is within the above referenced geographic area.

Per section 17.190.070(E) of the Zoning Ordinance, any residential project in the North Natomas community plan area which is the subject of a development agreement executed on or before June 20, 2000 shall be exempted from the inclusionary housing component, unless subsequent to June 20, 2000 the residential project requires the approval of one or more legislative entitlements or amendments to legislative entitlements which are major rather than minor, in which case the residential project shall not be exempt from inclusion of the inclusionary housing component. Per section 17.190.020 of the Zoning Ordinance, "minor legislative entitlements" means legislative entitlements or amendments to legislative entitlements which satisfy one or more of the following:

1. Entitlements that do not result in any of the following criteria as defined by the North Natomas community plan target average densities: a net loss of residential acreage; a net loss of acreage of land designated for high density residential (HDR) or medium density residential (MDR) development, unless the HDR total residential units replace the loss of MDR residential units; or a net loss of total residential units;
2. Entitlements that are the result of, and required by, amendments to public facilities or roadways designated in the North Natomas community plan; provided further that the entitlements are limited to addressing the amendments required by the city or other public agency; or
3. Entitlements that are limited to amendments to a previously approved PUD schematic plan, tentative map, or PUD development guidelines, provided that the amendments do not result in a loss of more than five (5) percent between the density of the proposed project and the density of the previously approved project.

The project site was under a Development Agreement approved prior to June 20, 2000. Staff has found that the 2002 amendments to the Community Plan and the EC Zone as well as the required PUD Schematic Plan Amendment for the project fall within the definition of a minor legislative entitlement per the criteria discussed above; the project does not result in a net loss of residential acreage and the entitlements are limited to amendments to a previously approved PUD schematic plan, Plan Review and Special Permits. As a result, the project is exempt from the Mixed Income Housing Ordinance under section 17.190.170.

Attachment 4: Mitigated Negative Declaration Addendum – Findings –Resolution

RESOLUTION NO.

Adopted by the Sacramento City Council

ADOPTING THE MITIGATED NEGATIVE DECLARATION ADDENDUM AND THE MITIGATION MONITORING PLAN FOR THE ARENA SENIORS PROJECT (P08-013)

BACKGROUND

A. On May 22, 2008, the Planning Commission continued the project to the June 19, 2008 meeting. On June 19, 2008, the City Planning Commission conducted a public hearing on, and forwarded to the City Council a recommendation to approve with conditions the Arena Seniors project.

B. On July 15, 2008, the City Council conducted a public hearing, for which notice was given pursuant Sacramento City Code Sections 17.200.010(C)(2)(a) and (c) (publication and mail 500'), and received and considered evidence concerning the Arena Seniors project.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

Section 1. The City Council of the City of Sacramento finds as follows:

a. In August 1995 pursuant to the California Environmental Quality Act (Public Resources Code §21000 *et seq.* ("CEQA"), the CEQA Guidelines (14 California Code of Regulations §15000 *et seq.*), and the City of Sacramento environmental guidelines, the Planning Commission adopted a mitigated negative declaration (MND) and a mitigation monitoring program and approved the Arena Corporate Center Master Parcel Map (P94-089).

b. The Arena Seniors (P08-013) ("Project Modification") proposes to modify the previously approved Arena Corporate Center Master Parcel Map (P94-089) as follows: the proposed modification – Arena Seniors (P08-013) project consists of the entitlements to develop a 240-unit affordable senior housing complex on approximately 8.5 acres in the Employment Center 40 and Employment Center 80 Planned Unit Development (EC-40-PUD, EC-80-PUD) zones within the Arena Corporate Center PUD in the North Natomas Community Plan Area. The project entitlements include: a PUD Schematic Plan Amendment to designate multi-family residential use in the Arena Corporate Center PUD; a Plan Review to construct a 240-unit apartment complex; and Special Permits to exceed the allowable 25% residential use within the Arena Corporate Center Planned Unit

Development lying within the specific area delineated being bounded by the East Drain, I-5, Del Paso Road and Arena Boulevard, reduce parking and establish vehicular entrance gates.

c. The Initial Study on the Project Modification determined that the proposed changes to the original Project do not require the preparation of a subsequent environmental impact report or negative declaration. An addendum to the previously adopted MND has been prepared to address the modification to the Project.

Section 2. The City Council has reviewed and considered the information contained in the previously adopted MND for the Project, the addendum, and all oral and documentary evidence received during the hearing on the Project Modification. The City Council has determined that the previously adopted MND and the addendum constitute an adequate, accurate, objective, and complete review of the proposed Project Modification and finds that no additional environmental review is required based on the reasons set forth below:

a. No substantial changes are proposed by the Project Modification that will require major revisions of the previously adopted MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;

b. No substantial changes have occurred with respect to the circumstances under which the Project Modification will be undertaken which will require major revisions to the previously adopted MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;

c. No new information of substantial importance has been found that shows any of the following:

i. The Project Modification will have one or more significant effects not discussed in the previously adopted MND;

ii. Significant effects previously examined will be substantially more severe than shown in the previously adopted MND;

iii. Mitigation measures previously found to be infeasible would in fact be feasible and would substantially reduce one or more significant effects of the Project Modification; or

iv. Mitigation measures which are considerably different from those analyzed in the previously adopted MND would substantially reduce one or more significant effects on the environment.

Section 3. Based on its review of the previously adopted MND for the Project, the addendum, and all oral and documentary evidence received during the hearing on the

Project Modification, the City Council finds that the MND and addendum reflect the City Council's independent judgment and analysis and adopts the MND and the addendum for the Project Modification and readopts the findings of fact in support of the MND.

Section 4. The mitigation monitoring program for the Project is adopted for the Project Modification, and the mitigation measures shall be implemented and monitored as set forth in the program, based on the following findings of fact:

- a. The mitigation monitoring program has been adopted and implemented as part of the Project;
- b. The addendum to the MND does not include any new mitigation measures, and has not eliminated or modified any of the mitigation measures included in the mitigation monitoring program;
- c. The mitigation monitoring plan meets the requirements of CEQA s section 21081.6 and CEQA Guidelines section 15074.

Section 5. Upon approval of the Project, the City's Environmental Planning Services shall file or cause to be filed a Notice of Determination with the Sacramento County Clerk and, if the project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to section 21152(a) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.

Section 6. Pursuant to Guidelines section 15091(e), the documents and other materials that constitute the record of proceedings upon which the City Council has based its decision are located in and may be obtained from, the Office of the City Clerk at 915 I Street, Sacramento, California. The City Clerk is the custodian of records for all matters before the City Council.

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Exhibit 4A: Mitigation Monitoring Plan

Exhibit 4A: Mitigation Monitoring Plan

MITIGATION MONITORING PLAN

FOR

Arena Seniors (P08-013)

TYPE OF ENVIRONMENTAL DOCUMENT:

INITIAL STUDY/ ADDENDUM TO THE NEGATIVE DECLARATION FOR THE ARENA
CORPORATE CENTER PUD (P94-089)

PREPARED FOR:

CITY OF SACRAMENTO, DEVELOPMENT SERVICES DEPARTMENT

DATE:

May 2, 2008

ADOPTED BY:

CITY OF SACRAMENTO
PLANNING COMMISSION

DATE:

ATTEST:

Arena Seniors (P08-013)
MITIGATION MONITORING PLAN

This Mitigation Monitoring Plan (MMP) has been required by and prepared for the City of Sacramento Development Services Department, Environmental Planning Services, 300 Richards Boulevard, Sacramento, CA 95811, pursuant to CEQA Guidelines Section 21081.6.

SECTION 1: PROJECT IDENTIFICATION

Project Name / File Number: Arena Seniors (P08-013)
Owner/Developer- Name: Kenneth King, ESQ.
Address: Granite Bay Ventures
2998 Douglas Boulevard, Suite 300
Roseville, CA 95661

Project Location / Legal Description of Property (if recorded):

The project site consists of approximately 8.5 net acres located at the southeast corner of the Arena Corporate Center Planned Unit Development on Sports Parkway and Truxel Road, and is identified by Assessor's Parcel Number 225-0070-098.

Project Description:

The proposed project consists of the entitlements to develop a 240-unit affordable senior housing complex on approximately 8.5 acres in the Employment Center 40 and Employment Center 80 Planned Unit Development (EC-40-PUD, EC-80-PUD) zones within the Arena Corporate Center PUD in the North Natomas Community Plan Area.

SECTION 2: GENERAL INFORMATION

The Plan includes mitigation for Air Quality, Biological Resources, Cultural Resources, Noise, Transportation/Circulation and Water. The intent of the Plan is to prescribe and enforce a means for properly and successfully implementing the mitigation measures as identified within the Initial Study for this project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this Plan shall be funded by the owner/developer identified above. This Mitigation Monitoring Plan (MMP) is designed to aid the City of Sacramento in its implementation and monitoring of mitigation measures adopted for the proposed project.

The MMP describes the actions that must take place to implement each mitigation measure, the timing of those actions, and the entities responsible for implementing and monitoring the actions. The developer will be responsible for fully understanding and effectively implementing the mitigation measures contained with the MMP. The City of Sacramento will be responsible for ensuring compliance.

**Arena Seniors (P08-013)
MITIGATION MONITORING PLAN**

Environmental Resource	Mitigation Measure	Responsible Entity	Compliance Milestone / Confirm Complete
Air Quality	<p>A-1 The applicant shall comply with the NNCP's requirement to prepare an Air Quality Mitigation Strategy that reduces ROG emissions by 50 percent project-wide</p>	City of Sacramento Development Services Department	<p>Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Development Services Department shall assure that measures are identified on construction plans and specifications and confirm compliance prior to issuance of any grading or building permit.</p>
Biological Resources	<p>Compliance with requirement of the Natomas Basin Habitat Conservation Plan (NBHCP) as follows:</p> <p>B-1 The project applicant/developer shall conduct reconnaissance level surveys to determine what habitats are present, and any need for pre-construction surveys. A qualified biological, botanical, or related expert at the developer's expense should complete these surveys.</p> <p>B-2 If determined to be necessary as a result of the reconnaissance-level surveys, the project applicant/developer shall complete pre-construction surveys, for potential special status species not less than 30 days or more than 6 months prior to construction activities in accordance with the 2003 NBHCP. The pre-construction survey shall be conducted by a qualified biological, botanical, or related expert at the developer's expense.</p> <p>B-3 The project applicant/developer shall further: (i) comply with all requirements of the</p>	City of Sacramento Development Services Department	<p>Please refer to B-4 through B-6. B-4 through B-6 supersedes the prior mitigation from P94-089.</p>

**Arena Seniors (P08-013)
MITIGATION MONITORING PLAN**

Environmental Resource	Mitigation Measure	Responsible Entity	Compliance Milestone / Confirm Complete
	2003 NBHCP, together with any additional requirements specified in the North Natomas Community Plan EIR; (ii) comply with any additional mitigation measures identified in the NBHCP EIR/EIS; and (iii) comply with all conditions in the ITP's issued by the USFWS and CDFG.		
Biological Resources	<p>Compliance with requirement of the Natomas Basin Habitat Conservation Plan (NBHCP) as follows:</p> <p>B-4 Payment of Natomas Basin Habitat Conservation Plan fees or dedication of land at the ratio of 0.5 acre to 1 acre.</p> <p>B-5 A wetland delineation shall be submitted to the Army Corps of Engineers (ACOE) for verification of connectivity to jurisdictional waters under ACOE regulations.</p> <p>B-6 Pre-construction surveys for burrowing owls. Occupied burrows shall not be disturbed between February 1 and August 31 (breeding season). Results of the pre-construction survey along with recommended take minimization measures shall be documented in a report and submitted to the City of Sacramento, U.S. Fish and Wildlife Service (USFWS) and California Department of Fish and Game (CDFG). If species are found during the breeding season, suitable buffers shall be provided around nests. A relocation plan shall be submitted to the USFWS and CDFG if relocation is permitted.</p>	<p>City of Sacramento, Development Services Department,</p> <p>California Department of Fish and Game; and</p> <p>US Fish and Wildlife Service</p>	<p>Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Development Services Department shall assure that measures are identified on construction plans and specifications and confirm compliance prior to issuance of any grading or building permit</p>
Cultural Resources	<p>C-1 If subsurface archaeological or historical remains are discovered during construction, work in the area shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant level before construction continues.</p> <p>C-2 If human burials are encountered, all work in the area shall stop immediately and the Sacramento County Coroner's office shall be notified immediately. If the remains are determined to be Native American in origin, both</p>	<p>City of Sacramento, Development Services Department,</p> <p>County of Sacramento Coroner's office</p> <p>California Native American Heritage</p>	<p>Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Development Services Department shall assure that measures</p>

**Arena Seniors (P08-013)
MITIGATION MONITORING PLAN**

Environmental Resource	Mitigation Measure	Responsible Entity	Compliance Milestone / Confirm Complete
	the Native American Heritage Commission and any identified descendants must be notified and recommendations for treatment solicited (CEQA Section 15064.5); Health and Safety Code Section 7050.5; Public Resources Code Section 5097.94 and 5097.98.	Commission	are identified on construction plans and specifications and confirm compliance prior to issuance of any grading or building permit.
Noise	<p>N-1 Exterior facades facing the Light Rail tracks must be finished with stucco or brick siding.</p> <p>N-2 Windows and glass entry doors on the facades of the units adjacent to and facing the Light Rail tracks shall have a sound transmission classification (STC) rating of at least 35.</p> <p>N-3 Air conditioning or other suitable mechanical ventilation must be provided to the units adjacent to the light Rail tracks and Truxel Road to allow residents to close windows for the desired acoustical isolation.</p>	City of Sacramento, Development Services Department	Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Development Services Department shall assure that measures are identified on construction plans and specifications and confirm compliance prior to issuance of any grading or building permit.
Transportation & Circulation	T-1 The applicant shall comply with the City's Transportation System Management (TSM) Ordinance and prepares a Transportation Management Plan (TMP).	City of Sacramento, Development Services Department,	Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Development Services Department shall assure that measures

**Arena Seniors (P08-013)
MITIGATION MONITORING PLAN**

Environmental Resource	Mitigation Measure	Responsible Entity	Compliance Milestone / Confirm Complete
			are identified on construction plans and specifications and confirm compliance prior to issuance of any grading or building permit.
Water	W-1 An adequate storm water drainage plan shall be designed to the satisfaction of the City Utilities Director prior to recordation of the Master Parcel Map. Construction of the drainage facilities shall be commenced prior to issuance of a certificate of occupancy for any building on the site.	City of Sacramento, Development Services Department; Department of Utilities	Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Development Services Department shall assure that measures are identified on construction plans and specifications and confirm compliance prior to issuance of any grading or building permit.

Attachment 5: PUD Schematic Plan Amendment – Resolution

RESOLUTION NO.

Adopted by the Sacramento City Council

APPROVING A PUD SCHEMATIC PLAN AMENDMENT FOR THE ARENA CORPORATE CENTER PUD TO DESIGNATE MULTI-FAMILY RESIDENTIAL USE ON EC-40 AND EC-80 PARCELS FOR THE ARENA SENIORS PROJECT (P08-013)(APN: 225-0070-098)

BACKGROUND

- A. On May 22, 2008 and June 19, 2008, the City Planning Commission conducted a public hearing on, and forwarded to the City Council a recommendation to approve the PUD Schematic Plan Amendment for the Arena Seniors project.
- B. On July 15, 2008, the City Council conducted a public hearing, for which notice was given pursuant Sacramento City Code Section 17.200.010(C)(2)(a) and (c) (publication and mail 500'), and received and considered evidence concerning the Arena Seniors project.
- C. The proposed PUD Schematic Plan Amendment conforms to policies of the General Plan and North Natomas Community Plan to provide adequate housing sites and opportunities for all households and to promote efficient development within a new growth area.
- D. The PUD Schematic Plan Amendment will not be injurious to the public welfare, nor to other properties in the vicinity of the development in that the project is compatible with adjacent developments and the site will be developed according to the requirements of the PUD Guidelines.

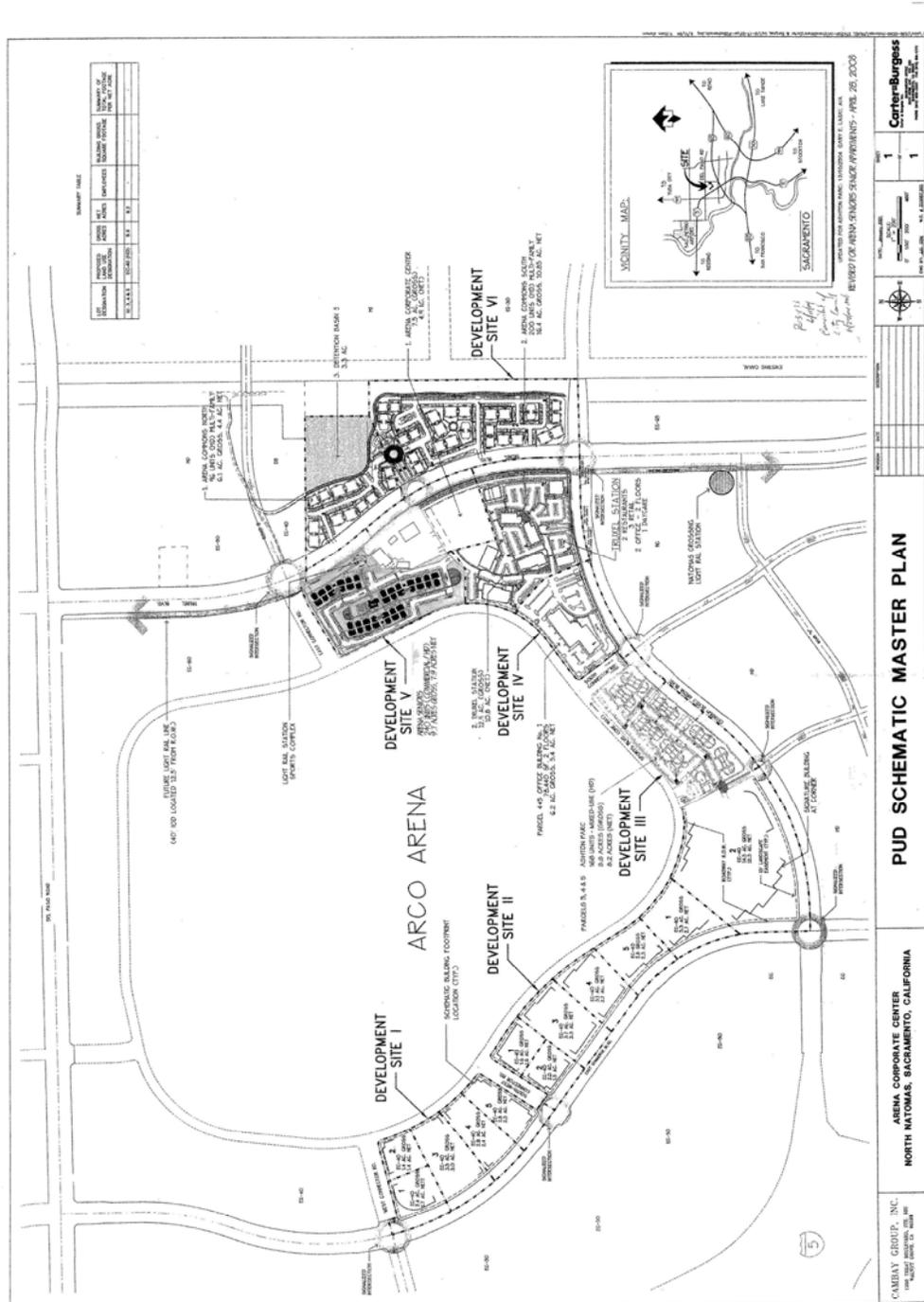
BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

- Section 1. The PUD Schematic Plan Amendment for the Arena Seniors Project (as shown on the attached Exhibit) is approved.

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Exhibit 5A: PUD Schematic Plan Amendment – 1 page

Exhibit 5A: PUD Schematic Plan Amendment



Attachment 6: Project Approval – Resolution

RESOLUTION NO.

Adopted by the Sacramento City Council

ADOPTING FINDINGS OF FACT AND APPROVING THE ARENA SENIORS PROJECT (P08-013)

BACKGROUND

A. On May 22, 2008 and June 19, 2008, the City Planning Commission conducted a public hearing on, and forwarded to the City Council a recommendation to approve the Arena Seniors project.

B. On July 15, 2008, the City Council conducted a public hearing, for which notice was given pursuant Sacramento City Code Section 17.200.010(C)(2)(a), (b), and (c) (publication, posting, and mail 500'), and received and considered evidence concerning the Arena Seniors project.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

Section 1. Based on the verbal and documentary evidence received at the hearing on the Arena Seniors project, the City Council approves the project based on the findings of fact and subject to the conditions of approval as set forth below.

Section 2. The City Council approves the Project entitlements based on the following findings of fact:

A. Plan Review: The Plan Review to construct a 240-unit apartment complex in the Employment Center 40 Planned Unit Development (EC-40-PUD) and Employment Center 80 Planned Unit Development (EC-80-PUD) zones is **approved** based on the following findings of fact:

1. The proposed high-density senior housing development is consistent with General Plan and Community Plan goals to provide housing options for people of all ages and income levels;

2. Staff has reviewed the proposal and found it to comply with all applicable city policies related to facilities and infrastructure. Conditions of approval have been included to ensure that adequate drainage capacity and street frontage improvements are provided;

3. The design of the project complies with applicable setback, lot coverage, density and height. Conditions have been added to ensure compliance with landscaping requirements; and

4. The project will not pose a threat to the public health nor be injurious to the surrounding area in that it will be a compatible land use adjacent to commercial development and within close proximity to the future light rail station.

B. Special Permit: The Special Permit to exceed the allowable 25% residential use within the Arena Corporate Center Planned Unit Development lying within the specific area delineated being bounded by the East Drain, I-5, Del Paso Road and Arena Boulevard is **approved** based on the following findings of fact:

1. The project is based on sound principles of land use for providing the component of affordable housing for seniors with on-site amenities and close proximity to transit and commercial uses;

2. The project will not be injurious to the surrounding area in that it will be a compatible land use adjacent to commercial development and within close proximity to the future light rail station;

3. The proposed high-density senior housing development is consistent with General Plan and Community Plan goals to provide housing options for people of all ages and income levels;

4. The proposed increase in residential use is compatible with adjacent uses in the PUD as well as with adjacent uses within contiguous PUDs;

5. The proposed project offers a component of affordable housing;

6. The proposed project will improve the balance of jobs and housing as provided in the NNCP by ensuring an adequate number of dwelling units within the Community Plan area;

7. The proposed increase in residential use will contribute to a variety of housing types available in the community;

8. The project meets the NNCP 'factors' in that the proposed project is not in close proximity to the Interstate 5 corridor and will be shielded from noise by future office structures to the west, the residential use is compatible with the adjacent/proposed future uses within the PUD, and the site can be adequately served by public facilities, transit and open space; and

9. The total amount of acreage devoted to residential uses within this geographic area does not exceed twenty-five (25) percent.