

- resident parking shall be clearly designated. Handicapped spaces shall be clearly marked and properly sign posted.
- c) Tire stops shall be installed in all parking spaces that do not overhang a 6-foot wide landscape or sidewalk area.
 - d) Driveways should be visible from either the front or back door in addition to at least one window.
 - e) Ground level patio fences should be low profile to allow observation while still providing a sense of privacy.
 - f) Each entry, patio, balcony, and pedestrian garage door shall be equipped with its own light source.
 - g) Primary living areas and windows of individual units should be focused for observation of common use areas, adjacent units, recreational areas, child play areas, and outside vehicle parking, to provide for the self-policing and a sense of community.
 - h) Main entrance doors should be well lit and secured with single-cylinder deadbolt locks containing a minimum throw of one inch.
 - i) Door locks should be located a minimum of forty inches (40") from adjacent window, and vision panels in exterior doors (if used) or within reach of the inside activating device, should be of burglary-resistant glazing or equivalent.
 - j) A viewing device (peephole) should be installed on main entrance doors and should allow for 180 degree vision.
 - k) Doors swinging outward shall have non-removable hinge pins or hinge studs to prevent removal of the door.
 - l) Sliding glass doors should have one permanent door on the outside, and the inside movable section shall be adjusted in such a manner that the up and down play is taken up to prevent lifting with a pry tool to defeat the locking mechanism.
 - m) Secondary dead locks should be installed on all sliding glass doors accessible from ground level. Lock bolts shall be of hardened material or shall have hardened steel inserts.
 - n) Windows should be provided on all sides of the homes to provide full visibility of property. Jalousie, casement, or awning style windows are not recommended.
 - 1. Windows shall be constructed so that when the window is locked it cannot be lifted from the frame. The vertical play shall be taken up to prevent lifting of the moveable section to defeat the locking mechanism.
 - 2. The sliding portion of a sliding glass window shall be on the inside track.
 - 3. Window locking devices shall be capable of withstanding a force of 300 pounds in any direction.
 - o) All residential buildings shall display a street number in a prominent location on the street side in such a position that the number is easily visible to approaching emergency vehicles.
 - p) The numerals shall be no less than five inches (5") in height and shall be of a contrasting color to the background to which they are attached. The numerals shall be illuminated at night.

- q) All residential buildings containing rear alleys shall also display a street number in a prominent location on the alley side in such a position that the number is easily visible from within the alley. Numerals shall be a minimum of five inches (5") high and contrasting in color.
- r) Pedestrian walkways and bicycle paths should not be isolated and should be located adjacent to streets to encourage use and discourage criminal activity.
- s) Postal receptacles/boxes should be placed in locations with unobstructed view by pedestrian and vehicular traffic.

13. Community Buildings

- a) Public entrances should be clearly defined by walkways and signage and should be observable by as many people as possible.
- b) Restrooms should be observable from nearby offices.
- c) All hallways, external doors, parking areas, and walkways should be well lit.
 - 1. Walkways should be illuminated at a minimum intensity of 0.5 foot-candles per square foot at 6 to 18 inches above the surface.
 - 2. Parking areas should be illuminated at a minimum intensity of 1.0 foot-candle per square foot at 6 to 18 inches above the surface and should be observable by as many people as possible.
 - i. Front and rear parking areas should be visible from windows.
 - ii. Side parking areas should be visible from the street.
- d) Windows and exterior doors should be visible from the street or by neighbors.
 - 1. Windows should be located on all four facades.
- e) The jamb on all aluminum-framed, swinging doors shall be so constructed or protected to withstand 1600 pounds of pressure in both a vertical distance of three inches and a horizontal distance of one inch each side of the strike.
- f) Glass doors shall be secured with a deadbolt lock with a minimum throw of one inch. The outside ring should be free moving and case hardened.
- g) Doors with glass panels and doors with glass panels adjacent to the door's frame shall be secured with burglary-resistant glazing or the equivalent, if double-cylinder deadbolt locks are not installed.
- h) On pairs of doors, the active leaf shall be secured with the type of lock required for single doors in this section. The inactive leaf shall be equipped with automatic flush extension bolts protected by hardened material with a minimum throw of three-fourths inch at head and foot and shall have no doorknob or surface-mounted hardware. Multiple point locks, cylinder activated from the active leaf and satisfying the requirements, may be used in lieu of flush-bolts.
- i) Any single or pair of doors requiring locking at the bottom or top rail shall have locks with a minimum of one throw bolt at both the top and bottom rails.
- j) Doors with panic bars will have vertical rod panic hardware with top and bottom latch bolts.
- k) Outside hinges on all exterior doors shall be provided with non-removable pins when pin type hinges are used or shall be provided with hinge studs, to prevent removal of the door.
- l) All hatchway openings on the roof of any building shall be secured as follows:

1. If the hatchway is of wooden material, it shall be covered on the outside with at least 16 gauge sheet steel or its equivalent attached with screws.
 2. The hatchway shall be secured from the inside with a slide bar or slide bolts. The use of crossbar or padlock must be approved by the fire department.
 3. Outside hinges on all hatchway openings shall be provided with non-removable pins when using pin-type hinges.
- m) All air duct or air vent openings exceeding 8" x 12" on the roof or exterior walls of any building shall be secured by covering the same with either of the following:
1. Iron bars of at least 1/2" round or one by one-fourth inch flat steel material, spaced no more than five inches apart and securely fastened.
 2. A steel grill of at least 1/8" material or two inch mesh and securely fastened.
 3. If the barrier is on the outside, it shall be secured with galvanized rounded head flush bolts of at least 3/8" diameter on the outside.
- n) Trash dumpsters and enclosures should not create blind spots or hiding places and should be clearly visible and well lit.
- o) No public pay telephones shall be installed on the exterior of the premises.
1. All public pay telephones shall be restricted from receiving incoming calls.
14. Building Security
- a) Alarms
1. All alarm plans shall be approved by The Sacramento Police Department's Alarm Unit.
 2. Immediate access to detailed building and floor plans shall be made available to the Sacramento Police Department.
- b) Surveillance Cameras
1. Video Cameras: Video surveillance is becoming a standard security feature in the City of Sacramento. To both enable the most effective video coverage and to minimize installation costs, pre-wiring the infrastructure for these systems during any new construction is imperative.
 - i. Closed-circuit color video cameras should be employed to monitor reception area, all entrances, restroom doors, parking lots and safes. Consider exterior cameras on the corners, doors, and parking lot to create comprehensive coverage.
 - ii. Television style monitors for the cameras should be used as well. One monitor should be mounted in a visible location near the entrance so that patrons can clearly see their activities are being monitored when they come through the front door. Monitors should be mounted in staff areas so that management staff can monitor what the cameras see.
 - iii. The recording device shall be a digital video recorder (DVR) capable of storing a minimum of 7 days worth of activity. A DVR capable of storing 30 days worth of activity is preferable. The DVR must be kept in a secured area that is accessible only to management.

- a. In many applications such as High-Rise Buildings, Retail Malls and large Parking Facilities, real-time monitoring capabilities may be required in addition to recording capabilities.
 - b. In public areas, cameras should be capable for capturing activity on roadways, parks, playgrounds and plazas. In public and private areas, cameras should be capable of capturing activity in parking lots, parking structures, elevators, stairwells, hallways and other common areas.
 - iv. Basic Exterior Pre-Installation Requirements:
 - a. 1" metal conduit for data/video runs from the camera location to a junction box/communications panel.
 - Pre-wired with 16/3 power cable, 2 CAT6 data cables, 2 fiber-optic cables.
 - b. 1" metal conduit, for 110 volt power runs from the camera location to a junction box.
 - c. Power cables shall not be put in same conduit as data type cables.
15. Addressing
- a) All residential buildings shall display a street number in a prominent location on the street side in such a position that the number is easily visible to approaching emergency vehicles.
 1. The numerals shall be no less than five inches in height and shall be of a contrasting color to the background to which they are attached.
 2. All address numerals shall be illuminated during hours of darkness.
 - b) Each individual unit within the complex shall display a prominent identification number not less than two to four inches in height, which is easily visible to approaching pedestrian traffic.
 1. The numerals shall be of contrasting color to the background to which they are attached
 - c) There shall be positioned at each entrance of a multiple family dwelling complex (where applicable) an illustrated diagrammatic representation of the complex, which shows location of the viewer and the unit designations within the complex.
 1. The illuminated diagrammatic representation shall be protected by the use of vandal resistant covers.
 - d) Directional signs shall be installed where appropriate on site to facilitate location of individual units within the complex.
 - e) Adequate signage shall be installed prohibiting trespassing, loitering, and noise in accordance with Section 602(k) of the California Penal Code and Section 9.16.140 of the Sacramento City Code.
 1. The property should be posted for "No Trespassing" and sign an agreement with the Police Department to prosecute all violators.
 2. This agreement shall be kept on file on the premises and in the Police Department.
16. Additional Use Conditions

- a) The proprietor or his agent is responsible for reasonably controlling the conduct of persons on or immediately adjacent to the site and shall control behavior and noise, immediately disperse loiterers, and prevent nuisance or unreasonable interference with adjacent properties.
- b) All illegal activities observed on or around the business shall be promptly reported to the Police Department.
- c) The applicant shall agree to a "good neighbor policy". The "good neighbor policy" shall require that if any significant problems arise and the City receives complaints about the use, the City will commence with Special Permit revocation hearings at the cost of the property owner. The revocation hearing shall be at the discretion and direction of the Planning Commission.

Advisory Notes: Sacramento Area Sewer District

17. Any use of District sewers easements, which is not compatible or interferes with the construction, reconstruction, operation, maintenance, or repair of the District's sanitary sewer(s), shall not be allowed. Each proposed use shall be reviewed and approved in writing by the District Engineer prior to the use of the easement by the Grantor. This includes landscaping.
18. Developing this property will require the payment of sewer impact fees. Impact fees shall be paid prior to filing and recording the Final Map or issuance of Building Permits, whichever ever is first. Applicant should contact the Fee Quote Desk at 876-6100 for sewer impact fee information.

Advisory Notes: Regional Transit

19. The applicant shall join the North Natomas Transportation Management Association.
 20. Develop a program to offer transit passes at a 50% or greater discount to new residents for a period of six months or more.
- C. The **Special Permit** to reduce required parking for senior housing is approved subject to the following conditions:
- C1. The project is required to provide a minimum of 240 vehicular parking spaces.
 - C2. The approved parking shall be for the occupancy of seniors. Should the occupancy changes, further review will be required by Current Planning.
 - C3. The applicant shall provide a minimum of four marked visitor parking spaces adjacent to the community building.

- D. The **Special Permit** to establish gates at private vehicular entrance to a multi-family residential development is hereby approved subject to the following conditions:
- D1. Gated developments shall comply with section 17.76.050 of the Zoning Ordinance.
 - D2. Vehicular gates shall be decorative wrought iron or tubular steel painted to complement the buildings.
 - D3. Emergency Vehicle Access gate shall be minimum 20' single gate and split gates shall have 16' clear access minimum for each gate. Gate shall be provided with Key override switch (Knox) and Radio controlled Click2Enter. ***This shall also apply to gate being proposed at the main entrance.***
 - D4. The design and construction of such gates shall be to the satisfaction of the Planning Director and Development Engineering Division. A final design shall be submitted to Current Planning and Development Engineering for approval prior to the issuance of building permits.

Table of Contents:

Exhibit 6A	Site Plan
Exhibit 6B	Units Floor Plan & Community Building Floor Plan
Exhibit 6B1	Revised Community Building Floor Plan

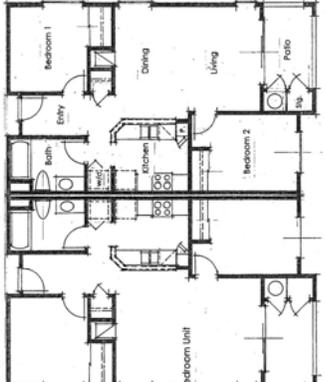
Exhibit 6C	Community Building Elevations
Exhibit 6D	Typical Building Floor Plan
Exhibit 6E	Buildings 1 & 4 Elevations
Exhibit 6F	Buildings 2 & 3 Elevations
Exhibit 6G	Site Cross Section
Exhibit 6H	Building Roof Plan and Carport Plan
Exhibit 6I	Conceptual Landscaping Plan (For Reference Only)
Exhibit 6J	Entry Gates
Exhibit 6K	Building Perspective 1
Exhibit 6L	Building Perspective 2
Exhibit 6M	Building Perspective 3
Exhibit 6N	Building Perspective 4
Exhibit 6O	Building Perspective 5

Exhibit 6B: Units Floor Plan & Community Building Floor Plan



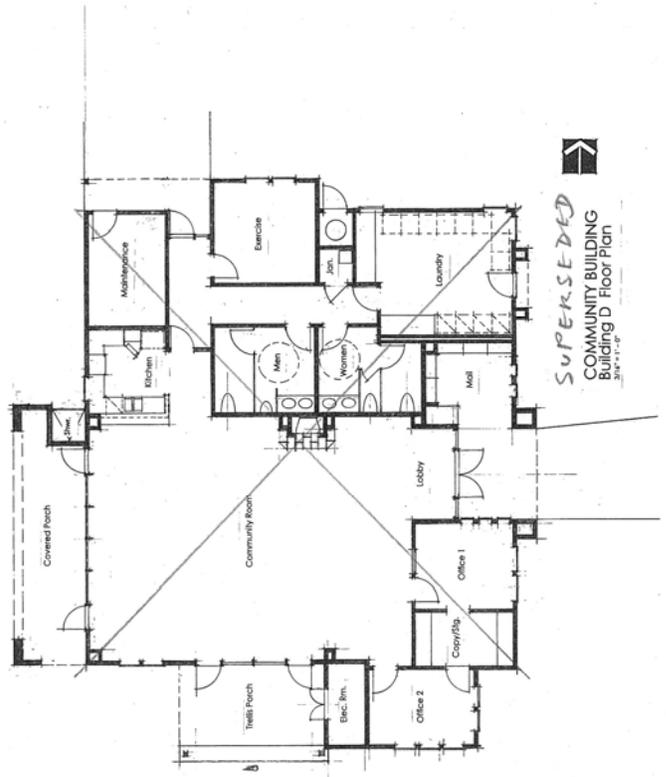
ONE BEDROOM BND UNIT
 Floor Plan
 462'-L.L. x 50'-L.L. Pkolo, 15 s.f. w/h. Excl. 5pg.

TYP. ONE BEDROOM UNIT
 Floor Plan
 415'-L.L. x 51'-L.L. Pkolo, 19 s.f. w/h. Excl. 5pg.



ONE & TWO BEDROOM UNITS
 Floor Plan
 511'-L.L. x 51'-L.L. Pkolo

TYP. TWO BEDROOM UNIT
 Floor Plan
 774'-L.L. x 48'-L.L. Pkolo, 18 s.f. w/h. Excl. 5pg.



COMMUNITY BUILDING
 Building D Floor Plan
 511'-L.L. x 51'-L.L. Pkolo

SUPERSEDED
 COMMUNITY BUILDING
 Building D Floor Plan
 511'-L.L. x 51'-L.L. Pkolo

Arena Seniors
 An Affordable Senior Living Community with 240 apartment units
 North Natomas, Sacramento, CA

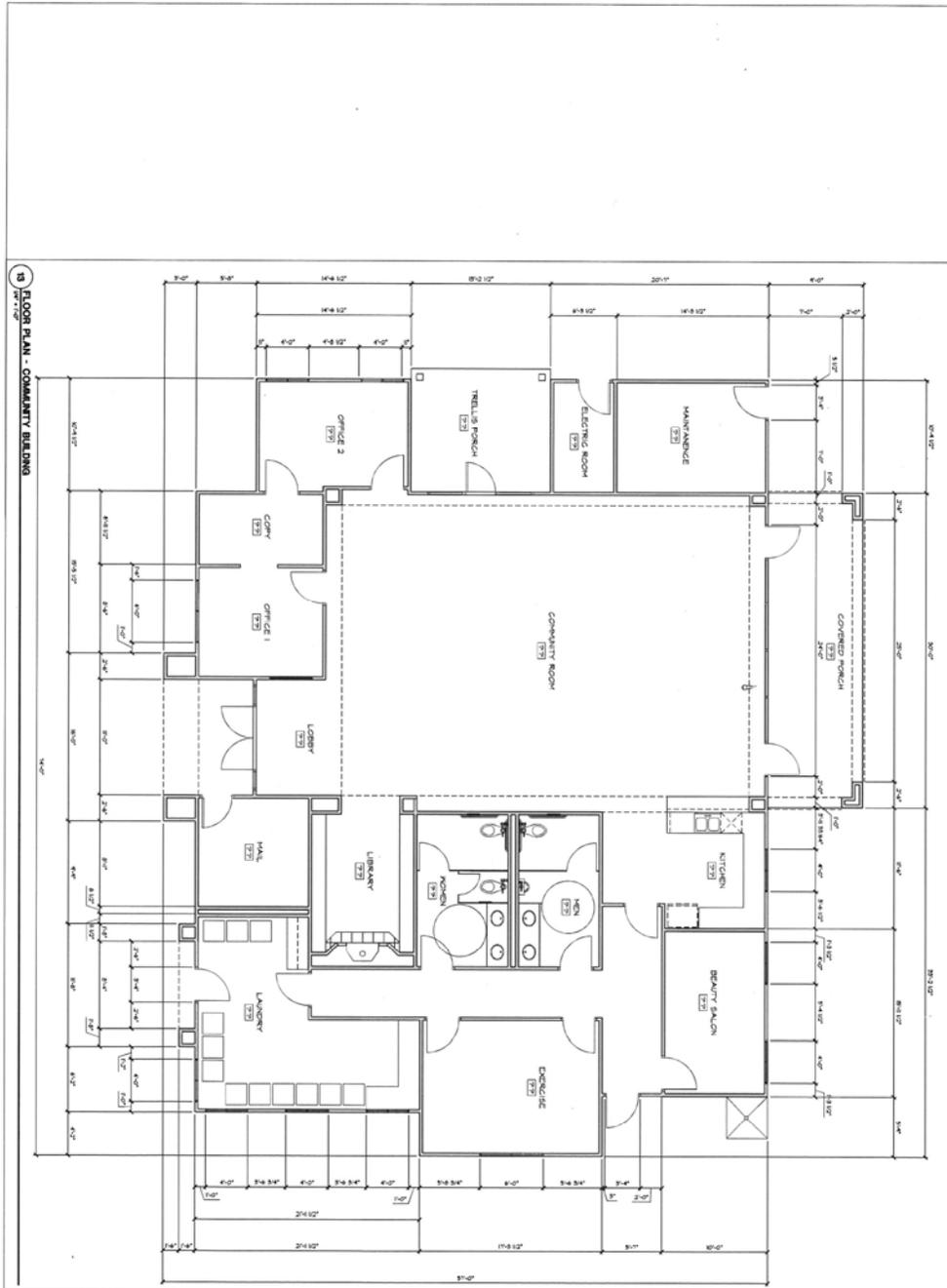
TYP. BLDG. SUB-GROUP ONE & TWO BEDROOM UNITS
 Floor Plans
 511'-L.L. x 51'-L.L. Pkolo

IONIC ENTERPRISES
 STAMAS CORPORATION
 1000 N. STAMAS AVENUE
 SACRAMENTO, CA 95833
 (916) 441-1100
 FAX: (916) 441-1101
 www.ionicenterprises.com

Sheet 2 of 9
 08/07/08

Exhibit 6B1: Revised Community Building Floor Plan

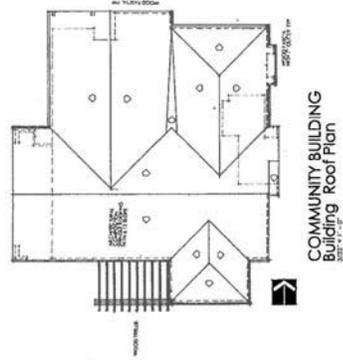
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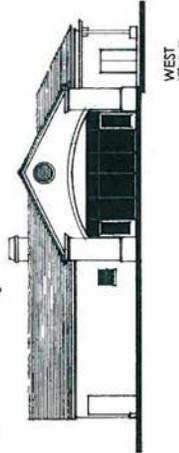
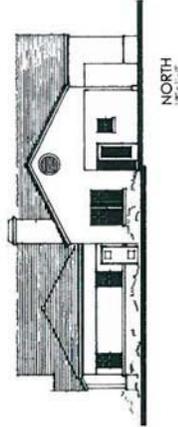
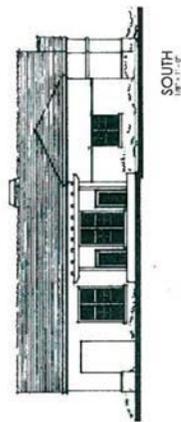
Ownership of Documents: This document and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Borges Architectural Group, Inc. and is not to be used in whole or in part for any other project without the written authorization of Borges Architectural Group, Inc.

A-114	Sheet Title	PROPOSED ** BUILDING FOR	1508 Curtis Blvd, Suite 150 Sacramento, CA 95811 (916) 762-2266 Tel. (916) 773-2037 Fax. www.borgesarch.com bclp@borgesarch.com	Architecture Planning Interior Design										
	PLAN - COMMUNITY BUILDING	ARENA SENIORS												
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No.	Date	Remarks												

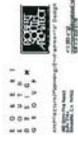
Exhibit 6C: Community Building Elevations



COMMUNITY BUILDING
Conceptual Elevations

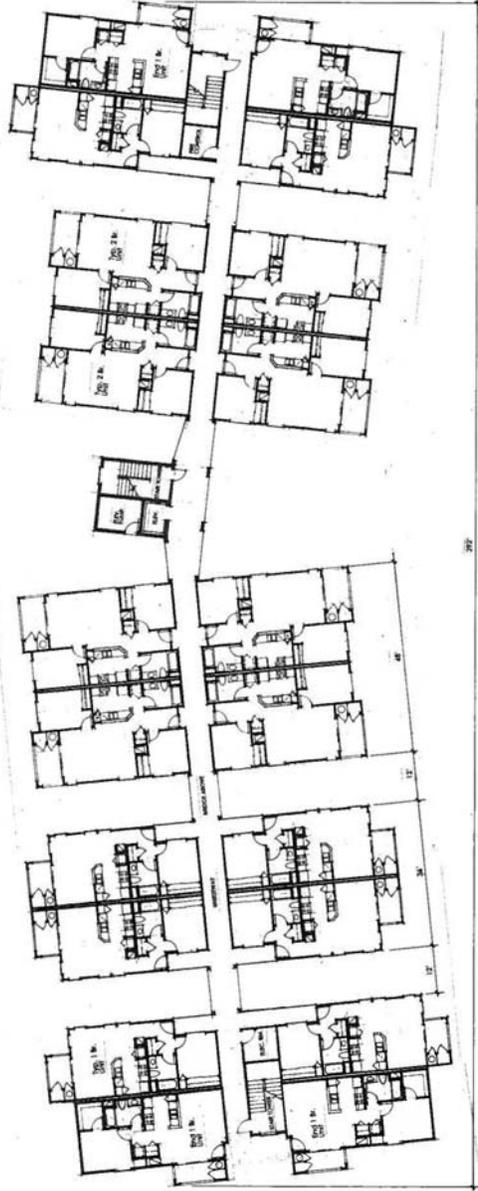


Ionic Enterprises
STAMAS CORPORATION



Sheet 3 of 9
Project No. 08-013

Exhibit 6D: Typical Building Floor Plan



Building 1 & 4 - GROUND FLOOR PLAN
 3/27/08 1/4"

Ionic Enterprises
 STAMAS CORPORATION
 1000 17th Street, Suite 100
 Sacramento, CA 95811
 (916) 441-1111
 Fax: (916) 441-1112
 www.ionic.com



Sheet 4 of 9
 Building Area: 1,000

Arena Seniors
 An Affordable Senior Living Community with 240
 apartment units
 North Natoma, Sacramento, CA

Exhibit 6E: Buildings 1 & 4 Elevations



Ionic Enterprises
STAMAS CORPORATION
 1000 Orange Street, Suite 100
 Redwood City, CA 94063
 Tel: 650.962.1100
 Fax: 650.962.1101
 www.ionic.com

Architectural/Engineering/Interior Design
 1000 Orange Street, Suite 100
 Redwood City, CA 94063
 Tel: 650.962.1100
 Fax: 650.962.1101
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Sheet 5 of 9
 Revised June 1, 2008

Exhibit 6F: Buildings 2 & 3 Elevations



Arena Seniors
An Affordable Senior Living Community with 240
Residential Units
North Highlands, Sacramento, CA

Ionic Enterprises
STAMAS CORPORATION
2022 Douglas Blvd, Suite 100
Sacramento, CA 95825

K O O N T
S I O U
A R C H I T E C T S
1000 Capitol Mall, Suite 1000
Sacramento, CA 95833
Tel: 916.442.2100

Sheet 6 of 9
Project No. 13008

Exhibit 6H: Building Roof Plan and Carport Plan

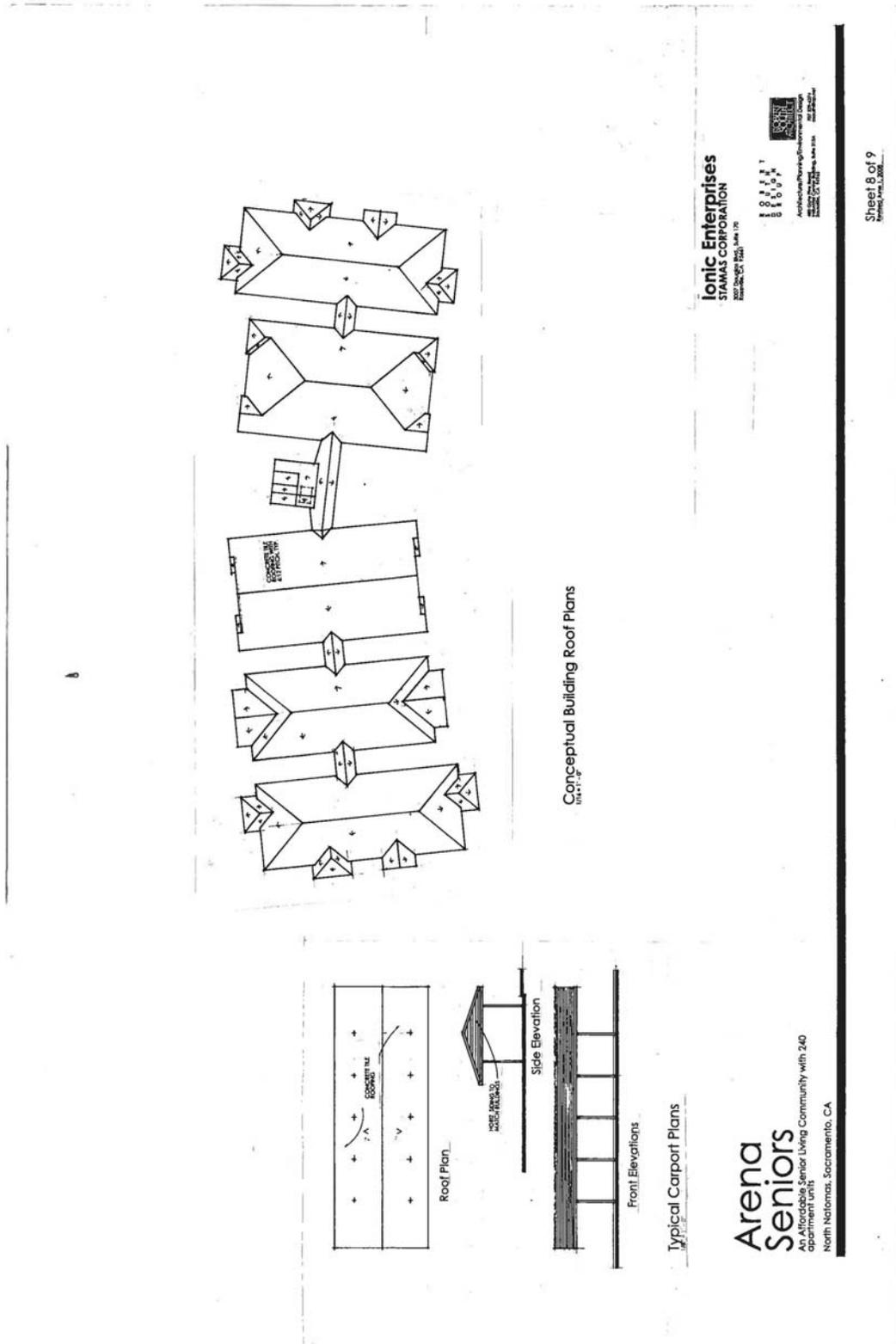
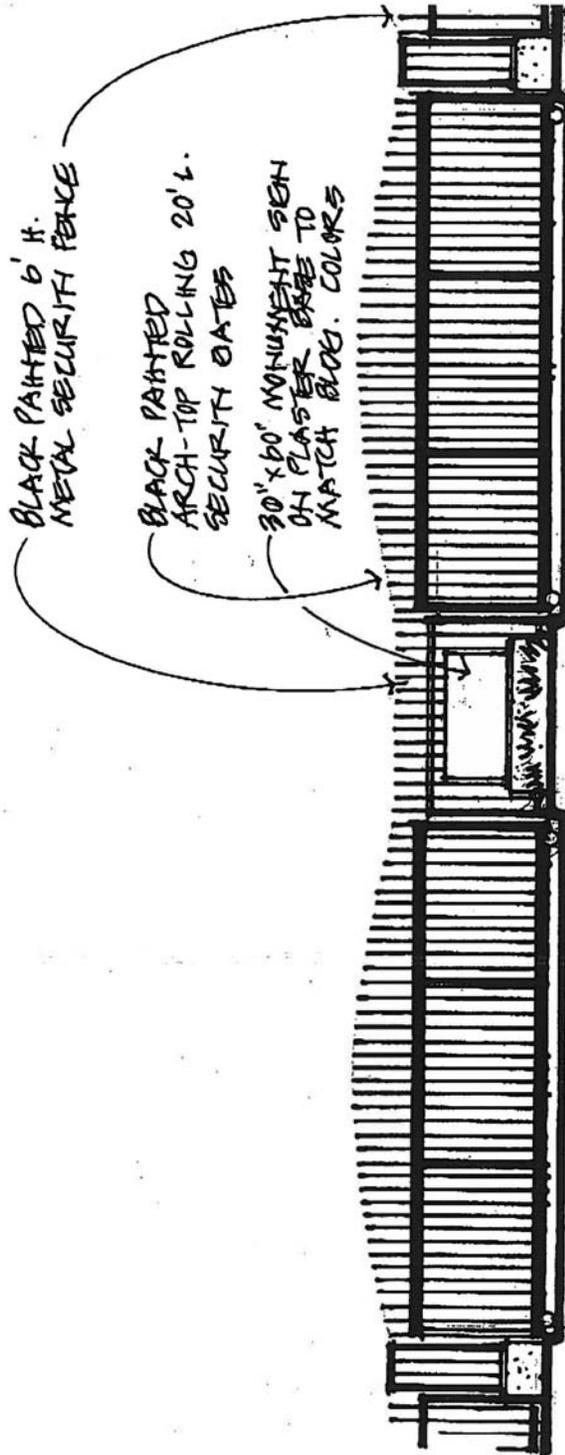


Exhibit 6I: Conceptual Landscaping Plan (For Reference Only)





ARENA SENIORS

ELEVATION - PROPOSED ENTRY GATES & SIGNAGE

3/16" = 1'-0"

R. SOUTH
5/2/08

Exhibit 6K: Building Perspective 1

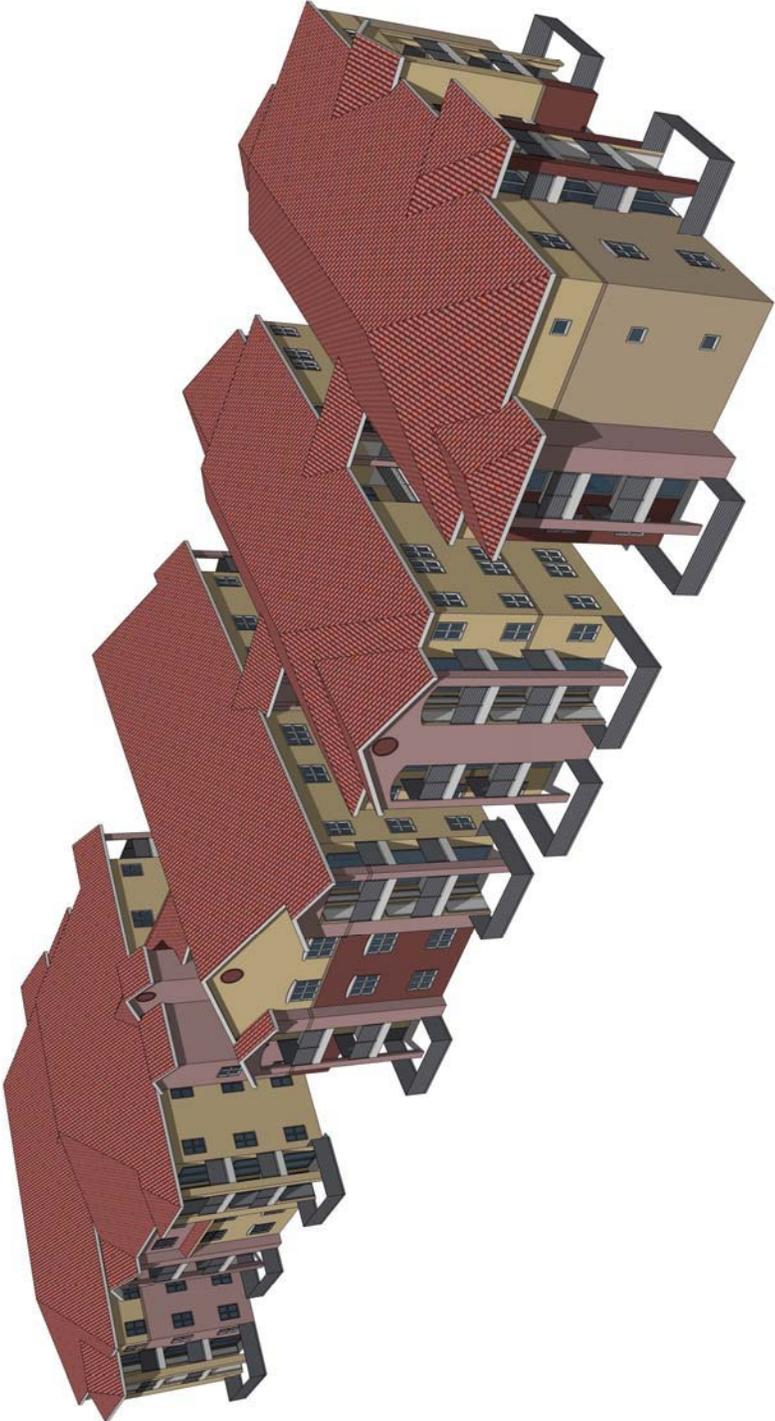


Exhibit 6L: Building Perspective 2

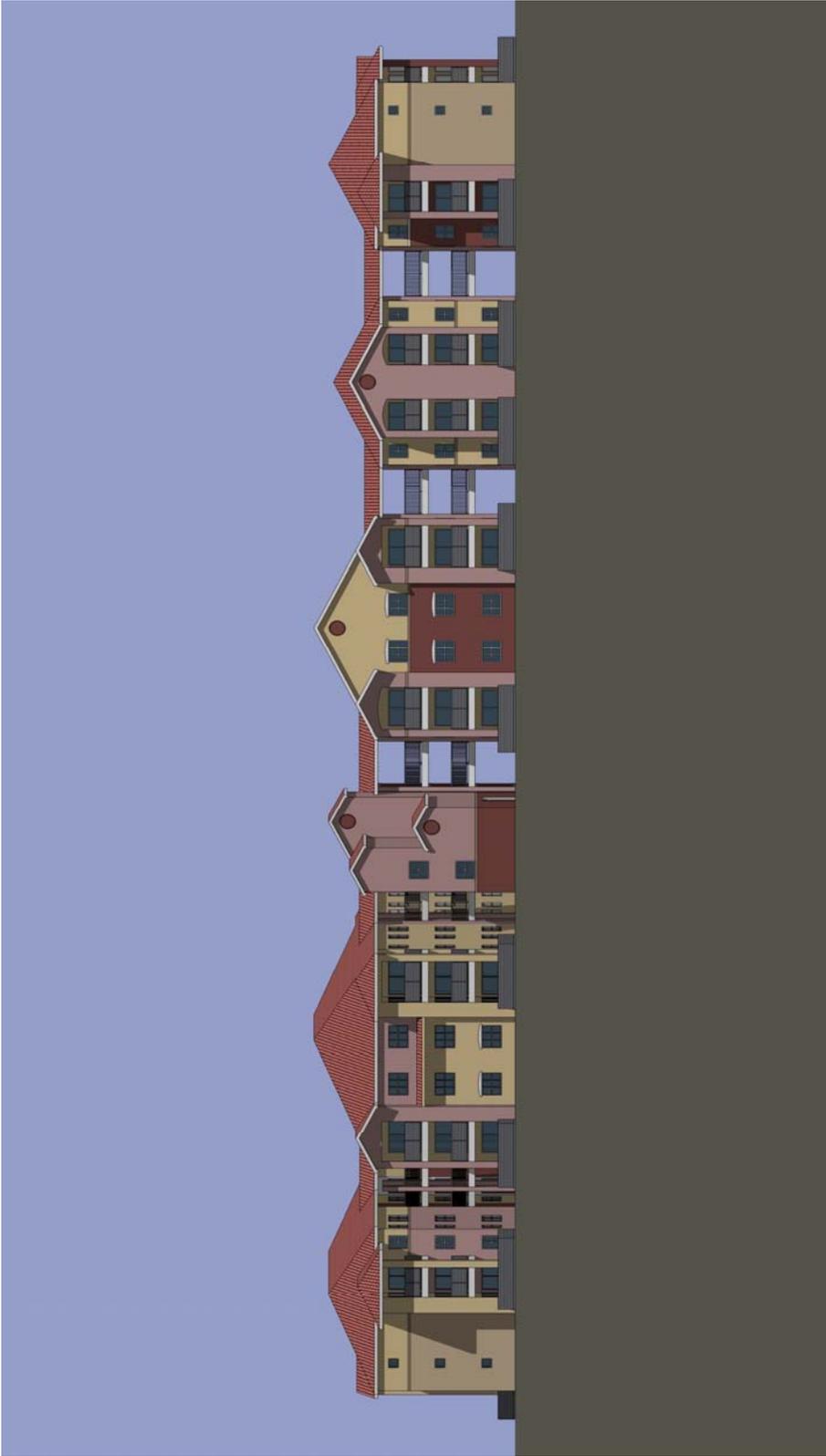


Exhibit 6M: Building Perspective 3

