

## **RESOLUTION NO. 2008-527**

Adopted by the Sacramento City Council

July 22, 2008

### **BUDGET INN CONVERSION (DR07-405)**

#### **BACKGROUND**

- A. On June 25, 2008, the City Design Commission conducted a public hearing on the project and approved the project with conditions. Within the time limits specified in the Zoning Code, the project conditions approved by the Design Commission were called-up by Councilmember Hammond.
- B. On July 22, 2008, the City Council conducted a public hearing, for which notice was given pursuant to Sacramento City Code Sections 17.212.030 and 17.200.010(C)(2)(a, b, c, and d)(publication, posting, and mail) and received and considered evidence concerning the Project.

#### **BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:**

- Section 1. Based on the verbal and documentary evidence received at the hearing on the Budget Inn project, the City Council approves the Design Review conditions of approval based on the findings of fact as set forth below:
  - A. Environmental Determination: In accordance with Sections 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines this project is exempt from the provisions of CEQA.
  - B. Design Review request to rehabilitate a 35,710 +/- square foot commercial building into a residential hotel and to construct a 1536 +/- square foot commercial building (community room) on a 2.0 acre lot in the Heavy Commercial, Broadway-Stockton Special Planning District (C-4 SPD) zone.
    - 1. The project is based upon sound principles of land use, in that the proposed use is allowed in the C-4 SPD zone.
    - 2. The proposed use will be consistent with the objectives of the City of Sacramento General Plan.
    - 3. The project, as conditioned, will complement structures in the vicinity, and conforms to the Design Commission's criteria for projects within the Broadway/Stockton Special Planning District.

## Conditions of Approval

Design Review request to rehabilitate a 35,710 +/- square foot commercial building into a residential hotel and to construct a 1536 +/- square foot commercial building (community room) on a 2.0 acre lot in the C-4 SPD zone.

- A. The design of the site (see plans attached) is hereby approved subject to the following conditions. These conditions must be met prior to the building permit submittal:
1. The building shall be sited as indicated in the report and exhibits.
  2. The project shall have building entry as indicated in the exhibits.
  3. Auto access and site layout shall be as indicated in the report and exhibits.
  4. The project shall include landscaping elements as indicated in the report and exhibits, and final landscape plans shall be reviewed and approved by Design Review staff prior to Building Permit submittal. Final street tree species shall be coordinated with Urban Forest staff. Automatic irrigation shall be provided for all planting and landscaping. Sidewalk re-alignment shall be provided per Development Engineering standards and reviewed by Development Engineering, Urban Forest, and Design Review staff prior to Building Permit submittal.
  5. Applicant shall provide a site lighting plan for review and approval by staff prior to submitting for Building Permit. Exterior lighting style and design shall be compatible and consistent with the building design, and the site should be adequately illuminated for safety and security with a minimum 1.0 foot candle throughout. Appropriate lighting should light up wall surfaces or landscape areas. The applicant shall submit all site light fixtures cut sheets and plan locations for review and approval by Design Review staff prior to submitting for Building Permit.
  6. Site mechanical equipment and utility vaults shall be incorporated into the project site. Backflow prevention devices, SMUD boxes, etc., shall be placed in vaults where not visible from street views, and screened from any pedestrian view. The applicant shall submit final mechanical locations for review and approval by Design Review staff prior to Building Permit submittal.
  7. Trash enclosure details and construction shall be included as indicated on the plans. Final trash enclosure details and location shall be reviewed and approved by Design Review staff prior to Building Permit submittal.
  8. Additional landscaping shall be provided at the guest parking area to further screen the parking, and provide better shade.
  9. Final landscaping plans shall be submitted to Design Review and the Building Division - Site Conditions Unit for review and approval. The scope of the review shall include plant species selection, landscape materials, irrigation system, and

calculation to ensure that the 50% shading requirement is met. The irrigation system and landscaping shall be maintained in good condition during the life of the project. The "Accent Trees" along the east property line shall be 24 " box evergreen trees and shall be planted 30 foot on center along the east property line to provide screening and privacy as shown in Exhibits K and L.

B. The design of the building (see plans attached) is hereby approved subject to the following conditions:

1. The design of the building shall be as indicated in the report and exhibits.
2. Final heights and massing shall be as indicated on the plans.
3. The building elevations shall have a consistency of detail and quality as indicated on the plans.
4. The materials shall be provided as follows: Pre-finished standing seam metal roof, smooth finish fiber-cement board and batten siding just below the plate line, smooth finish fiber-cement horizontal lap siding, smooth finish cement plaster with reveals, brick wainscot, wide-frame vinyl windows with clear glazing. Final colors, materials and details shall be as indicated on the plans and the color/material board or as determined by the Design Commission. Final color and material board shall be submitted to Design Review staff for final review and approval prior to Building Permit submittal. Any major modifications to the approved materials will require review and approval by the Design Commission.
5. The existing flat roof shall be replaced with a pitched standing seam metal roof.
6. Covered stairs shall be provided as shown on the approved plans. The pitch, style, and color of the stair roof shall match the roof of the attached building.
7. The pitch, style, and color of the community building roof shall match the roof of the main building.
8. Brick veneer wainscot and column wrap shall be provided as shown on the approved plans.
9. Cement plaster shall be used in the areas shown on the approved plans. All cement plaster shall have a smooth finish.
10. Fiber-cement lap siding with a 7" exposure shall be used as shown on the approved plans.
11. Wood trims and sills shall be provided at all windows, as indicated on the approved plans. All wood shall have a smooth finish, and shall be painted as indicated on the plans.

12. Fiber-cement siding shall be used with 1x4 vertical battens, in the locations shown on the approved plans.
13. A redwood trellis shall be provided at the East elevation of the community center, as detailed on the approved plans.
14. A suspended metal awning shall be used at the office entry tower, as detailed on the plans.
15. Exterior lighting style and design shall be compatible and complementary to the building design. Provide cutoff fixtures at proposed lights. Final building lighting plans and light fixture cut sheets shall be reviewed and approved by Design Review staff prior to Building Permit submittal.
16. Any roof top mechanical systems shall be integrated into the mechanical penthouse this includes but is not limited to HVAC, satellite dishes, etc. and not be visible from any street views. Final roof plan with mechanical equipment locations shall be reviewed and approved by Design Review staff prior to Building Permit submittal.
17. Provide corbels to support the furred-out wall elements on the exterior of the building. Final corbel design shall be reviewed and approved by Design Review staff prior to Building Permit submittal.

C. The design of the signage is hereby approved subject to the following conditions:

1. High quality signage with a design and materials that complements the architecture is required and shall meet the sign ordinance. Signage criteria for the project shall be submitted to Design Review staff and the City Sign Coordinator for review and approval prior to building permit submittal. Signage criteria requirements are locations of signage (elevations) including general size, potential illumination, and materials. Final sign designs shall be reviewed at time of tenant improvement Building Permit submittal.

D. General Conditions

1. All final details affecting the exterior building design that are not determined at the time of the Design Commission's final review shall be reviewed and approved by Design Review staff prior to Building Permit submittal.
2. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any changes to the final set of plans stamped by Design Review staff shall be subject to review and approval prior to Building Permit submittal. Applicant shall comply with all current building code requirements.
3. Any major revisions to the final approved design are subject to review and approval by the Design Commission.

4. All required new and revised plans shall be submitted for review and approval by Design Review staff prior to building permit submittal. A set of the appropriate plans (reduced to 11 x 17 set) along with a Letter of Compliance indicating how the project is in compliance with each Condition of Approval with detailed sheet references shall be submitted directly to Design Review Staff 1-2 weeks prior to Building Permit submittal.
5. The approval shall be deemed automatically revoked unless required permits have been issued and construction begun within three years of the date of the approval. Prior to expiration, an extension of time may be granted by the Design Commission upon written request of the applicant.
6. Final occupancy shall be subject to approval by Design Review Staff and shall involve an on-site inspection by Design Review Staff.
7. The Record of Decision shall be scanned and inserted into the final set as a general sheet to be submitted for building permit.

**Table of Contents:**

Exhibits A-M

Adopted by the City of Sacramento City Council on July 22, 2008 by the following vote:

Ayes: Councilmembers Fong, Hammond, McCarty, Pannell, Sheedy, Tretheway, Waters, and Mayor Fargo.

Noes: None.

Abstain: None.

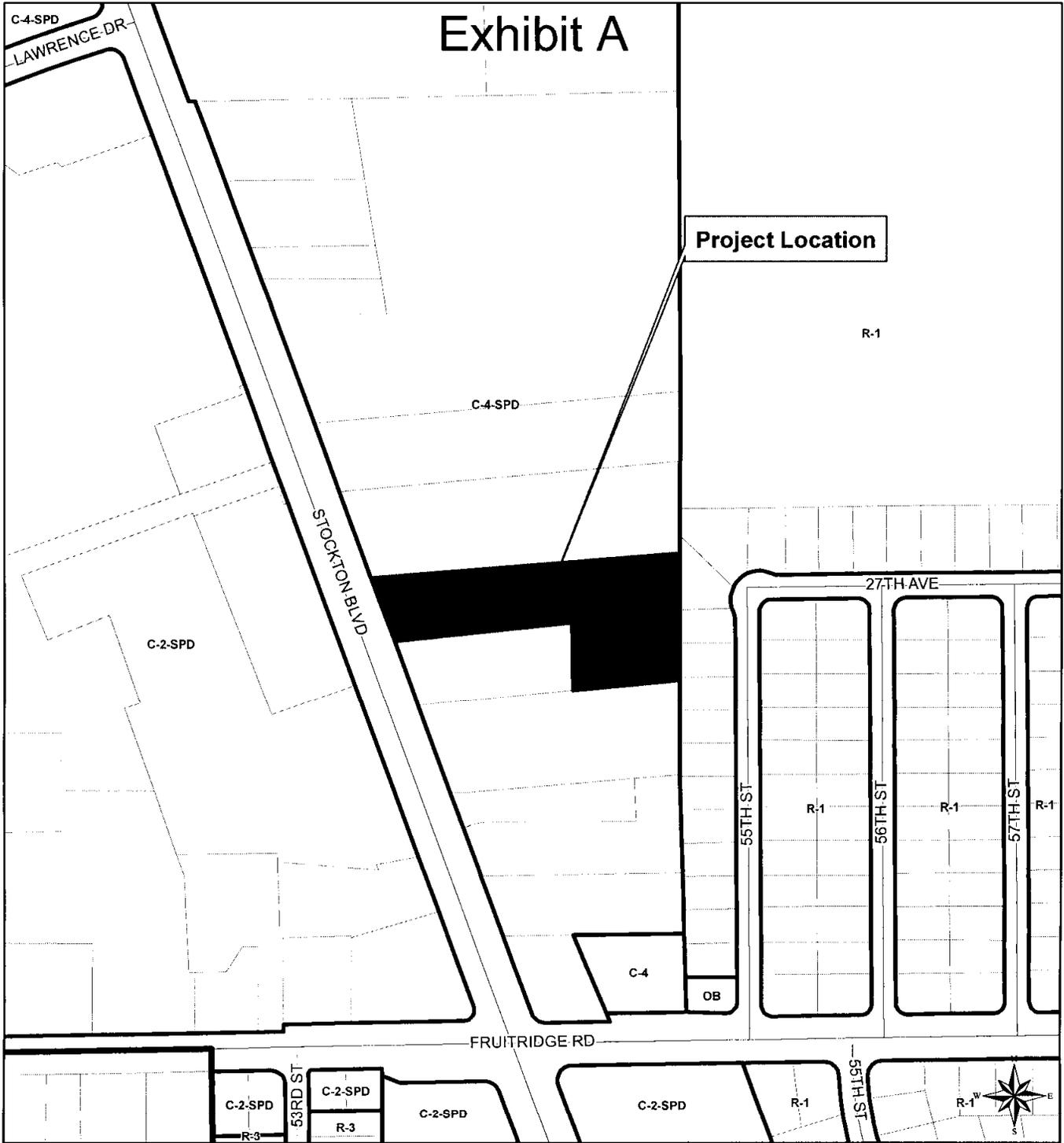
Absent: Councilmember Cohn.

  
\_\_\_\_\_  
Mayor Heather Fargo

Attest:

  
\_\_\_\_\_  
Shirley Concolino, City Clerk

# Exhibit A



Development Services  
Department



Geographic  
Information  
System

Vicinity Map  
DR07-405

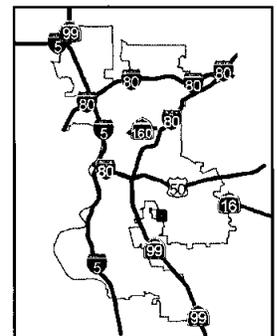


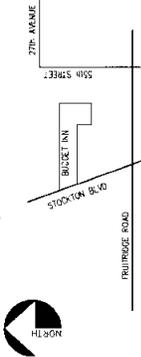
Exhibit B



Mercy Housing

# BUDGET INN REHABILITATION 5321 STOCKTON BOULEVARD SACRAMENTO, CALIFORNIA

VICINITY MAP



ARCHITECT

ANDERS & FALLTRICK ARCHITECTS  
SACRAMENTO, CA 95814  
TEL (916) 442-3156  
EMAIL: [anders@andersfalltrick.com](mailto:anders@andersfalltrick.com)  
CONTACT: DAVE ANDERS

LANDSCAPE ARCHITECT

HAG LANDSCAPE ARCHITECTURE  
SACRAMENTO, CA 95819  
TEL (916) 396-1881  
EMAIL: [hag@haglandscape.com](mailto:hag@haglandscape.com)  
CONTACT: ED HAG

OWNER

MERCY HOUSING CALIFORNIA  
WEST SACRAMENTO, CALIFORNIA 95691  
TEL (916) 414-4445  
EMAIL: [west@mercyhousing.org](mailto:west@mercyhousing.org)  
CONTACT: MENDY SALCA

DRAWING INDEX

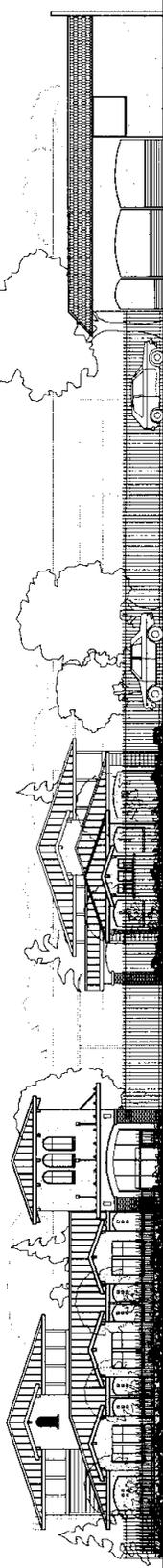
- A0 COVER SHEET & SITESCAPE
- A1 1<sup>ST</sup> FLOOR PLAN
- A2 2<sup>ND</sup> FLOOR PLAN
- A3 ENLARGED PLAN
- A4 TYPICAL UNIT PLANS
- A5 EXTERIOR ELEVATIONS
- A6 EXTERIOR ELEVATIONS
- A7 PLANTING PLAN
- LT

**ANDERS & FALLTRICK ARCHITECTS**  
1126 2ND STREET, SUITE 106  
SACRAMENTO, CA 95814  
TELEPHONE: 916.442.3156  
FACSIMILE: 916.414.2427

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**Mercy Housing**  
2120 PRUNIDGE DR., SUITE 402  
WEST SACRAMENTO, CALIFORNIA 95691  
TELEPHONE: 916.414.4445  
FACSIMILE: 916.414.4499



REMODELED MOTEL BUILDING

NEW COMMUNITY BUILDING

ADJACENT RESTAURANT

STREETSCAPE FACING STOCKTON BOULEVARD

**Project:** BUDGET INN REHABILITATION  
5321 STOCKTON BOULEVARD  
SACRAMENTO, CA  
APR: 03-0211-005-0000

**Drawn by:** COVER SHEET  
STREETSCAPE

**Project No.:** 0703  
**Drawn by:** DA  
**Reviewed by:** 5 29-08  
**Drawn No.:** A0





Exhibit E

**ANDERS & FALLTRICK ARCHITECTS**  
 1125 2ND STREET, SUITE 108  
 SACRAMENTO, CA 95811-4216  
 TELEPHONE: 916.442.1136  
 FACSIMILE: 916.414.4227

**Mercy Housing**  
 3120 FREEMAN DR. SUITE 407  
 SACRAMENTO, CA 95811-4000  
 TELEPHONE: 916.444.4400  
 FACSIMILE: 916.414.4409



**PROJECT:** BUDGET INN REMODEL  
**LOCATION:** 1000 BOULEVARD  
 SACRAMENTO, CA  
**APR: 02-0211-025-0000**

**DATE:** 5-29-08  
**SCALE:** 1/16" = 1'-0"

**PROJECT NO.:** 0703  
**CLIENT:** DA  
**DESIGNED BY:** DA  
**DATE:** 5-29-08

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**CLIENT:** DA  
**DESIGNED BY:** DA  
**DATE:** 5-29-08

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**CLIENT:** DA  
**DESIGNED BY:** DA  
**DATE:** 5-29-08

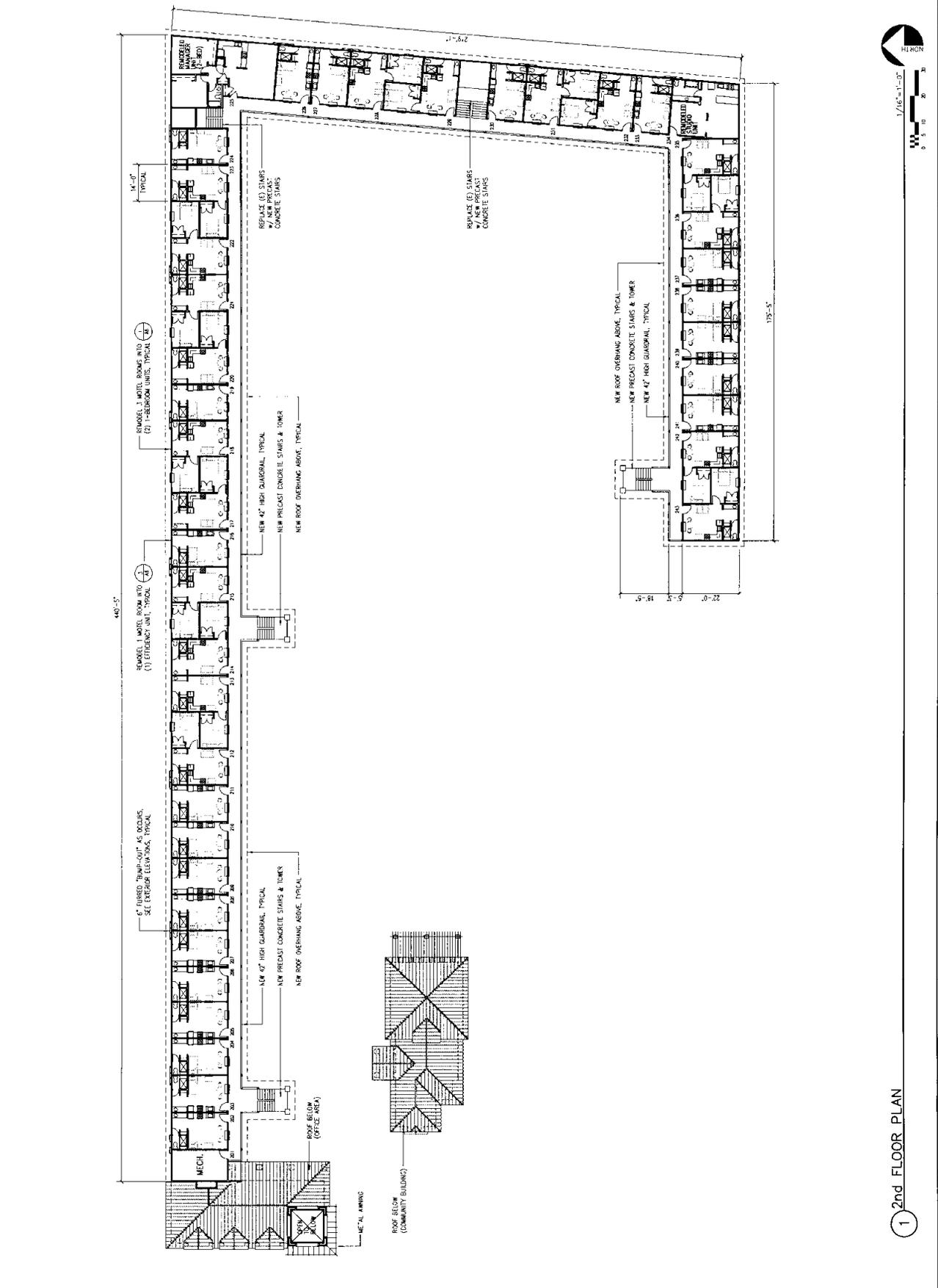


Exhibit F

**ANDERS & FALLTRICK ARCHITECTS**  
 1250 20th STREET, SUITE 108  
 SACRAMENTO, CA 95811  
 TELEPHONE 916.442.1756  
 FACSIMILE 916.474.6247

By the reading of these plans, the contractor shall be deemed to have accepted the conditions, specifications, and notes herein. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for the accuracy of the information provided on these plans. The contractor shall be responsible for the coordination of all trades and for the completion of the project in accordance with the contract documents.

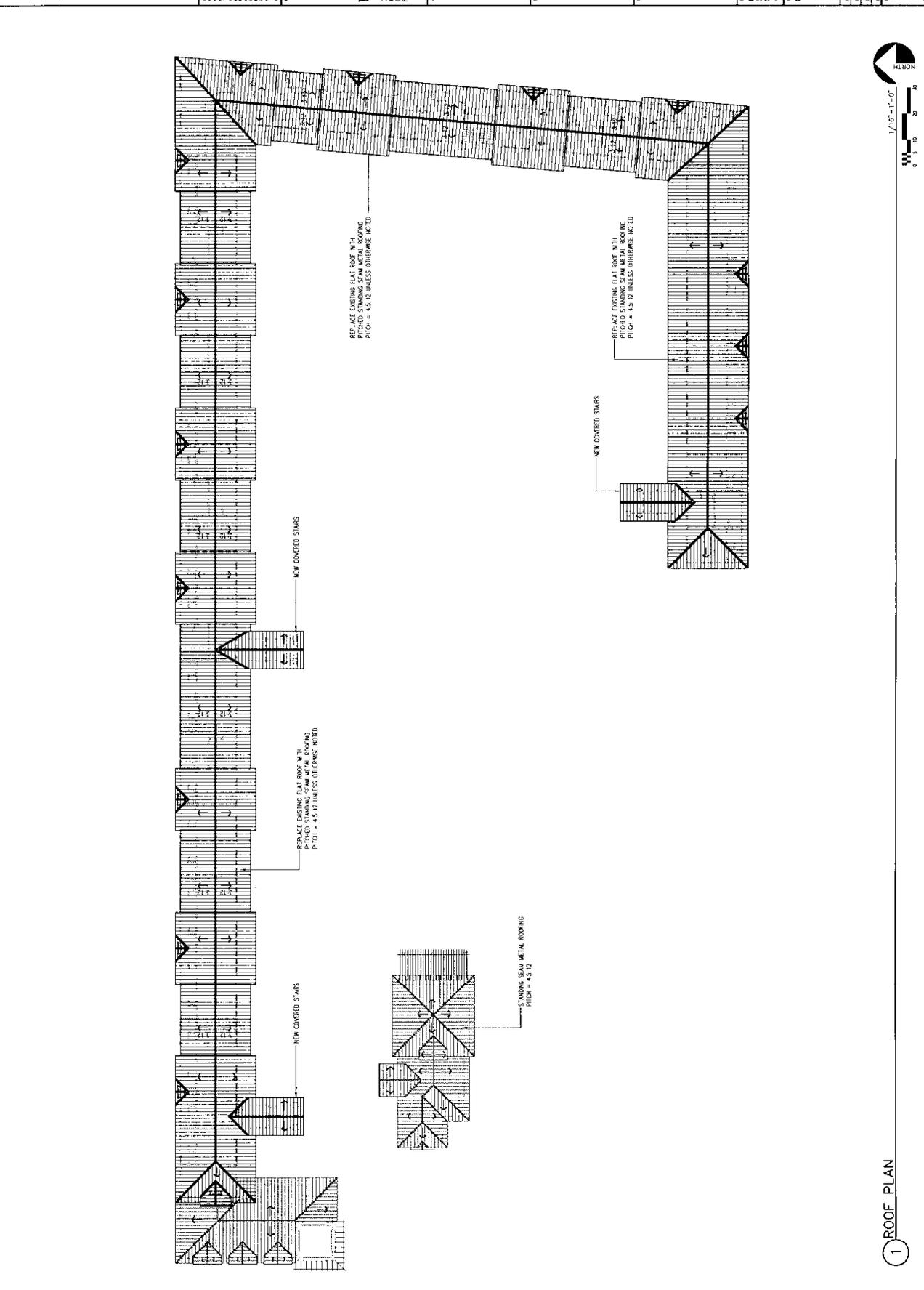
**Mercy Housing**  
 2100 PIERCEWAY, 3RD FLOOR  
 SACRAMENTO, CALIFORNIA 95811  
 TELEPHONE 916.444.4000  
 FACSIMILE 916.414.6480



**Project:** BUDGET INN REMODEL  
**Location:** BUDGET INN BOULEVARD  
 SACRAMENTO, CA  
**APN:** 023-0211-025-0000

**Project No.:** 0703  
**Drawn by:** DA  
**Reviewed by:**  
**Date:** 5-29-08

**Sheet:** A4  
 of 17



1 ROOF PLAN

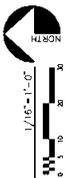
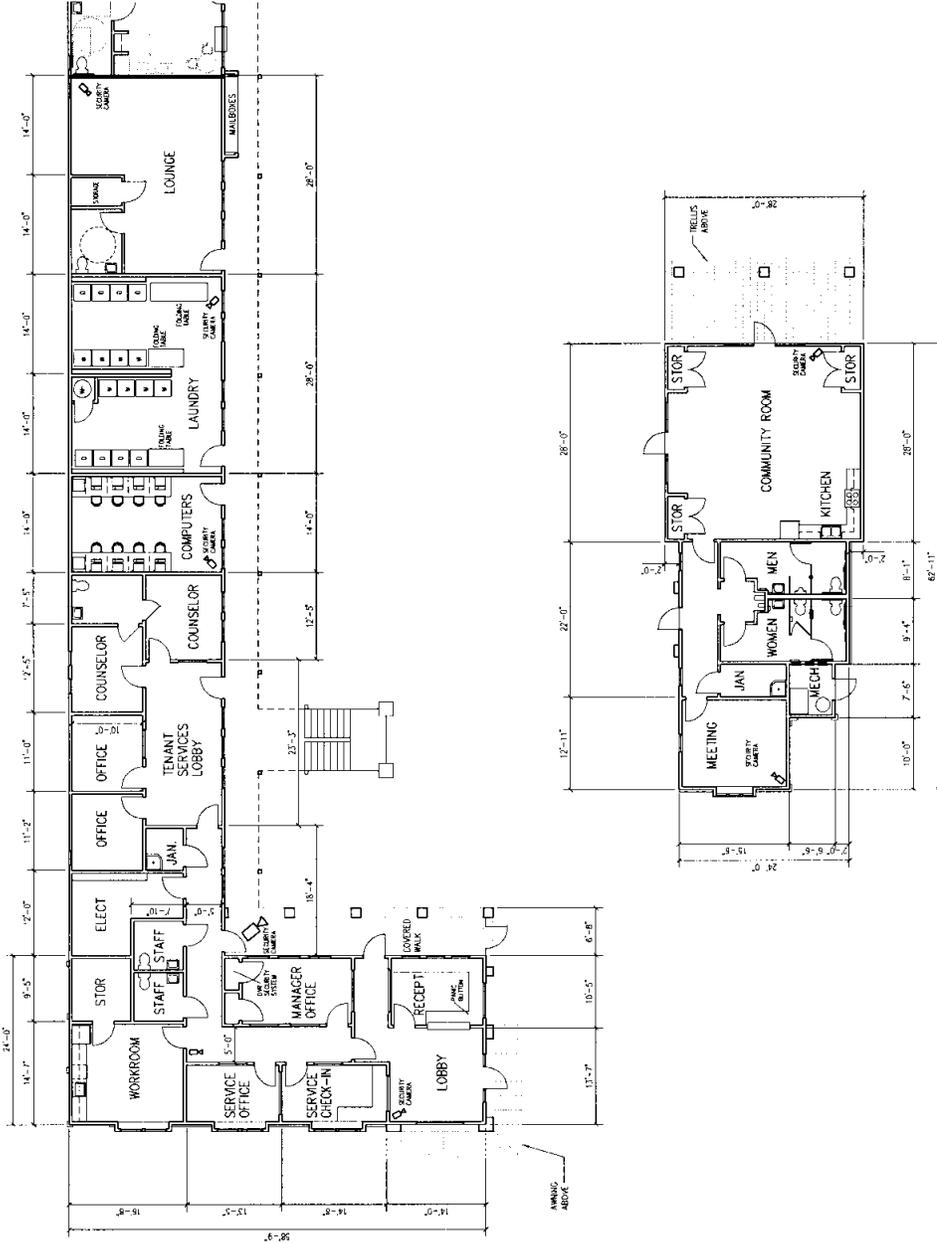


Exhibit G



1 ENLARGED FLOOR PLAN

**ANDERS & FALLTRICK ARCHITECTS**  
 1100 2ND STREET, SUITE 106  
 BURLINGAME, CALIFORNIA 94010  
 TEL: 415.484.2358  
 FACSIMILE: 916.914.2427

THIS PLAN IS THE PROPERTY OF ANDERS & FALLTRICK ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF ANDERS & FALLTRICK ARCHITECTS IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL EXISTING CONDITIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND ITS FITTING PARTS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE RECEIVED FOR THIS PROJECT.



**Mercy Housing**  
 2100 REDWOOD DR, SUITE 400  
 WEST SACRAMENTO, CALIFORNIA 95811  
 TEL: 916.444.4400  
 FACSIMILE: 916.414.4400

**Project:**  
 BUDGET INN REMODEL  
 5271 STOCKTON BOULEVARD  
 SACRAMENTO, CA 95820  
 APN: 003-0211-025-0000

**Drawn by:**  
 ENLARGED FLOOR PLAN  
 COMMUNITY BUILDING &  
 OFFICE/COMMON SPACES

**Project No.:** 07021  
**Drawn by:** DA  
**Reviewed by:** S-29-08  
**Date:** 5-29-08  
**Sheet No.:** A5

**Scale:** 1/8" = 1'-0"  
**Sheet:** A5 of 18



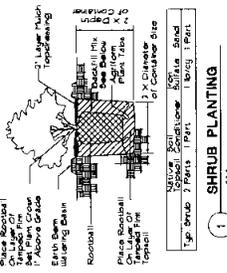




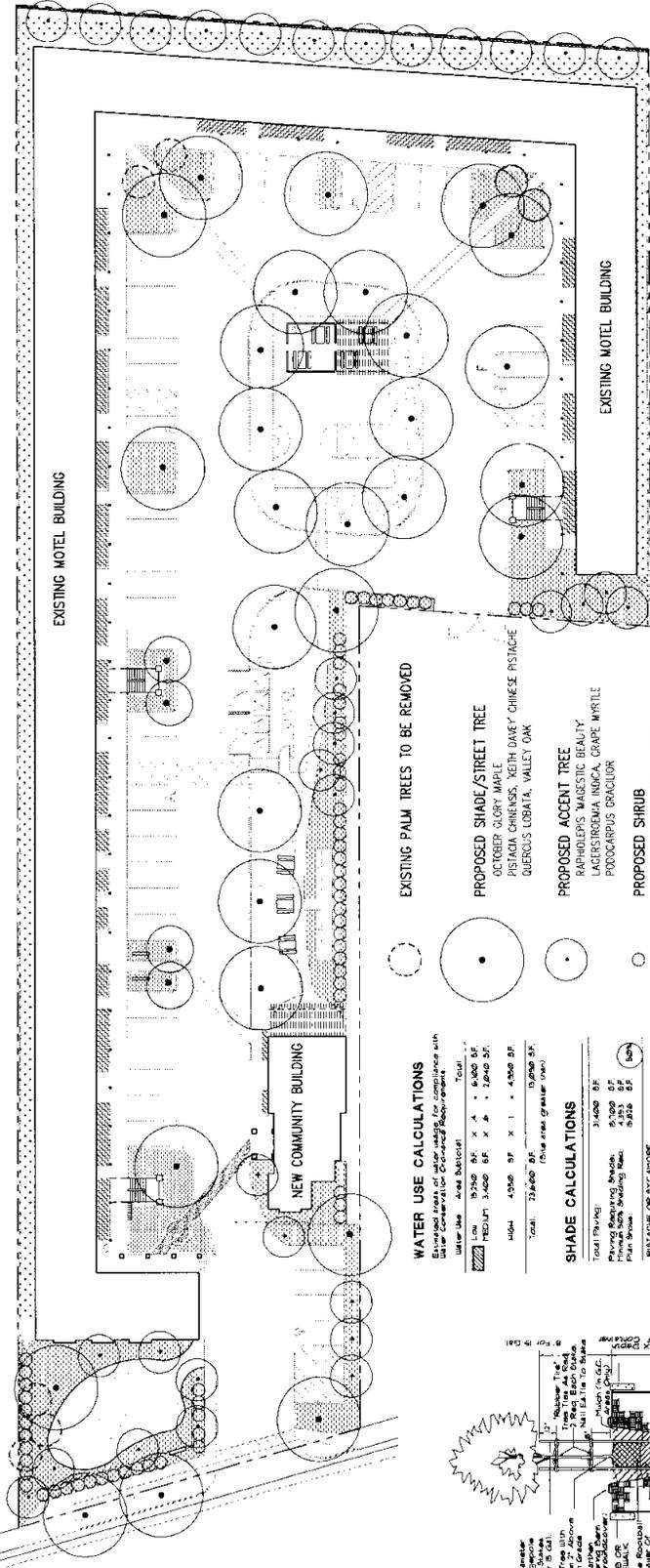
**Exhibit K**

**PLANTING NOTES**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE BUILT, OPERATIONAL, AND COVERED APPROVED PRIOR TO INSTALLATION OF PLANTING.
2. SOIL GRIDS AT JOINTS OF CONCRETE PLANTING AREAS SHALL BE 2'.
3. ALL SHEDS AND GREENHOUSE AREAS SHALL RECEIVE 2" LAYER OF 7" MESH SIZE SHEDDED BARK MULCH TOPDRESSING AS SPECIFIED.
4. THE RELEASE FORMULA FERTILIZED FERTILIZER PER MANUFACTURER'S INSTRUCTIONS.
5. Pre-planting soil preparation shall include cultivating all planted areas to a depth of 12" and incorporating all amendments for soil.
6. Application Rate:  
Nitrogen: 10 lbs/1000 sq ft  
Phosphorus: 5 lbs/1000 sq ft  
Potassium: 5 lbs/1000 sq ft



1 SHRUB PLANTING



**EXISTING PALM TREES TO BE REMOVED**

- PROPOSED SHADE STREET TREE  
COTYLEDON GLOBOSA  
HISTICAL CHAIKASKA YEMIN DASKY CHINESE PLISTAGE  
QUERCUS LOBATA, VALLEY OAK
- PROPOSED ACCENT TREE  
RAPHIDOLEPS MAGNIFICENT BEAUTY  
LAGERSTROMIA INDIKA, GRAPE MYRTLE  
PODOCARPUS DRACULOR
- PROPOSED SHRUB  
ARDISIA, YVESBURUM, PHODINA,  
URDISTRUM DR LAUREL

**SHRUBS UNDER CANOPY**

- CAMELLIA  
MAHONIA AQUATIFOLIUM COMPACTUM

**THORNY SHRUBS FOR SECURITY**

- PIRACANTHA  
LEX, HOLLY  
MAHONIA AQUATIFOLIUM COMPACTUM

**GENERAL SHRUBS AND GROUND COVERS**

- ESCALONIA  
MAHONIA AQUATIFOLIUM COMPACTUM

**SOD LAWN**

**WATER USE CALCULATIONS**

Water Use	Area	Rate	Total
LOW	13,400 SF	0.4	5,360 SF
MEDIUM	13,400 SF	0.8	10,720 SF
HIGH	4,300 SF	1.1	4,730 SF
<b>Total</b>	<b>22,100 SF</b>		<b>19,810 SF</b>

**SHADE CALCULATIONS**

Planting	Area	Rate	Total
Planting	13,400 SF	0.4	5,360 SF
Planting	13,400 SF	0.8	10,720 SF
Planting	4,300 SF	1.1	4,730 SF
<b>Total</b>	<b>22,100 SF</b>		<b>19,810 SF</b>

**SHRUBS UNDER CANOPY**

Planting	Area	Rate	Total
Planting	13,400 SF	0.4	5,360 SF
Planting	13,400 SF	0.8	10,720 SF
Planting	4,300 SF	1.1	4,730 SF
<b>Total</b>	<b>22,100 SF</b>		<b>19,810 SF</b>

**THORNY SHRUBS FOR SECURITY**

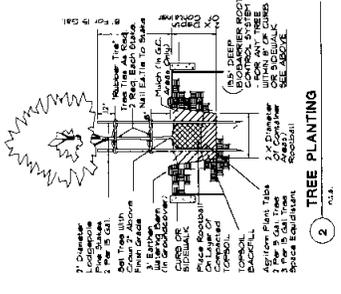
Planting	Area	Rate	Total
Planting	13,400 SF	0.4	5,360 SF
Planting	13,400 SF	0.8	10,720 SF
Planting	4,300 SF	1.1	4,730 SF
<b>Total</b>	<b>22,100 SF</b>		<b>19,810 SF</b>

**GENERAL SHRUBS AND GROUND COVERS**

Planting	Area	Rate	Total
Planting	13,400 SF	0.4	5,360 SF
Planting	13,400 SF	0.8	10,720 SF
Planting	4,300 SF	1.1	4,730 SF
<b>Total</b>	<b>22,100 SF</b>		<b>19,810 SF</b>

**SOD LAWN**

Planting	Area	Rate	Total
Planting	13,400 SF	0.4	5,360 SF
Planting	13,400 SF	0.8	10,720 SF
Planting	4,300 SF	1.1	4,730 SF
<b>Total</b>	<b>22,100 SF</b>		<b>19,810 SF</b>



2 TREE PLANTING





# Exhibit M

Ian Merker  
4524 54<sup>th</sup> Street  
Sacramento, CA 95820

March 12, 2008

Re: 5321 Stockton Boulevard

To the Sacramento Planning Commission and Councilwoman Hammond:

I am a nearby resident of the 5321 Stockton/ Budget Inn project and have seen this portion of the neighborhood corridor as a blighted area for a long time. I am excited that Mercy Housing is willing to invest in our neighborhood and welcome them with open arms. As a resident and design professional, my knowledge of architecture and the local area may be a benefit to this project. I offer the following points as consideration for Planning approval conditions:

1. The stretch of Stockton Boulevard from Fruitridge Road north to this site is busy and dangerous for pedestrians. Ped crossing is common and I often see elderly and disabled people, with carts or bags, attempting to cross at all hours of the day. With the addition of this housing, there will be a natural increase in pedestrian traffic. I suggest a signalized crosswalk at the north end of the site. This will allow the shortest distance between two points, the front gate of the housing and the front of the supermarket to be a legalized and safe street crossing. An effective push and go crossing system was installed at UCD Medical Center and I believe a similar system would work at this point. This enhanced crossing could replace the ineffective crossing located just north of the site that crosses Stockton at a diagonal.
2. The design of the building frontage is very critical to making this project a part of the neighborhood. In every way, this project should appear to be permanent-style housing, such as apartments. The current design of the monument sign advertises that this is transient housing. The sign should be enhanced to complement the architecture of the renovated buildings and simply have "Project Name" and address numbers.
3. I understand that it is not the responsibility of the Planning Commission to make design decisions, but I feel compelled to suggest that the cultured stone veneer is omitted. This is a renovation of a 1960's motor lodge. The existing columns and depth of the wainscot do not have the appearance or massing to physically support a stone element. The design guidelines stipulate that "no false or fake materials" are to be used in facades. The building will look more cohesive and the stone budget can be used for other enhancements.
4. In keeping with the community serving nature of the project, I also suggest that the landscape frontage near the bus stop be enhanced as a public seating area, with colored concrete hardscape and small trees, in place of the unusable sod lawn. This area should include durable furniture that is easy maintenance and does not allow sleeping. I imagine that the seating could be used by the public as well as project residents.

I believe that Mercy Housing will act as a solid partner for Stockton Boulevard and offer a high occupancy rate for the project, repopulating the streetscape with residents who care for their neighborhood. The Stockton/Broadway Urban Design Plan lists "Social Services" under the category of Discouraged Uses. I am always concerned about my property value as a homeowner and neighborhood safety. There is no research to suggest that this type of development would lower that value or level of safety. To the contrary, enhanced architecture and landscape only increases the value and encourages redevelopment.

Sincerely,

Ian Merker, Assoc. AIA, LEED AP