



REPORT TO COUNCIL

City of Sacramento

915 I Street, Sacramento, CA 95814-2604
www.CityofSacramento.org

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CONSENT
August 10, 2010

Honorable Mayor and
Members of the City Council

Title: Township 9 Parks Master Plan

Location/Council District: 819 North 7th Street / Council District 1

Recommendation: Adopt a **Resolution** approving the Master Plan for Parks within the Township 9 Development Project.

Contact: Mary de Beauvieres, Principal Planner, 808-8722; Gary Hyden, Supervising Landscape Architect, 808-1949; J.P. Tindell, Park Planning and Development Manager, 808-1955

Presenters: Not applicable

Department: Parks and Recreation

Division: Park Planning & Development Services

Organization No: 19001121

Description/Analysis

Issue: Township 9 is a 65-acre planned mixed use community located in the City's River District and adjoining the southern boundary of the American River. Parks within the project include a passive community park along the American River, a small neighborhood park centrally located within the development, widened street medians and a mew, a transit plaza and mid-block paseos. The parks will serve the residents and employees of the development and will help to move pedestrians and bicyclists through the project site as they make their way towards the American River. A master plan for all of the parks, with the exception of the mid-block paseos, has been prepared and is included as Exhibit A to the Resolution. The master plans for the mid-block paseos will be designed in coordination with the future building improvements affecting the individual blocks and will come to City Council for approval at that time.

Long term designs of public facilities are to be reviewed and approved by City Council. A summary of the Township 9 project history is included as Attachment 1 (page 5). A location map is included as Attachment 2 (page 7).

Policy Considerations: Providing parks and recreation facilities is consistent with the City's strategic plan to enhance livability in Sacramento's neighborhoods by expanding park, recreation, and trail facilities throughout the City.

Public workshops to solicit input on the parks master plan included a public workshop in February, 2010, and meetings with stakeholders groups affiliated with the American River Parkway, the River District Board of Directors, and Sacramento County Regional Parks staff and Recreation and Parks Commission in compliance with Policies 2.0 and 13.37 of the *City of Sacramento Parks and Recreation Master Plan 2005-2010*.

Committee/Commission Action: On July 1, 2010, the City of Sacramento Parks and Recreation Commission (PRC) reviewed and supported the Parks Master Plan for Township 9, recognizing that the parks included expensive elements not typically found in City parks, and that maintenance of the parks would be more costly. The PRC recommended that park maintenance be conducted by City staff rather than by a private entity, following discussion about the Project's Development Agreement which requires the Developer to form an assessment district to fully fund the maintenance of the parks. The Township 9 Development Agreement allows the City to enter into an agreement with an outside entity to perform the maintenance.

Environmental Considerations:

California Environmental Quality Act (CEQA): On August 28, 2007, the City Council certified an Environmental Impact Report (EIR) for the Township 9 Development Project and adopted a Mitigation Monitoring Plan (Resolution 2007-641). The current request is to approve the Parks Master Plan for the Township 9 project, excepting the mid-block paseos. All of the parks within the Township 9 project were evaluated in the EIR for the Township 9 Project. Therefore, the proposed Parks Master Plan will not result in impacts over and above what was previously evaluated.

Sections 15162 and 15163 of the CEQA Guidelines (Title 14 Cal. Code Reg. § 15000 et seq.) provide that an additional EIR or Supplement to an EIR need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. As none of the conditions listed above relating to Sections 15162 or 15163 exist; additional environmental review is not required.

Sustainability Considerations: The Township 9 Parks Master Plan has been reviewed for consistency with the goals, policies, and targets of the City's Sustainability Master Plan (SMP), the Parks and Recreation Sustainability Plan (PRSP), and the 2030 General Plan. If approved, the project will advance these plans by reducing greenhouse gas emissions and air pollution through the addition of landscape plantings, and by improving the health of residents through access to a diverse mix of wellness activities. Individual products and manufacturers have not been chosen at this level of development but the design will incorporate play equipment and site furniture manufactured from recycled materials, low water use planting, and native plants consistent with sustainable design and development standards now applied to all City park design.

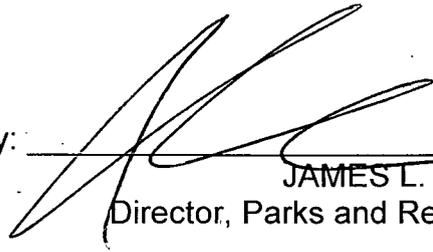
Rationale for Recommendation: The design of master plans is part of the Park Development Process as referenced in the approved *Parks and Recreation Master Plan 2005-2010*.

Financial Considerations: There are no financial considerations associated with approval of a park master plan. However, the City received \$30 million in Proposition 1C grant funding that was assigned to the Township 9 development project. This funding has enabled the developer to begin construction on this high profile project. The Proposition 1C funding will focus on the design and construction of infrastructure needed to develop the site (streets, sewer, water, storm drain and dry utilities), three parks (Transit Plaza, North 7th Street Median, and Riverfront Park), and light rail improvements in consideration for development of 397 market rate housing units and a 180 residential unit affordable housing apartment. Staff will return to City Council for action on a Credit / Reimbursement Agreement for "turn-key" park development with the Township 9 Developer at a later date.

Development of parks creates an ongoing cost for park maintenance and utilities based on the size of the park. The Project's Development Agreement requires that a Community Facilities District or other assessment district be formed and funded before the City will accept each park. The ongoing maintenance of each park will be fully funded by the District to offset any new impact to the Department's Operating Budget.

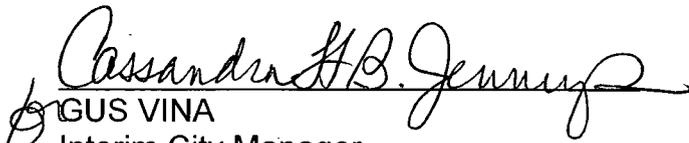
Emerging Small Business Development (ESBD): No goods or services are being purchased as a result of this report.

Respectfully Submitted by:



JAMES L. COMBS
Director, Parks and Recreation

Recommendation Approved:



GUS VINA
Interim City Manager

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Attachment 1**Background Information**

The Township 9 development project entails the redevelopment of an industrial site into a mixed use community. This type of infill development is indicative of the growth contemplated and encouraged in the City's 2030 General Plan. The parks within the development tend to be smaller than would typically be found in a suburban residential development and will be developed with a more urban feel, reflective of the higher density development in which they are to be found.

The Township 9 project underwent an extensive public outreach program during the entitlement process. The park concepts reviewed at that time are the same, with only minor changes. The main substantive changes affect the Central Park: originally designed as an urban plaza, it will now take the form of a more traditional neighborhood park to give the residents' children a place to play.

Proposed Parks: The City public parks are generally identified and discussed below. A more detailed description and graphic representation of the Parks Master Plan may be found in Exhibit A.

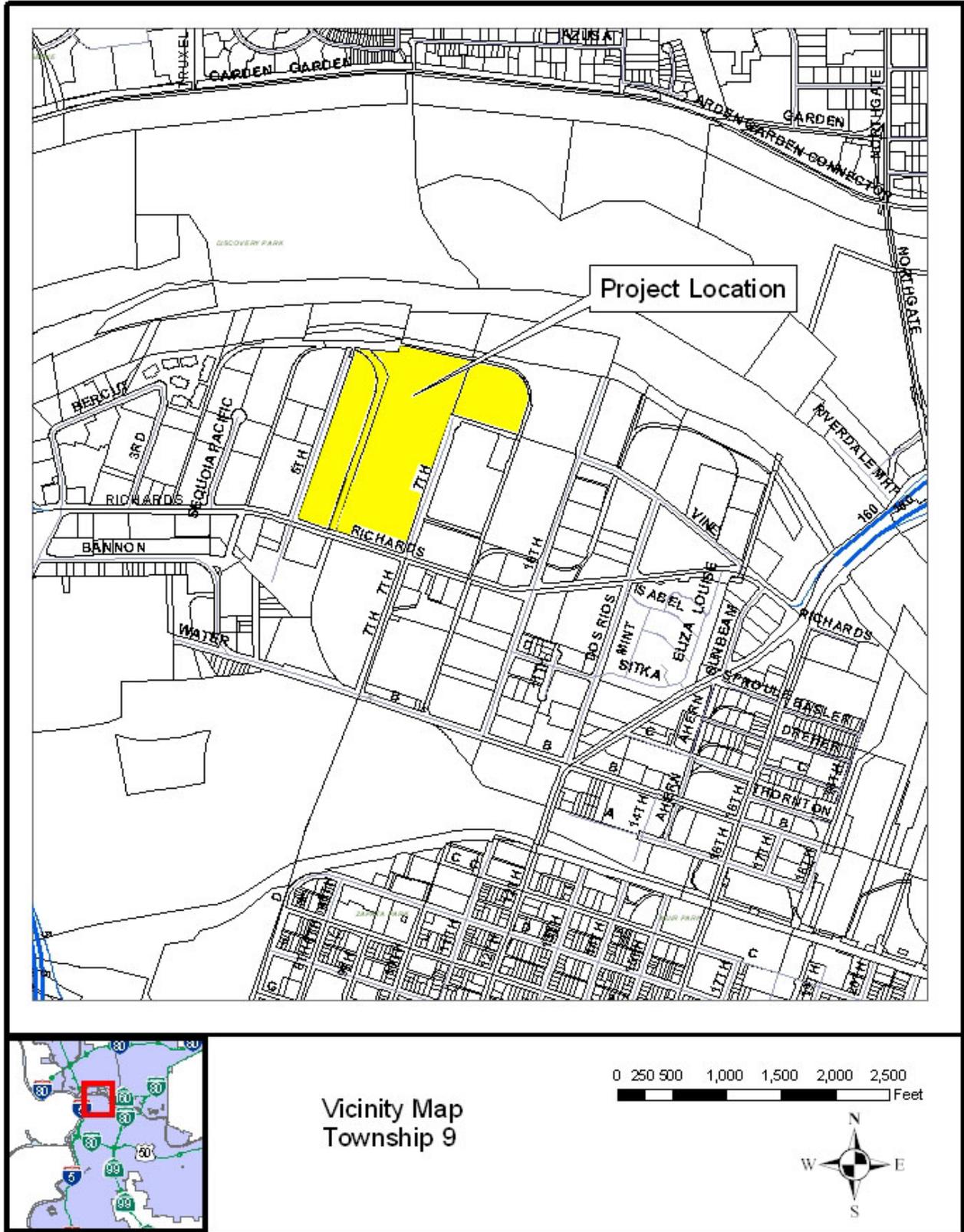
- Access to the American River Parkway (7.83+ acres) – The Parkway is governed by the *American River Parkway Plan* which allows this portion of the Parkway to be minimally developed with trails, picnic benches, and other low-impact amenities that allow the park users to enjoy the natural scenery. Access to the existing multi-use Two Rivers Trail will be enhanced with the addition of multiple trail connections between Riverfront Drive and the trail. The existing Two Rivers Trail is identified on Figure 1-Vicinity Map, Page 2, Exhibit A.
- Riverfront Park (4.3+ acres) – This linear park is located between the American River Parkway and Riverfront Drive. It will have enhanced views of the American River as the developer will be raising the grade of the northern area of the project site to gently slope upward to the existing levee top. The park serves as a transition from commercial and housing development to the Parkway.
- Riverfront Plaza (included in Riverfront Park) – This plaza space is located at the terminus of North 7th Street (within Riverfront Park) and provides a place for public events along the waterfront. Key features include an interactive fountain and shade structure for use as a small scale performance and gathering space.
- North 7th Street Median and Park Boulevard Median (0.93+ acre) – These areas serve as primary connections between the community and the American River Parkway.
- Mew (0.48+ acre) – This is a linear plaza for pedestrian and bicycle use only with trees, vegetation, and seating areas. The Mew links the Park Boulevard median and neighborhoods within the project together to the Parkway.
- Central Park (0.81+ acre) – Located in the center of the project, this park has been redesigned as a more traditional neighborhood park to provide a recreational outlet for the residents' small children.

- Transit Plaza (0.38± acre) – This space links the new Transit Station on Richards Boulevard to the interior of the community. It is designed as a pedestrian space containing trees, vegetation, benches and walkways. An historic scale house from the property's cannery days will be centrally located within the plaza to be adapted to use as a café. The scale house will remain in private ownership.
- Paseos (six totaling 1.30± acre) – These six public spaces are intended to be mid-block pedestrian connections that will lead and move people throughout the community and towards the American River. Each one will be unique and will reflect the surrounding buildings. A separate master plan will be completed for each paseo in conjunction with the development of the block containing the paseo.

Turnkey Park Development: During the entitlement process, the developer expressed a strong desire to create a unique urban park system containing high end finishes, landscaping, and amenities that were above the City's park development standards. To accommodate this urban design approach, certain developer obligations will be required. Turnkey park development, where the developer coordinates the design and development of public parks in a subdivision, is always an option for developers. It enables them to provide parks at an accelerated schedule to help market the development project. In the case of Township 9, all park construction is required to be turnkey under a credit / reimbursement agreement. This gives the developer more control over the end product and timing and does not compete with other City priorities for funding and development schedules. This also allows the park development to comply with another condition of the Development Agreement, which requires the park development to be completed in conjunction with development of housing within the project. A separate credit / reimbursement agreement will come before City Council at a later date.

Maintenance: In exchange for the high end finishes, the developer is obligated to create an assessment district to fully fund the ongoing maintenance and replacement costs associated with the parks, recognizing that the high end finishes and amenities will be more costly to maintain, replace or renovate in the future. The Project proponent has expressed an interest in contracting with the City for responsibility for the parks' maintenance; the Development Agreement acknowledges this effort and would allow the City to contract for park maintenance with the Developer. Creation of the assessment district to fund the parks' maintenance will be required before the final map for the project may be recorded. The assessment district must be also be funded before the City will accept the parks.

Timing: The Transit Plaza, North 7th Street Median, Riverfront Plaza and Riverfront Park are anticipated to be completed by mid-2011.



RESOLUTION NO. 2010-

Adopted by the Sacramento City Council

August 10, 2010

APPROVING THE TOWNSHIP 9 PARKS MASTER PLAN

BACKGROUND

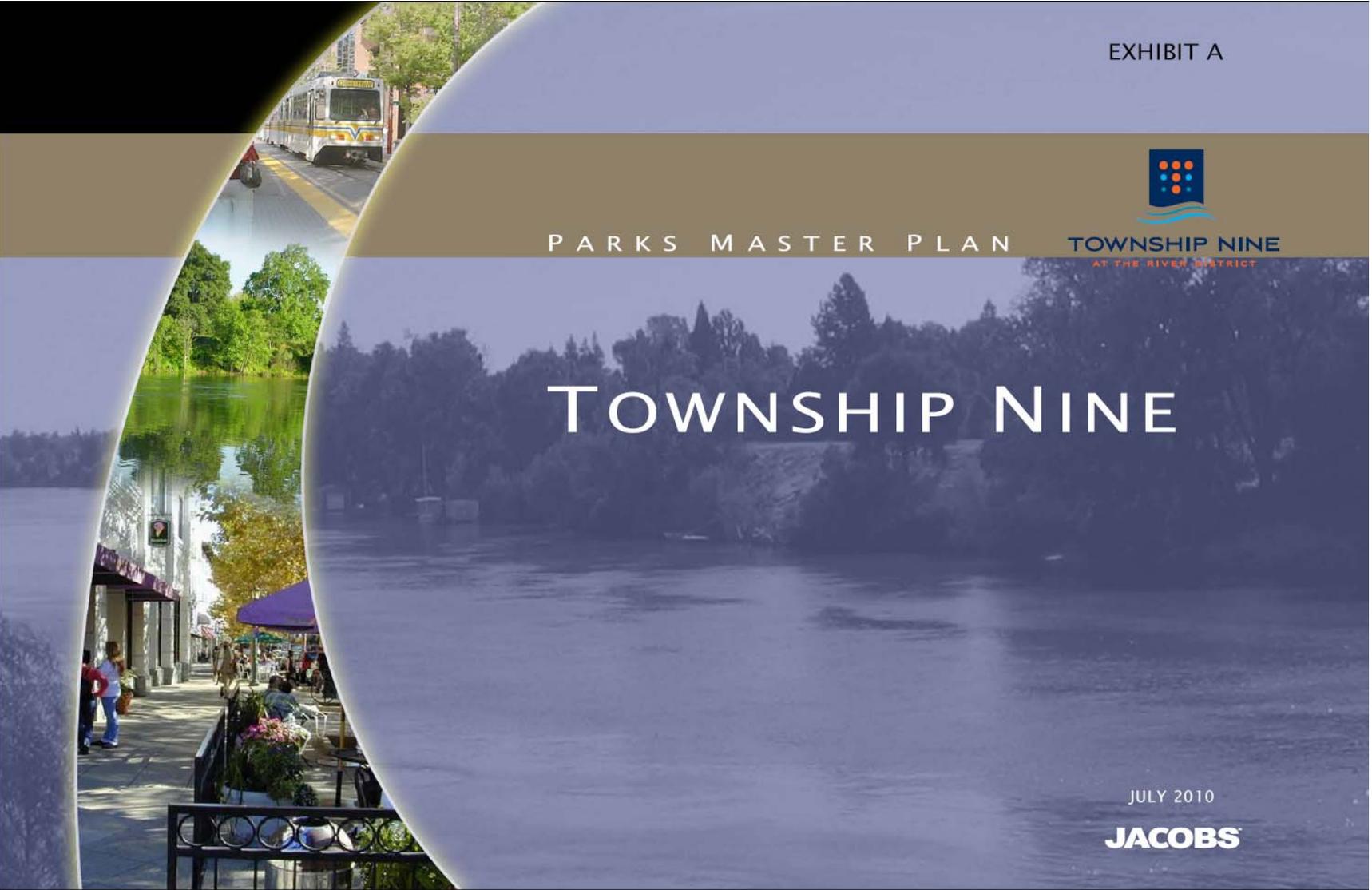
- A. Township 9 is a 65-acre mixed used development located in the River District in the Central City Planning Area. The project includes the following parks: a riverfront park along the south shore of the American River, a small neighborhood park centrally located within the development, widened street medians along North 7th Street and Park Boulevard, a mew extending from the Park Boulevard median towards the American River, a Transit Plaza, and six mid-block paseos. All parks in the development have been master planned, with the exception of the six mid-block paseos.
- B. The Township 9 Parks Master Plan was reviewed and supported by the Parks and Recreation Commission on July 1, 2010. In addition, the Commission recommended that at such time as the parks are complete, maintenance should be conducted by City staff rather than an outside entity. The Project's Development Agreement has provisions to allow the City to enter into an Agreement with an outside entity for park maintenance.
- C. The Environmental Services Manager has reviewed this project for compliance with the requirements of the California Environmental Quality Act (CEQA) and determined that the Township 9 EIR (certified in Resolution 2007-641) analyzed the park development and additional environmental review is not required pursuant to sections 15162 and 15163 of the CEQA Guidelines (Title 14 Cal. Code Reg. § 15000 et seq.).
- D. Long-term designs of public facilities are reviewed and approved by City Council.

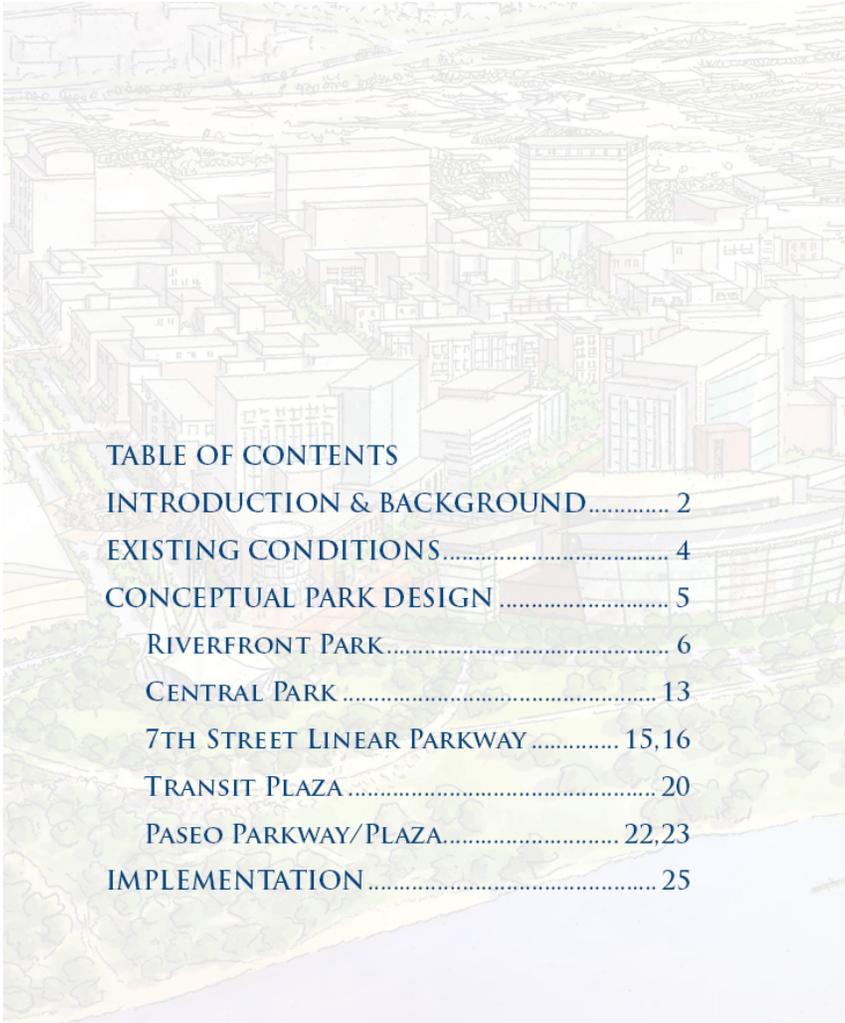
BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

Section 1. The Township 9 Parks Master Plan, attached as Exhibit A, is approved and is part of this Resolution.

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Exhibit A – Township 9 Parks Master Plan





TOWNSHIP NINE ■ PARKS MASTER PLAN

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INTRODUCTION & BACKGROUND

PROJECT OVERVIEW & LOCATION

Township Nine is a mixed-use, urban infill, transit oriented development located on the south bank of the American River in the River District of Sacramento, California. The 65 acre site is generally bounded by the American River to the north, 5th Street to the west, Richards Boulevard to the south and 7th Street to the east. Regional access to the site is provided from Interstate 5 (a half mile to the west), State Route 160 (a half mile to the east) and a future light rail line (green line) that ultimately connects downtown Sacramento with the Sacramento International Airport. Direct bicycle access to the downtown area is provided on 7th Street and the recently constructed Two Rivers Trail along the American River levee.

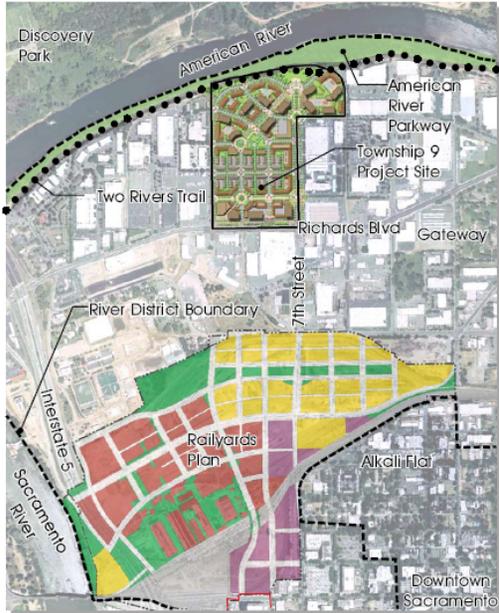


FIGURE 1 - VICINITY MAP



FIGURE 2 - SITE ILLUSTRATIVE PLAN

Note: Building footprints are conceptual only.

PROJECT ENTITLEMENTS

The Township Nine Development Project received City Council approval in October 2007. This Planned Unit Development (PUD) included a tentative parcel map, rezone, environmental impact report (EIR) and design guideline document that conceptually define the parks for the project. The following sites within the PUD are designated as parks and are the focus of this Park Master Plan.

The parks sites include the following lots:

- Riverfront Park (Lots 2 and 18) - 5.4 ac.
- Central Park (Lot 9) - 0.9 ac.

The park sites include the following recreational easements:

- 7th Street Linear Parkway (40'-wide within the median) - 1.0 ac.
- Park Boulevard (40'- wide within the median) - 0.3 ac.
- The Mew (60'-wide centered on the shared boundary of Lots 3 & 4) - 0.5 ac.
- The Paseos (40'-wide on six lots; 7, 8, 11, 12, 15 & 16) - 1.3 ac.
- Transit Plaza (70'-wide centered on the shared boundary of Lots 13 & 14) - 0.4 ac.

Total park acreage = 9.8 ac

PARK PLANNING PROCESS

The Township Nine PUD included coordination meetings with numerous City departments including the department of parks and recreation. It also involved numerous meetings with the County Recreation & Parks Department, Save the American River Association, American River Flood Control District and other stakeholders for the American River. The PUD was approved by the Sacramento City Council in October of 2007.

Subsequent to the conceptual design process the plans have been refined through numerous meetings with the City and County Parks Departments and a community workshop conducted in February 2010.

PARK OBJECTIVES

The primary purpose of the Township Nine Planned Unit Development (PUD) is to create a pedestrian friendly and transit oriented, mixed use development. The individual park and open space elements form a network of public spaces that create a livable, walkable urban neighborhood. The Township Nine Development Project is one of the first PUDs in the city of Sacramento to incorporate the recently updated City Parks Policy for small public spaces (2009), and it is a unique opportunity to create urban park solutions in a high density environment.

The secondary purpose of this PUD is to establish access to the American River from Downtown Sacramento. The American River waterfront between the confluence of the Sacramento River and the Highway 160 bridge crossing has been cut off from public access for many years. The recently constructed Two Rivers Trail (2008) has opened access for pedestrians and bicyclists traveling along the top of the existing levee, but there are only a few places where the trail can be accessed from the River District. This Park Master Plan will provide additional physical access, but more importantly, it will open up the waterfront visually making it a newfound amenity for Downtown Sacramento. Riverfront Drive and Riverfront Park will provide this access and establish this important waterfront as a public amenity.

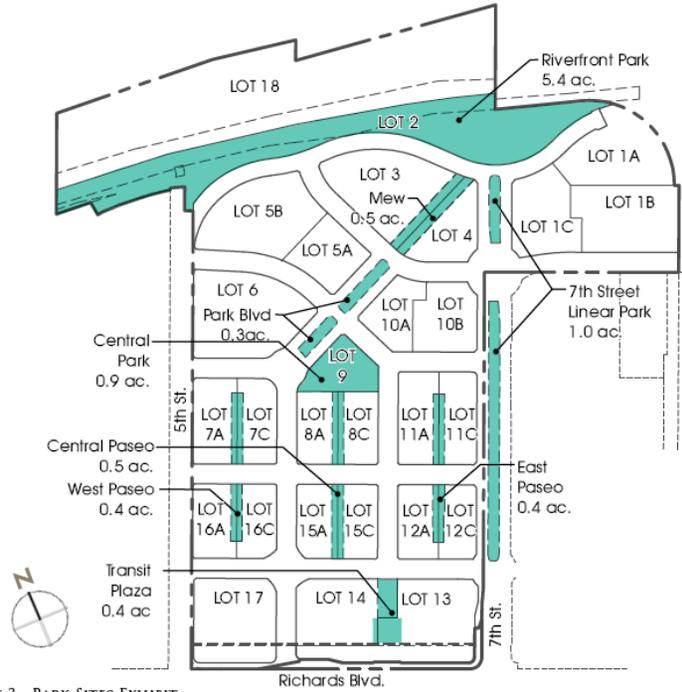


FIGURE 3 - PARK SITES EXHIBIT

EXISTING CONDITIONS

CURRENT USES & SITE CONDITIONS

The existing site is in the process of being cleared of existing improvements. Construction activities are under way and will continue as this Development Project is adopted and implemented.

WATERFRONT & LEVEE CONDITIONS

The American River levee is located along the north side of the property. The first phase of construction will raise the land side of the existing levee to create the Riverfront Park site, Riverfront Drive and portions of the 7th Street linear parkway. This grading activity has been permitted through the American River Flood Control District and Central Valley Flood Protection Board and other related agencies with river and flood control oversight. Conditions of agency permits limit the placement of new trees and structures within the Riverfront Park to an area 15' beyond the toe of the existing levee while also providing levee maintenance vehicle access. The Riverfront Park Master Plan is in compliance with the Conditions of Approval to raise the land side of the levee.

RIVER DISTRICT CONTEXT

Township Nine is the first significant development within the River District. A Specific Plan is currently being developed by the City of Sacramento and includes this project and the parks described in this document. The River District Specific Plan encourages open space and recreational uses along the American River. This Park Master Plan is endorsed by the River District Board of Directors. It is important to view this Park Master Plan in context with the entire River District when evaluating the program elements of the park sites. Township Nine has considerably more density than other neighborhoods within the district as prescribed in the Sacramento Blueprint goals for transit oriented development. Therefore the park sites in this project are more urban by design. This Park Master Plan assumes that more traditional park facilities will occur elsewhere in the River District.



FIGURE 4 - AMERICAN RIVER RIPARIAN LANDSCAPE

CONCEPTUAL PARK DESIGN

DESIGN OVERVIEW

The purpose and intent of the Township Nine Parks Master Plan is to provide a variety of open space and park amenities that offer both passive and active urban experiences and to provide public access to the American River Waterfront while protecting the natural environments of the American River Parkway.

Each of the park sites within Township Nine is unique in the way it serves the public and in its context within the master plan. The individual sites work together to form a holistic outdoor experience for the neighborhood. Each site is presented in detail below.

RIVERFRONT PARK

Riverfront Park is located between the American River Parkway (open space and riparian preserve) and Riverfront Drive. The park varies in width due to the meandering alignment of Riverfront Drive creating a variety of passive recreational opportunities. The active use recreational facilities include the Two Rivers Trail and the Plaza Participatory Fountain. The Two Rivers Trail is an existing regional facility which passes through the Township Nine site and connects into a regional multi-use trail system along the existing levee adjacent to the American River Parkway. The fountain is located in Riverfront Plaza near the terminus of 7th Street and provides a waterfall and wading pool. It is described in more detail below. Passive recreational features include picnic areas, interpretive signage for riparian habitat and open lawn areas.



FIGURE 5 - TWO RIVERS TRAIL AT RIVERFRONT PARK

Two Rivers Trail will primarily be landscaped as an Oak Woodland with native Oak species and grasses to emulate the American River Parkway. The landscape meets the River Friendly Guidelines and will include native Oak tree and grass species throughout. The ground plane planting (ground cover) will transition from native grasses to ornamental grasses (turf) along a clear edge such as a mow strip. (The approved Riverfront Park plant list is included in the PUD design guidelines). This transition of grasses provides a balance between the natural and urban landscapes and offers an opportunity for interpretive and / or educational elements within the Riverfront Park. The south edge of the park is defined by Riverfront Drive where California Sycamores are planted as street trees (where possible) to complement the Sacramento riparian landscape. The Levee Encroachment Permit has established a 15-foot setback for tree plantings within the park. This setback is measured from the south toe of the existing levee and precludes tree shade in much of the park and prohibits a continuous planting of street trees along Riverfront Drive.

Riverfront Park provides five bicycle connections from Riverfront Drive to the existing Two Rivers Trail. Each of these connections is a 12-foot wide shared pedestrian and bicycle pathway constructed of concrete. The access points occur at the crosswalks and/or speed tables located along Riverfront Drive on the south edge of the park site. The park provides three "amenity nodes" along the existing Two Rivers Trail where park users can access a drinking fountain, bench, trash receptacle and pet waste station. There are numerous six and 10 person picnic tables located along the waterfront where park users can view the American River. These tables are located within the low ground cover planting areas with decomposed granite pathways leading to them from the adjacent lawn or walkway.

A critical design element of the waterfront (and the urban interface along the south side of Riverfront Drive) is raising the Township Nine grade (elevation) up to the same elevation as the top of the existing levee. This provides a direct visual and physical connection with the river rarely found in Sacramento. The grade will vary along the waterfront based upon the Riverfront Drive centerline profile. The new earthen fill will be transitioned back to existing grade through subtle slopes (2-4%) and in some locations with retaining walls incorporated into the foundation of adjacent buildings. Conditions of agency permits limit the placement of new trees and structures within the Riverfront Park to an area 15' beyond the toe of the existing levee while also providing levee maintenance vehicle access. The edge conditions at the west and east ends of the park site will have a temporary 3:1 slope bank to transition from the elevated park to existing grade. These slope banks will be planted in native grasses. Ultimately these areas will be graded to meet the future roadway and landscaping improvements located on the adjacent properties.

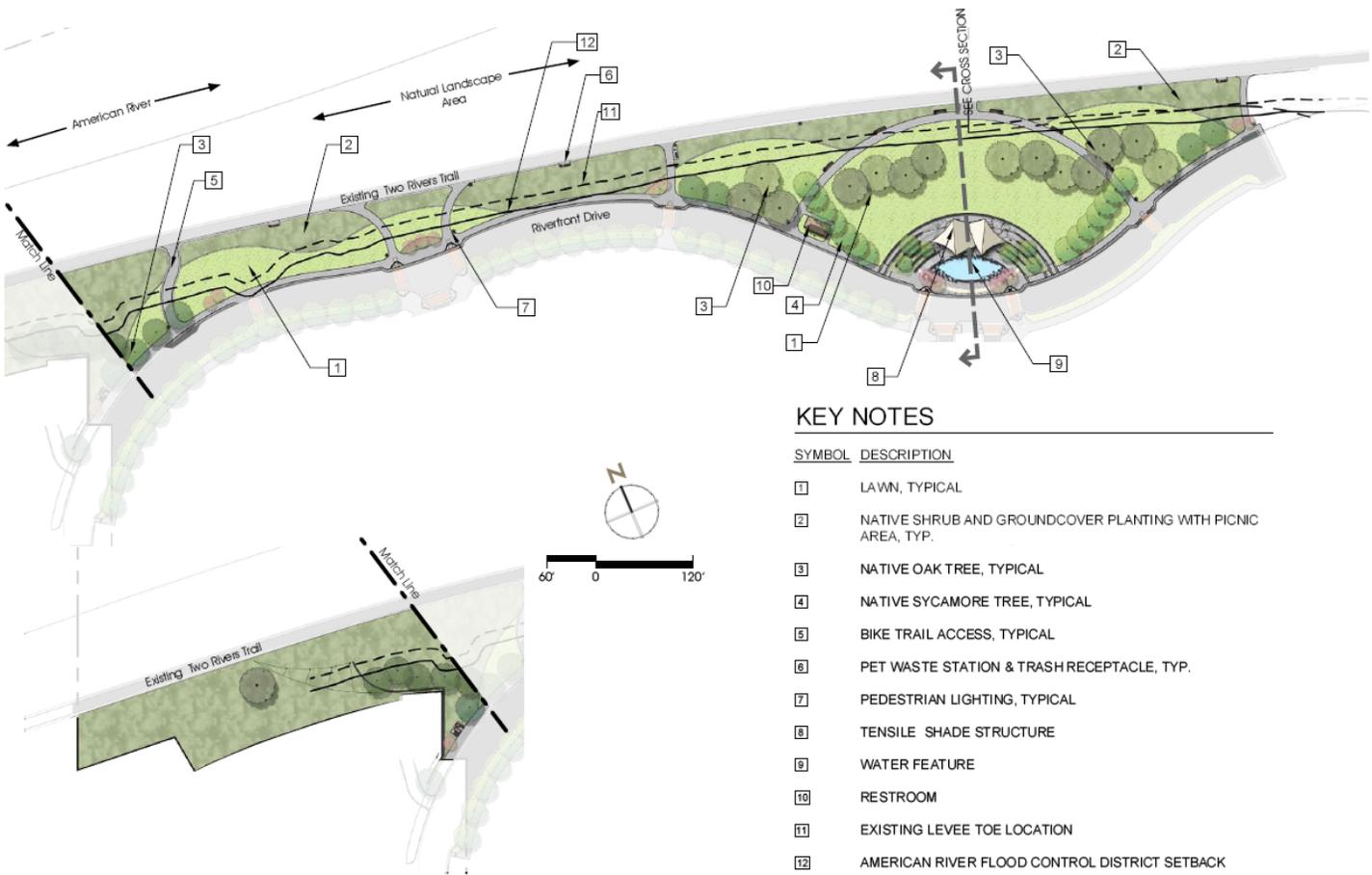


FIGURE 6 - RIVERFRONT PARK

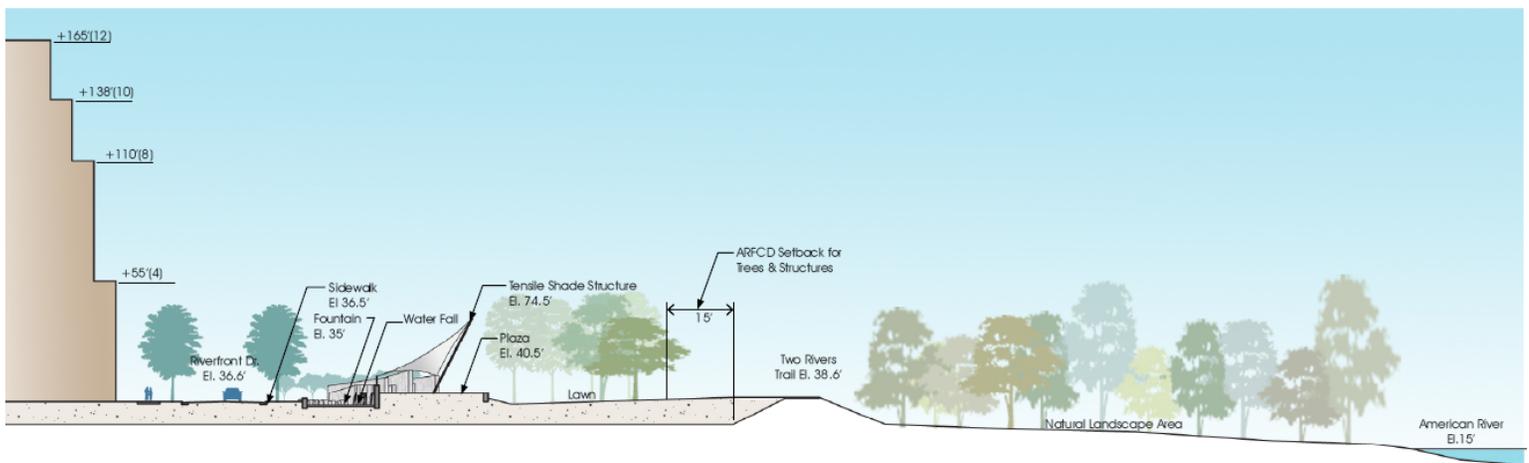


FIGURE 7 - CROSS SECTION OF RIVERFRONT PLAZA

RIVERFRONT PLAZA

Riverfront Plaza is located at the terminus of North 7th Street at Riverfront Drive. The plaza is located within the Riverfront Park and is the jewel of the Township Nine waterfront. The plaza is flanked to the north by a large turf area with informally planted shade trees that create an active gathering place for outdoor festivals, fairs and also for passive recreation. Riverfront Plaza provides Sacramento with an informal gathering place along the American River where public events such as live performances and special ceremonies can celebrate the beauty of the waterfront and the excitement of the mixed use community in Township Nine.

The plaza features a participatory fountain with large rock formations (granite or manufactured stone) spilling water from an elevated water wall. This fountain flows into the 7th Street linear parkway and meanders south to the fountain within the roundabout located at Vine Street. With interpretive signage this "mountain, river and city" metaphor will help the public understand the significance of the American River to our region and the location of Sacramento at the confluence of two major rivers in California. North of the water wall is the main gathering space where an interpretive inlayed watershed map highlights the American River as a hydrological link between the Sierra Nevada Mountains and the Sacramento metropolitan area. The plaza also includes a tensile fabric structure shading the interpretive watershed map that provides a visual terminus to 7th Street and a respite from hot summer days here in Sacramento. This structure will be approximately 35-45' at the highest point, with multiple peaks, and sloping down to create a silhouette profile that emulates the Sierra Nevada Mountains and contributes to the metaphorical storyline. This height is below the allowed 4 story maximum building height established in the Township Nine PUD. The up-lighting of the structure will be carefully designed to prevent light from "spilling" out towards the north and into the adjacent American River Parkway. The translucent quality of the tensile fabric will create a dramatic effect at night where the structure will appear to glow from a distance without producing glare or excessive ambient light pollution.



FIGURE 8 - RIVERFRONT PLAZA FOUNTAIN EXAMPLES

The plaza has drinking fountains, trash receptacles and benches for park users. As required by health code, a public restroom and shower facility will also be provided just west of the fountain. The lighting here will be a combination of up-lights within the tensile structure and fountain water wall with accents on the granite landscaping walls. Other post lights and bollard lights will be provided as needed to achieve a 0.5 foot-candle average intensity on all paved areas within the plaza.

Riverfront plaza is designed to minimize light and noise pollution into the adjacent American River Parkway. Programming will have limited night time hours to avoid conflicts with adjacent human and wildlife populations.

Lighting will also be provided with the City of Sacramento standard “acorn style” post lights in locations and quantities necessary to achieve a 0.5 foot-candle average intensity on all pathways within the park. This excludes the existing Two Rivers Trail where a 0.25 standard will be used. Additional lighting may be provided through the use of accent lighting on special features, bollard lights and decorative lighting of art work. Post mounted lights will have a “dark sky” shield to minimize ambient glare above the height of the lamp.

American River Parkway Interface:

Planting; the natural landscape area located within the American River Parkway (north of the levee) will be preserved and enhanced as an open space and riparian preserve. This area is subject to flooding and is monitored by numerous agencies to ensure that the vegetation supports the flood protection, water quality and habitat objectives for the corridor. Township Nine respects this landscape by restricting access to it, planting noninvasive species adjacent to it, controlling irrigation, fertilizer and surface run-off into it and collaborating with the operating agencies to clear invasive species, protect suitable species and re-vegetate where appropriate to ensure that this landscape area remains healthy.

Structures; the tensile shade structure must adhere to the waterfront setback criteria established in the Township Nine PUD. This is a setback from the existing waterline of the river to the nearest building (or structure) that limits the height to 4 stories (55’). The structure is well below that limit (approximately 35-45’) and is designed with flowing lines and curves that will minimize its visual impact to the waterfront.



FIGURE 9 - MAP INLAY EXAMPLES



FIGURE 10 - TENSILE SHADE STRUCTURE EXAMPLE

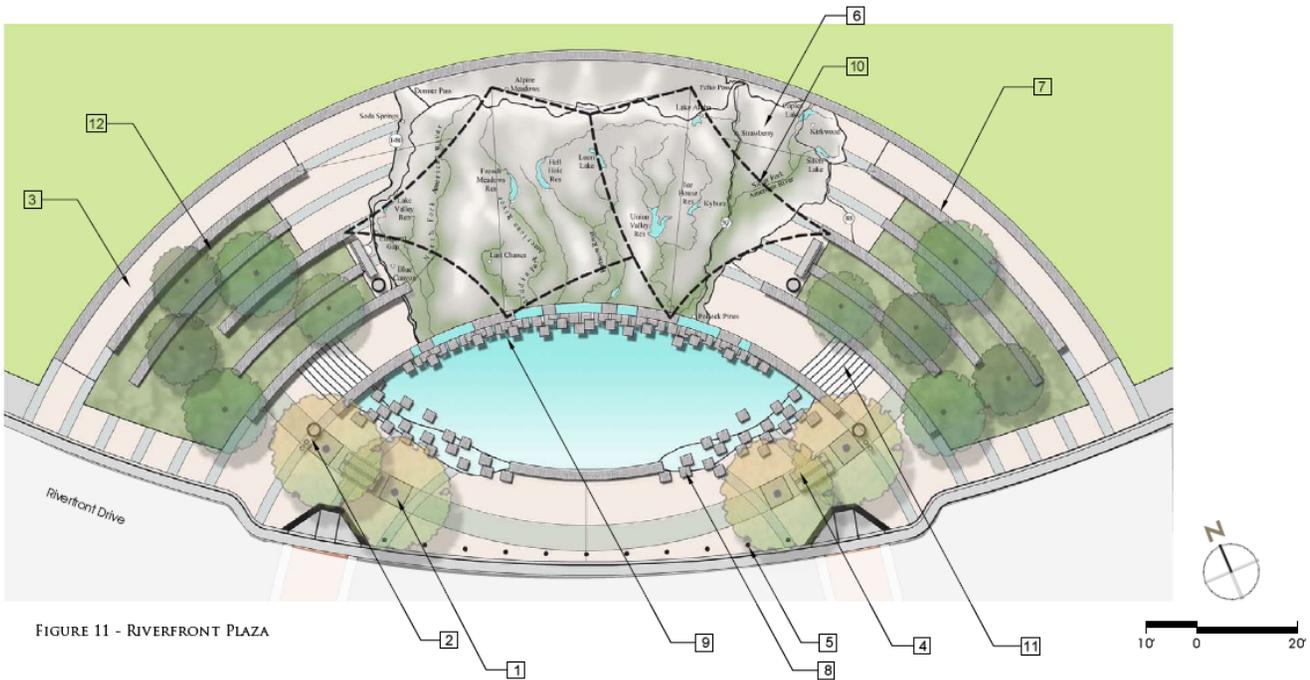


FIGURE 11 - RIVERFRONT PLAZA

KEY NOTES

SYMBOL DESCRIPTION

- | | | | |
|---|---|----|------------------------------------|
| 1 | TREE GRATE, TYPICAL | 7 | GRANITE WALL, TYPICAL |
| 2 | DRINKING FOUNTAIN AND TRASH RECEPTACLE, TYPICAL | 8 | 2'X2' GRANITE BLOCK |
| 3 | RAMP, TYPICAL | 9 | WATERFALL / GRANITE BLOCK |
| 4 | BENCH, TYPICAL | 10 | TENSILE SHADE STRUCTURE 2,340± SF. |
| 5 | BOLLARD, TYPICAL | 11 | STAIRS |
| 6 | INTERPRETIVE MAP OF AMERICAN RIVER WATERSHED | 12 | PLANTER, TYPICAL |

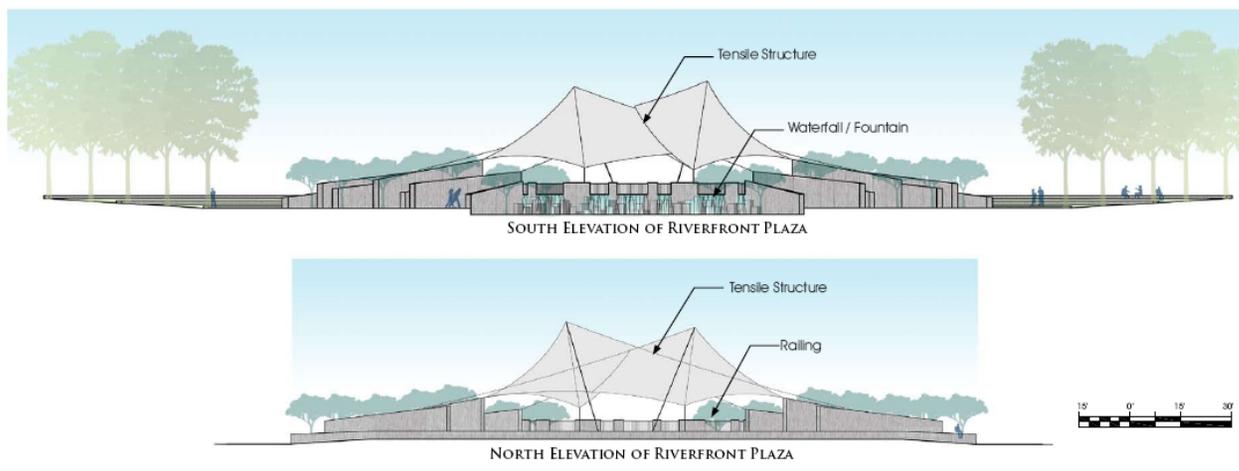


FIGURE 12 - CROSS SECTION OF RIVERFRONT PLAZA

CENTRAL PARK

This park is an urban style neighborhood park located in the center of the project. It provides space for active recreation in the neighborhood and includes a sports court (basketball and volleyball), a children's adventure playground, a bocce ball court, tables for chess and picnics, shade structures, an open lawn area and benches throughout. An elevated shade structure with bench seating is located in the middle of the park (on terminus with the paseo) where users can gain a 360 degree view of the park offering parents an opportunity to observe multiple use areas at once. The structure will be designed with brick and steel elements that emulate the historic cannery buildings that once occupied the site (similar to the transit station).

Central Park is designed to blend with the adjacent Park Boulevard parkway and vehicular roundabout with paving patterns and tree plantings that unify these three spaces as one holistic public space. The geometric spacing of trees and paving patterns recalls the agricultural heritage of the site as a major fruit processing facility and cannery. Interpretive signage will tell this story in multiple locations within the park and the adjacent Park Boulevard median.

Three utility fixtures (SMUD) are located within this site which is screened with plantings to minimize its visual impact. The lighting here will be a combination of up lighting accents on the trees, post lights and bollard lights as needed to achieve a 0.8 foot-candle average intensity on the walkways within the park site.

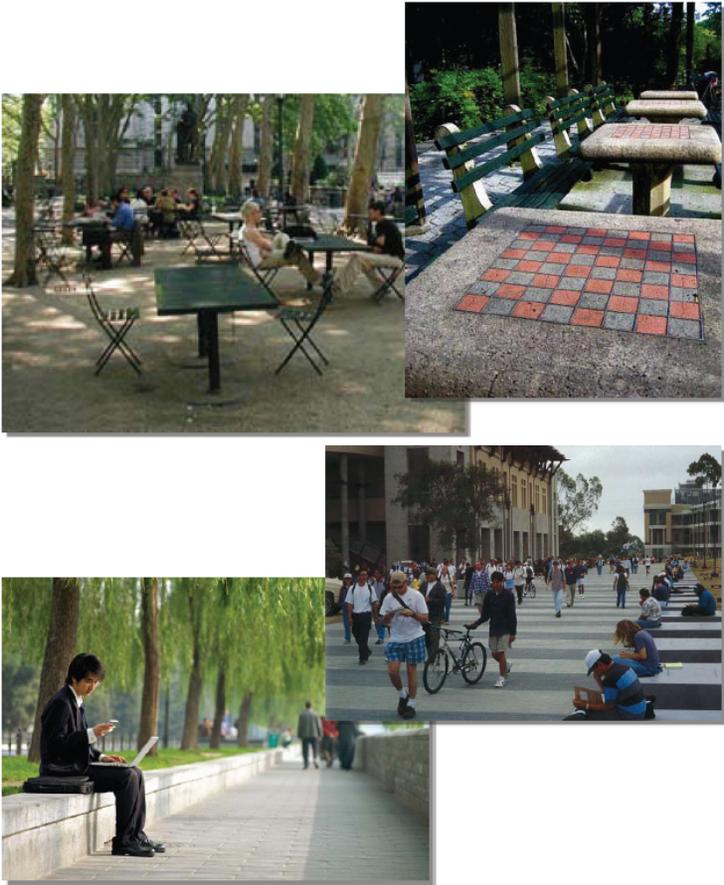


FIGURE 13 - CENTRAL PARK EXAMPLES

KEY NOTES

SYMBOL DESCRIPTION

- 1 OPEN LAWN
- 2 SHRUB AND GROUND COVER PLANTING, TYPICAL
- 3 PALM TREE, TYPICAL
- 4 STREET TREE, TYPICAL
- 5 DRINKING FOUNTAIN, PET WASTE STATION & TRASH RECEPTACLE
- 6 BENCH, TYPICAL
- 7 BOCCIE BALL COURT
- 8 ADVENTURE PLAYGROUND WITH PERIMETER FENCING (5,000 SF)
- 9 PAVILION WITH PORTABLE BENCHES
- 10 MULTI-USE SPORTS COURT
- 11 UTILITY BOX (SMUD)
- 12 PICNIC / CHESS TABLE (4 PERSON), TYPICAL
- 13 SHADE STRUCTURE
- 14 CONCRETE PLAZA WITH COLORED ACCENTS

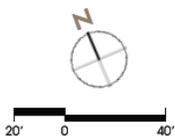


FIGURE 14 - CENTRAL PARK

7TH STREET LINEAR PARKWAY

The 7th Street median is envisioned as a passive use linear park within an urban corridor. Much like the grand boulevards of Europe, the dense tree plantings and ground floor retail on the adjacent properties create an activated park setting for pedestrians, bicyclists and motorists. The outside edges of the street contain tree planting areas, detached sidewalks and a 10-foot building setback which makes room for outdoor dining, plazas and gathering places. The 40-foot parkway (median) features an interpretive walkway that provides an opportunity to describe Sacramento's history in a chronological timeline from the founding of the city to the current year. The interpretive walkway will consist of precast historical panels embedded into the surface of the walk. Two seating nodes along the walk create an opportunity for historical interpretation as well. These are located within the median (at the intersections of 7th Street and D and F Streets), and offer a rest area for pedestrians.

At the north end of the park there is a meandering water course that flows from the adjacent Riverfront Park Plaza. This feature completes the Sierra Nevada Mountain / American River Watershed metaphor (noted in the Riverfront Plaza summary) by connecting the "mountainous waterfall" fountain wall to the "urban" reflection pool fountain located in the roundabout at Vine Street. The water course is shallow but activated with weirs and rock lining. Jets will be used to intensify the action of the water and enhance the eddy and stream like design. A decomposed granite walkway parallels the watercourse and crosses over a bridge in one location.

In the area south of Vine Street there are numerous seating walls that mimic the large rock formations (granite or manufactured stone) located at the Riverfront Park Plaza fountain. These provide places to sit and enjoy the park. The plaza has drinking fountains, trash receptacles and benches for park users. The lighting here will be a combination of up lighting accents on the seat walls, post lights and bollard lights as needed to achieve a 0.5 foot-candle average intensity on the walkways within the park site.

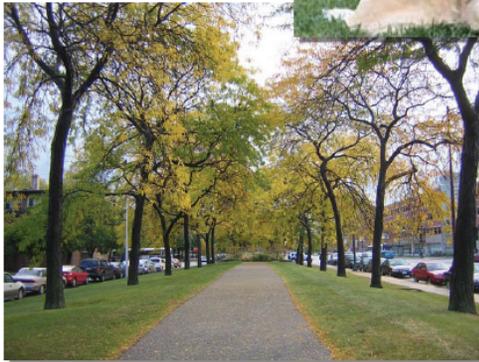


FIGURE 15 - 7TH LINEAR PARK EXAMPLES

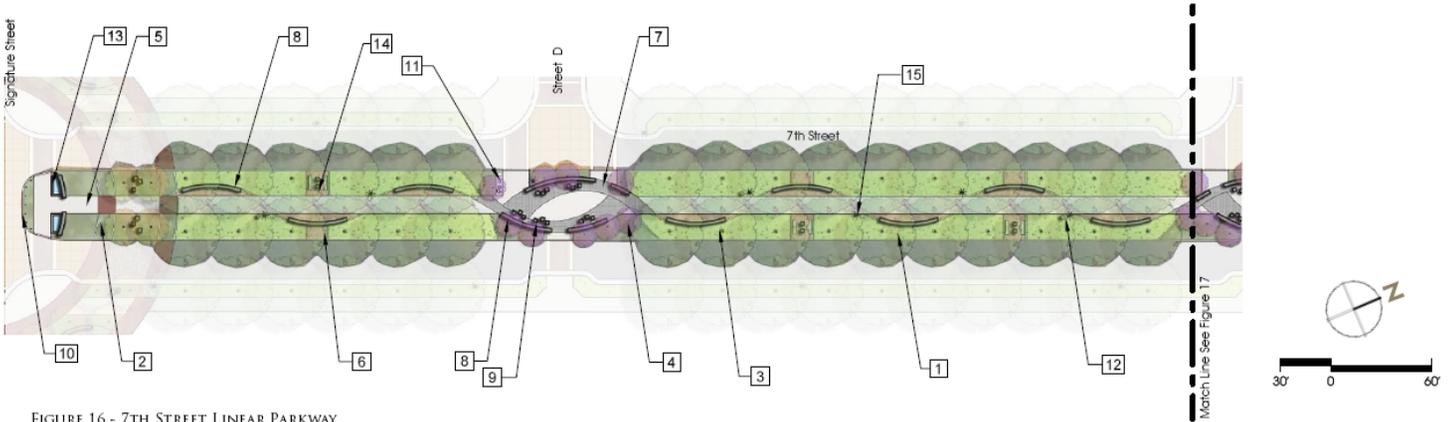


FIGURE 16 - 7TH STREET LINEAR PARKWAY

KEY NOTES

<u>SYMBOL</u>	<u>DESCRIPTION</u>		
1	LAWN, TYPICAL	11	DRINKING FOUNTAIN, PET WASTE STATION & TRASH RECEPTACLE, TYP.
2	SHRUB AND GROUND COVER PLANTING, TYPICAL	12	TRASH RECEPTACLE, TYPICAL
3	BOULEVARD TREE, TYPICAL	13	WATER FEATURE
4	ORNAMENTAL TREE, TYPICAL	14	SEATING AREA, TYPICAL
5	10' WIDE CONCRETE WALK	15	PEDESTRIAN LIGHTING, TYPICAL
6	DECOMPOSED GRANITE, TYPICAL		
7	GRANITE OR TUMBLED CONCRETE PAVERS, TYPICAL		
8	GRANITE SEAT WALL, TYPICAL		
9	2' X 2' GRANITE BLOCK, TYPICAL		
10	BOLLARD, TYPICAL		

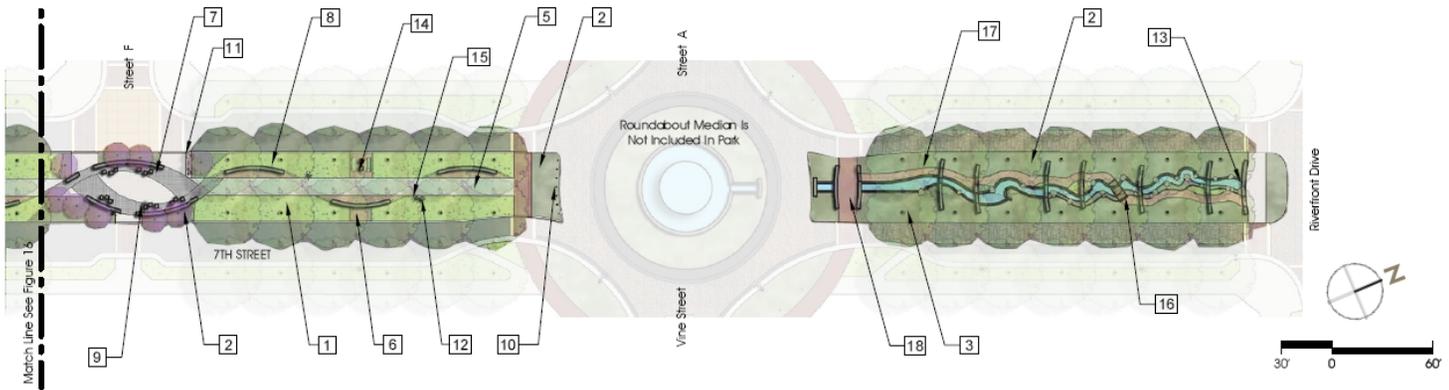


FIGURE 17 - 7TH STREET LINEAR PARKWAY

KEY NOTES

SYMBOL DESCRIPTION

- | | | | |
|----|---|----|---|
| 1 | LAWN, TYPICAL | 11 | DRINKING FOUNTAIN, PET WASTE STATION & TRASH RECEPTACLE, TYP. |
| 2 | SHRUB AND GROUND COVER PLANTING, TYPICAL | 12 | TRASH RECEPTACLE, TYPICAL |
| 3 | BOULEVARD TREE, TYPICAL | 13 | WATER FEATURE |
| 4 | ORNAMENTAL TREE, TYPICAL | 14 | SEATING AREA, TYPICAL |
| 5 | 10' WIDE CONCRETE WALK | 15 | PEDESTRIAN LIGHTING, TYPICAL |
| 6 | DECOMPOSED GRANITE, TYPICAL | 16 | FOOT BRIDGE |
| 7 | GRANITE OR TUMBLED CONCRETE PAVERS, TYPICAL | 17 | DECOMPOSED GRANITE PATH |
| 8 | GRANITE SEAT WALL, TYPICAL | 18 | FAUX BRIDGE |
| 9 | 2' X 2' GRANITE BLOCK, TYPICAL | | |
| 10 | BOLLARD, TYPICAL | | |

TOWNSHIP NINE ■ PARKS MASTER PLAN



BIRDSEYE VIEW OF PARKWAY



WATER FEATURE AT SIGNATURE STREET



WALKWAY, LOOKING NORTH TOWARD WATER FEATURE



PEDESTRIAN GATHERING AREA

FIGURE 18 - 7TH STREET LINEAR PARK - WALKWAY FEATURES



NORTH ENTRANCE TO WATER FEATURE



SOUTH ENTRANCE TO WATER FEATURE



WATER FEATURE SEATING



WALKWAY AT BRIDGE

FIGURE 19 - 7TH STREET LINEAR PARKWAY WATER FEATURE

TRANSIT PLAZA

The transit plaza is a park-like urban space that provides a mid-block pedestrian and bicycle linkage between the Richards Boulevard light rail station and Signature Street. It also aligns with E Street just north of Signature Street and would likely become the primary path of travel for Township Nine residents using the station. This area is designed as a tree lined plaza with benches and special paving. The tree canopies will be heavily pruned as formal hedges that interconnect as one contiguous design feature using the horticultural practice of pollarding each tree. This will create a very unique, sculptural effect, while also providing needed shade in the summer heat. The plaza provides a spacious, emergency vehicle accessible, pathway through the middle of the 70' wide space for pedestrians and bicycles. On either side of this are landscaped planters defined with curb and fence and planted with ground cover and small shrubs. Benches are niched into these planters to provide conversational seating areas shaded by the hedged trees. Benches, waste receptacles, drinking fountains and lighting are provided throughout the plaza. Special paving materials of brick and granite pavers are incorporated into the plaza and reflect the design of the adjacent transit station platform on Richards Boulevard.

The lighting here will be a combination of up lighting accents on the trees, post lights and bollard lights as needed to achieve a 0.8 foot-candle average intensity on the walkways within the plaza.



FIGURE 20 - TRANSIT PLAZA EXAMPLE



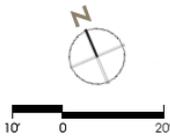
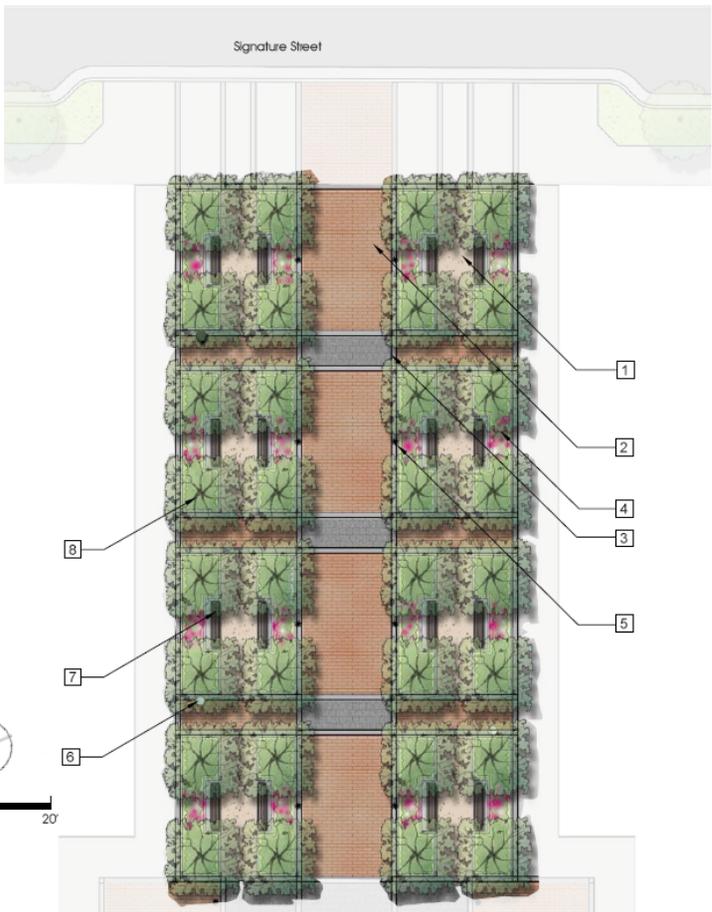
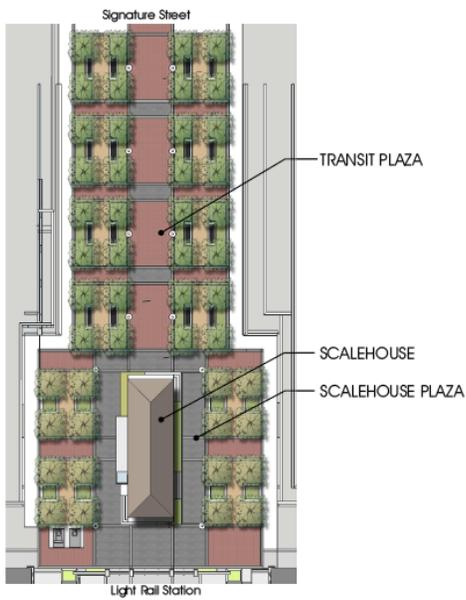


FIGURE 21 - TRANSIT PLAZA

KEY NOTES

SYMBOL DESCRIPTION

- 1 DECOMPOSED GRANITE, TYPICAL
- 2 BRICK PAVERS, TYPICAL
- 3 GRANITE PAVERS, TYPICAL
- 4 SHRUB AND GROUNDCOVER PLANTING, TYPICAL
- 6 LIGHT, TYPICAL
- 6 TRASH RECEPTACLE, TYPICAL
- 7 BENCH, TYPICAL
- 8 POLLARDED BOSQUE TREE, TYPICAL



PLAZA VIEW FROM SCALE HOUSE



SEATING AREA FROM DECOMPOSED GRANITE WALKWAY

FIGURE 22 - TRANSIT PLAZA



SEATING AREA WITH MAIN WALKWAY BEYOND

PASEO PARKWAYS / PLAZAS

Six mid-block landscaped greenways transverse the residential/live-work/townhouse areas within Township Nine. These pedestrian parkways and plazas provide alternative connections within the neighborhood and are 40-foot wide spaces with an 8-foot wide concrete walkway. The solution for each of the six locations will be unique to the design for adjacent buildings and landscape areas. The intent is to create a public park space that is unique to each block.

Final materials and design elements should complement adjacent buildings. The eastern and western paseos will pass through breezeways within larger buildings to retain their linear continuity. In locations where the paseo is located above subsurface improvements such as parking garages, basements or utility enclosures, the planting areas for trees and other plant material must meet minimum depths for healthy growth and provide adequate drainage to the satisfaction of the City of Sacramento.

The lighting here will be a combination of post lights and bollard lights as needed to achieve a 0.5 foot-candle average intensity on the walkways within the park site.



FIGURE 23 - PASEO EXAMPLES

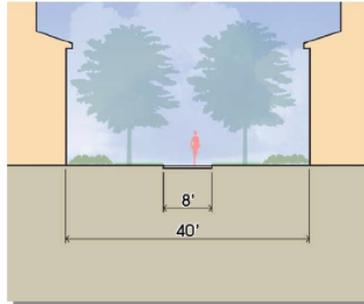


FIGURE 24 - PASEO CROSS SECTION (PROTOTYPE)

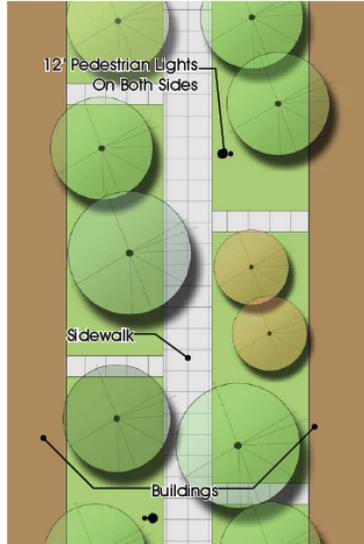


FIGURE 25 - PASEO TYPICAL PLAN (PROTOTYPE)

PARK BOULEVARD MEDIAN & MEW

Park Boulevard Median a linear park featuring a pedestrian friendly landscaped area with an 8-foot concrete walkway, seat walls, palm trees, lawn, ground cover and seasonal plantings. The spacing of the palm trees and special paving materials of brick, colored concrete and decomposed granite is based on a geometric grid established in the adjacent Central Park that recalls the agricultural heritage of the cannery that once occupied this site (Richards – Bercut Cannery). The median is a passive public space where residents can sit or walk in the sun. Interpretive signage will tell the story of the importance this site played in the agricultural processing of food during World War II. The lighting here will be a combination of up lighting accents on the tress, post lights and bollard lights as needed to achieve a 0.5 foot-candle average intensity on the walkways within the site.

Park Boulevard Mew is a linear plaza that is intended to achieve the effect of a narrow pedestrian oriented park. It is situated as an extension of Park Boulevard and is designed to accommodate an occasional vehicle (emergency, delivery, etc.) It will slope gently up to the level of Riverfront Drive and contain two rows of palm trees that align with the Park Boulevard median and accentuate the view from Riverfront Park to the traffic circle at the end of Park Boulevard. Raised planters provide opportunities for informal seating and colorful plantings. Additional green space can be provided with a raised lawn and other ground cover plantings. The lighting here will be a combination of up lighting accents on the tress, post lights and bollard lights as needed to achieve a 0.5 foot-candle average intensity on the walkways within the site.



FIGURE 26 - PALM TREE PLANTING EXAMPLE

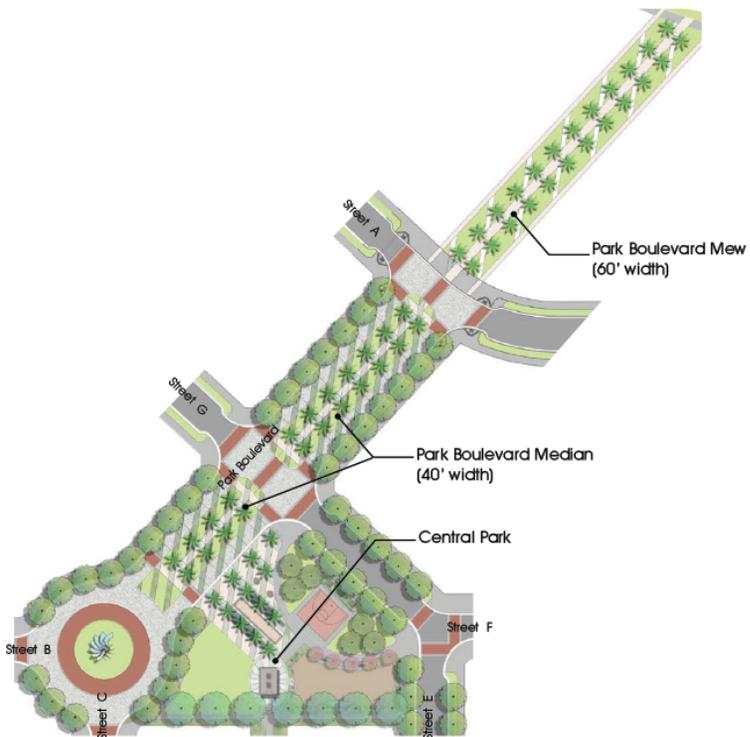


FIGURE 27 - PARK BOULEVARD & MEW

IMPLEMENTATION

CONSTRUCTION AND MAINTENANCE

The park improvements will be designed and constructed with the Township Nine project as a “turn-key” effort. The parks will be built using both public and private funds. Riverfront Park, Transit Park and 7th Street Linear Park will be built with public funds (proposition 1C) and the remaining parks will be built with private funds in conjunction with the number of residential units constructed. The maintenance of the parks will be provided by a Community Facilities District for Township Nine. The specific terms and conditions of these items are defined in the turn-key agreement.

PHASING

The park improvements will be constructed in multiple phases. The phase one improvements include Riverfront Park, 7th Street Linear Parkway and Transit Plaza Park.

TIMELINE FOR CONSTRUCTION

The anticipated schedule for the completion of the phase one parks is shown below.

Riverfront Park Mass Grading:

Construction Documents: March 2010 to July 2010
Bidding: August 2010
Construction: September 2010 to February 2011

Riverfront Park :

Construction Documents: August 2010 to January 2011
Bidding: February 2011
Construction: March 2011 to August 2011

7th Street Linear Park

Construction Documents: March 2010 to September 2010
Bidding: October 2010
Construction: November 2010 to November 2011

Transit Plaza Park:

Construction Documents: August 2010 to January 2011
Bidding: February 2011
Construction: March 2011 to August 2011



FIGURE 29 - PHASING MAP - PHASE ONE IMPROVEMENTS