

# RESOLUTION NO. 2011-498

Adopted by the Sacramento City Council

August 23, 2011

**TO ESTABLISH A PLANNED UNIT DEVELOPMENT, INCLUDING GUIDELINES AND SCHEMATIC PLAN, FOR THE NORTHWEST LAND PARK PLANNED UNIT DEVELOPMENT, FOR AREA BOUNDED BY BROADWAY ON THE NORTH, 5TH STREET ON THE EAST, MCCLATCHY WAY ON THE SOUTH, AND I-5 ON THE WEST. (APN: 009-0030-008, 019, 043, 045; 009-0223-007, 012, 013, 016; 009-0237-018; 009-0270-009, 015, 017, 028, 029, 032, 033; 009-0286-001, 012, 013, 014, 018) (P10-039)**

## **BACKGROUND**

- A. On July 14, 2011, the City Planning Commission conducted a public hearing on, and forwarded to the City Council a recommendation to approve with conditions the Northwest Land Park Project.
- B. On August 23, 2011, the City Council conducted a public hearing, for which notice was given pursuant Sacramento City Code Section 17.200.010(C)(1)(a), (b), and (c) (publication, posting, and mail (500 feet) and received and considered evidence concerning the Northwest Land Park Project.

## **BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:**

- Section 1. The City Council conducted a public hearing on July 26, 2011, to consider the establishment of the Northwest Land Park Planned Unit Development (PUD) and adopt the Planned Unit Development Guidelines and Schematic Plan for the Northwest Land Park development. Based on documentary and oral evidence submitted at said public hearing, the City Council hereby finds:
  - A. The proposed PUD establishment conforms to policies of the General Plan and Land Park Community Plan to promote a variety of housing types within neighborhoods to encourage economic diversity and housing choice; and
  - B. The PUD establishment will not be injurious to the public welfare, nor to other properties in the vicinity of the development and will be in harmony with the general purposes and intent of the Zoning Ordinance in that the PUD ensures that development be well-designed, and that the residential uses will not create a negative impact on adjacent uses.
- Section 2. The City Council, in accordance with Sacramento City Code Chapter 17.180, establishes the Northwest Land Park Planned Unit Development and approves the Northwest Land Park Development Guidelines and Schematic Plan (as shown on the attached Exhibits A and B).

Section 3. The City Council approves the Northwest Land Park Planned Unit Development with the Development Guidelines and Schematic Plan subject to the following conditions of approval:

1. Upon issuance of a building permit for residential units along the northern boundary of Phase 2, the project applicant shall construct a ten-foot high uniform wall along the boundary of the project site where Phase 2 abuts the existing uses (currently owned by Saccani Distributing Company and the Gary and Roland Saccani Trusts) on the south side of First Avenue, and shall plant fast-growing trees, such as Italian cypress trees, adjacent to the ten-foot high wall on the Project side.
2. Upon issuance of a building permit for residential uses on the eastern boundary of Phase 4, the project applicant shall construct a ten-foot high uniform wall along the eastern boundary of Phase 4 where it abuts the existing use on the north side of First Avenue, and shall plant fast-growing trees, such as Italian cypress trees, adjacent to the ten-foot high wall on the Project side. In the event the project applicant does not seek building permits to construct residential units along the eastern boundary of Phase 4, this condition shall have no effect.
3. The applicant shall explore the feasibility of constructing a traffic circle at the intersection of McClatchy and 5th Streets as part of their public improvements. The traffic circle shall be constructed per City standards and to the satisfaction of the Department of Transportation. If the traffic circle construction is found to be infeasible, the applicant shall contribute the sum of \$50,000 to go towards a Neighborhood Traffic Management Program (NTMP) within the adjacent neighborhood, including 5th Street and Vallejo Street. If the construction of the traffic circle is found to be feasible, the applicant has agreed to construct the traffic circle. Should the total design and construction cost of the traffic circle be less than \$50,000, the remaining balance shall be paid towards the above referenced NTMP. This one time contribution, from the applicant, shall satisfy all requirements towards any neighborhood traffic calming program related to the development of the Northwest Land Park PUD.

Section 4. Exhibits A to G are a part of this Resolution.

**Table of Contents:**

Exhibit A: Northwest Land Park PUD Guidelines – 78 pages  
Exhibit B: Northwest Land Park PUD Schematic Plan – 1 page  
Exhibit C: Railroad Remnant Parcels – 1 page  
Exhibit D: Land Use Plan Phases 1 through 4 – 1 page  
Exhibit E: Overall Planting Plan – 1 page  
Exhibit F: Overall Circulation Plan – 1 page  
Exhibit G: Site Level Bike Trail Plan – 1 page

Adopted by the City of Sacramento City Council on August 23, 2011 by the following vote:

Ayes: Councilmembers Ashby, Cohn, D Fong, R Fong, McCarty, Pannell, Schenirer, Sheedy, and Mayor Johnson.

Noes: None.

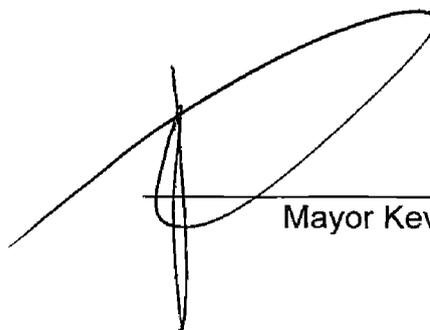
Abstain: None.

Absent: None.

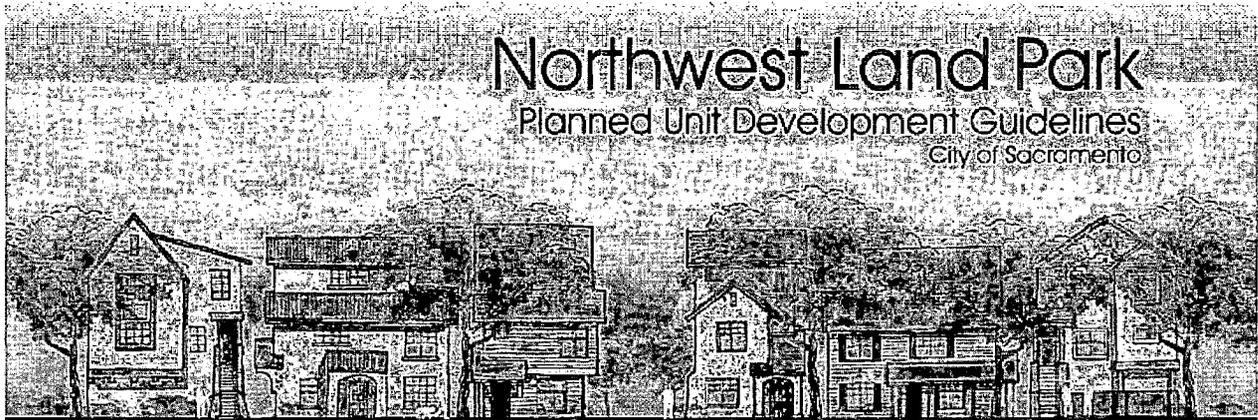
Attest:



Shirley Concolino, City Clerk



Mayor Kevin Johnson



# Northwest Land Park

Planned Unit Development Guidelines  
City of Sacramento

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July 25, 2011

# Northwest Land Park

Planned Unit Development Guidelines

P.10-039 Approved (Date)  
Sacramento City Council Resolution No. \_\_\_\_\_



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## **Chapter 1 - Introduction**

### **1.1 - Project Overview**

#### **1.1.1 - Location and Setting**

Northwest Land Park (the "project") is located in the City of Sacramento's Land Park neighborhood. The project site is nestled south of the Central City and located amongst other well-established neighborhoods. The site is bounded by Broadway to the north, 5th Street to the east, McClatchy Way to the south and Interstate 5 to the west. The Sacramento River is located one-half mile to the west. Across I-5 to the west, Miller Park and the Sacramento Marina provide recreational access to the Sacramento River. Southside Park is located within ¼ mile of the project on the north side of Broadway.

The project is accessed regionally via Interstate 5 and Highway 50. Vehicular and pedestrian access points to the project site are provided by Broadway, 3rd and 5th Streets, 1st Avenue, and McClatchy Way. Sacramento Regional Transit District has both bus and Capitol Shuttle routes on Broadway north of the project site. A bus route is also located to the east of the site, on 5th Street. The nearest light rail station is approximately one mile to the north at "O" Street and 7th Street. An existing rail tunnel under I-5 could potentially connect the property to Front Street and the existing park amenities along the Sacramento River.

The project is planned for redevelopment as a vibrant, urban neighborhood, consistent with the General Plan. Redevelopment along Broadway and other primary roadway connections are planned with pedestrian scale design elements.



Vicinity Map

1.1.2 - Existing Conditions

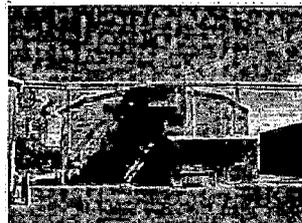
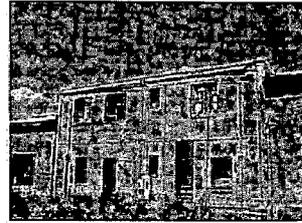
The site is predominantly covered by commercial and industrial structures and impervious surfaces. Some maintained landscaping surrounds an existing office building at the northeast corner of 3rd Street and 1st Avenue. Existing uses on the project site include light industrial, office, and commercial, including the Setzer Forest Products plant and various produce storage and distribution facilities. (see Map 1.A)

Surrounding land uses include a mix of light industrial, commercial and residential. A mix of commercial and industrial uses is located along Broadway and along the northern project boundaries. The streetscape along 5th Street also projects a mix of commercial and industrial uses. The area transitions to multi-family residential areas and a city cemetery further eastward. To the south of the site are properties owned by the Sacramento Housing and Redevelopment Authority, Jedediah Smith Elementary and Arthur Benjamin High School, about the project to the south.

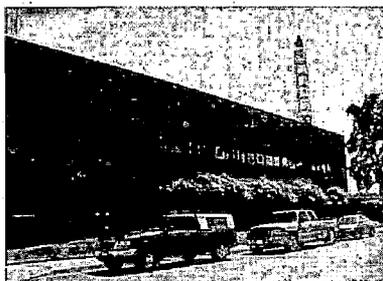
1.1.3 - Sacramento General Plan

The City of Sacramento 2030 General Plan land use designations for the project site are Urban Neighborhood Medium Density and Urban Corridor Low. The General Plan designation "Urban Corridor Low" applies to the northernmost portion of the site adjacent to Broadway and allows minimum density of 20 dwelling units per net acre and maximum 110 dwelling units per net acre. The project proposes mixed-use development on this portion of the site with 24 to 70 dwelling units on 1.2 net acres. The mixed-use development proposes a density range between 20 and 58 dwelling units per net acre.

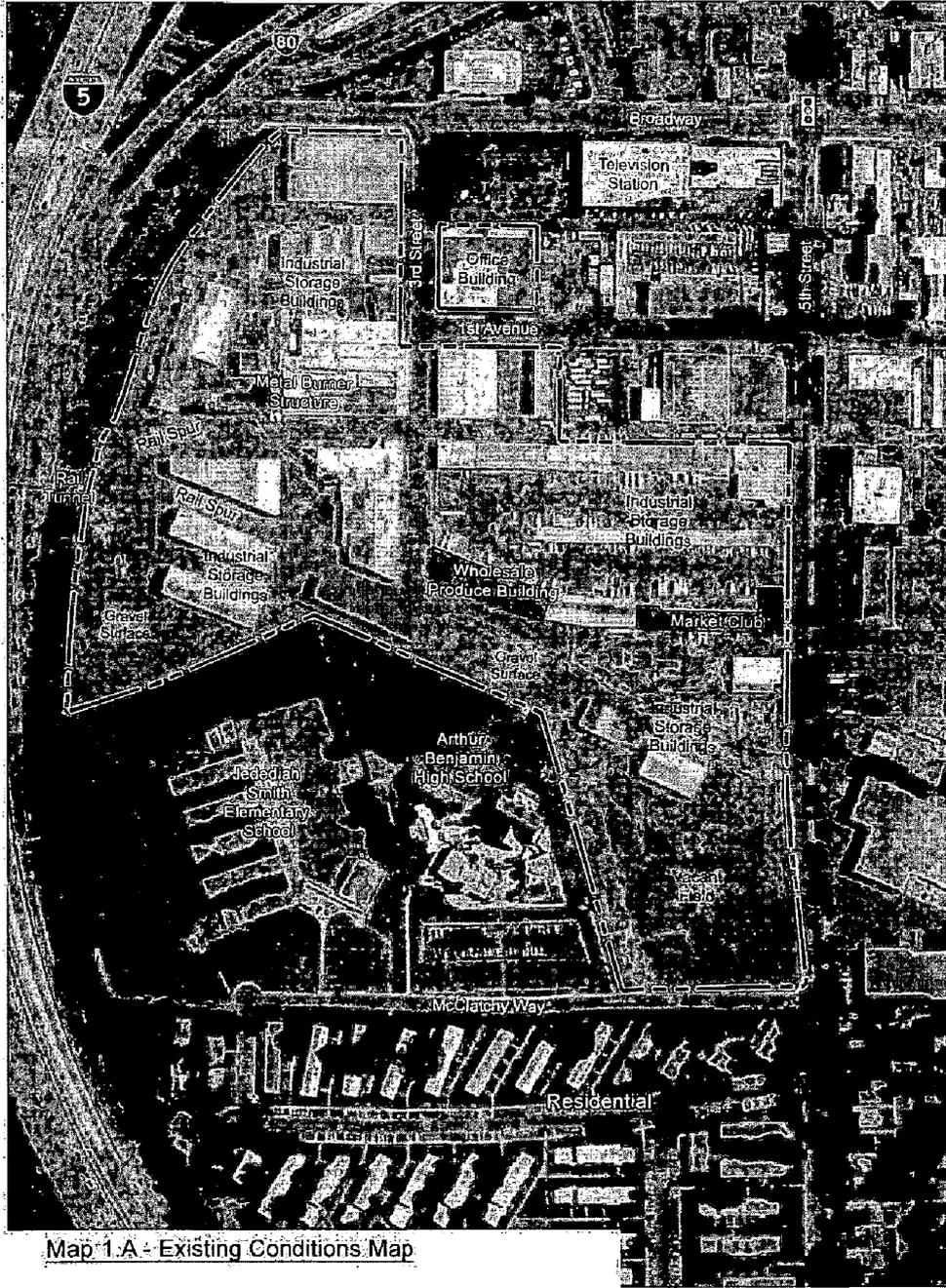
The "Urban Neighborhood Medium" designation applies to the majority of the project site and allows for minimum densities of 33 dwelling units per acre and maximum 110 dwelling units per net acre. The project proposes 667 to 801 residential units within 20.2 net acres in this designation. This proposes a density range between of 33 and 40 dwelling units per net acre.



Existing industrial buildings on the project site, June 2010



Left - Existing office building at 3rd Street and 1st Avenue.  
Right - Existing industrial development along 5th Street



Map 1.A - Existing Conditions Map

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## 1.2 Vision and Goals

The project will develop as a vibrant, livable residential infill community reflective of and integrated into the existing Land Park and Southside Park neighborhoods stemming from their roots, history, and character. The overarching goal of the proposed Project is the orderly and systematic development of an integrated, residential and mixed-use community that is consistent with the goals and policies of the City's 2030 General Plan. The project is envisioned to develop as a distinctive neighborhood with a maximum of 825 dwelling units focused around a signature central park. The final unit count may vary but will fall within the permitted density ranges. In support of this overarching goal, the following objectives for the proposed project have been developed:

- To develop a new, medium-density urban residential and mixed-use neighborhood in reasonable proximity to the existing Downtown/Central City urban center consistent with the City's Vision for new residential development, as laid out in the 2030 General Plan land-use designations.
- To make efficient use of an opportunity for redevelopment of a developed site within the existing Land Park neighborhood and the Downtown/Central City Sacramento urban center.
- To design a development with a physical layout and land use mix that promotes walking to services, biking, and transit use.
- To incorporate public parks and open space into the project design in a manner that provides recreational opportunities for neighborhood residents and is aesthetically pleasing.
- To develop a residential community in proximity to the major employment centers of downtown Sacramento in order to help reduce overall commuter traffic volumes.
- To recycle as much material as possible during the demolition and construction phases of the project.
- To develop a residential neighborhood that will architecturally complement the existing established Land Park, Southside Park, Broadway, Midtown, and Central City neighborhoods.



### 1.3 – Community Master Plan

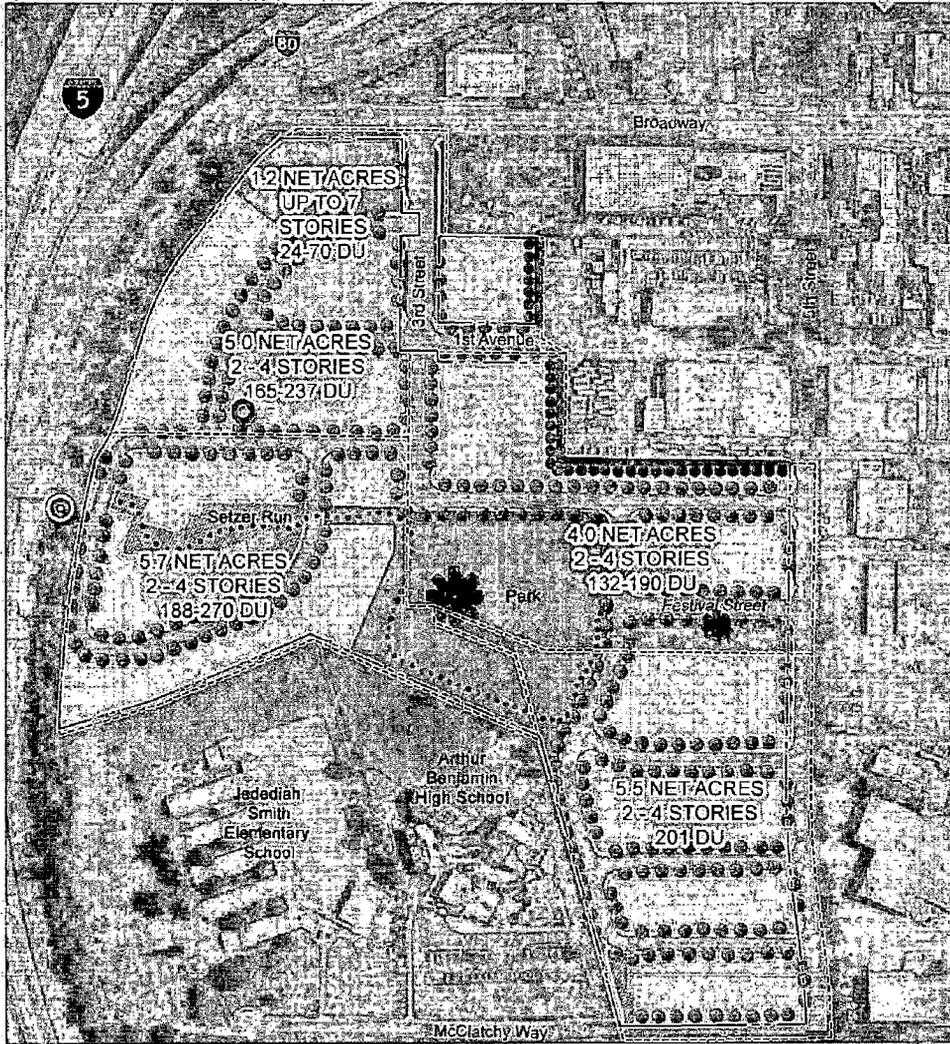
The #1-31-acre Northwest Land Park Community is designed as a medium density residential infill project focused around a signature park and the neighborhood's existing school facilities. The community is designed to respond to the area's existing street patterns and redevelop as a logical extension of the urban form. Residential areas are planned with a mix of housing types to create visual interest, housing variety and choice, and to promote a mix of incomes within the community. A mixed-use node is planned at the project's gateway along Broadway to provide neighborhood-oriented retail and civic uses within close proximity. The community is designed to capitalize on existing assets including transportation, pedestrian connections, open space, and civic uses. The Community Master Plan illustrates the project's physical design and spatial arrangement of roads, pedestrian paths, open space & parks, residential areas, and mixed-use districts.

Northwest Land Park provides a medium density housing choice that is proximate to employment, services, and cultural venues within the urban core. The majority of residents could access retail, business, and recreational facilities without driving an automobile. The Applicant is working with the City and studying possible reuse of the railroad undercrossing as a "rails to trails" connection for pedestrian and bicycles to access Front Street, the Sacramento River Parkway, the Promenade, the R Street bicycle bridge, Old Sacramento, West Sacramento via Pioneer Bridge, the future Railyards development and the American River Parkway. This off-street connection, along with direct sidewalk and bicycle lane connections on existing fully improved surface streets such as 3rd through 10th Street, provides an opportunity for an unimpeded pedestrian and bicycle system.

The site abuts Jedediah Smith Elementary School, Arthur Benjamin High School, and is just over 1 mile to the adjoined school campus serving the site. The site is six blocks from Southside Park pool and tennis facilities, 1.5 miles from the vast array of recreational opportunities offered at William Land Park, Miller Park along the Sacramento River and connection to Sacramento River Parkway, O'Neil Park for sports recreation, and just over 2 miles to the main campus for Sacramento City College. These educational and recreational facilities are all within comfortable pedestrian and bicycle distances to the project with direct routes via fully improved residential streets and bike paths.

The community master plan includes several signature elements that will, collectively, contribute to the project's uniqueness and overall sense of place. The plan includes a Festival Street that is designed as both a local street and an outdoor plaza area that can be easily closed to vehicular traffic during civic events. The plan also includes creating an Open Area Market within the existing market club building. Additionally, the plan includes a portion of the existing wholesale produce building to be preserved and improved as a community Adaptive Reuse Building. This facility is located central to the park and can host an array of indoor community events. Finally, the plan includes two optional elements, the Metal Burner Structure and the Tunnel Option. If feasible, the existing metal burner structure may be preserved and restored to serve as a prominent community icon. If implemented, the existing rail tunnel under Interstate-5 may be improved as a designated pedestrian tunnel to link the community to the recreational amenities along the Sacramento River.

Specific site layout calls for several ease of use features that will encourage walking and bicycling within the project. These include prohibiting fence separations and providing direct pathway access from all units to sidewalks leading to Setzer Run, the central park, an adaptive reuse building, an open air market, and the retail contained within the mixed use portion of the project at 3rd and Broadway. The internal connectivity, the central location, and proposed improvement of the direct off street access under the freeway to the Sacramento River Parkway through the "rails to trails" provides for sustainable living with a reduced need for daily use of a private automobile.



Map 1.B - Land Use Schematic Plan

Land Use/Community Elements	Permitted Development Intensity
	FAR 1.5 - 4.0 / Density 33 - 110 du/a
	FAR 0.3 - 3.0 / Density 20 - 110 du/a
	FAR 1.5 - 4.0
	Community Trails (approx. alignment)
	Adaptive Reuse Building (approx. location see standards)
	Open Air Market (approx. location see standards)
	Residential Buffer
	Metal Burner Structure Option
	Tunnel Option

Note: (1) - Total unit count not to exceed 825 dwelling units.  
 (2) - In the Mixed Use District, residential units are only allowed pursuant to the underlying zoning designation.

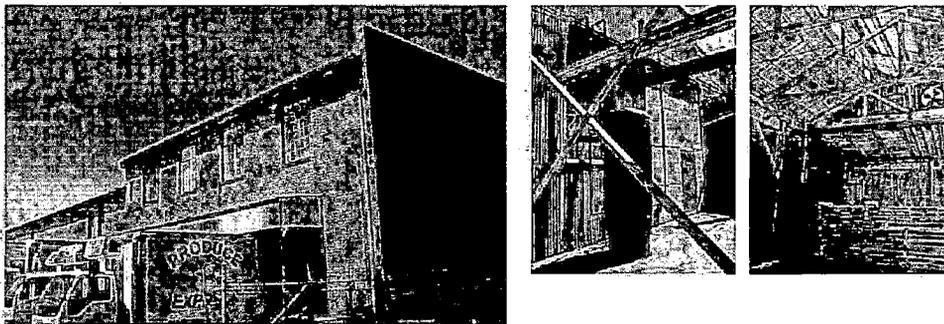
1.3.1 – Use Summary

The project replaces existing light industrial and commercial uses on the project site with up to 825 residential units, commercial-retail uses, parks and open space, and opportunities for adaptive reuse of key existing structure. Specifically, the project land uses include:

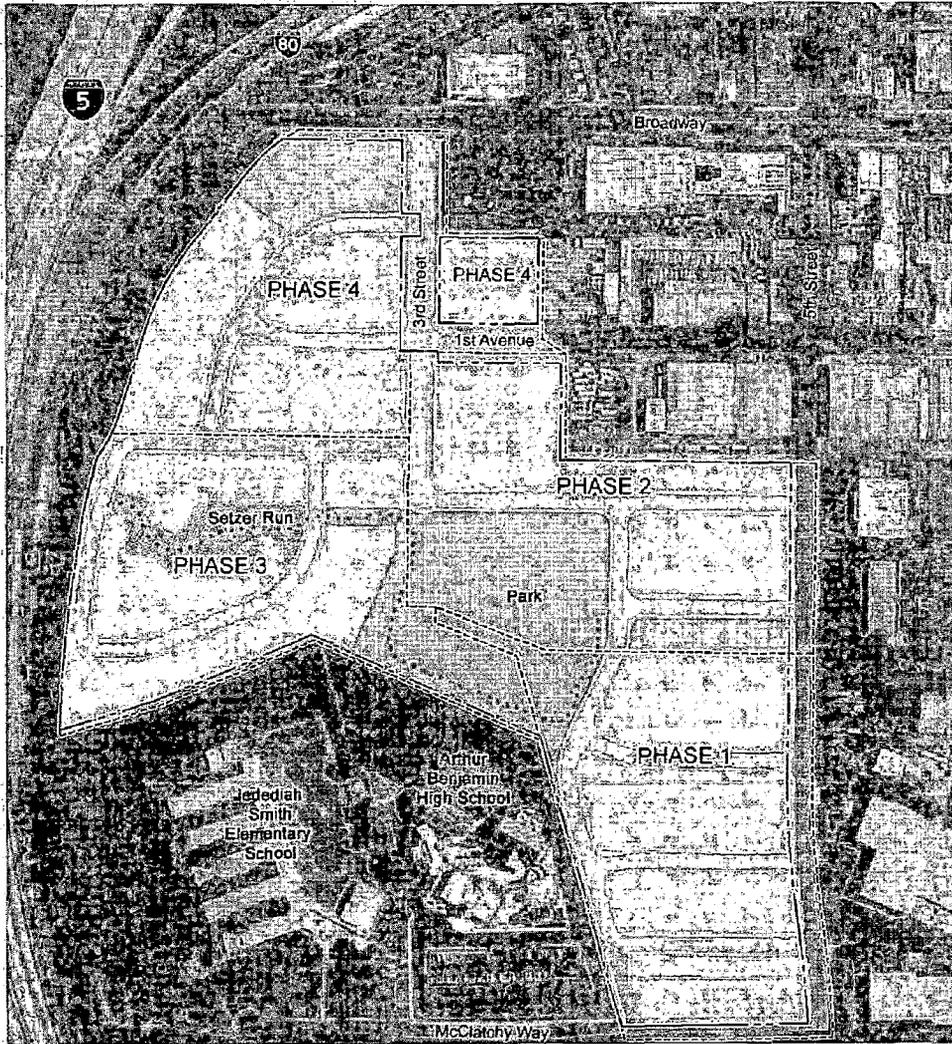
- up to 825 residential units with private open space on approximately 19.6 acres;
- including up to 70 high-density multi-family residences and up to 15,000 square feet of commercial-retail uses on approximately 1.2 acres;
- approximately 16,000 square feet of commercial retail; 2,200 square feet of restaurant uses, and 6,000 square feet of office space within the existing Farmers Market and Market Club building from the Market Club to 5<sup>th</sup> Street on approximately 0.6 acres
- approximately 4.3 acres of public park
- approximately 4.7 acres of private roadway,
- approximately 1.2 acres of public rights-of-way.

1.3.2 – Contextual Theming

Northwest Land Park proposes to redevelop a long standing forest products industrial use (Setzer Forest Products) and the wholesale produce market. Through street names, adaptive reuse of existing structures, and reuse of selective iconic features, Northwest Land Park proposes to theme the new neighborhood to reflect its heritage. The project proposes to incorporate the iconic and visually-interesting pieces of the site's industrial and warehouse buildings. These features are planned to be incorporated into the new development as thematic sign entrances to adorn Setzer Run (the internal greenway), and to create interesting features and furnishings within the park. These could include recycling brick and large timbers to create raised entrance monument bases and planting beds within the public spaces; the strategic location of sawdust cyclones adorned with directional and monument signage; or even the adaptation of one of the large railcar hoppers into an overhead misting/cooling station along Setzer Run. Finally, the project will meet its Art in Public Spaces requirement by soliciting artists to utilize materials from the site to create industrial based interactive sculptures for placement within the park and/or Setzer Run.



The site's existing structures and styles will be used to establish the community theming and character



Map 1.C - Density Plan

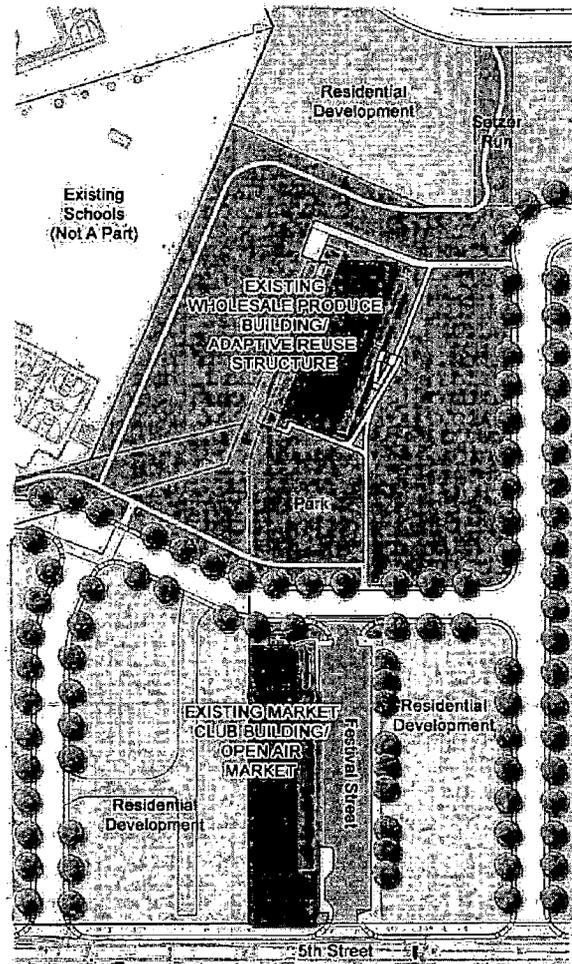
Phase	Gross Area	Net Area	Resident Units	Proposed Net Density
1	8.1 ac.	5.5 ac.	201 du	38 du/a
2	7.9 ac.	4.0 ac.	132-190 du	33-47 du/a
3	8.5 ac.	5.7 ac.	188-270 du	33-47 du/a
4	6.0 ac. (residential)	5.0 ac.	165-237 du	33-47 du/a
	1.2 ac. (mixed-use)	1.2 ac.	24-70 du	0-58 du/a
<b>Total Project</b>	<b>31.7 ac.</b>	<b>21.4</b>	<b>691-825</b>	<b>33-40 (residential)</b> <b>20-58 (mixed-use)</b>

Note: (1) Net acreage excludes areas of proposed streets and public park. Area is subject to change based on proposed street design.  
 (2) Residential units may be transferred amongst phases so long as the overall project density is consistent with the underlying General Plan Designation.  
 (3) Total unit count not to exceed 825 dwelling units.

#### 1.4 – Signature Elements

The Northwest Land Park community is conceptualized with signature elements that will be incorporated into the project by its build-out. These signature elements include a Festival Street designed to host civic events, an Open Air Market intended to re-use the existing market club building as a farmer's market and an Adaptive Reuse Building to preserve the whole sale produce building as a community space within the neighborhood park. The general locations are depicted on the Community Master Plan.

- **Festival Street** - The Festival Street should be considered as a transportation facility that boasts a second function as a vital civic gathering place. Periodically, to coincide with events and public gatherings, the Festival Street may be closed to vehicular traffic and function as an open outdoor plaza. Plan and design details for the Festival Street are discussed in the Transportation Framework section.
- **Open Air Market** - A farmer's market, tentatively named "open air market", is planned within the existing structures between the park and 5<sup>th</sup> Street to provide for the sale of local goods and produce. Development of the market would involve enhancing the existing Farmers Market and Market Club building from the Market Club to 5th Street to serve this new use.
- **Adaptive Reuse Building** - A portion of the existing wholesale produce building is located central to the neighborhood park. This structure will be modified as an adaptive reuse building to serve as a community-oriented facility to complement the neighborhood park. The facility is envisioned to support community gatherings, continued education, public health and safety, and other indoor community events. A park master plan will further explore this option.

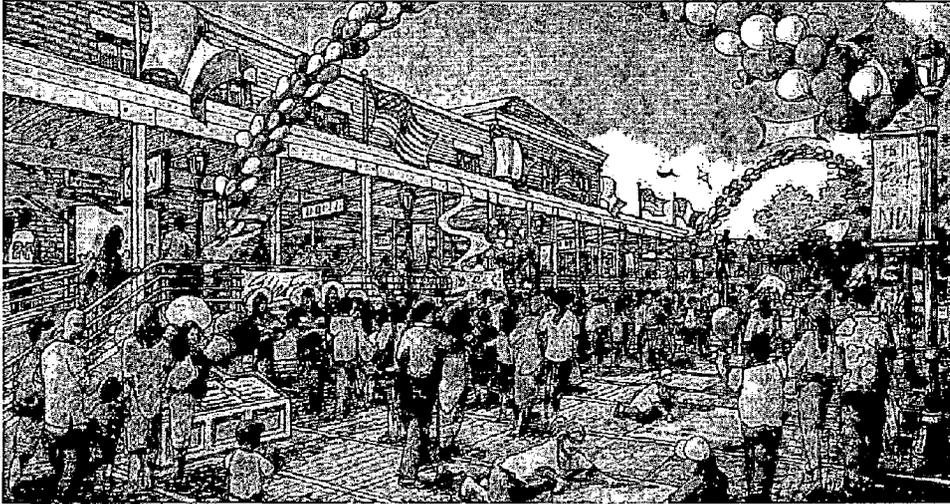


Signature Elements Concept Plan  
Adaptive Reuse Building, Festival Street and Open Air Market

Not to Scale

7.4.1 – Festival Street

The Festival Street should be considered as a transportation facility that boasts a second function as a vital civic gathering place. The Festival Street is an adaptation of a typical local street; it is designed with decorative pavers and includes perpendicular parking to serve the adjacent market use. The street is also designed as a gateway to the neighborhood, providing a distinctive connection between the market and the neighborhood park. Periodically, to coincide with events and public gatherings, the Festival Street may be closed to vehicular traffic and function as an open outdoor plaza. Plan and design details for the Festival Street are discussed in the following sections.

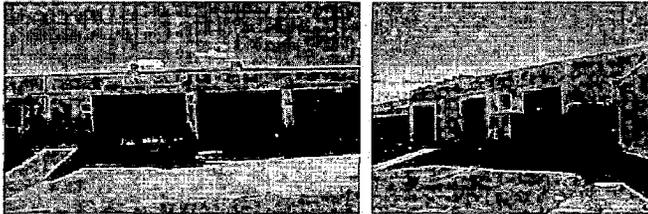


The image above is a conceptual rendering of a festival street next to an Open Air Market. The illustration depicts a time when the facility is closed to vehicular traffic and functions as a pedestrian plaza.  
Note: Conceptual Design

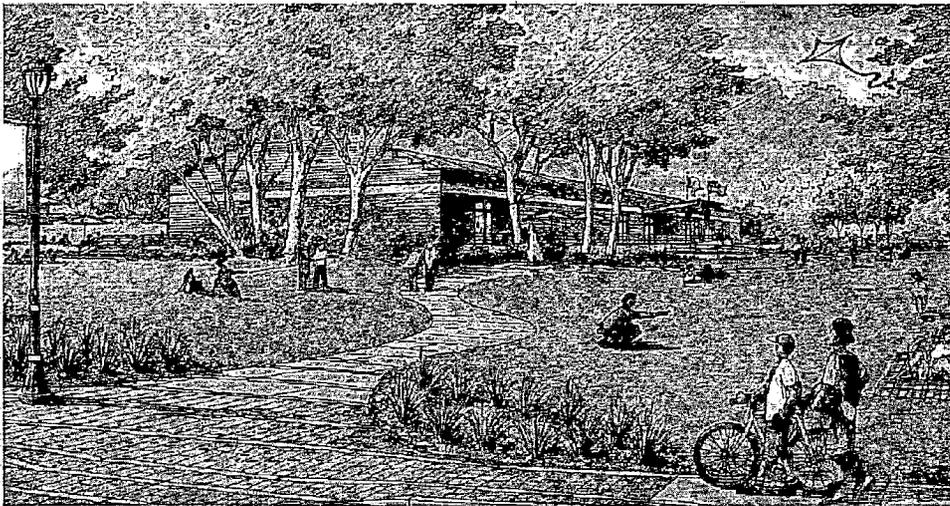
1.4.2 – Adaptive Reuse Building

The barrel roofed clear-span section of the wholesale produce building located completely within the proposed park and at the termination of Third Street, provides an ideal opportunity to provide an adaptive reuse building to serve Northwest Land Park, Smith Elementary, Benjamin High School, and the surrounding neighborhood. Northwest Land Park envisions the opportunity to adaptively re-use the structure to house classrooms, exercise rooms, computer lab, and other community services facilities. Based on the location within the proposed park and the proximity to the elementary and high school, the likely programming of the neighborhood center would be to enhance and support the education and service needs of the children within the area. The immediate availability of an existing building provides the opportunity to implement the vision of a community-oriented facility. The open nature of the existing structure, including large floor-to-ceiling doorways and extensive covered elevated outdoor space, lends itself to future opportunities to expand and enhance the neighborhood center over time.

The dock height of the existing structure provides a unique opportunity to reduce run-off and on-site water needs through its existing floor height. By incorporating inexpensive above ground water pillows under the new elevated terraces, the roof run-off from the building can be captured, stored, and utilized for irrigation of the surrounding park landscape. The project will be looking for similar economically viable opportunities to creatively reduce the impact and expand the sustainability of each and every component of the project.



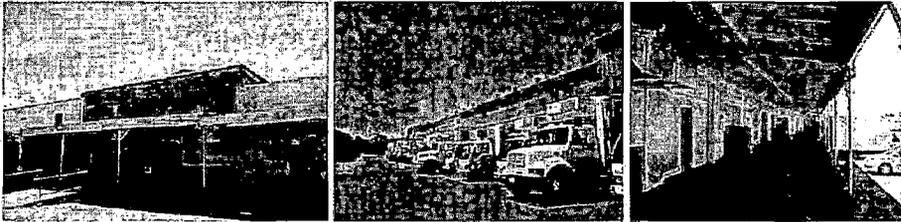
Existing Wholesale Produce Building to be modified as an adaptive reuse building to be used in the neighborhood park.



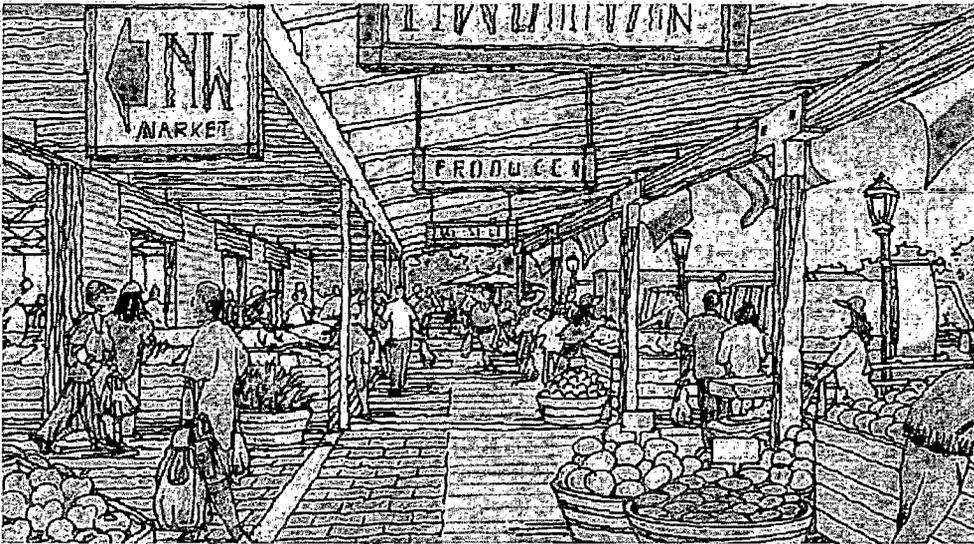
Conceptual rendering of the adaptive reuse building in the community's central park.  
Note: Conceptual Design

1.4.3 – Open Air Market:

The existing two-story Farmers Market and Market Club building from the park to 5th Street, provide a unique opportunity to convert a wholesale produce area into an "Open Air Market" serving as a year-round produce stand, local and regional gathering space, and food-oriented celebration of the bounty of Northern California. The use is a retail operation with anticipated standard retail hours and a standard retail week. The structures will be adapted to interior semi-permanent retail booths for produce, specialty foods, crafts, and regional and ethnic prepared meals. The large exterior covered docks will house seasonal booths and provide all weather outdoor spaces for gathering and picnicking. The adjoining local roadway will be developed as a "Festival Street" and will be periodically closed to vehicular traffic. The Festival Street shall be programmed for short term street fairs, art festivals, and other community gatherings with booths and venues taking over the entire block from 5th Street to the park.



(Left) Existing Market Club restaurant. Existing Farmers Market building that may become the Open Air Market



Conceptual rendering of the Open Air Market in the Farmers Market Building.  
Note: Conceptual Design

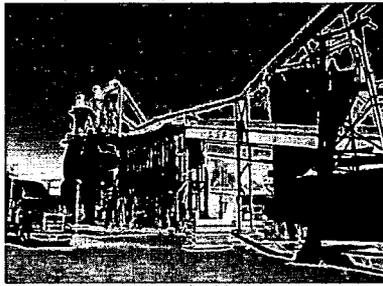
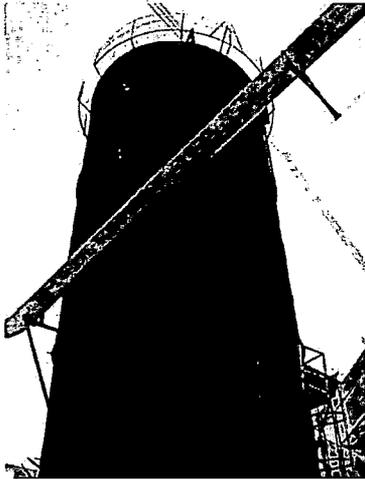
### 1.5 – Optional Elements

The Northwest Land Park community is conceptualized with two optional elements that may be incorporated into the project by its build-out. These optional elements include preservation and re-use of the existing metal burner structure and the creation of a pedestrian connection under Interstate-5 in an existing rail tunnel. These are optional elements because their establishment depends on additional planning, approvals, and/or potential partnerships with other government agencies. Specifically, the tunnel option requires an intergovernmental partnership to overcome the complexities regarding land ownership, maintenance, and security.

- Metal Burner Structure Option – Metal Burner cylindrical structure located near the railroad undercrossing may be preserved and modified as a distinctive community icon.
- Tunnel Option – The existing rail tunnel under Interstate-5 may be improved to create a pedestrian and bicycle connection between the Northwest Land Park community and Miller Park located along the Sacramento River.

#### 1.5.1 – Metal Burner Structure

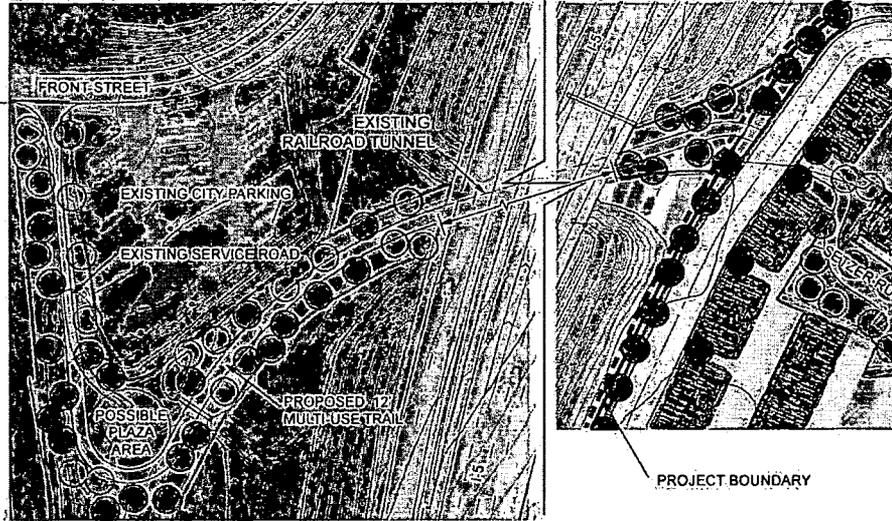
Metal Burner cylindrical structure located near the railroad undercrossing may be modestly refurbished to provide a freeway-visible icon for the project. The likely adaptive re-uses for the structure could include housing and screening for both project-serving (such as wireless intranet) and neighborhood-serving telecommunications equipment, security video surveillance equipment, and community lighting fixtures. As part of this program, the project will review the opportunity to re-create the burner dome screen feature to enhance and expand the iconic nature of the structure as a monument.



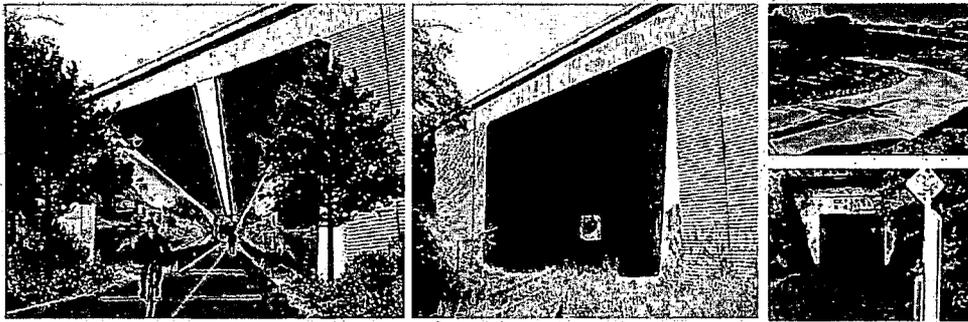
Existing Metal Burner Structure and metal work that may be used in project theming and sculptures.

1.5.2 - Tunnel Option

The Northwest Land Park community is conceptually envisioned to be connected to Miller Park and the Sacramento River Parkway by a pedestrian/bicycle connection under Interstate 5. This connection can be created using the existing rail tunnel under the freeway to create pedestrian linkage for the immediately surrounding neighborhoods. The tunnel is an optional element since it requires coordination and approval from an array of state and local agencies. If developed, the tunnel will be enhanced with paving, lighting, wayfinding, and security enhancements for pedestrian and bicycle use.



Tunnel Option - Schematic Trail Plan



The existing rail tunnel is envisioned to be transformed into a pedestrian/bicycle pathway and enhanced with lighting, art, and pavement.

Existing Rail tunnel (left) may be transformed into an active pedestrian and bicycle connection under I-5 (right). Other examples of pedestrian tunnels and passages are illustrated to the right.

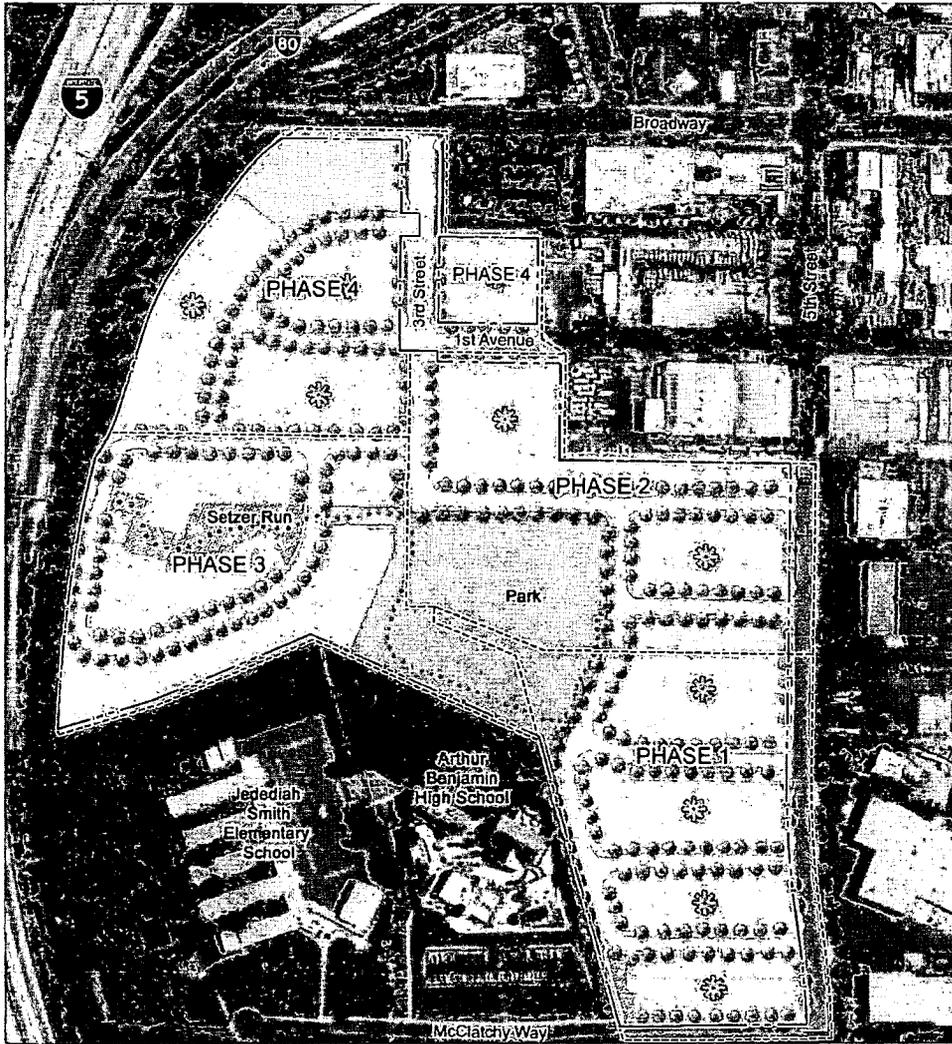
### 1.6 – Community Phasing Plan

The Northwest Land Park community will be developed according to a defined sequencing plan and includes four phases. The phasing plan allows the initial community phases to emerge on vacant land and allows for existing uses to gradually transition out of the community. The initial phase will commence at the southeast corner of the project adjacent to established residential districts, Jedediah Smith Elementary, and the Arthur Benjamin High School. The project will progressively expand northwestward towards its build-out.

The plan includes a park located central to the overall redevelopment project. Open space land will be incrementally dedicated as part of Phases 2-4 to allow existing industrial operations and structures to be gradually removed. This will also allow for comprehensive, cost effective, and thorough site clearing for the project's future uses including residential, recreation, and mixed-use developments.

Utilities and roadway improvements will coincide with the phasing plan. Specific utility and street improvement plans may require minor revisions to future phase lines to achieve cost effective planning and installation of these essential services. Detailed utility planning and street improvements will occur as part of actual site design and as part of the City's development review process. The existing legal nonconforming industrial uses including the Setzer operations may be phased out through the progression of the Northwest Land Park redevelopment.

The Community Phasing Plan (see Map 1.D) illustrates the general phasing and sequencing of project development. Phasing boundaries may vary to respond to infrastructure planning and/or construction.



Map 1.D - Community Phasing Plan

- Residential District (RD)
- Mixed Use District (MXD)
- Open Space District (OSD)
- Private Courtyards (approx. location / see standards)
- Community Trails (approx. alignment)

### 1.7 – Framework Plans

These Planned Unit Development (PUD) Guidelines are presented as a series of Community Design Framework Plans that when combined create the overall project design. These Framework Plans include Land Use, Open Space, Transportation, Landscape, and Sustainability & Energy Efficiency. The subsequent sections of this document will highlight and articulate each of the Framework Plans that establish development guidelines for their inception.

### 1.8 – Purpose

The purpose of these PUD Guidelines (Guidelines) is to define the project vision and ensure quality development within the Northwest Land Park community. These Guidelines establish development styles and development standards specific to the Northwest Land Park community that may not otherwise be possible when applying standard zoning regulations. These Guidelines should be applied to all development within the project to ensure that all development and maintenance within Northwest Land Park produce a unified and integrated community. The PUD Guidelines will be used in the planning and design of all new projects within Northwest Land Park community boundaries and in conjunction with other City standards and reviews. The Guidelines are binding on the Project and will be implemented consistent with the provisions set forth in the City's Municipal Code. The PUD Guidelines include the following components to convey the desired development and design within the community:

- Development Guidelines – Guidelines aim to establish styles and standards unique to the Northwest Land Park community.
- Development Standards – Standards are development requirements that include exact dimensions and limitations. Development standards include, but are not limited to, density, setbacks, building separation, structure height, and parking ratios.
- Development Styles – Styles are design elements and design methods that express the ideal and preferred design. Styles are descriptive in nature and articulate how particular site elements should be designed and developed. Styles include, but are not limited to, building orientation, pedestrian access, color, and preferred architectural elements.
- Objectives – Objectives have been established as goals, consistent with the 2030 General Plan, that are intended to be achieved by the adoption and successful implementation of these Guidelines.
- Written and graphic illustrations of desired development styles – Illustrations convey ideal design elements and are only intended to articulate development styles in a visual form.

### 1.9 - Administration

These Guidelines implement the goals and policies of the City of Sacramento General Plan while creating specific community goals and development standards unique to the project boundaries. These Guidelines support the existing Sacramento Zoning Code. In some cases, these Guidelines create design flexibility for certain community design components and impose more specific design standards unique to this area.

The City of Sacramento will use these PUD Guidelines to review development proposals within the Northwest Land Park community. All development, subsequent tentative and final maps for Phases 2-4, land use activity, and maintenance plans within Northwest Land Park shall comply with these Guidelines. Where these Guidelines are silent or unspecified, the Sacramento Zoning Code shall apply. Amendments to these Guidelines and the standards herein are subject to review and approval as required in the Sacramento Zoning Code.

### 1.10 - Definitions

The terms herein shall be consistent with the Sacramento Zoning Code and as specifically described in these Guidelines.

## Chapter 2 – Land Use Framework

### 2.1 – Land Use Framework

Northwest Land Park - Land Use Framework Plan (See Map 2.A) establishes three specific land use districts within the project boundary. These districts will support a particular development type and project a specific community character. The land use districts are Residential (RD), Mixed-Use (MXD), and Open Space (OSD). The district boundaries coincide with the underlying zoning designation and General Plan designations to ensure the proposed development and uses are consistent with the City-wide goals and allowable development activity. All land use densities and intensities are based on net acres, exclusive of public streets, private streets constructed to City standards, and public parks. These PUD guidelines include permitted land uses and establish unique development standards specific to the Northwest Land Park community and supplant the underlying zoning standards unless the Zoning Code is silent.

### 2.2 – Land Use Districts

#### 2.2.1 – Residential District (RD)

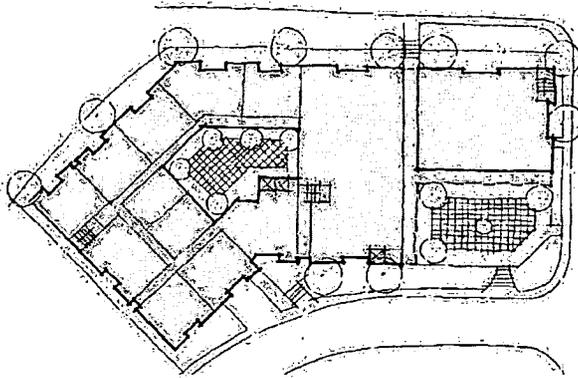
The Residential District supports medium density residential development and a variety of compact, urban-scaled housing types. The district is characterized by multiple family dwellings, duplexes, cluster housing, and single-family detached condominiums. The Residential District supports ownership types including apartment rentals and condominiums. The RD district typically supports densities between 33 and 58 dwelling units per net acre. The RD is implemented with its underlying residential zoning designation and the PUD.

The majority of the district will develop as condominium units arranged on commonly owned parcels. The Residential District allows all the aforementioned housing types and limited community buildings. The RD allows some non-residential uses as provided in the Sacramento Zoning Code and Development Agreement, so long as the site design and architecture are complementary to the primary residential uses and consistent with these Guidelines.

Existing non-residential uses may be established as the *Open Air Market* using the existing Farmers Market and Market Club building to strengthen the project's goal to create a compact mixed-use development that celebrates the site's heritage and past context. The Open Air Market includes retail, restaurant and office uses established in the RD district between the park and 5<sup>th</sup> Street. These non-residential uses within the RD may require additional land use approvals and entitlements consistent with the Sacramento Zoning Code. This use may also require additional agreements and contracts with the City pursuant to an executed Development Agreement (DA).

2.2.2 – Mixed-Use District (MXD)

The Mixed-Use District supports high density residential and complementing commercial and service uses that will serve the Northwest Land Park community. The Mixed Use District is characterized by compact, pedestrian-oriented development with buildings oriented close to public streets and creating vibrant street activity. The MXD district is planned to act as a transitional area between other intensive, non-residential uses along Broadway and the planned residential and park areas to the south. The Mixed-Use District is planned with a Floor Area Ratio (FAR) ranging between 0.3 and 3.0 in order to promote the distinctively-urban scale envisioned for the community. The MXD district supports densities between 20 and 110 dwelling units per net acre. The MXD is implemented with its underlying C-2 zoning designation and the PUD. Buildings shall be designed in accordance with the Central City development guidelines.



Potential building plan for the Mixed-Use District.  
Note: Conceptual Design

2.2.3 – Open Space District (OSD)

The Open Space District supports parks, recreational areas, trails, and civic facilities for the Northwest Land Park Community. The Open Space District is characterized by special areas for community outdoor recreation and is planned as a public space for City residents. The OSD is envisioned to support other uses that complement and are accessory to the recreational intent. The neighborhood park will be further designed as part of a City of Sacramento park master plan. Significant privately own recreational tracts also occupy the OSD. The OSD is implemented with its underlying residential zoning designation and the PUD.



Map 2.A - Land Use Framework Plan

- | Land Use/Community Elements                               | Permitted Development Intensity       |
|---|---------------------------------------|
| Residential District (RD)                                 | FAR 1.5 - 4.0 / Density 33 - 110 du/a |
| Mixed Use District (MXD)                                  | FAR 0.3 - 3.0 / Density 20 - 110 du/a |
| Open Space District (OSD)                                 | FAR 1.5 - 4.0                         |
| Community Trails (approx. alignment)                      |                                       |
| Adaptive Reuse Building (approx. location/ see standards) | Metal Bunker Structure Option         |
| Open Air Market (approx. location/ see standards)         | Tunnel Option                         |

Note: In the Mixed Use District, residential units are only allowed pursuant to the underlying zoning designation.

2.3 – Permitted Land Uses

Table 2.3: Permitted Uses/Intensity		
Land Use District	Permitted Uses/ Building Types	Intensity(FAR / Density)
Residential (RD)	Land uses listed for underlying zone in the Sacramento Zoning Code, Non-residential uses per the Development Agreement.	(All Underlying Zones) FAR 1.5 – 4.0 / Density 33-110 du/ac
Mixed Use (MXD) <sup>(2)</sup>	Land uses listed for the underlying zone in the Sacramento Zoning Code	(C-1 Underlying Zone) FAR 1.5 – 4.0 / Density 33-110 du/ac AND (All other Zones) FAR 0.3– 3.0 / Density 20-110 du/ac
Open Space (OSD)	Recreational and Institutional uses listed for the underlying zone in the Sacramento Zoning Code	FAR 1.5 – 4.0
<p>Notes: (1) Land uses within the Northwest Land Park land use districts shall be permitted, reviewed, and approved pursuant to the City of Sacramento Zoning Code. Allowable land uses are based on the underlying zoning district and Development Agreement.</p> <p>(2) The building intensity are FAR and density ranges as stated in the General Plan for the underlying land use designations</p>		

2.4 – Residential Building Types

The Northwest Land Park community includes a variety of medium and high density residential building types. The community goal is to achieve an eclectic and diverse housing mix. Building types make no distinction between ownership types. The community may include the residential housing types listed in Table 2.3 of these PUD Guidelines and those permitted by the underlying zoning designation. The following development standards define predominate residential buildings for the Northwest Land Park community and amend the definitions for said housing types stated in the Sacramento Zoning Code:

*Cluster Housing*

Cluster housing is described as a grouping of two or more single family dwelling units connected with at least one common exterior wall or significant architectural element such as porches, verandas, and balconies, but not under the same roof. Units within a single cluster are arranged side by side along a parcel or tract. Dwelling units front on a street, open space tract, or courtyard. Rowhouses and townhouse buildings are common examples of Cluster Houses as applied to the Northwest Land Park community.

*Duplex*

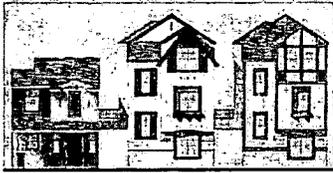
A duplex building is described as two individual dwelling units located in a single building. Dwelling units may be arranged either side by side or atop one another. A duplex is built as a single structure but may be connected to neighboring buildings by secondary architectural elements such as porches, verandas, and balconies.

*Multiple-Family Dwellings/Apartments*

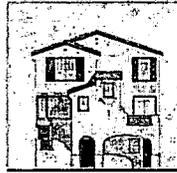
A multiple-family dwelling/apartment building is described as three or more individual dwelling units located in a single building. Dwelling units may be arranged either side by side or atop one another. The front façade and primary entrance front on a street, open space tract, or courtyard.

*Single-Family Detached Condominiums*

A single-family detached condominium is described as a stand-alone building containing one dwelling unit. These units are situated on common lots shared and maintained by a property owners association.



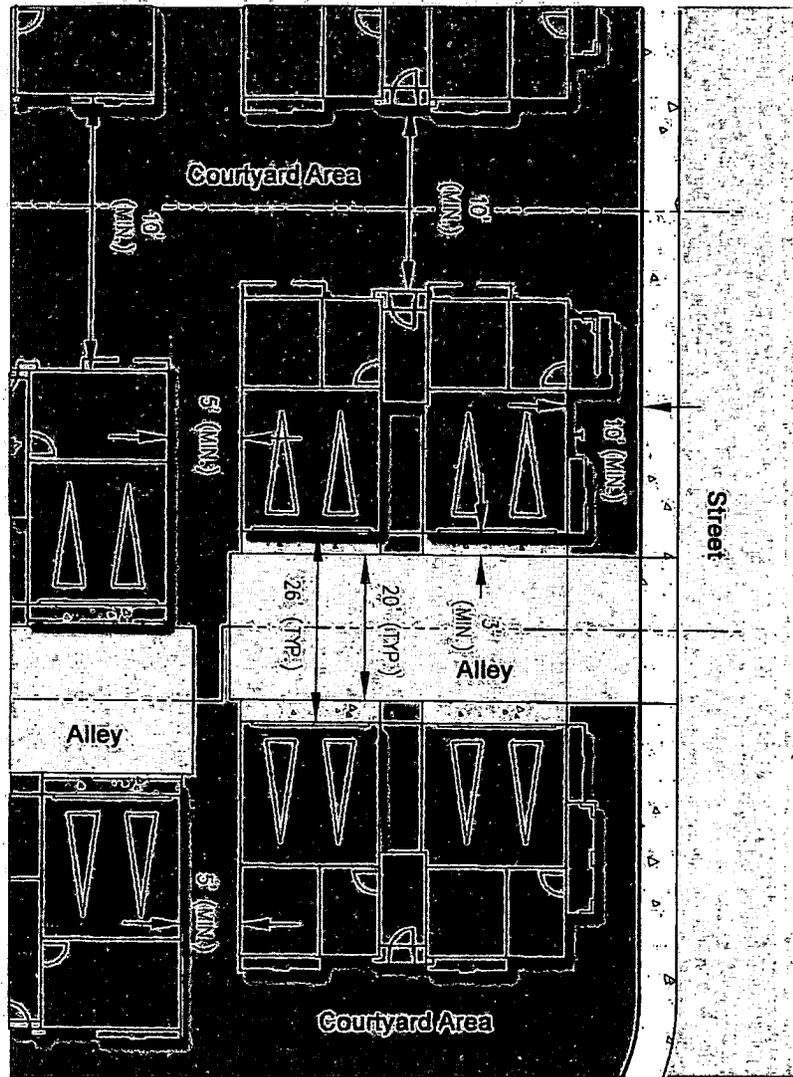
*Cluster Housing Example*



*Duplex Example*

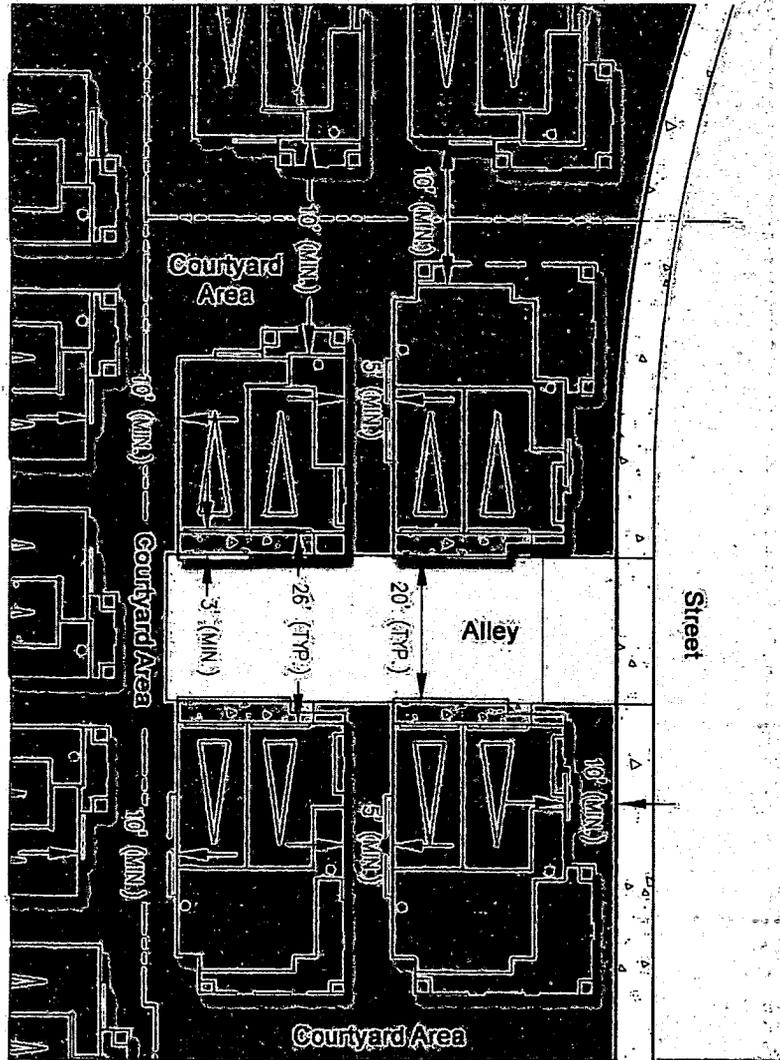


*Multiple-Family Dwelling/Apartments example*



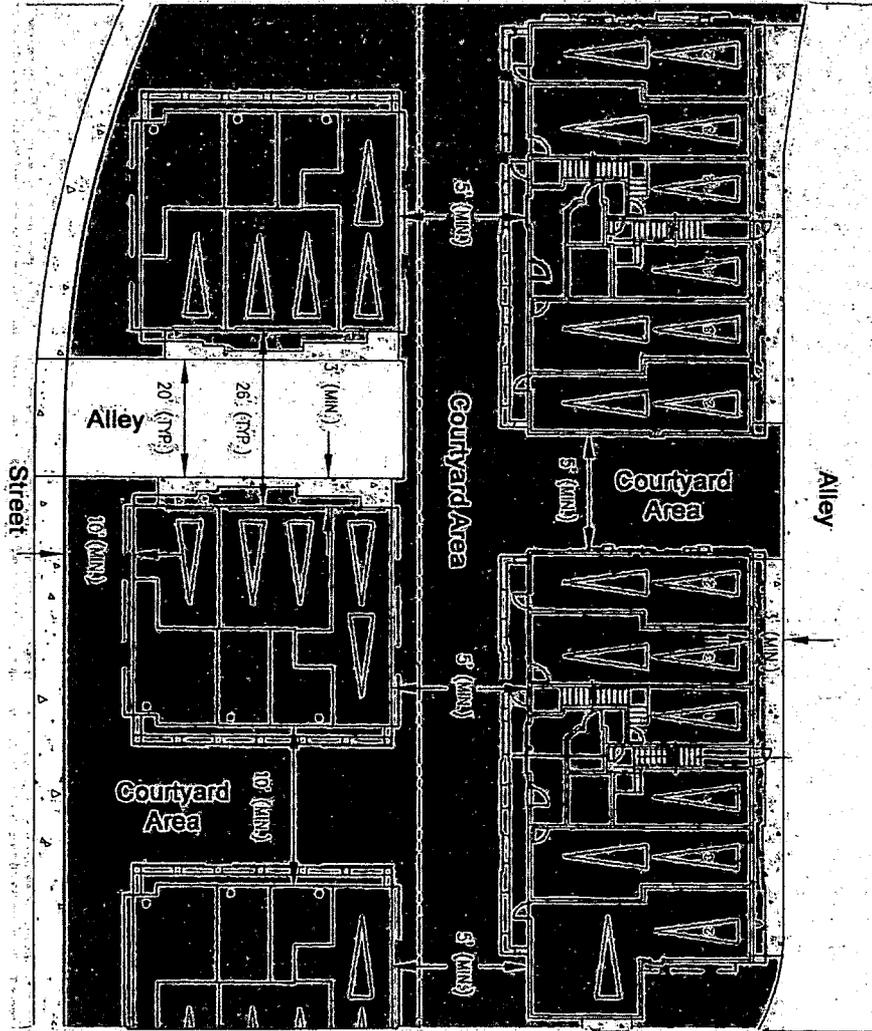
**Plot Plan - Cluster Housing**

Note: Dimensions are typical setbacks and building separation.



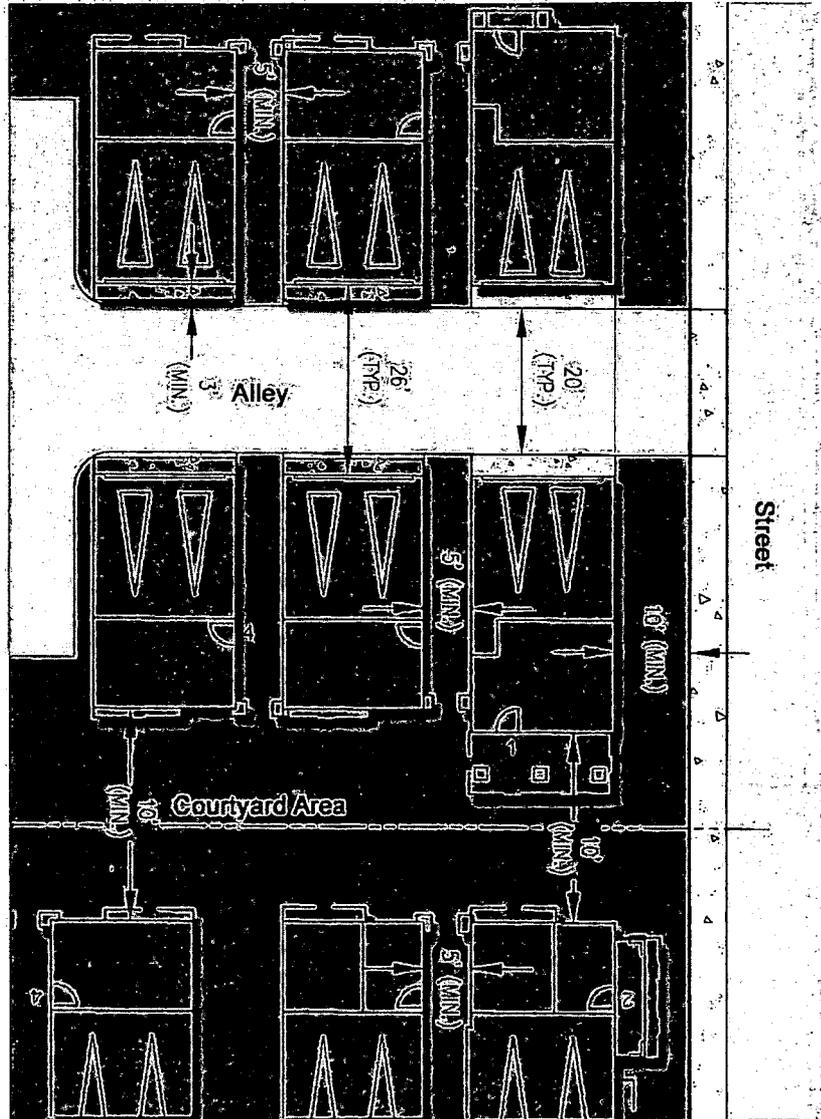
**Plot Plan - Duplex**

Note: Dimensions are typical setbacks and building separation.



**Plot Plan - Multiple Family**

Note: Dimensions are typical setbacks and building separation.



Plot Plan - Single Family Condos

Note: Dimensions are typical setbacks and building separation.

2.5 – Dimensional Standards

Table 2.5: Dimensional Standards									
Building Type	Max. Lot Coverage	Min. Lot Area/ Lot Width (6)	Primary Building Setbacks (1)(2)(3)(4)		Garage Face Setbacks (5)(11)		Building Separation (1)(3)(4)(8)		Height (6)(7)
			Min./Max. Street	Min. Side/Rear	Min. Street Loading	Min. Private Alley/ Access-way Loading	Minimum Front Façade to other façade	Minimum Side/Rear Facades to other facades	
<b>Residential District (RD)</b>									
Non-Residential	90%	N/A	10'/20'	5'	5'	3'	15'	10'	45-ft
Residential	90%	N/A/ 1,200 sq/20'(6)	10'/20'	5'	5'	3'	10'	5'	40-ft / 55-ft (7)
<b>Open Space District (OSD)</b>									
All Buildings	N/A	N/A	0'/25'	5'	0'	0'	10'	6'	35-ft
<b>Mixed Use District (MXD)</b>									
All Buildings	N/A	N/A	0'/25'	5'	0'	0'	10'	0'	75-ft
<p><b>Notes:</b></p> <ol style="list-style-type: none"> <li>No building setback is required in the RD between a new residential structure and an existing non-residential building, aside from what might be required by the Building Code.</li> <li>Architectural features such as chimneys, clock towers, and photovoltaics, etc. may extend beyond the maximum structural height.</li> <li>Upper story portions of a building may project into the setback and building separation areas according to the following: (a) Side setback/separation area: one and a half (1.5) feet, (b) Front setback/separation area: three (3) feet (c) Rear setback/separation area: two (2) feet OR five (5) feet when an alley or accessway is present. This standard is subject to the building code.</li> <li>These PUD guidelines allow for certain exceptions to the building setbacks where a structure abuts or extends into the required Landscape Setback as described in Section 5.3.2. Setback standards stated in Section 5.3.2. may supersede setback and building separation standards herein. In some cases, Section 5.3.2 may allow for lesser setback standards.</li> <li>Garage setbacks shall be measured from the garage door to the right-of-way edge for front loading designs and to the paving edges of alleys or accessways for rear loading designs.</li> <li>Building height is measured as the vertical dimension from the average elevation of the finished lot grade at the front of the building to the plate line, where the roof meets the wall.</li> <li>Residential buildings shall be limited to 40-feet of structure height. Alternatively, buildings with four or more units may be permitted a maximum structure height of 55 feet.</li> <li>Individual, fee simple lots shall be applicable to the lot dimensional standards. Residential units developed as condominiums and located on a common/shared lot shall be exempt from the lot dimensional requirements.</li> <li>Architectural projections attached to the ground such as chimneys, bay windows, stairs etc. may project into any setback by two (2) feet for a maximum width of ten (10) feet. Porches, patios, and balconies are permitted a 3 (three) foot street setback.</li> <li>The front façade shall be the principal face of any building generally hosting the majority of the openings and/or projecting the most prominent façade treatments. The front façade may be designated by the developer at the time of development. The front façade may either face a street, open space tract, and/or courtyard. The rear façade shall be the building face on the opposite end of the structure as the front façade.</li> <li>An accessway is defined as a private, shared driveway or motor court serving one or more buildings and is usually located behind the rear façade.</li> <li>No building separation shall be required where a structure is connected to a neighboring building by an architectural feature such as a shared exterior wall, porch, or balcony. (Cluster Housing - Bungalows)</li> <li>Table 2.3 establishes the FAR and density ranges for each land use district.</li> <li>Residential development that is part of a mixed-use building shall comply with the allowed floor area ratio (FAR) range and is not subject to the allowed density range. Stand-alone residential development shall comply with the allowed density range.</li> </ol>									

## 2.6 – Site Development Guidelines

### 2.6.1 – Building Orientation

The community shall be developed as an inviting, pedestrian-oriented neighborhood that encourages human interaction. The community will be both compatible with and reflective of Land Park and the adjoining Southside Park neighborhoods. Buildings shall be designed and oriented directly to public and semi-public spaces. In addition to the dimensional standards listed in table 2.4, buildings shall be planned and sited with a focus on the following development styles:

- **Front Façades** – Front Façades shall be oriented to a street, public open space, and/or courtyards.
- **Façades Treatments** – All façades facing a street, public open space, courtyard, alley, or accessway shall include windows and/or distinctive architectural elements or materials to avoid large monotonous wall planes.
- **Garage Doors** – Garage doors should be oriented to a rear or side alley or accessway. Garages may face a street so long as they are set back two (2) feet from the primary exterior wall and architectural treatments downplay their prominence on the building façade.
- **Building Entrances** – Buildings shall be designed to create a clear distinction of the main entrance(s). Buildings shall provide a clear pedestrian connection to a nearby street.
- **Streetscape Diversity** – Blocks will provide architectural diversity among neighboring buildings. Neighboring buildings should be distinctively different in terms of elevation design, exterior materials, color, and/or height. No more than two individual buildings with the same elevation shall be located side by side on a given block.
- **Service Areas** – Service and loading areas should be oriented away from an adjacent street. Where a site abuts multiple streets, a service and loading area may be developed near a street so long as a continuous wall screens the area from off-site view to the greatest extent practicable.



Building façades oriented to streets, parks, and courtyards

## 2.6.2 – Parking

Parking areas serving private development within the community should be secondary and less prominent than the primary uses and open space areas of the neighborhood. Additionally, parking demand will be reduced due to the community's distinct urban environment which provides on-street parking and creates a highly pedestrian-oriented atmosphere. Parking design serving private development shall focus on the following development standards:

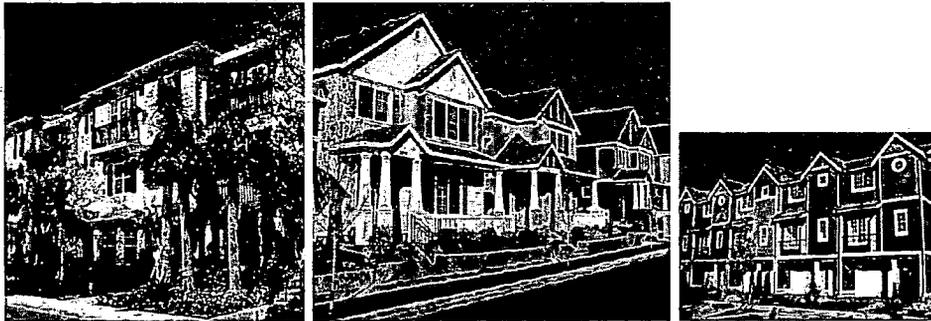
- **Private Parking Lots** – Surface parking lots should be sited and planned to be less prominent than the building and use they serve. Parking lots shall be buffered from the public right-of-way with a continuous hedge or non-opaque wall/fencing.
- **On-site Parking Location** – Parking lots should be located behind or to the side of adjacent buildings. A surface parking lot should not be located between a public roadway and the street-facing exterior wall of a building; for parcels that front on multiple streets, this standard shall only apply to one of the streets. Parking areas should be adequately screened either through landscaping or other screening feature.
- **Private Garage Parking** – Parking for private development may be provided in individual garages or within parking structures. When parking for private residential units is provided within a garage or structure, said garage or structure shall be located within 300 feet of the unit it is intended to serve. The minimum dimensions for a private garage is 9-ft. x 18-ft. Driveway lengths shall be consistent with the building setbacks/building separation standards listed in Table 2.4.
- **Required Parking Quantity** – Parking shall be provided for all uses according to the table below. Private residential garages, parking structures, and surface lots shall be counted towards this parking requirement.
- **Street Parking** – Street parking shall be provided along all internal local roadways to serve guests and business patrons of the community.
- **Parking Exemption** – The Open Air Market and the Adaptive Reuse Building shall be exempt from any parking standards. These buildings are intended to complement the Northwest Land Park community as a vibrant civic gathering place. The buildings are envisioned to attract many of its patrons from the immediately surrounding area and contribute to a highly pedestrian-oriented and bicycle-friendly community. The site shall provide direct linkages to the multi-use trail, which runs through the project and existing City bikeways along 5<sup>th</sup> Street, further promoting pedestrian and bicycle use.

Building Type	Required Motor Vehicle Parking Ratio	Required Bicycle Parking Ratio
<b>Residential</b>		
Cluster Housing	1 per unit	0.50 per unit OR 2 per building whichever is greater
Duplex	1 per unit	None
Multiple-Family Dwellings/ Apartments	1 per unit	0.50 per unit OR 2 per building whichever is greater
Single-Family Detached Condominiums	1 per unit	None
<b>Other Uses</b>		
Non-residential	25% less than City Standard	Per City Code
<p><b>Notes:</b></p> <ol style="list-style-type: none"> <li>(1) Required parking ratio is based on average stalls per unit within a shared building.</li> <li>(2) Private motor vehicle parking may be provided in private residential garages, parking structures, and surface lots. Tandem parking in private garages and private driveways is allowed.</li> <li>(3) Bicycle parking may be provided within private garages, parking structures, surface lots, and/or bicycle racks within adjacent courtyards.</li> <li>(4) Parking ratios are inclusive of resident and guest parking. No separate guest parking ratio shall apply.</li> <li>(5) For the purposes of these PUD guidelines, commercial athletic clubs, fitness centers, yoga studios and similar businesses shall be considered as retail uses for the purposes of calculating parking ratios.</li> <li>(6) The Open Air Market and Adaptive Reuse Building shall be exempt from any on-site parking requirement. Parking on surrounding streets may be used to satisfy the parking demand.</li> </ol>		

2.6.3 – Colors

A coordinated palette of colors shall be applied to all buildings, concrete and stucco walls, and architectural elements within the community. Color application shall be focused on the following development styles:

- **Color Selection** – Colors should be responsive to the natural environment and project low reflectivity in radiant sunlight. Color selections should include earth tones and rich tones. Stark whites, pure blacks, and florescent hues shall be avoided as primary façade colors. Wood stains shall be considered appropriate color applications.
- **Color Palette** - Buildings shall have a minimum of three colors in a coordinated and complementary palette. Trim and Fascia elements may be included in the minimum color requirements. Trim and Fascia elements shall be different from the primary exterior wall color.
- **Color Variety** - Buildings shall be painted with a variety of color palettes to provide visual diversity among individual structures. Residential buildings shall specifically have a different primary color than the neighboring structure.
- **Garage Doors** - Garage doors shall be painted to understate their prominence to the façade in which they are attached.
- **Masonry Walls/Fencing** – Masonry walls/fencing shall be painted complementing colors to nearby buildings within the Northwest Land Park Community. Color styles are only intended for concrete and stucco finished walls. Masonry walls/fencing may be designed with stone or finishes that resemble stone.



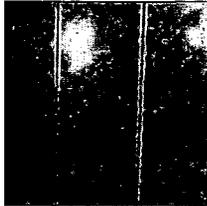
Buildings with a variety of color palette

2.6.4 – Materials List

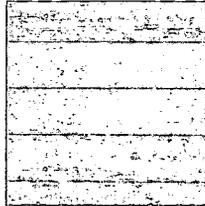
A mix of coordinated materials may be used on any building within the community. The exterior building materials shall focus on the following development styles:

**Table 2.6.4: Exterior Materials**

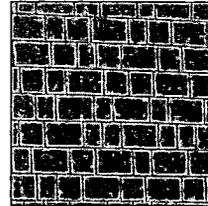
*Exterior Wall Treatments*



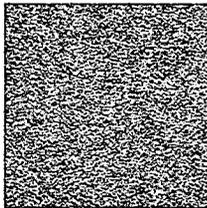
Board & Batten



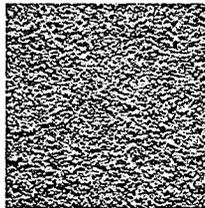
Horizontal Siding



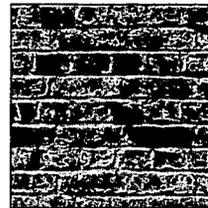
Hardboard Shingle Siding



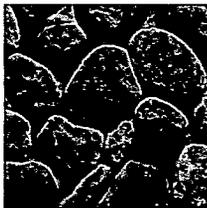
Plaster



Plaster – Heavy Texture



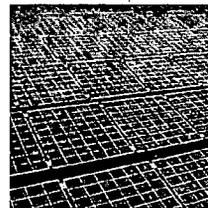
Brick



Stone – River Rock

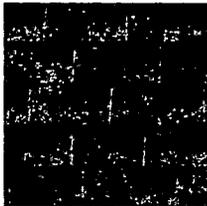


Stone – Rustic Ledge

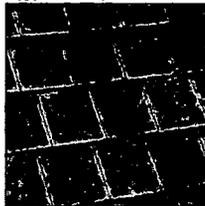


Photovoltaic Cells

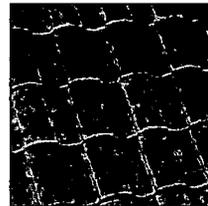
*Roof Treatments (Sloped only)*



Roof Tile – Shingle



Roof Tile – Flat



Roof Tile – "S"

Note: Exterior walls and roofs should be focused on the appearance and texture of the above examples but not subject to specific products or natural materials. Alternative materials and concrete treatments that resemble the above examples are permitted on any building exterior. Flat roofs are not subject to the aforementioned material standards.

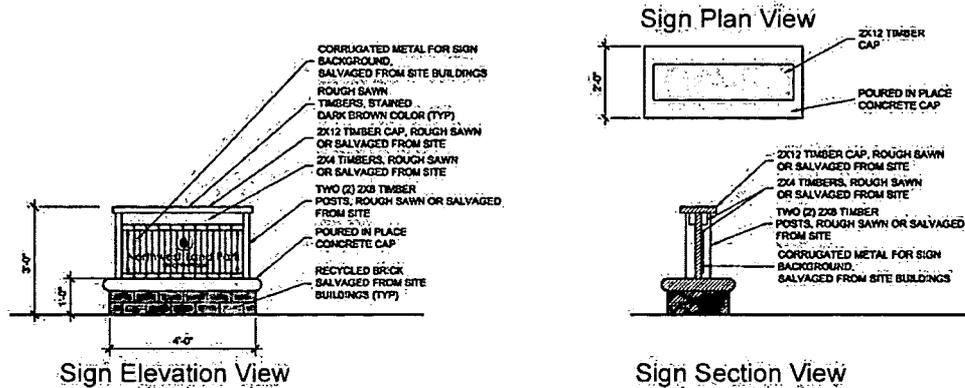
2.6.5 - Signage

Signage within the Northwest Land Park community shall project a consistent theme and style throughout the development. In doing so, a comprehensive signage design package shall be approved by the Planning Director.

The allowable signage in the Northwest Land Park community includes *Project Identification Signage*, *Neighborhood Identification Signage*, *street signage*, and *Directional Signage*. Project signage for community facilities and major destination within the neighborhood are also permitted. Street entry signage is envisioned at all neighborhood entryways from Broadway and 5th Street. Signage shall include complementary materials as found on community buildings and major architectural elements. Signage may also incorporate reuse material from the site's original buildings and structures.

Signage area and locational standards shall be consistent with the Sacramento Sign Code based on the underlying zone. Notwithstanding, a sign program, subject to approval by the Planning Director shall be submitted for any signage for the Open Air Market.

Typical Neighborhood Identification Signage



2.6.6 - Buffering

The Northwest Land Park community shall be planned and developed to buffer greatly differing land uses to ensure compatibility and livability. Buffering shall be focused on areas within the community that propose new residential buildings adjacent to existing industrial uses. Buffers shall be planned and constructed according to the following:

- Phase 2 Residential Buffer - A continuous buffer shall be constructed along the RD portions of the project boundaries that abut industrial uses and industrially zoned land. The buffer shall include, at a minimum, a ten (10) foot high uniform wall. The buffer wall shall be landscaped with fast-growing trees planted on the project side (see Appendix A, Condition 1).
- Phase 4 Residential Buffer - A continuous buffer shall be constructed within the RD portions of the community along the eastern project boundary that abuts industrial uses and industrially zoned land. The buffer shall include, at a minimum, a ten (10) foot high uniform wall. The buffer wall shall be landscaped with fast-growing trees planted on the project side. This buffer shall only be required to be constructed where residential

development will occur near or adjacent to the eastern boundary. A buffer is not required to be constructed directly along 3rd Street (see Appendix A, Condition 2).

## 2.7 – Architectural Styles

Northwest Land Park will include a variety of architectural styles and an eclectic mix of building styles to create a distinct neighborhood district. The proposed architectural styles at Land Park are historically based, drawing inspiration from the neighboring residential areas. The following architectural development styles represent the most prominent elevation and building design for the community.

### 2.7.1 – Spanish Style

#### Spanish Style Architectural Elements

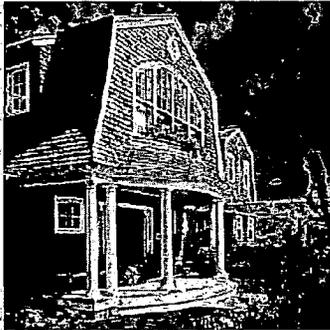
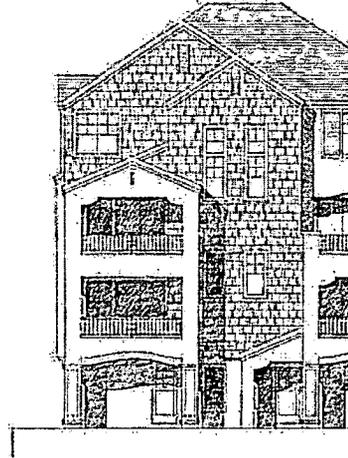
- Stucco exterior
- Square, arched and corbelled openings
- "S" tile roof
- 4/12 roof slope
- Mostly gable roofs
- Decorative gable vent tiles
- Decorative horizontal trim
- Board shutters
- Corbels
- Wainscot
- Decorative plaster projections



2.7.2--Shingle Style

**Shingle Style Architectural Elements**

- Stucco and shingle siding
- 6/12 to 8/12 roof slope
- Gables and hips
- Flat roof tiles
- Openings with square or double curve tops
- Trim at top of openings
- Decorative gable vents
- Corbels
- Plaster columns with panels and plaster trim
- Louvered shutters
- Decorative plaster projections



2.7.3 – Craftsman Style

**Craftsman Style Architectural Elements**

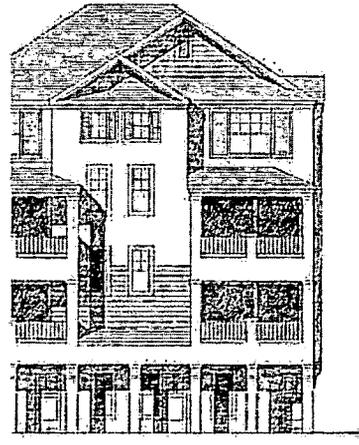
- 4/12 roof slope
- Mostly gable roofs
- Flat concrete tile
- Projecting rakes and beam ends
- Projecting eaves and rake boards
- Decorative plaster projections
- Stucco, shingle siding, board and batten siding and brick pattern veneer
- Board shutters
- Square and arched openings
- Horizontal trim
- Decorative plaster projections
- Corbels



2.7.4 - Traditional Style

Traditional Style - Architectural Elements

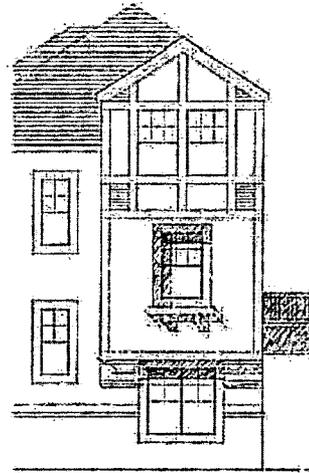
- Dutch gables with horizontal siding
- 6/12 to 8/12 roof slope
- Gables and hips
- Flat roof tile
- Porches with regularly spaced columns
- Columns with trim at top
- Open rails at porches
- Stucco and horizontal siding
- Louvered shutters
- Decorative gable vents
- Decorative plaster projections
- Corbels



2.7.5 – European Style

**European Style Architectural Elements**

- Gables with horizontal siding
- 6/12 to 8/12 roof slope
- Gables and hips
- Flat roof-tile
- Columns with trim at mid-height
- Decorative rails with horizontal, vertical and/or diagonal patterns
- Stucco, horizontal siding and brick pattern veneer
- Trim in horizontal, vertical and/or diagonal patterns on walls
- Board shutters
- Corbels
- Square and round head openings



### Chapter 3 – Open Space Framework

#### 3.1 – Open Space Framework

The Northwest Land Park community is designed with a variety of open space and park areas including a central public park and a linear green space corridor spanning the community. The Northwest Land Park community includes a 4.3-acre public park located central to the neighborhood. (see Map 3.A)

The City has a service level goal to provide 5 acres of neighborhood and community parkland for every 1,000 residents. This goal is partially implemented by requiring 0.0088 acres of parkland for each multifamily unit within a new development. The target maximum residential count is 825 dwelling units; this target development intensity will require 8.64 acres of parkland to be provided by full build out. However, the final unit count at build-out may vary but will be within the allowable density ranges established by the General Plan; any park shortfall due to additional densities and changes in unit type will be mitigated with additional park land or fee. The Northwest Land Park community will achieve this requirement with a combination of park dedication and a payment in lieu as the community is built out, thus implementing the City's goal and commitment to providing quality parks and recreation to the community as a whole.

The Open Space Framework also includes semi private courtyards that are planned to provide passive outdoor gathering space for attached and multi-family residential buildings. These courtyards will be planned, located and designed as part of individual neighborhoods and will provide common areas for those specific residents.

#### 3.2 – Open Space Development Guidelines

The Northwest Land Park community shall be designed with an integrated open space network that will contribute to the overall community vision. Open space districts and amenities shall focus on the following development standards:

- Hierarchy of Open Space – The community shall be designed with a clear hierarchy of parks and open space amenities that will serve a variety of community recreational needs.
- Park – The community shall be designed around a significant, yet distinctive central park to serve as a civic node and neighborhood focus. The park is located within two blocks of the majority of the neighborhood residents.
- Neighborhood Trail Network – The community shall be designed with an integrated trail network to provide comfortable pedestrian and bicycle linkages to the central park and districts within the community.
- Private Courtyards – The community will provide semi-private open space for all cluster, duplex, and multiple-family units within the neighborhood that otherwise do not front on streets, parks and/or greenway corridors. Courtyards will be provided to ensure all residents have outdoor areas for gathering and enjoyment within close proximity to their individual dwellings.



*The neighborhood park shall be a prominent community focal point with buildings and roadways oriented towards the public space.*



Map 3.A- Open Space Framework Plan

-  Open Space District (OSD)
-  Private Courtyards (approx. location/ see standards)
-  Community Trails (approx. alignment)
-  Tunnel Option
-  Metal Burner Structure Option

Northwest Land Park RUD Guidelines

Table 3.2: Northwest Land Park Quimby Calculations				
<b>Phase 1 = 201</b>				
Unit Classification	Dwelling Units	Factor	(DU x Factor) Park Acreage	Ratio of Phase
Single Family Unit	29	0.0149	0.4321	14%
Multifamily Dwelling Units	60	0.0088	0.5280	30%
Two Family Units / Halfplex	112	0.0112	1.2544	56%
<b>Totals:</b>	<b>201</b>		<b>2.2145</b>	
<b>Phase 2: Total Units = 132 - 190</b>				
Unit Classification	Dwelling Units (using Ratio from Ph 1)	Factor	(DU x Factor) Park Acreage	
Single Family Unit	0	0.0149	0.0000	0%
Multifamily Dwelling Units	35	0.0088	0.3080	23%
Two Family Units / Halfplex	120	0.0112	1.3440	77%
<b>Totals:</b>	<b>155</b>		<b>1.6520</b>	
<b>Phase 3: Total Units = 188 - 270</b>				
Unit Classification	Dwelling Units (using Ratio from Ph 1)	Factor	(DU x Factor) Park Acreage	
Single Family Unit	31	0.0149	0.4619	14%
Multifamily Dwelling Units	113	0.0088	0.9944	52%
Two Family Units / Halfplex	75	0.0112	0.8400	34%
<b>Totals:</b>	<b>219</b>		<b>2.2963</b>	
<b>Phase 4: Total Units = 189 - 307 (2)</b>				
Unit Classification	Dwelling Units (using Ratio from Ph 1)	Factor	(DU x Factor) Park Acreage	
Single Family Unit	0	0.0149	0.0000	0%
Multifamily Dwelling Units	136	0.0088	1.1968	54%
Two Family Units / Halfplex	114	0.0112	1.2768	46%
<b>Totals:</b>	<b>250</b>		<b>2.4736</b>	
<b>Totals and Summary</b>				
Area / Phase:	Total Units	Park Acreage	Land Value / Acre:	Quimby Fee:
Phase 1	201	2.2145	\$ 250,000.00	\$664,350.00
Phase 2-	155	1.6520	\$ 250,000.00	\$495,600.00
Phase 3	219	2.2963	\$ 250,000.00	\$688,890.00
Phase 4	250	2.4736	\$ 250,000.00	\$742,080.00
<b>Totals:</b>	<b>825</b>	<b>8.6364</b>		<b>\$2,590,920.00</b>
	<b>Half as Dedication =</b>	<b>4.3182</b>	<b>Half as Fee =</b>	<b>\$1,295,460.00</b>
<b>Note:</b> (1) Any park shortfall due to additional densities & changes in unit type will be mitigated with additional park land or fee. (2) Total unit count not to exceed 825 dwelling units.				

3.3 – Park

A 4.3-acre park is located central to the project and serves a one-mile radius to provide recreational opportunities for the Northwest Land Park community and the immediately surrounding neighborhoods. The park is located adjacent to the Jeddiah Smith Elementary School and Arthur Benjamin High School to create a larger civic node central to the neighborhood. The park will be dedicated to the Sacramento Department of Parks and Recreation for planning, programming, development, and maintenance.

The park will accommodate a variety of civic gathering and recreational uses. Specifically, the Park will provide less intensive recreational activities including playgrounds, small play fields, sports courts, trails, and picnic areas.



Park arranged as a central focus.



Picnic and gathering shelters

The Park will serve as a hub for the neighborhood's trail network. Specifically, the neighborhood trails radiate outward from the park and connect residential areas, civic uses, and neighboring uses to a comprehensive open space network.

Park Development Guidelines

- **Park Orientation** - The park shall be designed to be oriented to the pedestrians, bicyclists and the surrounding residential dwellings.
- **Park Programming** - The park's programming includes playfields, sport courts and recreation facilities shall be sized appropriately, in scale with, and complementary to the surrounding residential uses. Recreational activities shall not interfere with, or impose on the adjacent residential uses in terms of noise, light, and view obstruction.
- **Recreational Hierarchy** - The park shall be designed to include a hierarchy of recreational uses that range from passive outdoor space to active play areas. Use areas shall be located and planned according to intensity and compatibility with adjacent uses.
- **Compatibility** - Utilities and waste receptacles shall be planned and located away from adjacent residential uses and screened from rights-of-way. Lighting shall be designed not to project a nuisance onto adjacent residential uses.
- **Safety** - The park shall be designed to provide a safe outdoor environment by providing high visibility to all areas of the park as seen from the adjacent rights-of-way and neighboring uses. **Fencing** - Fencing shall be limited to non-opaque, decorative material along the park's perimeter. Chainlink and opaque fencing shall not be installed along park boundaries that will otherwise block views from surrounding residential uses.
- **Landscaping** - Landscape material shall be consistent with the plant list and hardscape elements listed in the Landscape Framework of these Guidelines.
- **Adaptive Reuse Building** - A portion of the existing wholesale produce building will be modified as an adaptive reuse building to complement the neighborhood park and provide indoor community space. The building entrance shall be oriented to an adjacent right-of-way with a designated pathway linking pedestrians to public sidewalks.
- **Master Plan**: The neighborhood park design and facility programming may be more defined as part of the City of Sacramento park master plan process.

3.4 – Setzer Run Greenway Corridor

The Setzer Run Greenway Corridor is composed of linear parklands planned to radiate outward from the central park. Setzer Run contains a continuous multi-use trail that is interconnected with the community's open space network and links recreational areas to the park and the adjacent schools to the south. The Setzer Run Greenway Corridor is private and will be dedicated to the property owners association for ownership and maintenance.

Setzer Run's east and west sections are aligned and integrated amongst the blocks to weave the open space framework into the residential areas. This design allows residential units to front directly onto open space corridors and provides for pedestrian linkages to the central park. The south section creates an open space and pedestrian linkage to the neighboring schools and existing residential uses to the south.

Setzer Run is a passive recreation amenity with a heavily landscaped corridor that complements the style and theme found in the park. Recreational uses are generally limited to a continuous multi-use trail with a few gathering spaces.

If developed, the tunnel option will allow for a pedestrian and bicycle connection under Interstate 5 between the Northwest Land Park Community and Miller Park along the Sacramento River. The tunnel option design will incorporate paving, lighting, wayfinding, and security enhancements for pedestrian and bicycle use. Finally, if the tunnel option is implemented, Setzer Run may be dedicated to the public for overall community use. In this situation, the Northwest Land Park homeowners association will maintain Setzer Run since it serves as the "front door" to many of the residences and to ensure routine and quality maintenance scheduling.



Setzer Run is a continuous greenway. Some residential units will front directly on Setzer Run.

Setzer Run Greenway Corridor Development Standards

- **Complementing Style** - Setzer Run shall complement the abutting residential uses. Landscape plantings, lighting, paving, and furniture shall be complementary to similar design elements in the adjacent residential community.
- **Pathway** - The corridor shall include a paved multi-use trail designed to radiate outward from the park. The trail shall be a minimum of 12-ft in width in accordance with City requirements and shall be lined with shade trees and shrubs.
- **Safety** - Setzer Run shall be designed to provide a safe outdoor environment by providing high visibility to all areas as seen from the adjacent roadways and/or neighboring uses. Landscaping and fencing shall be planned at an appropriate scale to define the corridor edges while not eliminating views as seen from adjacent uses.
- **Fencing** - Fencing shall be limited to non-opaque, decorative material along the corridor's perimeter. Fencing shall be limited to four (4) feet in height. Chainlink and opaque fencing shall not be installed along corridor boundaries that will otherwise block views from adjacent residential uses.
- **Boundaries** - Setzer Run shall be planned and developed to provide a clear delineation of the park's edges and property boundaries.
- **Compatibility** - Utilities shall be planned and located away from adjacent residential uses and screened from roadways. Lighting shall be designed to not project a nuisance on to adjacent residential uses.
- **Landscaping** - Landscape material shall be consistent with the plant list and hardscape elements listed in the Landscape Framework of these Guidelines.
- **Shade** - Setzer Run shall include trees and other landscape material that achieves 70-percent shade coverage at maturity.

### 3.5 – Private Courtyards

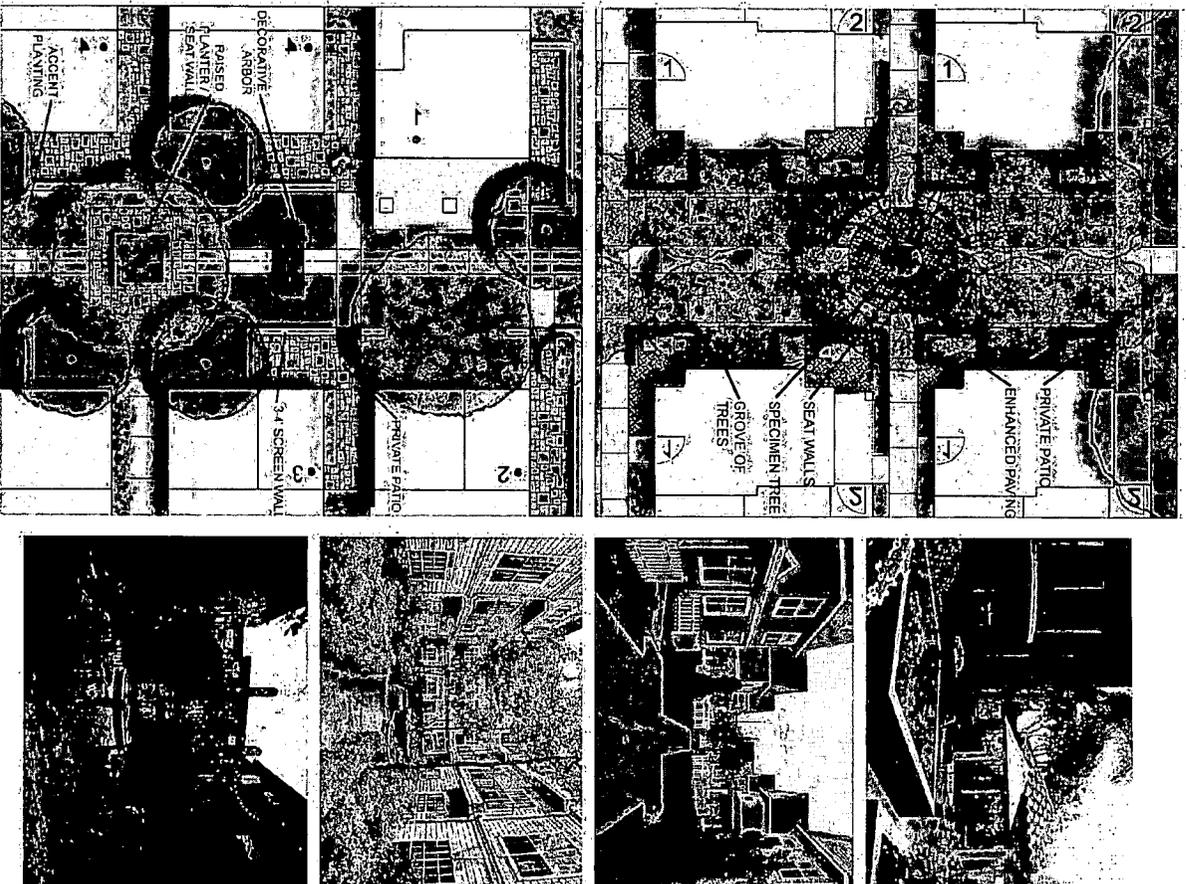
Private Courtyards will be planned and integrated as part of all attached and multi-family residential developments that do not have individual private lots. Courtyards are common outdoor gathering spaces for the residents of the residential units in which they are a part. Specifically, courtyards provide outdoor spaces for residential units that have limited or no private outdoor yards. Courtyards also act as the front yard and primary pedestrian access way to individual residential units that do not front directly onto a street or a public park. Courts are planned to provide the access linkage from the public rights-of-way and private streets and define the transition between the public and private realms. In most cases, courtyards should be planned to interconnect with other courtyards via sidewalks to provide continuous pedestrian linkages amongst uses within the same block.

The Courtyards within the Northwest Land Park community shall be passive outdoor environments. Their design shall be responsive to the building in which they serve and shall include complementary building elements including hardscape, ornamentation, and furniture. Open space elements should be limited to seating areas and gathering spaces. Swimming pools, community rooms, gazebos, and small lot lots may be developed in larger courtyards. Courtyards are developed as part of the building in which they serve. They will be maintained by the associated homeowner's association.

#### Courtyard Development Standards

- **Required Courtyards** - Courtyards shall be provided as part of cluster housing and multi-family developments. Courtyards shall also be required where a residential dwelling does not front on a street, open space, or park. A pedestrian pathway may be provided in lieu of a courtyard where a residential building is adjacent to an existing non-residential building intended for preservation.
- **Complementary Style** - Courtyards shall complement the building they serve in terms of size and scale. Landscape plantings, lighting, paving, and furniture shall reflect similar elements used in the adjoining building(s).
- **Accessibility and Use** - Courtyards shall be accessible and useable to the residents they serve. Courtyards shall include a paved sidewalk/pathway and provide a linkage to primary building entrances and to a nearby roadway.
- **Safety** - Courtyards shall be designed as safe outdoor environments by providing high visibility as seen from the building they serve. Landscaping and fencing shall be planned at an appropriate scale and shall not impede views as seen from the buildings' windows.
- **Fencing** - Fencing shall be limited to decorative material that complements the adjacent buildings' design.
- **Boundaries** - Courtyards shall be planned and developed to provide a clear delineation of the space boundaries and make a clear distinction between the public and private realms.
- **Comfort** - All courtyards shall be designed as outdoor gathering spaces with seating and shaded landscaping.
- **Landscaping** - Landscape material shall be consistent with the plant list and hardscape elements listed in the Landscape Framework of these Guidelines.
- **Dimensions** - Required courtyards shall be established at an appropriate width and dimension to support passive outdoor recreation opportunities for the adjacent residential that they are intended to serve. At least 75 percent of the required courtyards shall be a minimum of 20 feet in width as measured between two opposite building exterior walls. The residual courtyards shall be at least 10 feet in width. Porches, patios, balconies, and architectural elements may encroach into the minimum courtyard width.

Northwest Land-Park Pub Guidelines



*Courtyards are common outdoor gathering spaces for a collection of attached dwellings. Courtyards shall vary in design throughout the community.*

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## Chapter 4 – Transportation Framework

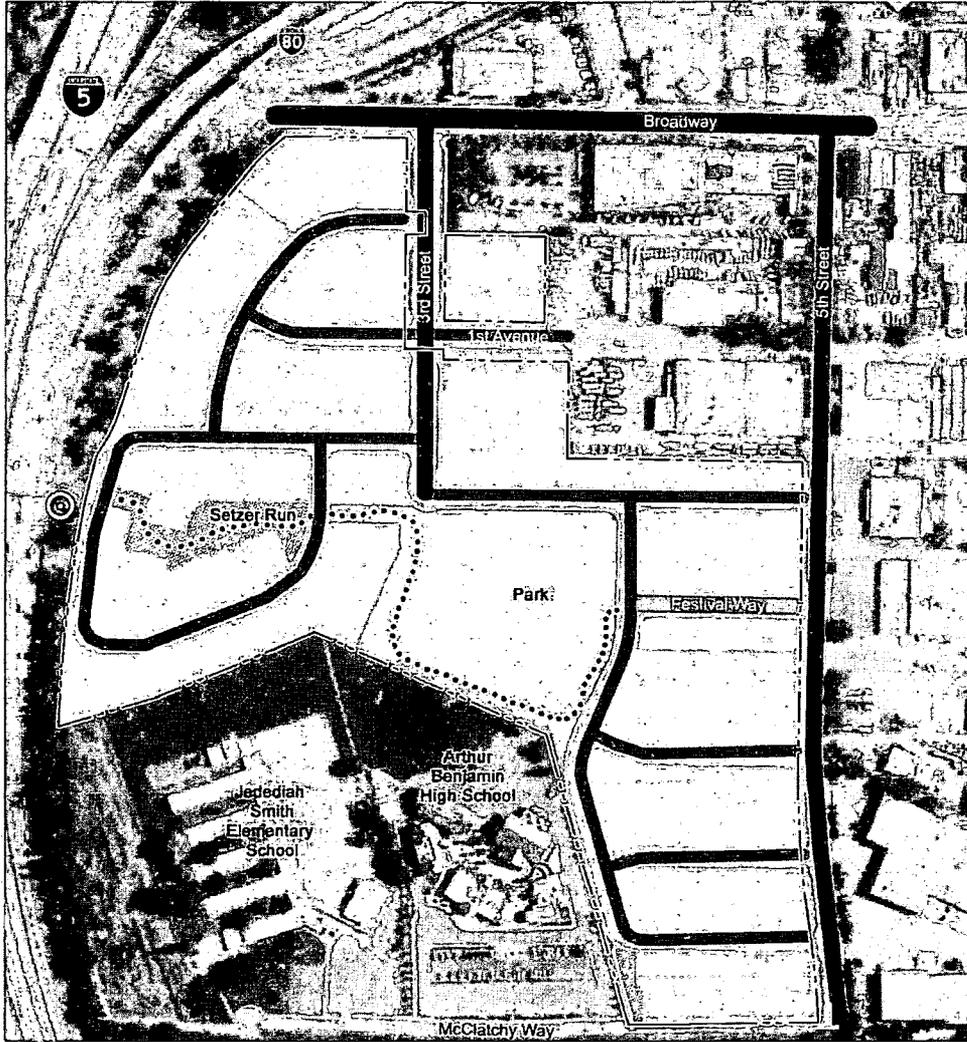
### 4.1 – Transportation Framework

The Transportation Framework establishes the general design and character for the streets and trail facilities within the community. The Northwest Land Park community will provide an intimate, urban neighborhood that is compact in design with a vibrant public realm. In doing so, its streets and transportation network are planned to become a distinctive urban design component of the community. Generally, the streets should be laid out as a modified grid in keeping with an urban character and continuing the pattern of the Central City. Streets should be designed to project a strong pedestrian environment and the streetscape elements should aim to create a distinctive sense of place similar to Land Park. (See Map 4.A)

### 4.2 - Transportation Development Guidelines

The Northwest Land Park community will be designed with distinctive streetscapes, roadways, and multi-use trails that will contribute to the overall community vision. Community streets and trails shall focus on the following development standards:

- **Distinctive Urban Neighborhood** – The community will create a unique and distinct neighborhood in terms of design and amenities. The neighborhood streets shall project a strong sense of place while complementing its surroundings.
- **Choice of Mobility** – The community shall allow for multiple modes of transportation including private automobiles, bicycles, and pedestrian mobility.
- **Street Connectivity** – The community streets shall be designed on a modified grid with multiple connections to the surrounding roadway network.
- **Pedestrian and Bicycle Connectivity** – The community shall provide sidewalks on both sides along all streets, and a defined multi-use trail network. The community shall develop private pathways that provide pedestrian linkages within individual blocks and between community uses.
- **Traffic Calming** - Internal community streets and appropriate roadways in the immediately abutting neighborhoods shall be designed, constructed, or improved to achieve an environment that is safe and inviting to pedestrians. If feasible, a traffic circle shall be constructed at the intersection of McClatchy and 5th Street. Traffic calming measures on adjacent streets shall be focused on 5th Street and Vallejo Street. Traffic calming measures shall be explored at the sole discretion of the developer and shall be consistent with any approved in the Development Agreement (see Appendix A, Condition 3).
- **Attractive Environment** – The community streets shall provide enhanced streetscape elements such as landscaping, street lights, and street furniture that create an attractive street environment. Streets shall coordinate tree and plant palettes to provide a thematic and distinctive character. Landscaping along internal local streets shall be created within buffer yards on private property to provide generous plantings and to ensure long term maintenance.
- **Safe Environment** – Streets shall be designed to be safe in terms of traffic mobility, diversity in users, and crime prevention.



**Map 4.A - Transportation Framework Plan**

-  Minor Arterial 80' R.O.W.
-  Minor Collector 71' to 80' R.O.W.
-  Local Street 41' R.O.W. / Facility Width
-  Festival Street 68' R.O.W. / Facility Width
-  Community Trails (approx. alignment)
-  Tunnel Option

#### 4.3 – Facility Descriptions

- **Minor Arterials** - Broadway is an arterial roadway that abuts the community along its northern boundaries. The portions of Broadway that abut the community shall be designed to create a comfortable urban pedestrian environment.
- **Minor Collectors** - 3rd and 5th Streets are existing collector roadways within and adjacent to the Northwest Land Park community. These minor collectors serve as gateways into the neighborhood and provide connections to surrounding neighborhoods. These streetscapes shall be enhanced for the portions that abut or are within the Northwest Land Park community. Specifically, 3rd Street shall be designed as an urban cross section with general hardscape and pedestrian amenities for portions that abut mixed use development. 5th Street shall be designed as a residential cross section with sidewalks and landscape planters.
- **Local Streets** - The internal local streets within the Northwest Land Park community shall be designed as *local residential roadways without planters* to create a distinctively urban residential community. Streets should be designed with rolled curb and gutter with integral sidewalks. Landscaping shall be provided within landscape planters behind the sidewalks to allow for generous planting of canopy shade trees and to ensure the streetscape is maintained by private property owners associations.
- **Festival Street** – A Festival Street is an adaptation of local streets. This roadway section is designed so it can be closed to vehicular traffic and used as an open outdoor pedestrian environment and event area. A Festival Street provides standard curbs and perpendicular parking on both sides of the street. Pedestrian paths of travel can be integrated into the outdoor spaces of the existing buildings, alternatively, traditional curb tight sidewalks may be provided where space allows. Individual travel areas are designated with treatment elements such as stamped concrete, coloration, and texture. Streetscape plantings for a Festival Street may be located within the public right-of-way and/or within landscape setbacks outside the paved area and on adjacent property lining the space. Given the intended character and dimensional arrangements, a Festival Street shall be exempt from specific shading standards.
- **Community Trails/Setzer Run** - The Northwest Land Park community shall include an interconnected multi-use trail network that links the central park to community uses, neighboring uses, and the greenway corridors. Trails shall be designed with 12-foot of pavement, allowing two-way pedestrian and bicycle travel. Landscaping with shade trees and shrubs will be provided along pavement edges to contribute to a comfortable and aesthetically-pleasing environment for trail users.

4.4 – Facility Types

The Transportation Framework plan is composed of a specific facility hierarchy arranged by intended user and intensity. Specific street cross sections are established for the Northwest Land Park community which, collectively contribute to the community vision and intended character. The community streets are designed per City of Sacramento roadway infill standards in order to create a desired community character and achieve a compact urban environment.

The following table lists the development standards for streets and trails in and abutting the Northwest Land Park community. The subsequent subsection illustrates the typical facility designs for the community.

Facility Type	Right-of-way Width	Travel Lanes	Pavement Width	Sidewalk Width <sup>(2)</sup>	Landscape Setback Width <sup>(2)(4)</sup>	Street Parking	Bicycle Lanes
Minor Arterial	80'	4	44' - 52'	8'-12'	0'	No	Yes
Minor Collector	71' to 80'	2	40' - 48'	5'	6 - 10' <sup>(3)</sup>	Yes	Yes
Local Street	41'	2	30'	5'	6' - 10' <sup>(3)</sup>	Yes	No
Community Trail	20'	N/A	12'	N/A	0'-12'	N/A	N/A
Alleys/ Accessways	Not Applicable	2	20'	None	None	No	No
Festival Street (private)	68'	2	26'	10' min. (one side)	-	Yes	No

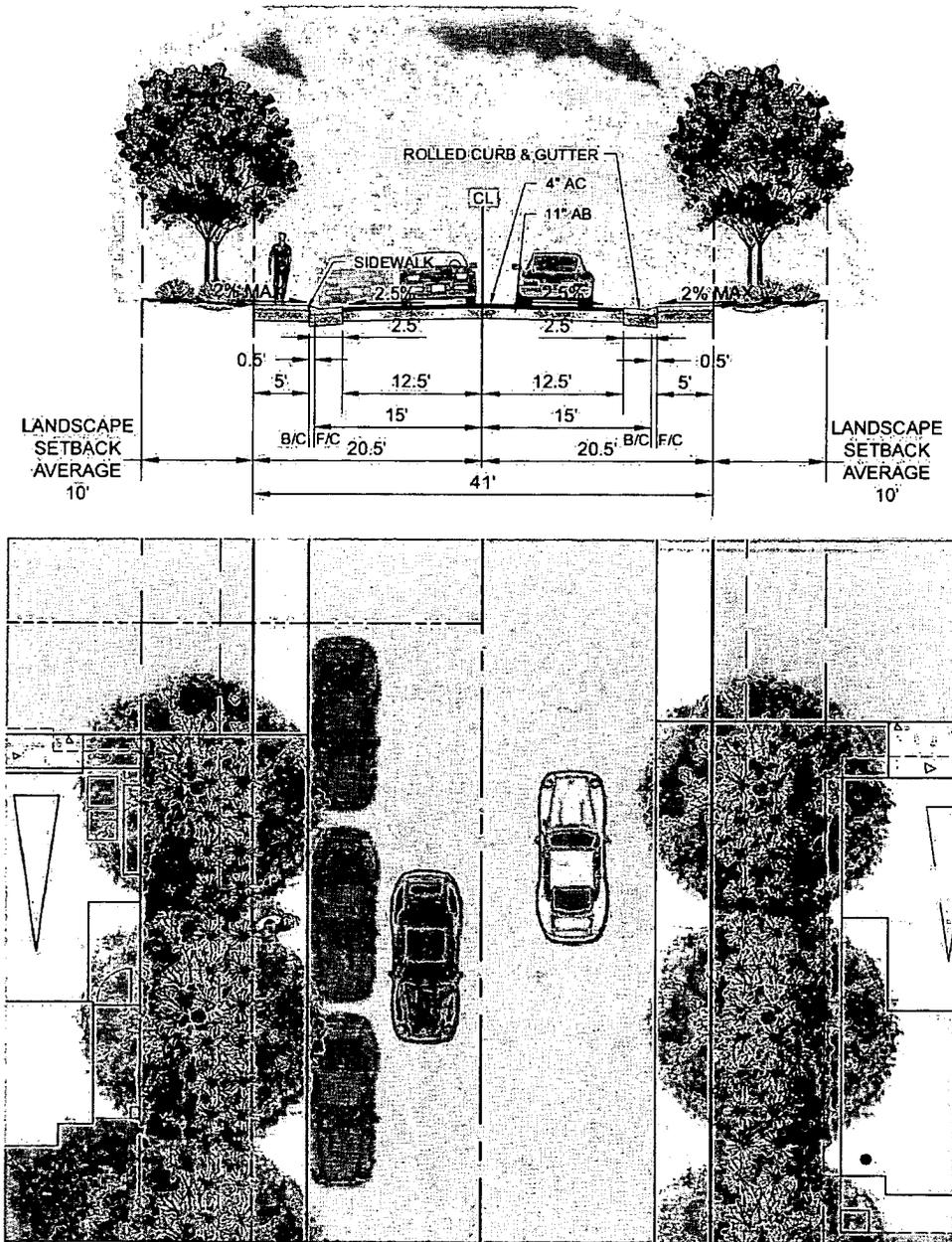
Notes:

- (1) Landscaping and plantings for Local Streets are provided within a landscape setback on private property behind the sidewalks. Mailboxes, lighting, private utilities and other street furnishings may be permitted within the landscape setback when approved by the developer. Refer to 5.3.2 for allowable encroachments.
- (2) The sidewalk and landscape setback may be combined to create a continuous hardscape area for sections that abut mixed-use.
- (3) The plant list for street trees, shrubs and vegetative material is stated and described in the Landscape Framework section of these Guidelines.
- (4) Community Trails shall have a landscape planter along at least one side of the sidewalk/pathway.
- (5) On-street parking shall be permitted on all internal local streets.
- (6) Landscaping and plantings for a Festival Street are provided within a landscape setback on private property behind the sidewalks or within landscape islands between parking spaces.
- (7) Festival Streets are exempt from any shade cover standards.

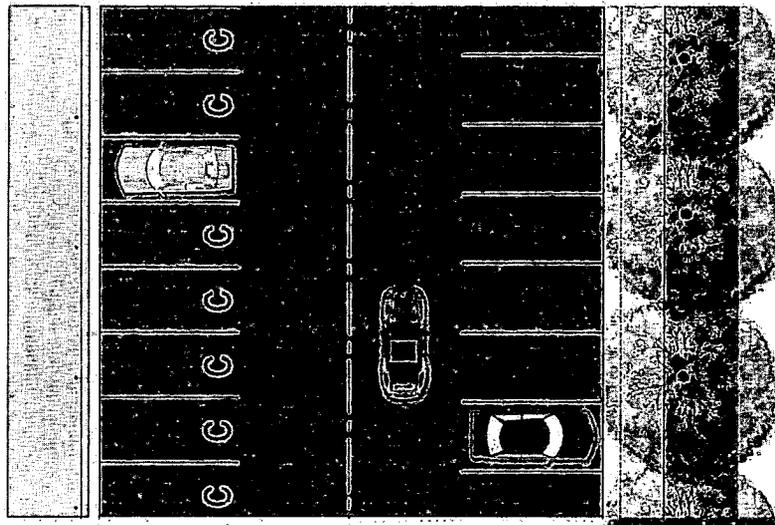
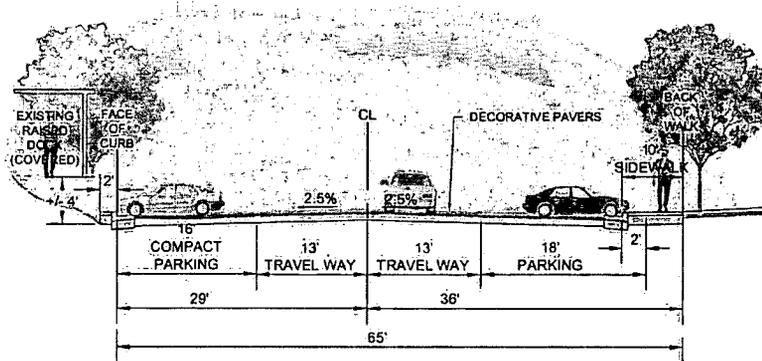
4.5 – Facility Design Illustrations

The following figures serve as the typical cross section and plan for each transportation facility. These illustrations shall serve as the general facility design for specific streets and trails within the Northwest Land Park community and may reflect minor adjustments to standard City of Sacramento typical sections based on existing right-of-way conditions.

Local Street - Typical Cross Section and Plan with On-street Parking

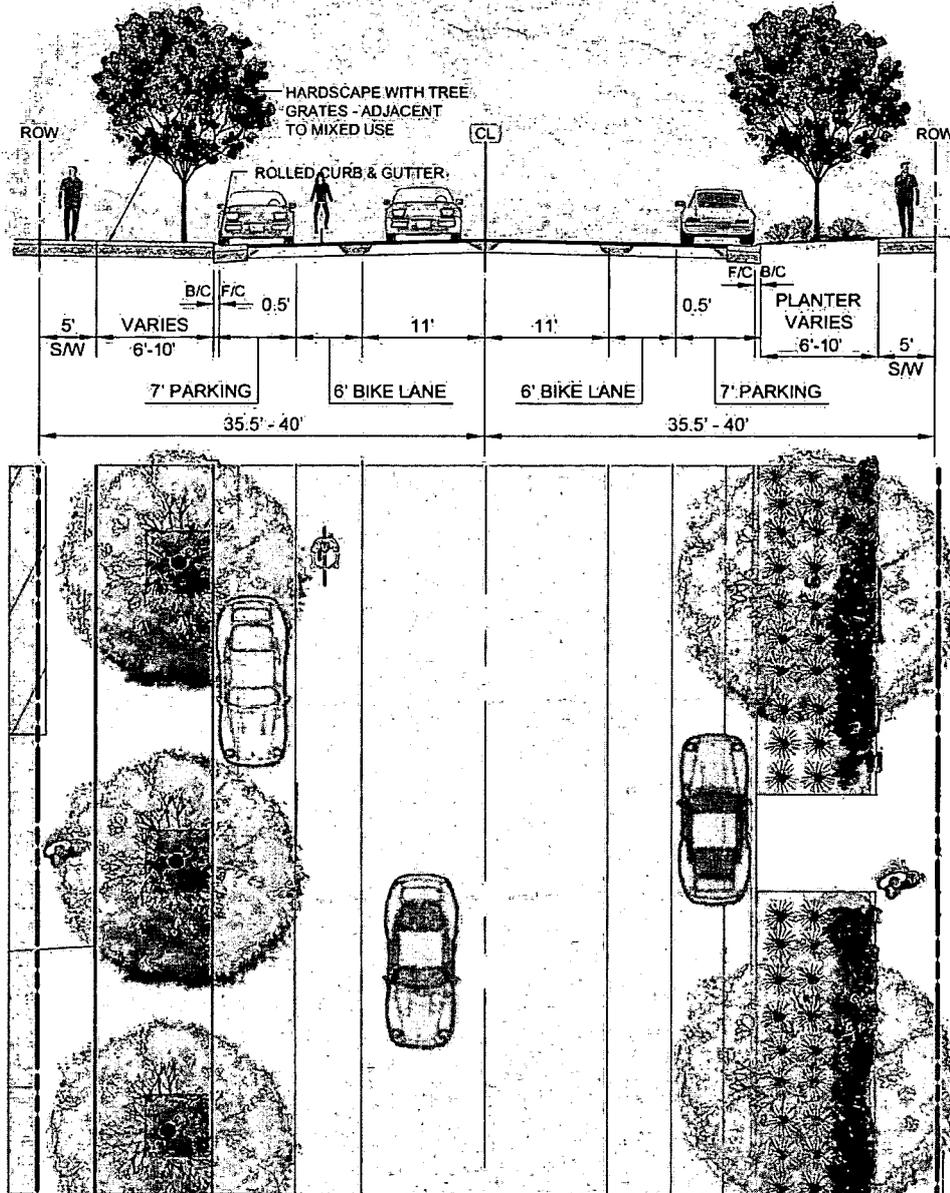


*Festival Street - Typical Cross Section and Plan*

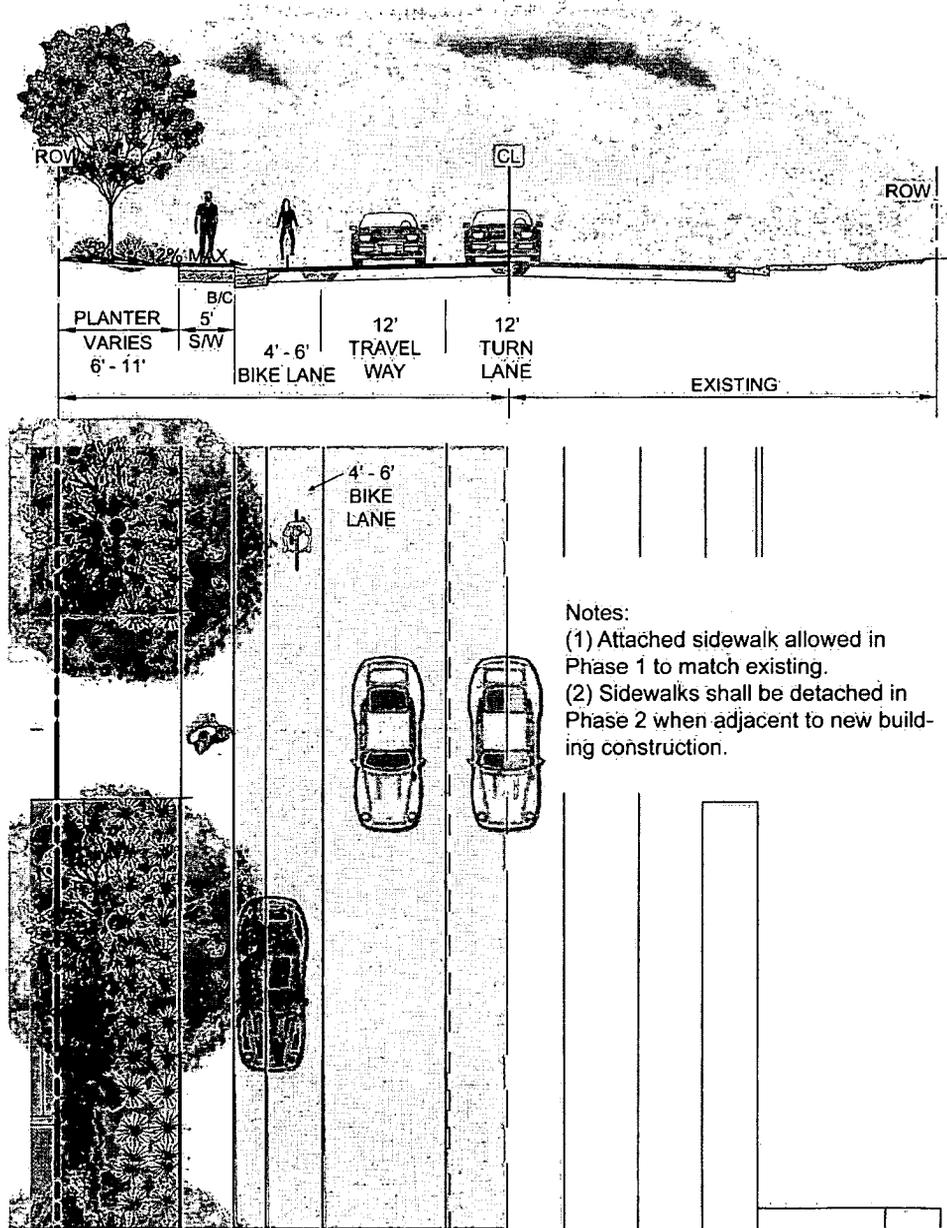


Note (1) Layout shown reflects street condition when open to vehicular traffic. Periodic closure for special events would eliminate vehicular traffic but could allow for some parked vehicles to remain throughout the street.

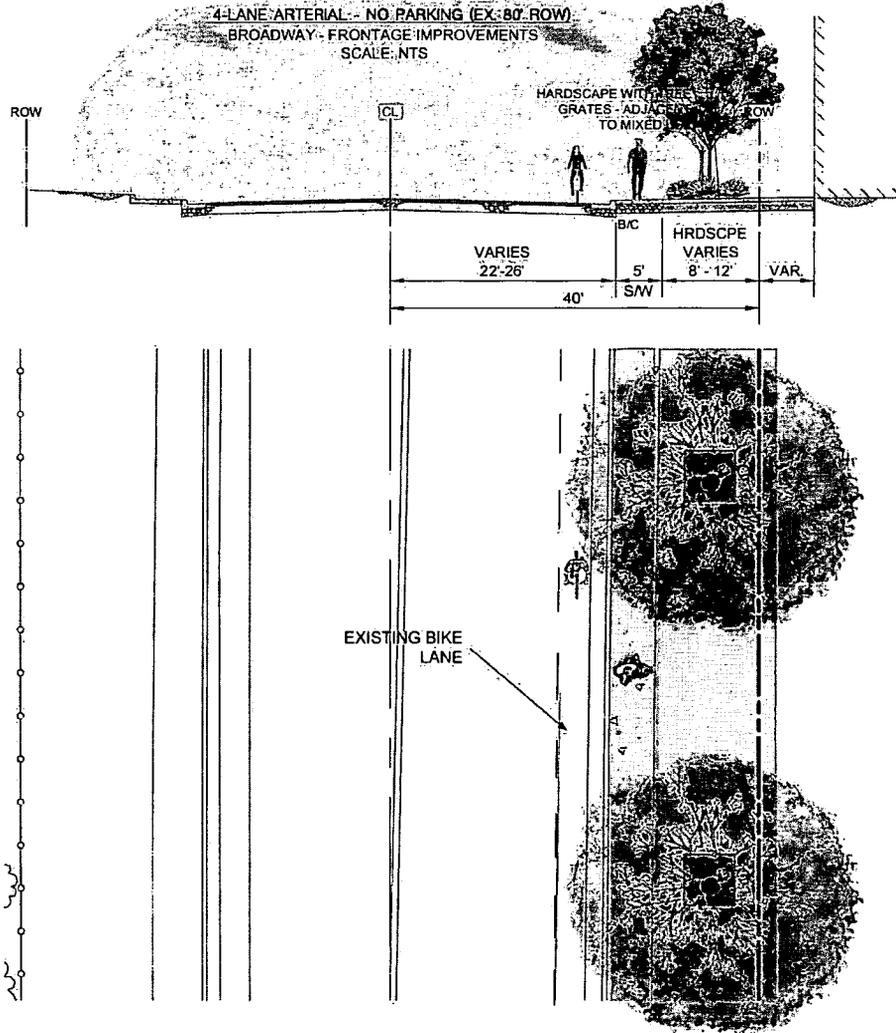
Minor Collector (3rd Street) - Typical Cross Section and Plan



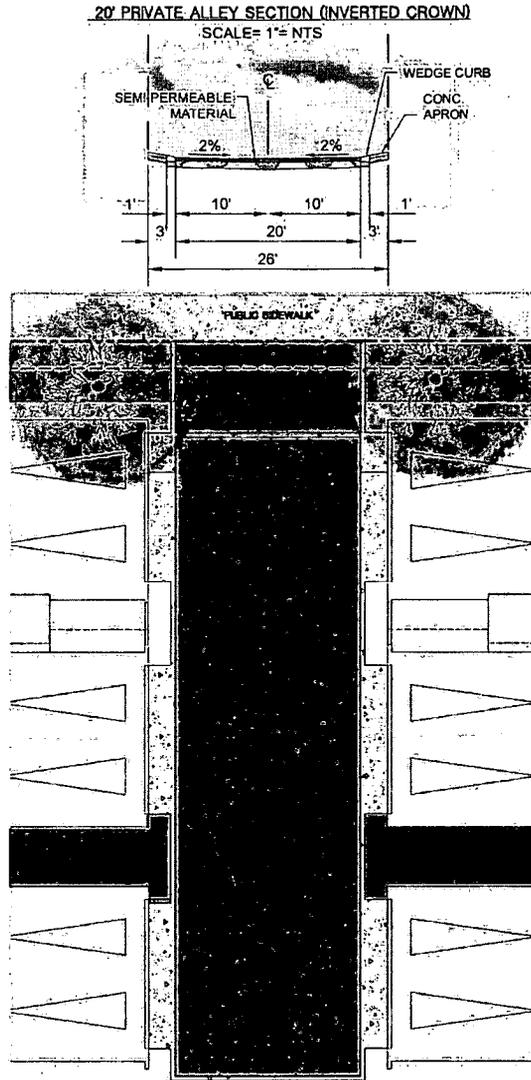
Minor Collector (5th Street) - Typical Cross Section and Plan



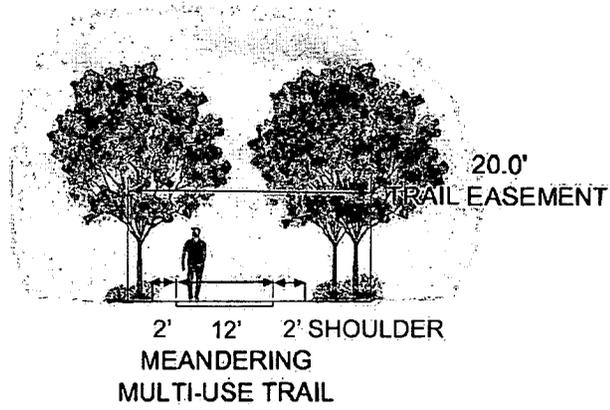
Arterial (Broadway) - Typical Cross Section and Plan



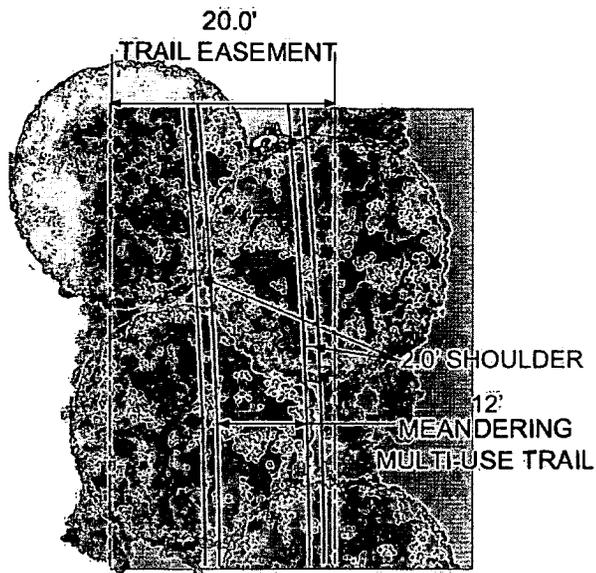
Accessway/Private Alley - Typical Cross Section and Plan



Community Trail - Typical Cross Section and Plan



6 TYPICAL MULTI-USE TRAIL SECTION  
SCALE: NTS



## **Chapter 5 – Landscape Framework**

### **5.1 – Landscape Framework**

The Landscape Framework establishes the general landscape character and design principles for the Northwest Land Park community. This framework provides the general vision and material palette for enhancing the public areas and semi-public realms within the community. The landscape framework shall achieve a cohesive and harmonious sense of place across the community while also allowing individual neighborhood subareas to be distinctive.

### **5.2 - Landscape Development Guidelines**

The Northwest Land Park community shall use landscape design to create a strong sense of place and a unique neighborhood within the City. Landscape design shall include plant and hardscape material appropriate for the setting and shall lessen long-term maintenance for the community. Landscape design shall focus on the following development standards:

- **Landscape & Placemaking** – Landscaping and hardscape design should be used to reinforce the community character. Designs should invoke a strong sense of place that is unique to the Northwest Land Park community.
- **Climate Appropriate Plants** – Trees, shrubs, and grasses shall be conducive to the Northern California environment in terms of water use, drought tolerance, maintenance, and durability. Materials such as synthetic turf may be used for active play areas and small gathering lawns. (examples maybe found at [www.fieldturf.com](http://www.fieldturf.com))
- **Continual Aesthetics** – Landscape material shall be selected to provide year-round interest in terms of changing foliage, flowers, and scent.
- **Low Maintenance & Cost Effectiveness** – Landscape material including trees, plants, turf, and hardscape should require minimal maintenance as compared to other varieties and material choices. Synthetic turf shall be used to the extent possible in lieu of natural turf and grasses. Materials should be cost effective to lessen the initial expenditure, periodic replacement, and long-term maintenance. Turf may be synthetic to lessen irrigation demands and long term maintenance.

### **5.3 – Streetscape Standards**

#### **5.3.1. - Standard Streetscape Landscaping standards**

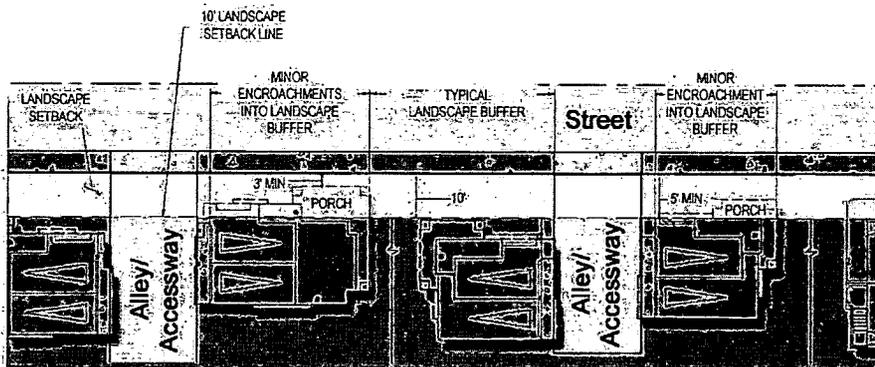
The plantings along streets and the community trails shall consist mainly of large canopy shade trees and colorful understory plantings. Accent trees and plants shall be clustered in key locations to add variety and interest. Turf or synthetic turf shall be utilized in larger areas to create a usable and inviting open space for residents as well as define view corridors into the project for safety. The plant species used in landscape setbacks shall be carefully chosen to give the project year-round color and interest. For a detailed illustration, refer to the cross sections and street plans in the Transportation Framework section of these Guidelines.

5.3.2 – Local Streetscape Landscaping standards

Streetscape plantings for internal local streets shall be located within landscape setback areas on private property situated behind sidewalks. Landscaping along internal local streets shall be more lush and generous in plant coverage, including primarily canopy shade trees to create a dynamic streetscape. By creating intimate setbacks while still accommodating significant canopy trees, the plan will achieve the true character of compact urban development. Mailboxes, lighting, and street furniture may be located within landscape setbacks. These landscape setback areas will be maintained by the property owners association.

Landscape setback areas shall average 10-feet in width extending from the right-of-way edge into the adjacent property. The following lists specific design situations that allow for setback exceptions:

- Sidewalks and driveways that provide access between the street and a building entrance may be located within the landscape setback area.
- Ground floor covered porches, balconies, stairs, and non-habitable architectural elements may encroach into the landscape setback areas by up to five (5) feet.
- Structural areas, including habitable building areas and garages, may encroach into the landscape setback areas up to seven (7) feet.
- The maximum aggregate length of street frontage with encroachments shall not exceed 40% of the total length of street frontage on any given street.
- Adequate planting space shall be provided along all street frontages to provide a minimum of three (3) trees in every 120 linear feet of frontage, or roughly 40' spacing on center. Thirty percent (30%) of the minimum required trees shall be classified as large or medium canopy species;



Landscape Setback Detail

5.3.3 – Festival Street Streetscape Landscaping

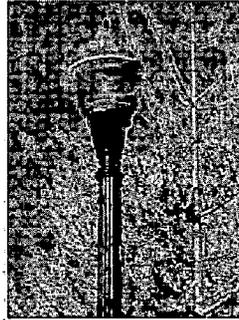
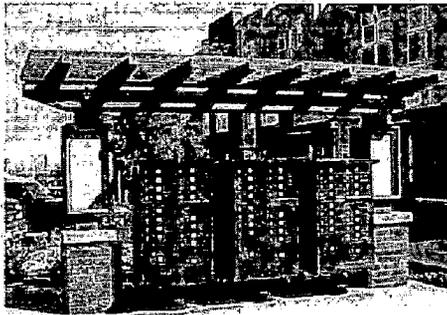
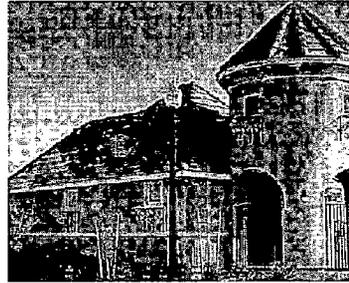
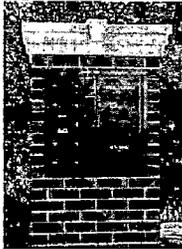
The Festival Street shall be designed as both a transportation facility with a dual function as an open plaza area to support community gatherings and routine events. In doing so, the space shall be designed as an open area with decorative hardscape to support its intended use. Streetscape plantings for the Festival Street may be located within landscape setbacks outside the paved area and on adjacent property lining the space. Given the intended character and dimensional arrangements, the Festival Street shall be exempt from specific shading standards:

5.3.4 – Hardscape Design standards

Hardscape areas within the Northwest Land Park community shall include a variety of colors, styles, textures, and materials to create a strong sense of place. Hardscape design shall include a variety of patterns and materials particularly in public gathering spaces, community entries, designated pedestrian crossings, and within private courtyards. Diverse paving treatments shall be encouraged for these areas over monotonous concrete and asphalt paving. Hardscape treatments within the Northwest Land Park community shall be focused primarily on attractive appearance and long-term durability in lieu of a specific material type. To the extent feasible, project will use synthetic turf to create a softscape look and feel with hardscape functionality.

5.4 – Lighting and Street Furniture styles

Decorative street lighting and furniture will reinforce the character for Northwest Land Park. Specifically, these elements will create interesting public realms along streets, within parks and public areas. Street lighting and furniture located in the public right-of-way and within the community's central park shall be consistent with the City of Sacramento approved materials list. Specific styles and design will be proposed at the time construction plan approval.



Community mailbox design, clustered and housed in a distinctive architectural enclosure

Street Lamp style, decorative light pole and acorn-shaped fixture

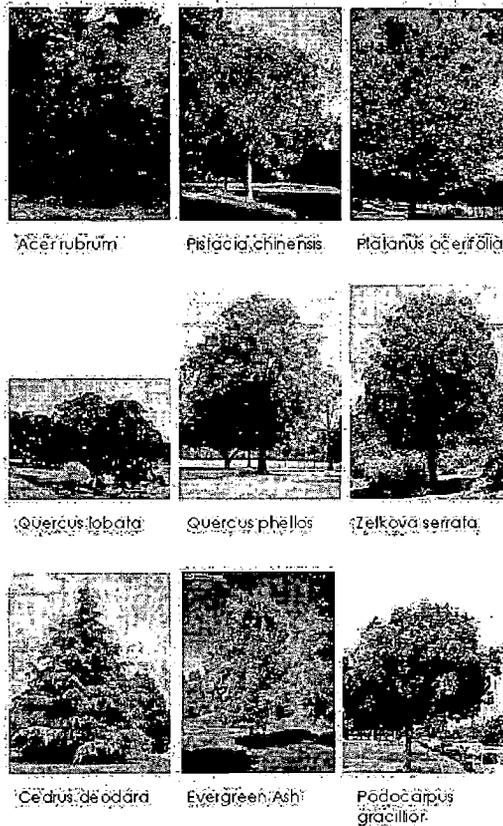
5.5 Plant List

The plant list for Northwest Land Park is a mix of native and regionally appropriate species that have been selected for proven durability, historical context, efficient water use, and low maintenance. Plant types shall be clustered in zones to maximize water efficiency with low water use species in the larger open areas and higher water use species clustered in key locations and semi-private gardens. In some locations synthetic turf may be used in place of lawn to further reduce water demands and minimize maintenance. The plant list consists of a large variety of plant species to give the project year-round interest, form, texture and color.

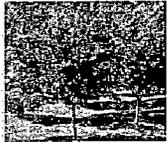
The following plant list includes the desired species for Northwest Land Park that meet the development styles and community vision. Alternative plant choices may be approved by the City.

Table 5.5.1 – Street and Park Trees List

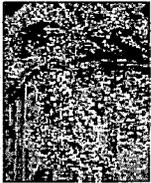
Botanical Name	Common Name
<b>Deciduous Trees</b>	
<i>Acer rubrum</i>	Red Maple
<i>Carpinus Betulus</i>	European Hornbeam
<i>Fraxinus uhdei</i>	Shamel Ash
<i>Ginkgo Biloba</i>	Autumn Gold Maldenhair Tree
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Platanus acerifolia</i>	Plane Tree
<i>Platanus racemosa</i>	California Sycamore
<i>Quercus lobata</i>	Valley Oak
<i>Quercus phellos</i>	Willow Oak
<i>Quercus shumardii</i>	Shumard Red Oak
<i>Ulmus parvifolia</i>	Allee Chinese Elm
<i>Zelkova serrata</i>	Sawleaf Zelkova
<b>Evergreen Trees</b>	
<i>Cedrus deodara</i>	Deodar cedar
<i>Podocarpus gracillior</i>	Fern Pine
<i>Quercus agrifolia</i>	Coast Live Oak



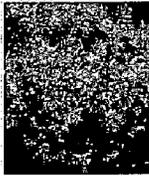
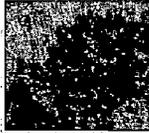
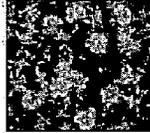
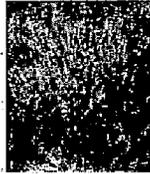
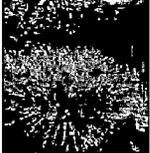
**Table 5.5.2 – Accent and Courtyard Trees**

<i>Botanical Name</i>	<i>Common Name</i>			
<b>Deciduous Trees</b>				
<i>Acer palmatum</i>	Japanese Maple			
<i>Lagerstroemia indica</i>	Crape Myrtle			
<i>Malus ioensis</i>	Bechtel Crabapple			
<i>Osmanthus fragrans</i>	Sweet Olive			
<i>Prunus cerasifera</i>	Purple-Leaf Plum	<i>Lagerstroemia indica</i>	<i>Malus ioensis</i>	<i>Prunus cerasifera</i>
<i>Pyrus kawakamii</i>	Western Redbud			
<b>Evergreen Trees</b>				
<i>Cupressus sempervirens</i>	Italian Cypress			
<i>Olea europaea</i>	Olive			
<i>Xylosma congestum</i>	Shiny Xylosma	<i>Cupressus sempervirens</i>	<i>Olea europaea</i>	<i>Xylosma congestum</i>

**Table 5.5.3 – Vines**

<i>Botanical Name</i>	<i>Common Name</i>			
<i>Ficus pumila</i>	Creeping Fig			
<i>Hardenbergia violacea</i>	Purple Lilac Vine			
<i>Wisteria floribunda</i>	Japanese Wisteria	<i>Ficus pumila</i>	<i>Hardenbergia violacea</i>	<i>Wisteria floribunda</i>

**Table 5.5.4 – Shrubs**

Botanical Name	Common Name			
<i>Agapanthus africanus</i>	Lily of the Nile			
<i>Amelanchier alnifolia</i>	Western serviceberry			
<i>Arbutus unedo</i>	Strawberry Tree	<i>Agapanthus africanus</i>	<i>Arbutus unedo</i>	<i>Buxus japonica</i>
<i>Azalea</i> sp.	Azalea			
<i>Buxus japonica</i>	Japanese Boxwood			
<i>Carpenteria californica</i>	Carpenteria			
<i>Ceanothus</i> sp.	Wild Lilac	<i>Carpenteria californica</i>	<i>Ceanothus</i> sp.	<i>Cistus</i> sp.
<i>Cistus</i> sp.	Rock Rose			
<i>Cornus sericea</i>	Redwig Dogwood			
<i>Cotoneaster</i> sp.	Cotoneaster			
<i>Diates vegeta</i>	Fortnight Lily			
<i>Escallonia rubra</i>	Red Escallonia	<i>Diates vegeta</i>	<i>Escallonia rubra</i>	<i>Lavendula</i> sp.
<i>Euonymus japonica</i>	Euonymus			
<i>Heteromeles arbutifolia</i> Toyon	Toyon			
<i>Lavendula</i> sp.	Lavender			
<i>Ligustrum japonica</i>	Privet			
<i>Muhlenbergia rigens</i>	Deer Grass			
<i>Nandina domestica</i>	Heavenly Bamboo	<i>Muhlenbergia rigens</i>	<i>Phormium tenax</i>	<i>Rosmarinus officinalis</i>
<i>Phormium tenax</i>	Flax			
<i>Photinia fraseri</i>	Photinia			
<i>Pittosporum</i>	Japanese Pittosporum	<i>Rhapiolepis indica</i>	<i>Rose woodsii</i>	<i>Spiraea douglasii</i>
<i>Rhamnus californica</i>	Coffeeberry			
<i>Rhapiolepis indica</i>	Indian Hawthorn			
<i>Rosa gymnocarpa</i>	Bald Hip Rose			
<i>Rose woodsii</i>	Wood's Rose			
<i>Rosmarinus officinalis</i>	Rosemary			
<i>Spiraea douglasii</i>	Western spiraea			
<i>Westringia fruticosa</i>	Coast Rosemary			
<i>Xylosma congestum</i>	Compact Xylosma			

## Chapter 6 – Sustainability & Energy Efficiency Framework

### 6.1 – Sustainability & Energy Efficiency Framework

Northwest Land Park redevelops centrally located in-fill land to provide an alternative to suburban sprawl, bringing residential growth back to the community job and cultural core. Northwest Land Park will build on this foundation through innovative and resource conscious design to create one of the most sustainable and energy efficient communities in the region. This will include sustainable land planning and site development designs and uses; adaptive re-use of existing buildings and recycling of on-site materials; and innovative design and use of materials within each building. These sustainability and energy efficiency goals are targeted towards new buildings and construction. Any existing buildings or structures that are preserved or reused within the project are not subject to these goals in order to sustain their character and traditional style.

Proposed commercial and retail uses will include lighting conservation elements and other energy conservation measures. Lighting conservation elements would include occupancy sensors to automatically turn off lights when not in use, lighting reflectors, electrical ballasts, and energy efficient lamps. Conservation elements are expected to include improved HVAC systems with microprocessor-controlled energy management systems.

### 6.2 – Sustainability & Energy Site Development Guidelines

Development guidelines will increase the sustainability and energy efficiency opportunities of the project in the areas of storm water retention, water efficiency, energy production and conservation. Sustainability and energy will be achieved by focusing site design on the following development standards:

- **Stormwater Management** – The project will redevelop with smaller residential buildings interlaced within green courtyards, large central park and meandering greenbelt, and utilizing decorative semi-permeable materials for private driveways and courts. The pervious to impervious ratio for Phase 1 (40% permeable to 60% impervious) will be used as a minimum guideline for the build-out of the entire site through Phase 4.
- **Water Efficiency** – All project landscaping shall be climate appropriate for the area and irrigated with moisture sensor driven systems to provide drought tolerance and maximum efficiency of water use in irrigation. Synthetic turf shall be used, to the greatest extent possible, for private grassed areas within the development.
- **Vegetation & Forestation** – Vegetation and tree planting plans shall be designed to provide shading for streets, hardscape surfaces, buildings, and recreation areas during summer months. In contrast, said plans shall include landscape varieties that lose their leaves during winter months to promote passive sunlight within the community, thus reducing energy use relating to heating and lighting.
- **Air Quality** – The project proposes that all buildings, units, and facilities, indoors and out, are free of devices designed to facilitate the combustion of wood or wood products to eliminate emissions generally associated with traditional fireplaces.
- **On-site Alternative Energy Production** – The project will provide a minimum of 100 KW of alternative energy (i.e. solar, wind, fuel cell) production in Phase 1, with aggregate commitments of 200 KW through Phase 2, 300 KW through Phase 3 and 400 KW for all 4 phases at build-out. The on-site production (using industry standard yield calculations) equates to 182,500 kWhs annually of alternative energy production in Phase 1, with aggregate annual production of 365,000 kWhs through Phase 2, 547,500 kWhs through Phase 3 and 730,000 kWhs for all 4 phases at build-out.

### 6.3 – Re-use and Recycling On-site Materials Guidelines

A re-use and recycling initiative is introduced to retain and celebrate the long standing character of the site as a “place making” context for the Northwest Land Park community. This goal will: (a) complement and enhance the sustainability of the project by seeking active reuse and recycle opportunities on-site; (b) provide contextual materials for theming the site for use in markers, signage, auxiliary structures, and public art; and, (c) adaptively re-use select structures in their entirety for community gathering spaces including a public community building within the park setting and a festival market to provide a focal center for the neighborhood and the surrounding community.

The project shall re-use at least 50 percent of salvageable materials in the existing improvements on-site, as measured by weight. This can take the form of re-use of entire structures; re-use or repurposing of significant elements, such as beams or trusses, and recycling materials within the new project such as grinding paving and asphalt for use as base material at the site. These activities will increase the sustainability of the site through reduced waste materials from demolition, reduced need for new materials on-site, and reduction of the ancillary transportation impacts from off-haul and delivery of materials to the site. Additionally, the project will evaluate brick, wood, metal, and masonry materials from the demolition to be re-manufactured into a “heritage” line of finishes to be offered as upgrades to the units. As an example, wood timbers would be converted into flooring material to provide the character and cache of “distressed” lumber underfoot. These efforts will increase the amount of on-site materials reused sustainably within the project.

To the greatest extent feasible, the project shall reduce waste and recycle non-reusable materials during demolition, site development, and unit construction using the following hierarchy of procedures:

1. Recondition and re-use on site. For example, crushing old concrete, asphalt and paving to be reused as base rock within the project grading activities.
2. Seek dealers and other re-use distributors to harvest intact components and materials for re-sale. As an example, large pole barn supports sold intact to telephone pole providers.
3. Separate bulk recyclable items, such as wood and metal pieces, for reprocessing at standard recycling facilities.

Following this process the project will meet stated development standard of re-using at least 50% of the existing materials by volume on site, and will seek to approach zero non-recycle waste leaving the project site throughout all development activities.

#### 6.3.1 – Adaptive Reuse of Structures

The project will pursue adaptive reuse on three existing structures within the site; the Metal Burner Structure, Wholesale Produce Building, and the Farmers Market and Market Club building. In order to preserve their original architecture, style, and iconic character, these buildings may not achieve the same energy efficiency goals as new buildings within the project. To the extent economically and structurally feasible and approved by the City, the aforementioned unique structures will be considered for adaptive reuse in whole or part.

### 6.3.2 Reuse for Sustainability

The existing site contains various industrial and commercial structures and improvements which will be removed as part of the build-out of Northwest Land Park. The project will carry out normal and customary material recycling programs, such as grinding and recycling pavement sections removed during grading and demolition. In addition, the development will seek opportunities to re-use brick, structural and industrial pieces for markers, signage, auxiliary structures, and public art. Examples of this may include building picnic areas and public seating (trail side benches) covers re-utilizing poles and I-beams for supports, trusses for roof structures, and refurbished corrugated sheets for roofing. Additionally, appropriate distressed materials could be re-manufactured for use as finish materials in the homes (beams and boards converted to "heritage" plank flooring for example). Monument signage could be designed to incorporate iconic industrial pieces, such as the saw dust system cyclones, to theme the project at key corners and focal points. These and other landscape areas would also be ideal locations for re-use of brick and large wooden beams to create low wall structures for retaining and plant bedding purposes. The direct re-use of these materials on site will improve the sustainability of the project by avoiding transportation and processing of the materials for standard recycling off-site and by reducing the amount of new materials required to build out the project.

### 6.4 Dwelling Unit Efficiency Design Guidelines

Northwest Land Park will be one of the most energy efficient projects in the Central Valley. The units will be designed using a "whole system" model where each unit is viewed as a complete system and all of the components are formatted and integrated to support the sustainability and efficiency of the entire home. The buildings will have a vastly superior thermal shell than required by code, will utilize efficient ductless heating and cooling systems, will incorporate low voltage hardwired LED lights, Energy Star rated appliances, high efficiency natural gas tank-less water heaters, photovoltaic panels, or rooftop collector systems offered, and, most importantly, modest living areas to be lit, heated, and cooled. Individual dwelling units shall include efficiency design consistent with the following development standards:

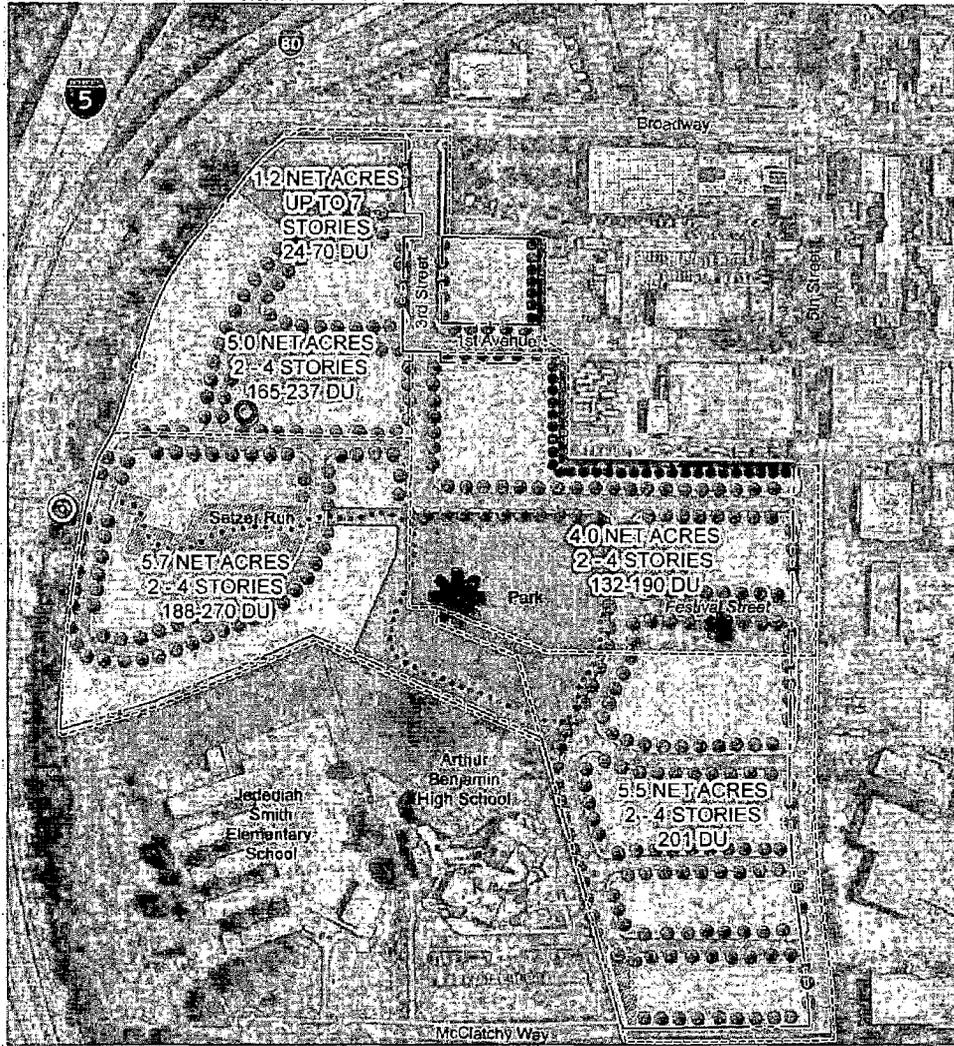
- **Efficient Floor Plans** - The Northwest Land Park community will be developed with compact efficient floor plans. In addition the majority of units will share wall/floor space, and thus thermal mass, with at least one other unit.
- **Insulation** - Building shall be designed with a high efficiency thermal shell for the units with exterior walls at or above R25 for walls and R40 for ceilings.
- **Climatization** - Residential buildings shall use small high efficiency heating and cooling units.
- **Lighting** - Buildings shall use LED or fluorescent lighting system throughout the units, allowing for energy efficient lighting.
- **Exterior Lighting** - Exterior HOA maintained lighting, including pathway lights, accent/landscaping lights, motor-court lights, and private street lights shall use LED lighting technologies.
- **Water Heaters** - The project shall provide high efficiency tank-less hot water heaters to provide for the most energy efficient delivery of hot water. Nothing in this provision shall preclude installation of high efficiency alternative energy source hot water heating and storage units.
- **Electrical vehicle accommodations** - The project shall incorporate 110v electrical outlets in the garage units such that they are readily accessible for use with electric vehicles.
- **Renewable Energy Commitment** - The project shall incorporate a 400 KW renewable energy system to reduce the amount of energy purchased by the Project. The renewable energy will be incorporated over the life of the project such that a minimum of 100 KW will be incorporated into phase 1 with an aggregate total of 100 KWs per

phase through the buildout of phase 4. The 400 kW system will result in an annual reduction of 730,000 kWh of purchased electricity at full project buildout. This is equivalent to the emissions from electrical consumption of approximately 188 dwelling units. The renewable energy system may include solar, wind, fuel cells, or other new technology that becomes available over the implementation of the project. The following are the commitments already made by the project to foster this renewable commitment:

- ▶ Photovoltaic Design - The project shall be planned to orient at least 40% of the roof area of a minimum of 50% of the buildings to the west, south or southwest so that photovoltaic panels and collector systems can provide maximum benefit when installed. The project shall work with the local utility and, through an aggressive sales program, encourage and provide solar systems and/or alternative energy systems as an option.
- ▶ The orientation of at least 40% of the roof area of at least 50% of the buildings shall be west, southwest, or south.
- ▶ Solar Energy - As indicated in the AQMP (measure M28), the NWLP Project has committed to the implementation of a solar energy system that will offset a minimum of 2.5% of the residential needs of the project.

**Appendix A – City Council Resolution - Conditions of Approval 1-3**

1. Upon issuance of a building permit for residential units along the northern boundary of Phase 2, the project applicant shall construct a ten-foot high uniform wall along the boundary of the project site where Phase 2 abuts the existing uses (currently owned by Saccani Distributing Company and the Gary and Roland Saccani Trusts) on the south side of First Avenue, and shall plant fast-growing trees, such as Italian cypress trees, adjacent to the ten-foot high wall on the Project side.
2. Upon issuance of a building permit for residential uses on the eastern boundary of Phase 4, the project applicant shall construct a ten-foot high uniform wall along the eastern boundary of Phase 4 where it abuts the existing use on the north side of First Avenue, and shall plant fast-growing trees, such as Italian cypress trees, adjacent to the ten-foot high wall on the Project side. In the event the project applicant does not seek building permits to construct residential units along the eastern boundary of Phase 4, this condition shall have no effect.
3. The applicant shall explore the feasibility of constructing a traffic circle at the intersection of McClatchy and 5th Streets as part of their public improvements. The traffic circle shall be constructed per City standards and to the satisfaction of the Department of Transportation. If the traffic circle construction is found to be infeasible, the applicant shall contribute the sum of \$50,000 to go towards a Neighborhood Traffic Management Program (NTMP) within the adjacent neighborhood, including 5th Street and Vallejo Street. If the construction of the traffic circle is found to be feasible, the applicant has agreed to construct the traffic circle. Should the total design and construction cost of the traffic circle be less than \$50,000, the remaining balance shall be paid towards the above-referenced NTMP. This one time contribution, from the applicant, shall satisfy all requirements towards any neighborhood traffic calming program related to the development of the Northwest Land Park PUD.



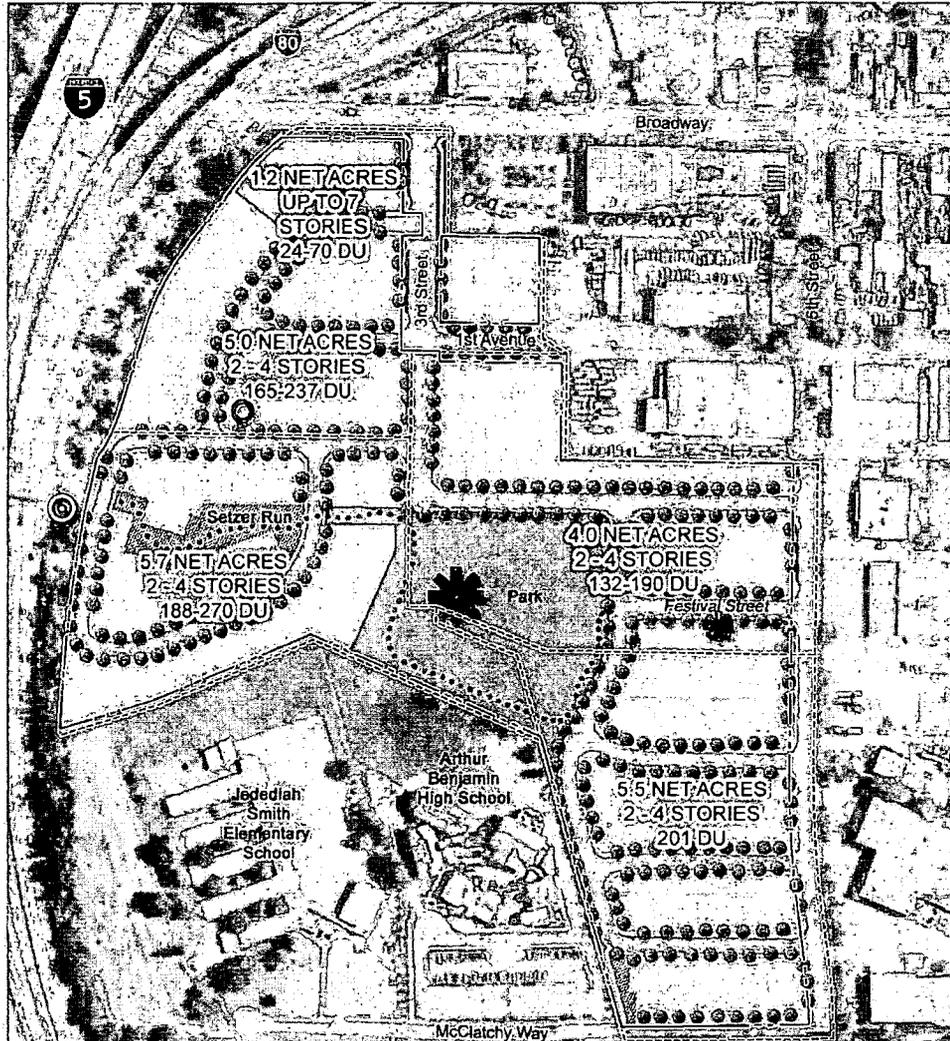
Map 1.B - Land Use Schematic Plan

Land Use/Community Elements	Permitted Development Intensity
	Residential District (RD) FAR 1.5 - 4.0 / Density 33 - 110 du/a
	Mixed Use District (MXD) FAR 0.3 - 3.0 / Density 20 - 110 du/a
	Open Space District (OSD) FAR 1.5 - 4.0
	Community Trails (approx. alignment)
	Adaptive Reuse Building (approx. location/ see standards)
	Open Air Market (approx. location/ see standards)
	Residential Buffer
	Metal Burner Structure Option
	Tunnel Option

Note: (1) - Total unit count not to exceed 825 dwelling units.  
 (2) - In the Mixed Use District, residential units are only allowed pursuant to the underlying zoning designation.

# Exhibit B: Northwest Land Park PUD Schematic Plan

Northwest Land Park PUD Guidelines



**Map 1.B. - Land Use Schematic Plan**

Land Use/Community Elements	Permitted Development Intensity
Residential District (RD)	FAR 1.5 - 4.0 / Density 33 - 110 du/a
Mixed Use District (MXD)	FAR 0.3 - 3.0 / Density 20 - 110 du/a
Open Space District (OSD)	FAR 1.5 - 4.0
Community Trails (approx. alignment)	
Adaptive Reuse Building (approx. location/ see standards)	
Open Air Market (approx. location/ see standards)	
Metal Burner Structure Option	
Tunnel Option	

Note: (1) - Total unit count not to exceed 825 dwelling units.  
 (2) - In the Mixed Use District, residential units are only allowed pursuant to the underlying zoning designation.

Exhibit C: Railroad Remnant Parcels

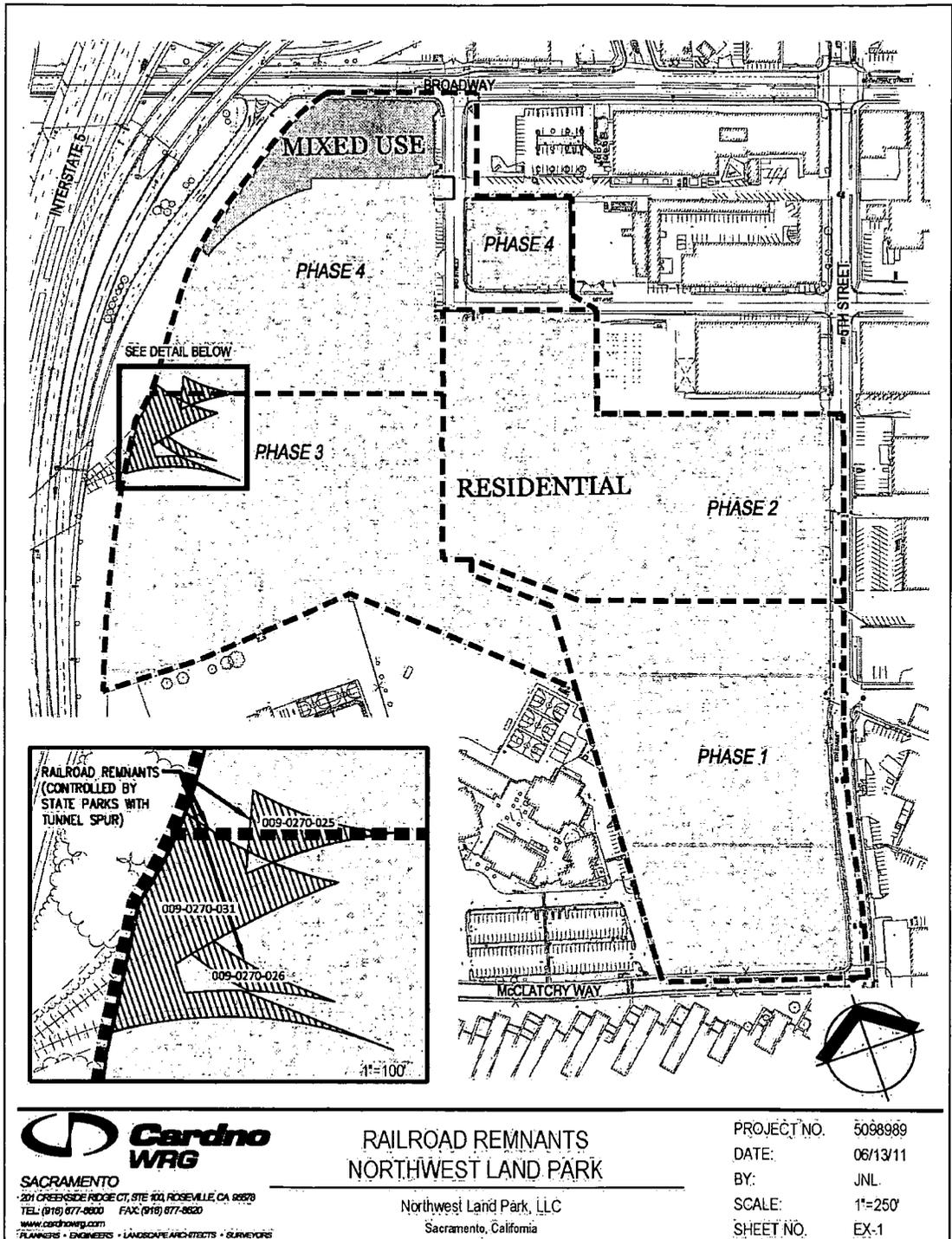


Exhibit D: Land Use Plan Phases 1 through 4

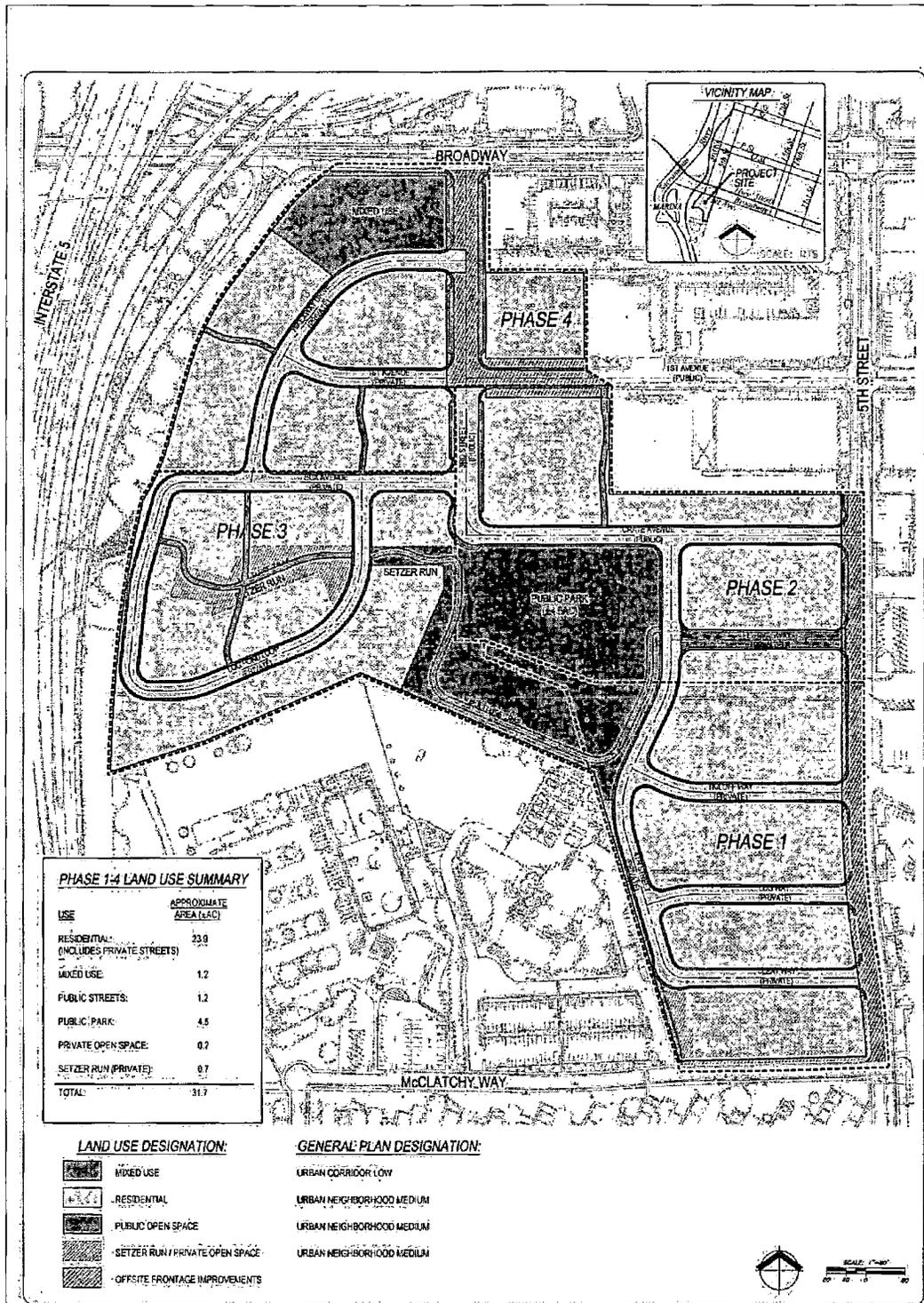
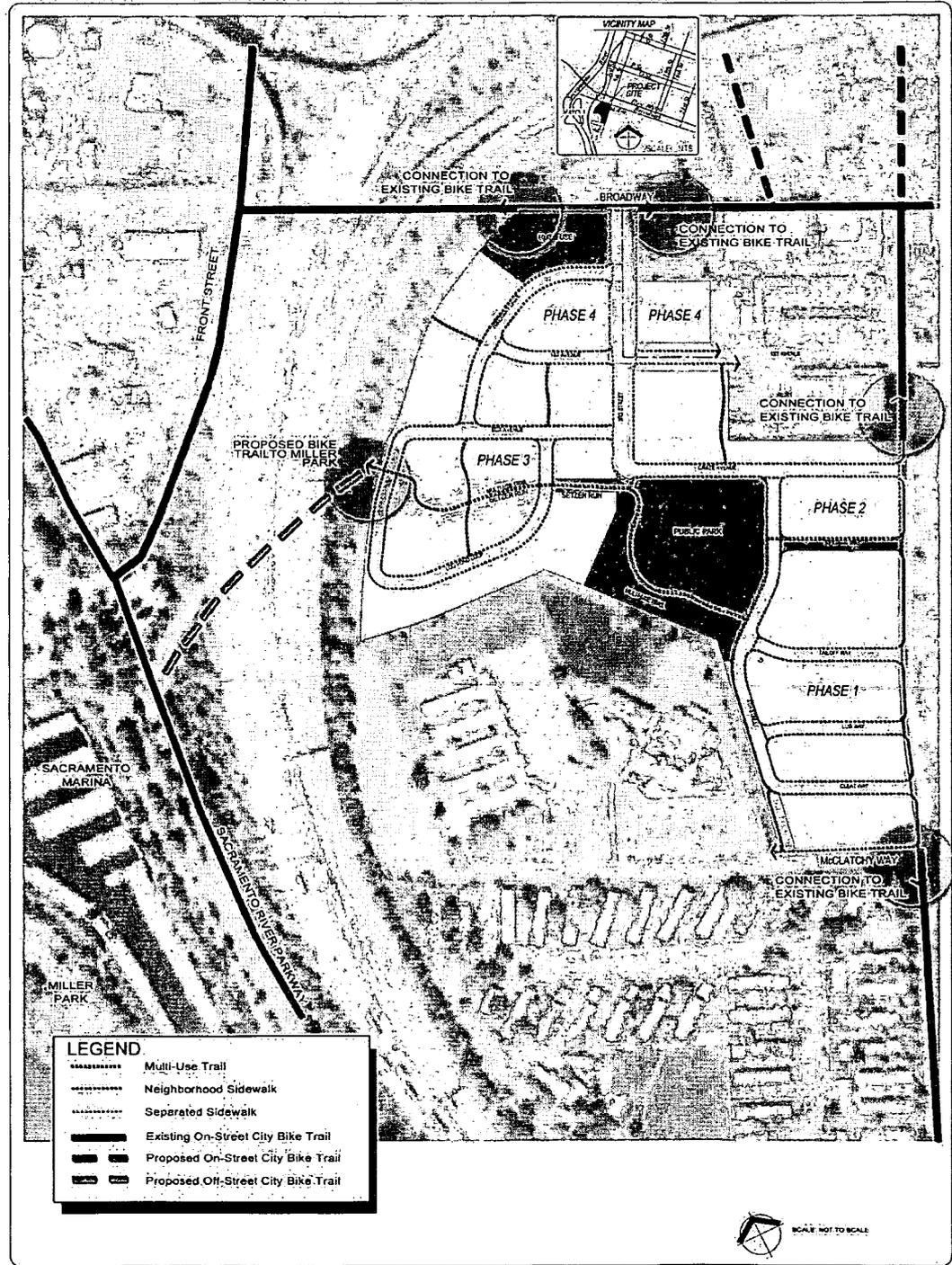


Exhibit E: Overall Planting Plan





Exhibit G: Site Level Bike Trail Plan



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**SITE LEVEL BIKE TRAIL PLAN**  
NORTHWEST LAND PARK, LLC  
SACRAMENTO, CALIFORNIA

PROJECT NO:	041911
DATE:	08/16/11
DESIGNED BY:	KL
CHECKED BY:	KL
DRAWN BY:	KL