

RESOLUTION NO. 2012-385

Adopted by the Sacramento City Council

November 13, 2012

ADOPTING FINDINGS OF FACT AND APPROVING RAPP TENTATIVE MAP AND SUBDIVISION MODIFICATION LOCATED AT 501 JESSIE AVENUE (P11-056) (APN: 237-0100-025)

BACKGROUND

- A. On October 11, 2012, the City Planning and Design Commission conducted a public hearing on, and recommended approval of the Rapp Tentative Map and Rezone project (P11-056).
- B. On November 13, 2012, the City Council conducted a public hearing, for which notice was given pursuant Sacramento City Code Section 17.200.010(C)(2)(a), (b), and (c) (publication, posting, and mail), and received and considered evidence concerning the Rapp Tentative Map and Rezone project (P11-056).

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

- Section 1. Based on the verbal and documentary evidence received at the hearing on the Rapp Tentative Map and Rezone project, the City Council approves the project entitlements based on the findings of fact and subject to the conditions of approval as set forth below.
- Section 2. The City Council approves the project entitlements based on the following findings of fact:
 - A. The **Tentative Map** to subdivide one parcel into two parcels in the Standard Single Family Residential (R-1) zone **is approved** based on the following Findings of Fact:
 - 1. None of the conditions described in Government Code Section 66474, subsection (a) through (g), inclusive, exist with respect to the proposed subdivision as follows:
 - a. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City's General Plan, all applicable community and specific plans, and Title 16 of the City Code, which is a specific plan of the City;

- b. The site is physically suitable for the type of development proposed and suited for the proposed density;
 - c. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife habitat;
 - d. The design of the subdivision and the type of improvements are not likely to cause serious public health problems;
 - e. The design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use, of, property within the proposed subdivision.
2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and Title 16 Subdivisions of the City Code, which is a specific plan of the City (Gov. Code §66473.5);
 3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in a violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision (Gov. code §66474.6);
 4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Gov. Code §66473.1);
 5. The City Council has considered the effect of the approval of this tentative subdivision map on the housing needs of the region and has balanced these needs against the public service needs of its residents and available fiscal and environmental resources (Gov. Code §66412.3).

B. The **Subdivision Modification** to exceed the maximum lot depth allowed in the Standard Single-Family (R-1) zone **is approved** subject to the following Findings of Fact:

1. Due to the existing development on the site, it is impossible, impractical, or undesirable in the particular case to conform to the strict application of these regulations.
2. The cost to the subdivider of strict or literal compliance with the regulation is not the sole reason for granting the modification.
3. The modification will not be detrimental to the public health, safety or welfare, or be injurious to other properties in the vicinity in that the existing development on the site provides adequate yard spaces and buffer areas.

4. The density and the land use are consistent with general plan goals and policies for the Suburban Low Density Residential designation.

Section 3. The City Council approves the project entitlements subject to the following conditions of approval:

- A. The **Tentative Map** to subdivide one parcel into two parcels in the Standard Single Family Residential (R-1) zone **is approved** subject to the following Conditions of Approval:

NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map approved for this project (P11-056). The design of any improvement not covered by these conditions shall be to City standard.

The applicant shall satisfy each of the following conditions prior to filing the Parcel Map unless a different time for compliance is specifically stated in these conditions. Any condition requiring an improvement that has already been designed and secured under a City-approved improvement agreement may be considered satisfied at the discretion of the Department of Public Works.

GENERAL: All Projects

- A1. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
- A2. Show all continuing and proposed/required easements on the Parcel Map.

Department of Public Works: Streets

- A3. Submit a Geotechnical Analysis prepared by a registered engineer to be used in street design. The analysis shall identify and recommend solutions for groundwater related problems, which may occur within both the subdivision lots and public right-of-way. Construct appropriate facilities to alleviate those problems. As a result of the analysis, street sections shall be designed to provide for stabilized subgrades and pavement sections under high groundwater conditions.
- A4. Construct standard subdivision improvements as noted in these conditions pursuant to section 16.48.110 of the City Code. Improvements required shall be determined by the City. Any public improvement not specifically noted in these conditions or on the Tentative Map shall be designed and constructed to City standards. This shall include street lighting and the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk fronting the property per City standards and to the satisfaction of the Department of Public Works.

- A5. The applicant shall dedicate sufficient right of way and construct full frontage improvements along the parcel's frontage on Jessie Avenue per City standards and to the satisfaction of the Department of Public Works. The required improvements shall match the existing improvements along Jessie Avenue. The limit of work shall include construction of the roadway pavement on Jessie Avenue to the centerline where gaps in roadway pavement currently exist.
- A6. The dedication and construction of Taylor Street shall be per the prepared exhibit dated August 2012 to avoid the relocation of the 69KV line located within the right of way of Taylor Street. The applicant shall dedicate additional right of way to construct the required sidewalk behind the existing pole. For the construction of the roadway pavement, curb and gutter, a 100 foot taper is required as a design exception from the current standards, which will result in a paved section of 13-feet from Centerline of the road to edge of pavement. The construction of the roadway and improvements along Taylor Street shall be to the satisfaction of the Department of Public Works.
- A7. The applicant shall provide the appropriate signage along the portion of Taylor Street where the design exception is located to indicate "No Parking" to the satisfaction of the Department of Public Works.
- A8. The design and placement of walls, fences, signs, and landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited to 3.5' in height. The area of exclusion shall be determined by the Department of Public Works.
- A9. All right-of-way and street improvement transitions that result from changing the right of way of any street shall be located, designed, and constructed to the satisfaction of the Department of Public Works. The center lines of such streets shall be aligned.
- A10. Construct A.D.A. compliant ramps at the north-west corner of the intersection of Jessie Avenue and Taylor Street per City standards and to the satisfaction of the Department of Public Works.

PUBLIC/PRIVATE UTILITIES

- A11. Dedicate a 12.5 public utility easement for underground and overhead facilities and appurtenances adjacent to all public street rights of way.
- A12. The owner or developer must disclose to future potential owners the existing 69KV electrical facilities.

CITY UTILITIES (Robert Armijo, Utilities Department, 808-1411)

A13. Abandon the 4-inch domestic water service for the newly created east parcel as this appears to be an unused water service. This excess service shall be abandoned to the satisfaction of the DOU.

PPDS: Parks (Mary de Beauvieres, Parks Department, 808-8722)

A14. **Payment of In-lieu Park Fee:** Pursuant to Sacramento City Code Chapter 16.64 (Parkland Dedication) the applicant shall pay to City an in-lieu park fee in the amount determined under SCC §§16.64.040 and 16.64.050 equal to the value of land prescribed for dedication under 16.64.030 and not satisfied by dedication. (See Advisory Note).

A15. **Maintenance District:** The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (Contact Public Improvement Financing, Special Districts Project Manager. In assessment districts, the cost of neighborhood park maintenance is equitably spread on the basis of special benefit. In special tax districts, the cost of neighborhood park maintenance is spread based upon the hearing report, which specifies the tax rate and method of apportionment.).

ADVISORY NOTES:

The following advisory notes are informational in nature and are not a requirement of this Tentative Map:

- A16. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition. (PW)
- A17. Improvements to the property may require the payment of SRCSD sewer impact fees. Impact fees shall be paid prior to issuance of Building Permits. Applicant should contact the Fee Quote Desk at 876-6100 for sewer impact fee information. (SRCSD)
- A18. As per City Code, the applicant will be responsible to meet his/her obligations regarding:
1. Title 16, 16.64 Park Dedication / In Lieu (Quimby) Fees, due prior to recordation of the final map. The Quimby fee due for this project is estimated at \$1,877. This is based on one unit at an average land value of \$105,000 per acre for the North Sacramento Community Plan Area, plus an additional 20% for off-site park infrastructure improvements, less acres in land dedication. Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of payment.

2. Title 18, 18.44 Park Development Impact Fee (PIF), due at the time of issuance of building permit. The Park Development Impact Fee due for this project is estimated at \$2,511. This is based on one unit at the Specified Infill Rate of \$2,511 per unit. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit.
3. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

B. The **Subdivision Modification** to exceed the maximum lot depth allowed in the Standard Single-Family (R-1) zone **is approved** subject to the following Conditions of Approval:

B1. The applicant shall comply with the conditions of approval on the Tentative Map (P11-056).

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Exhibit A: Tentative Map – 1 page

Exhibit B: Frontage Improvements – 1 page

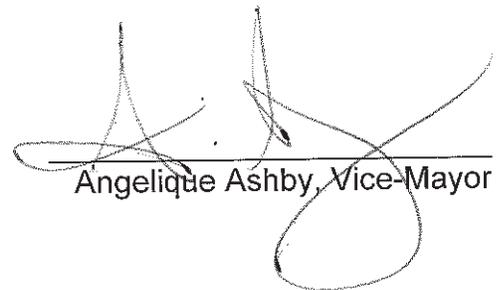
Adopted by the City of Sacramento City Council on November 13, 2012 by the following vote:

Ayes: Councilmembers Ashby, Cohn, D Fong, R Fong, McCarty, Pannell, Schenirer, Sheedy and Mayor Johnson

Noes: None.

Abstain: None.

Absent: None.



Angelique Ashby, Vice-Mayor

Attest:



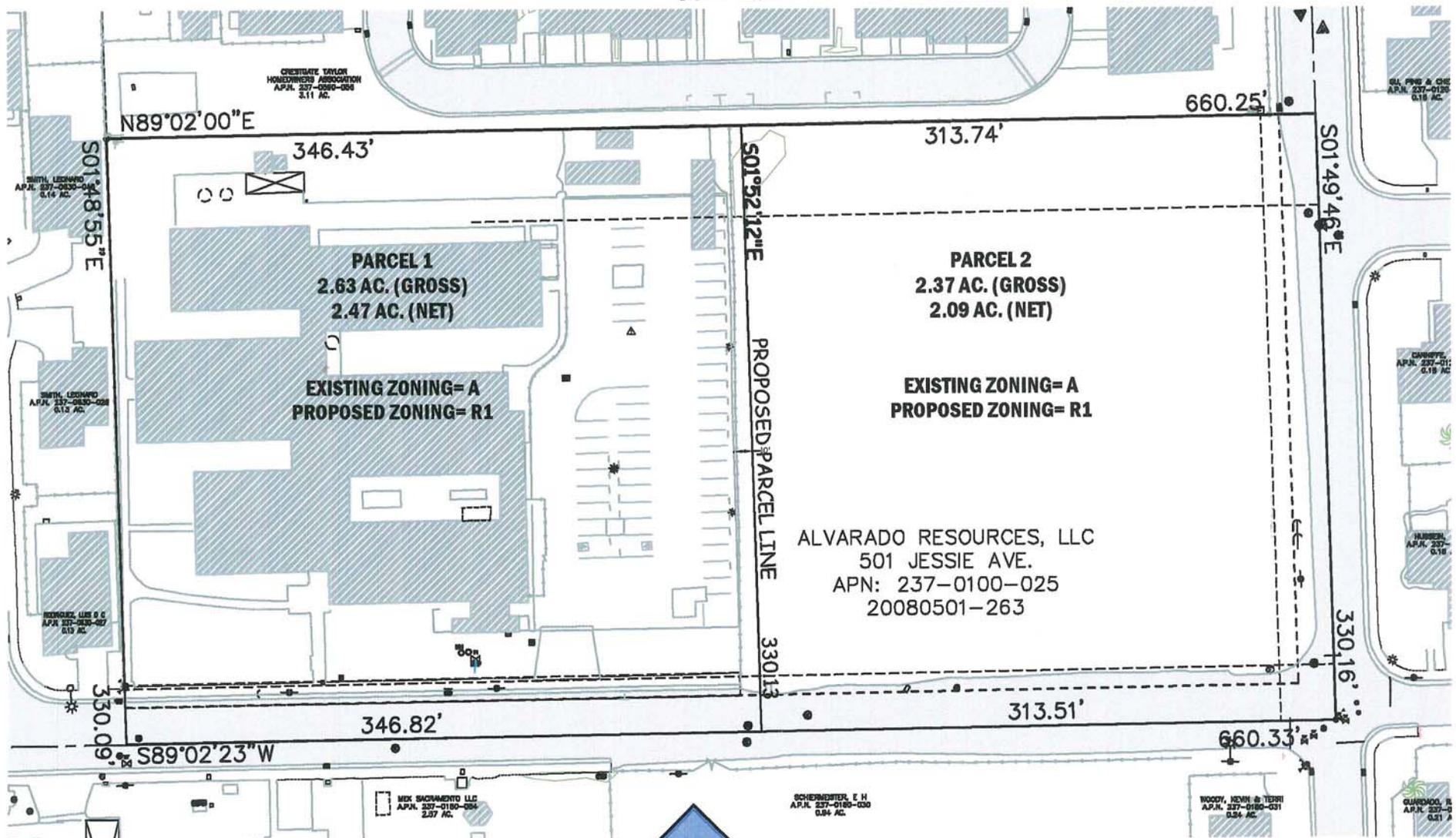
Shirley Concolino, City Clerk

RAPP REZONE EXHIBIT

POR. SEC.S 9, 10, 15, 16, T.10N, R.10E. M.D.M.

SACRAMENTO COUNTY, CA

JULY 2011



P11-056
JULY 27, 2011



LEBECK • YOUNG
ENGINEERING, INC.
3430 ROBIN LANE, BLDG. #2
CAMERON PARK, CA 95682
Ph. (530) 677-4080 Fax. (530) 677-4086

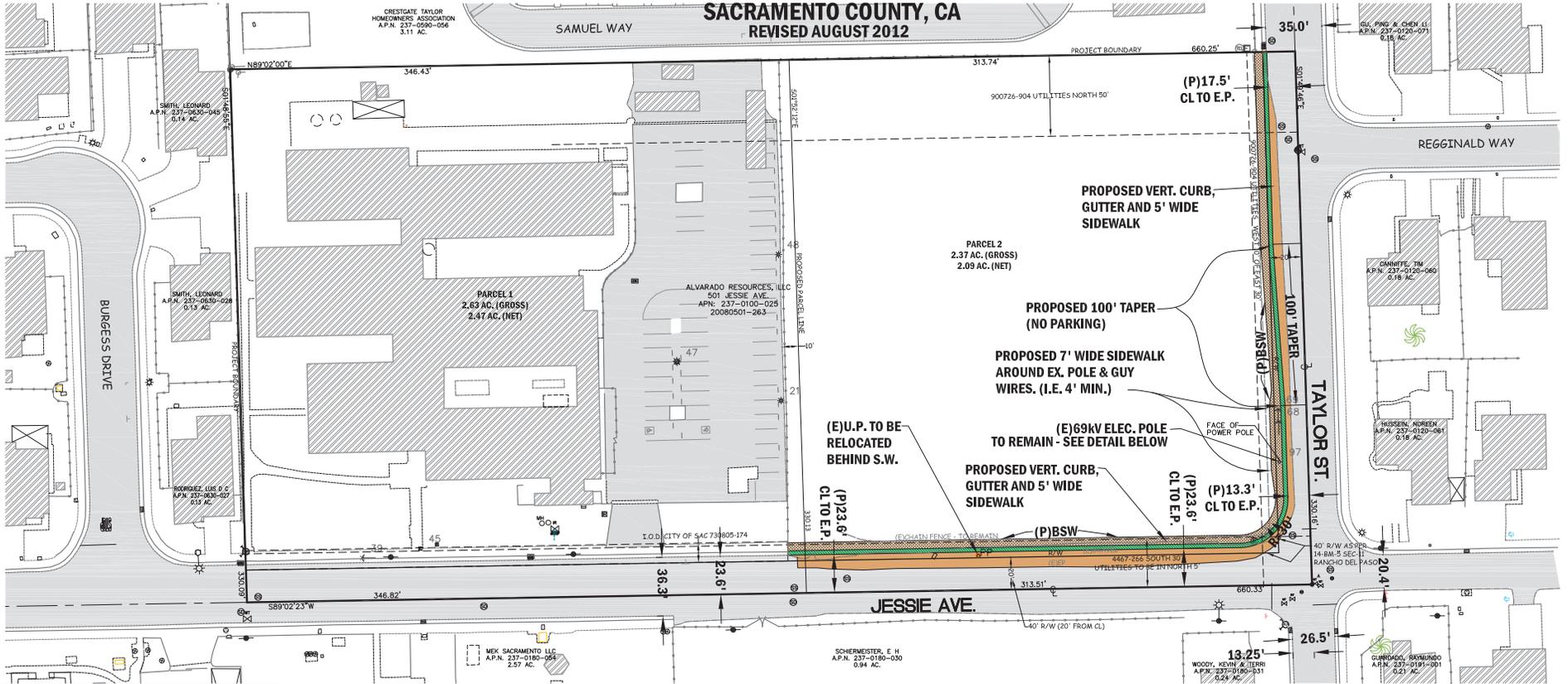
SHEET NO.
RZ-1

PROPOSED FRONTAGE IMPROVEMENTS EXHIBIT

RAPP TENTATIVE MAP & REZONE

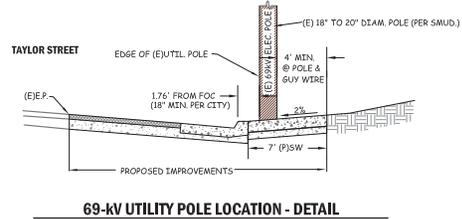
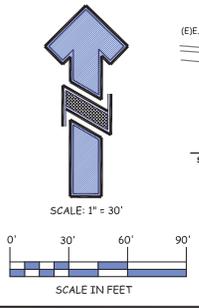
POR. SEC.S 9, 10, 15, 16, T.10N, R.10E. M.D.M.

SACRAMENTO COUNTY, CA
REVISED AUGUST 2012



Project Data	
OWNER	ALVARADO RESOURCES, LLC 3308 OCEAN VIEW BLVD. CORONA DEL MAR, CA 92625 (949) 566-9921
APPLICANT	LEBECK • YOUNG ENGINEERING, INC. 3430 ROBIN LANE, BLDG. #2 CAMERON PARK, CA 95682 (530) 677-4080
PREPARED BY	BOBBIE LEBECK
SCALE	1" = 30'
CONTOUR INTERVAL	1'
SOURCE OF TOPOGRAPHY	AERIAL TOPOGRAPHY
LEGAL DESCRIPTION	LOT 42 SUB. SEC. II, RANCHO DEL PASO
ASSESSOR'S PARCEL NUMBER	237-0100-025
PRESENT ZONING	A (AGRICULTURAL)
PROPOSED ZONING	R1
TOTAL AREA	5.00 ACRES (GROSS) & 4.56 ACRES (NET)
TOTAL # OF PARCELS	EXISTING: 1 PROPOSED: 2
WATER SUPPLY	CITY OF SACRAMENTO WATER
SEWAGE DISPOSAL	SACRAMENTO REGIONAL COUNTY SANITATION
PROPOSED FIRE PROTECTION	CITY OF SACRAMENTO
DATE OF PREPARATION	JULY 2011
PROJECT #	11-011

Abbreviations			
BSBL	BUILDING SETBACK LINE	JP	JOINT POLE
BSW	BACK OF SIDEWALK	LF	LEFT
BW	BOTTOM OF WALL AT FG	LP6	PROPANE TANK
CH	CHORD BEARING	(P)	PROPOSED
CL	CHORD LENGTH	PAD	FINISHED PAD
CR	CURB RETURN	PAG	PARKING
D	DEGREE OF CURVE	PP	POWER POLE
D.E.	DRAINAGE EASEMENT	P.E.	POSTAL EASEMENT
DI	DROP INLET	PUE	PUBLIC UTILITIES EASEMENT
DWY	DRIVEWAY	R	CURVE RADIUS PER FINAL MAP
(E)	EXISTING	RT	RIGHT
E.D.C.	EL DORADO COUNTY	RT	RIGHT
EL	ELEVATION	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SS	SEWER SERVICE
FC	FACE OF CURB	SW	SIDEWALK
FF	FINISHED FLOOR	TR6	TOP BACK OF CURB
FG	FINISHED GRADE	TC	TOP OF CURB ELEV.
FH	FIRE HYDRANT	TW	TOP OF WALL
FL	FLOWLINE	UPC	UNIVERSAL PLUMBING CODE
FND	FOUND	US	UTILITY SERVICE
GA	GUY ANCHOR	W	WALL HEIGHT
GB	GRADE BREAK	WL	WATER LINE
HP	HIGH POINT	WS	WATER SERVICE



Paving Legend	
	PROPOSED ASPHALT PAVING SECTION
	PROPOSED CURB & GUTTER
	PROPOSED SIDEWALK

RAPP TENTATIVE MAP & REZONE PROPOSED FRONTAGE IMPROVEMENTS EXHIBIT MAP



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SHEET NO.
EX-1
PLOT DATE: 2012-08-20