



*The Panhandle
Planned Unit Development Guidelines*

Planning Area In PUD	Units	Net Acres	Net Density	Tentative Map	PUD Designation	NNCP Plan Designation	Zoning
70		6.5		North	HS/MS Expansion	General Public Facilities	R-1-PUD
71		46.3		Grant	High School/ Middle School	General Public Facilities	R-1-PUD
72		7.5		Central	HS/MS Expansion	General Public Facilities	R-1-PUD
73		8.0		South	Elementary School	General Public Facilities	R-1-PUD

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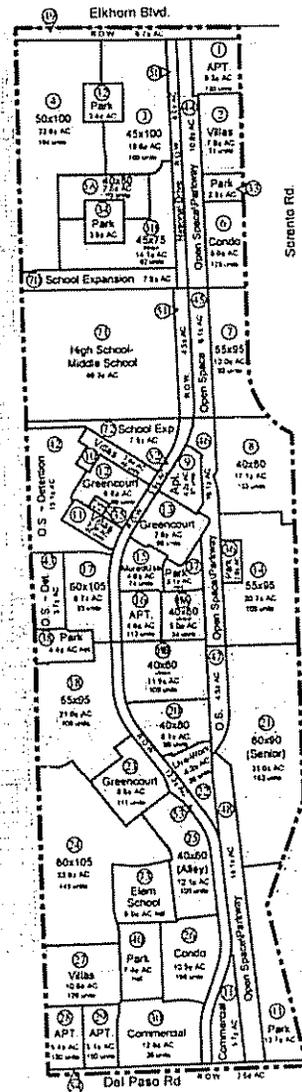


Figure 2. Panhandle PUD Schematic Plan



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1.4. Relationship to Other Documents

The Panhandle PUD guidelines are a tool for implementing the City's General Plan and the 1994 NNCP; they are in compliance with the City of Sacramento's Zoning Ordinance, including Section 8, *Planned Unit Developments*. To the extent these guidelines conflict with development standards or regulations in the City's Zoning Ordinance, these guidelines shall prevail. Tentative Subdivision Maps, Special Permits and Building Permits for all properties in the Panhandle PUD will comply with the provisions and intent of these guidelines and schematic plan.

1.5. Planning Director's Special Permits and/or Plan Review

When all other provisions of these guidelines and applicable City zoning code requirements have been met, single-family, duplex, half-plex and other (attached housing development projects) in the Panhandle shall be approved using the Planning Director's Special Permits and/or Plan Review in lieu of Planning Commission Special Permits pursuant to Chapter 17.212 and 17.220 of the City's Zoning Code.

1.6. Permitted Uses

Uses permitted within land uses in the Panhandle PUD shall be consistent with the uses identified in Section 17.24 of the City's Zoning Ordinance, except as noted herein.

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Section 2.0 Detached Residential (Low and Medium Density)

2.1. Neighborhood Design and Focus

Sacramento's gracious older neighborhoods are the design inspiration for the Panhandle. The Panhandle builds upon distinguishable places and sustains the rich history and environments that create sought-after neighborhoods.

Architectural Styles

The Panhandle will recall older neighborhoods by bringing together architectural styles rooted in a common time period. This philosophy of community building allows each neighborhood to have a unique identity while also having a common thread to bind the community together. The Panhandle's architectural inspiration is drawn primarily from Sacramento neighborhoods like Curtis Park, Land Park and McKinley Park which were established after the turn of the twentieth century, and even today, remain some of the most desirable places to live in the region.

In general, residential architectural styles used at the Panhandle could be classified as authentically American, or as authentic American interpretations of classic architectural movements. The styles recommended in these guidelines were prevalent from the late 1800s through the mid 1900s and have been used in many of the most popular neighborhoods in the region.

Contemporary interpretations of traditional styles in areas of the Panhandle that are more urban in feel are encouraged. While these selected styles are deeply rooted in history, there is room for appropriate levels of design abstraction. Generally, the degree of appropriate abstraction will correlate with the density of the homes being designed. The most pure style interpretations should occur in the lowest density areas and those areas that border existing residential neighborhoods. Denser areas near the commercial center of the Panhandle may bear more abstracted interpretations.

Figure 3 illustrates many of the architectural styles to be used in the Panhandle. The following architectural styles are recommended:

- American Traditional
- Art Deco Revival
- Colonial
- Cottage
- Country European
- Craftsman
- Eastern Seaboard
- Farmhouse
- Mediterranean
- Monterey
- National
- Prairie Ranch
- Seaside Bungalow
- Shingle
- Southern Italian
- Spanish Eclectic (Including Corona del Mar and Spanish Colonial)
- Traditional Ranch
- Tuscan
- Victorian
- Victorian Farmhouse



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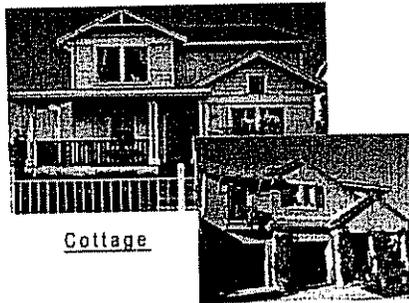
American Traditional
Asymmetrical massing with wood porches and classical square railings. Simplified cornice trim at gable ends and louvered shutters. Walls are siding and stucco.



Art Deco
Occasionally vertical elements with parapet roofs. Two-story and single-story facades with asymmetrical or symmetrical massing. Most entries are recessed under half-round or squared arches from the front plane. Minimal features with clean lines and no accent materials, trim or surrounds.



Colonial



Cottage



Country European
Informal arrangement of building forms and the use of fieldstone and other rustic materials creates a rural character for this style. Mainly hipped roofs with steep slanting cross gables are topped with predominantly flat tile roofs on homes with rich earth color tones.



Craftsman
Low-pitched gable roofs, occasionally hipped with wide projecting eaves and exposed rafter tails. Decorative beams or braces also added under the gables. Broad windows and doors and walls of brick siding, stucco, or stone.

Figure 3. Architectural Styles.

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Eastern Seaboard

This style is defined by the easy grace of low-pitched gable roofs intersecting with hipped lines. Wide projecting eaves spill over the roof line with exposed rafter tails and decorative beams and braces. The use of brick, siding, stone, and stucco facades complete the clean look of the Eastern Seaboard style.



Farmhouse

Typically two-story, symmetrical or asymmetrical. Two-story opposing wings on larger homes and addition of one- or two-story wings and covered porches. Dominant gable roof forms with shed, hip and gambrel alternatives. Eave mouldings and roof ornamentation such as cupolas or weather vanes.



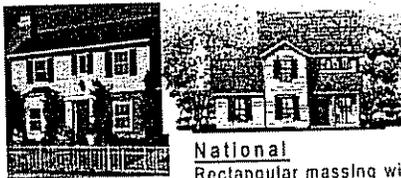
Mediterranean

Asymmetrical combination of one- and two-story building masses articulated with tower elements or arcades. Low-pitched gable roof forms are predominant with occasional hips done in red tile. Use of arch elements at doors or featured windows and abundant use of decorative elements such as patterned tiles, grille work and shutters.



Monterey

Rectilinear building forms accented by cantilevered balconies on the front facade. Low-pitched gable roofs with flat roof tiles combine with materials of stucco, painted brick and/or siding to create a clean look. Colonial details such as a pedimented window and door openings embellish this style.



National

Rectangular massing with covered porches. Traditionally, a two-story home with low-pitched gable roof, and wrap-around porches at front and sides. Porches may be supported by rows of columns with simple decorative trim at base and capital.

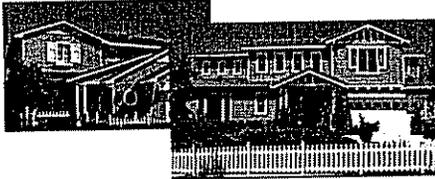


Prairie Ranch

Lower-pitched roofs with wide overhanging eaves and detailing emphasizing horizontal lines create distinct angles for this style. Horizontal massing with stone bases are further detailed with grouped articulated multi-paned windows.



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Seaside Bungalow



Shingle



Southern Italian

This style begins with formal box-like massing topped with low-pitched hip roofs with barrel shaped or flat roof tiles. This roof line spills over with wide overhanging eaves supported by decorative brackets. Facade treatment is generally symmetrical with arched windows and doors common on first floor. The entry is often accentuated with classical columns.



Spanish Colonial

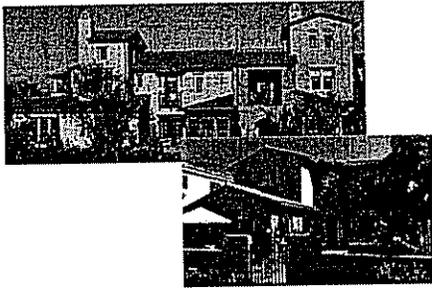
This style is defined by fully round arch elements, red barrel tile roofs and entry courtyard with gate. Details of the facade include colonnaded arcades, deep recessed primary windows or doors as well as wrought iron, clay vents and ceramic tiles.



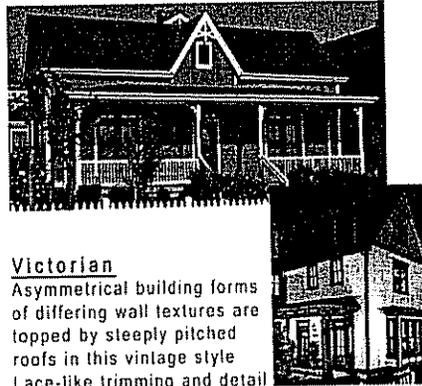
Traditional Ranch

Building materials include brick, stone siding, shake or slate roofs, dormer windows, shutters, wide eaves, and porches. This style incorporates deeply recessed openings, pot shelves, and architectural pop-outs.

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Tuscan
Informal arrangement of building forms with hipped roof, accented by the occasional gable or cross-gable. Red tile roofs above tall narrow shutters. Use of fieldstone or other rustic material completes the rural appearance of this style.



Victorian
Asymmetrical building forms of differing wall textures are topped by steeply pitched roofs in this vintage style. Lace-like trimming and detail combined with front porches and dormers to define this style.



Victorian Farmhouse



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2.2. Architectural Guidelines

The City’s Single-Family Residential Design Principles provide the underlying guidelines for this section and should be consulted when planning single-family neighborhoods within the Panhandle PUD.

Classic neighborhoods in Sacramento offer authentic places and home designs. Homes in the Panhandle will strive to create a similar sense of place and history, where generations of families might choose to live and grow.

Varied Street Scene and Floor Plan Variations

The same house plan of similar elevation may not be placed in two adjacent or consecutive lots unless they occur in medium density products such as the Greencourts or Villas.

In order to achieve variation in subdivisions, master home plans for each subdivision shall include a minimum number of floor plans and elevations based on the number of units in the subdivision as follows:

Table 2. Floor Plan and Elevation Mix.

Subdivision Units	Minimum Floor Plans	Minimum Elevation Styles
Less than 100	3	3
101 to 200	4	3
201 to 250	5	3
251 or more	Not permitted	Not permitted

Street Interface

Architecture is encouraged to have a street orientation with distinctive elements that create a human scale. Interactive elements inviting to the street scene may include, and are not limited to:

- Porches
- Verandas
- Porte-cochères
- Balconies
- Decks
- Porticos
- Trellises
- Arbors
- Courtyards

Quality design and careful orientation of pedestrian-scaled elements provide a sense of place, general activity and neighborhood socialization. All home plans shall contain at least one interactive element.

Building Massing and Proportion

Proportions and placement of each home’s architectural elements shall be appropriately applied. Because the range of acceptable densities in low density residential (LDR) and medium density residential (MDR) areas are so broad, a wide variety of lot configurations and home types are available. While many

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building massing and proportion design philosophies hold true across product types, some are product specific; they are outlined below.

The following design techniques are encouraged for single-family detached homes:

- Massing organized as a whole; not a mixture of unrelated forms. Massing established by characteristics of the architectural style.
- Varying setbacks for different components of the home such as the garage, second floors, etc.
- Using wing walls and porches.
- Staggering offset wall planes when possible.
- Massing characterized by a series of stepping forms.
- Varying façade breaks at the building front elevations.
- Articulating street scenes vertically with a mix of one- or two-story homes.
- Using a minimum of one façade element break on the rear elevation. This may be accomplished by the use of cantilevers or other elements.
- Wrapping architecture on corner lots (i.e., corner porches, trim or siding that wraps around corner from front elevation).

Roof Forms and Configurations

Roof forms and their configurations significantly impact each home individually and the street scene as a whole. A street scene composed of homes with identical or very similar roof heights, pitches and textures results in a flat, monotonous or otherwise undesirable aesthetic. Conversely, an aesthetically pleasing "roof bounce" results from a street scene composed of homes with a variety of roof heights, pitches and textures.

The following techniques roof design techniques shall be considered:

- Conforming roof forms and configurations to the selected architectural style.
- Designing for a mixture of roof heights and pitches in the same home.
- Using primary roof forms of gables or hips in multiple combinations.
- Applying shed roofs to main roof forms at porches, garages, entrances and eyebrows over windows and bays.
- Ranging roof pitches from 4:12 to 12:12.
- Punctuating roof planes with windows or vented dormers.



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- Blending second stories into a one-story roof plane
- Using roof materials and colors appropriate to the selected architectural style.
- Using fascia, rake and eave detailing per the selected architectural style.
- Using a combination of one- or two-story roof planes

Roof Vents

- Coloring all vent stacks and pipes to match adjacent roof or wall material
- Placing vent stacks on the roof where least visible from view.
- Keeping vents from extending above the ridge line unless otherwise restricted by code.

Solar

- Integrating solar panels, where used, into roof design. Solar panel frames shall be of quality design, material and color to match roof. Unfinished aluminum frames are discouraged.
- Matching photovoltaic solar tile roofing to adjacent roofing materials to the extent currently practical.

Flashing and Sheet Metal

- Coloring all flashing and sheet metal to match adjacent materials

Building Exterior Treatment

Authentic use of exterior materials enhances the richness of a home's character. As they are appropriate to selected architectural styles, the following techniques shall be considered when designing buildings for the Panhandle:

- Using combinations of various finish materials on each elevation.
- Changing materials (vertically and/or horizontally) to break up building form and create movement along the façade
- Applying architectural treatments and trims on all building façades.
- Wrapping finishes must not terminate on outside corners; minimum wrap-back at sideyard is 12 inches.
- Using wrap-around porches and porches combined with entry elements.
- Using a wide variety of column details and materials
- Using entry elements with varied heights and proportions
- Detailing, sizing and positioning windows and doors appropriately and in the context of the selected architectural style.

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Materials

The use of appropriate building materials for a selected architectural style is important for maintaining the integrity of the style. However, imaginative combinations of building materials create unique designs and simultaneously provide individual identity and character to each home. Combinations of building materials on each elevation could provide varied texture and the opportunity for graceful color transitions. All of these unique variations, when used appropriately, enrich individual homes, streetscapes and neighborhoods.

The following materials are allowed in the Panhandle:

- Stucco and/or cement plaster.
- Horizontal wood or composite siding.
- Board-and-batten wood or composite siding.
- Wood shingle siding.
- Railings of wood, wrought iron, tubular steel or other composite material of high quality.
- Dimensional composition roof shingles.
- Concrete flat roof tiles.
- Concrete barrel or 'S' tile roofs.
- Brick or high-quality simulated brick material.
- Stone or high-quality simulated stone material (i.e., Cultured Stone or El Dorado Stone).
- Wood shutters or shutters made of other composite materials of high quality.
- Gable-end vents that complement the selected architectural style (i.e., canales for Spanish styles).
- Wood or cement-plaster-over-foam brackets.
- Wood, stucco, brick, or appropriate stone columns.

High-quality fiber cement or other manufactured elements may be substituted for any architectural wood element as long as quality is maintained and no departures are made from style guidelines.

Color Palettes

Rich color palettes authentic to selected architectural styles are encouraged. Because some building materials are better suited to receive neutral colors, a combination of building materials is encouraged to provide a wider range of rich body colors. The use of bright, vibrant exterior colors is encouraged on abstracted architectural style interpretations.



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A wide range of trim and accent colors shall be provided on homes to add variety and community character. Trims should be consistent with the historic context of the selected architectural styles.

Garage Mitigation

Garage mitigation is an important neighborhood design element. Reducing garage dominance and moving living space elements closer to the street create street scenes that are more inviting to pedestrians. Porches placed forward on a home put "eyes on the street" and create a better overall sense of community. This closeness encourages natural interaction between neighbors. Using design features that enhance a home's architectural style relegates the garage to a less visible position and directly conveys overall home style.

The following guidelines reinforce the Panhandle's community fabric by mitigating garage dominance and creating people-friendly, architecturally diverse street scenes. Homes in the Panhandle shall incorporate these types of mitigation measures:

- Avoiding three-car garages facing the street.
- Using turn-in, side-load garages where lot width allows and where appropriate.
- Using alley- or lane-loaded garages where appropriate.
- Detaching garages. See Figure 4 for example footprints.
- Using tandem-bay garages presenting a single-car garage door to the street.
- Using lot configurations with push-back garages at rear- or mid-lot.
- Cantilevering second-story elements above a garage for additional shadow line and detail is allowed.
- Using garage doors that closely tie to the selected architectural style (i.e., carriage doors).
- Using garage doors with windows appropriate to the selected architectural style (avoid the use of fans or sunbursts).
- Using innovative color blocking to help garage doors effectively integrate with architecture and style.

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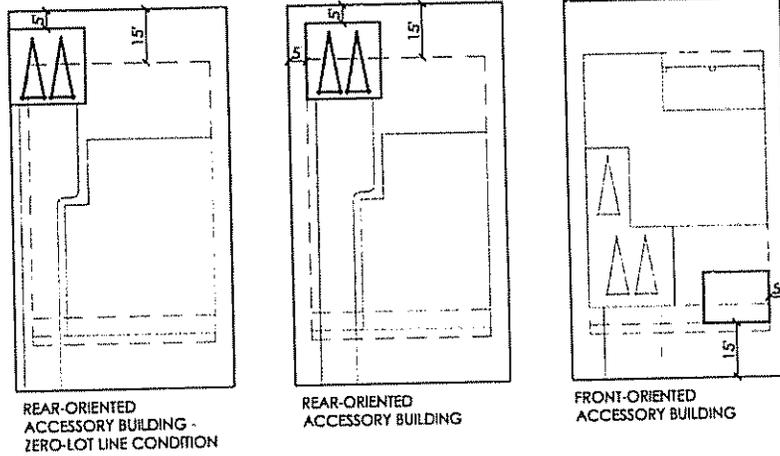


Figure 4 Detached Garage and Accessory Building Footprints.
Footprints do not represent actual home designs for the Panhandle; they are provided to illustrate setback and PUE conditions only



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Screening

Builders shall screen the functional components of homes as follows:

Gas, Water and Electric Meters

- Meters located in enclosed cabinets, in recesses or behind screen walls as an integral part of the architecture are encouraged; they shall conform to utility company standards
- Utility meters should be located in home side yards and away from direct street view where possible. Landscape screens are acceptable.

Trash Containers

- Trash containers should be screened from the ground view of all neighbors and streets
- Trash containers should not be located in the front yard setback area except on trash collection days.

Mechanical Equipment

- Mechanical equipment includes elements such as heating, ventilation and air conditioning (HVAC) equipment, water softening or filtration tanks and pool equipment. Mechanical equipment should be screened from view.
- Roof- or window-mounted air conditioning units in single-family pitched roofs are prohibited.

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2.3. Single-Family Residential Development Standards

60' by 105' Low Density Residential – Planning Areas 17 and 24

Table 3. 60' by 105' Low Density Residential Standards.

Criteria	Description
Main Building Setbacks	
Front	15' minimum to living or porch ^{2 3}
Interior Sideyard	5' minimum ¹
Corner Sideyard	10' minimum
Rear Yard	15' minimum. May be reduced to 10' if plan offsets to provide equal outdoor square footage to 15' rear yard
Garage	18' minimum to sectional overhead garage door
Accessory Building Setbacks	
Front Oriented Accessory Buildings	15' minimum front setback 5' minimum or zero-lot line interior side setback ⁵
Rear Oriented Accessory Buildings	5' minimum front setback 5' minimum interior side setback ⁵
Other Criteria	
Maximum Lot Coverage	55 percent ^{4, 6}
Maximum Building Height	35
Public Utility Easement (PUE)	10'
<p>Footnotes General: Eaves of patio roofs and shade structures may extend 50 percent onto the required interior side or rear yards ¹ Architectural features including fireplaces, chimneys, bay windows, wing walls, or media niches may encroach a maximum of 2' in any sideyard setback except PUE. No foundations are permitted in PUEs ² A minimum of 2' front yard stagger is required for one of every three contiguous units; or, provide a minimum of three wall plane breaks of 12 inches or more ³ Provide a minimum 5' recess from living or porch to garage on a minimum of 50 percent of lots. ⁴ Lot coverage includes building footprint only (living area and garage) and expressly excludes driveways, porches, sidewalks and uncovered patios. Accessory structures such as attached and detached shade or patio roofs and other garden structures (gazebos, trellises, etc.) are allowed in addition to the lot coverage stated not to exceed 10 percent of the total lot area ⁵ Two zero-lot line accessory building may not be built adjacent to each other. Garage may be detached. If garage is detached, accessory living space is allowed above. ⁶ Lot coverage percentage applies only if 67 percent or more homes in the Panhandle have features that comply with the City of Sacramento's <i>Single Family Residential Design Guidelines</i>. If the proposed subdivision does not meet the lot coverage regulation stated, an application for a special permit from the City's planning commission will be required.</p>	



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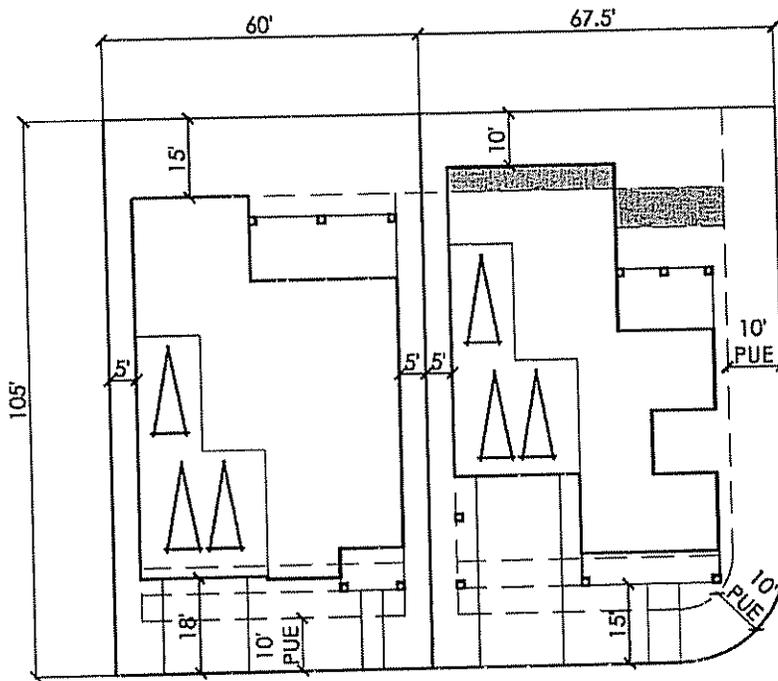


Figure 5. 60' by 105' Low Density Residential Footprint.
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60' by 90' Low Density Residential (Age-Restricted Lots) – Planning Area 21

Table 4. 60' by 90' Low Density Residential Standards.

Criteria	Description
Setbacks	
Front	15' minimum to living or porch ^{2 3}
Interior Sideyard	5' minimum ¹
Corner Sideyard	10' minimum
Rear Yard	10' minimum
Garage	18' minimum to sectional overhead garage door. Single car with 100 square feet of storage, minimum
Accessory Building Setbacks	
Front Oriented Accessory Buildings	Not applicable
Rear Oriented Accessory Buildings	Not applicable
Other Criteria	
Maximum Lot Coverage	65 percent ^{4 5}
Maximum Building Height	35'
Parking	Minimum one-car garage with 100 square feet of storage
Public Utility Easement (PUE)	10'
<p>Footnotes General: Eaves of patio roofs and shade structures may extend 50 percent onto the required interior side or rear yards ¹ Architectural features including fireplaces, chimneys, bay windows, wing walls, or media niches may encroach a maximum of 2' in any sideyard setback except PUE. No foundations are permitted in PUEs ² A minimum of 2' front yard stagger is required for one of every three contiguous units; or, provide a minimum of three wall plane breaks of 12 inches or more ³ Provide a minimum 5' recess from living or porch to garage on a minimum of 50 percent of lots ⁴ Lot coverage includes building footprint only (living area and garage) and expressly excludes driveways, porches, sidewalks and uncovered patios. Accessory structures such as attached and detached shade or patio roofs and other garden structures (gazebos, trellises, etc.) are allowed in addition to the lot coverage stated not to exceed 10 percent of the total lot area. ⁵ Lot coverage percentage applies only if 67 percent or more homes in the Panhandle have features that comply with the City of Sacramento's <i>Single Family Residential Design Guidelines</i>. If the proposed subdivision does not meet the lot coverage regulation stated, an application for a special permit from the City's planning commission will be required</p>	

The Low Density Residential area designated for an age-restricted community (Planning Area 21) is intended to be a closed community and may include gates and fences or walls along the perimeter. A special permit will be required to evaluate the proposed project in Planning Area 21.

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55' by 95' Low Density Residential – Planning Areas 7, 14 and 18
Table 5. 55' by 95' Low Density Residential Standards.

Criteria	Description
Main Building Setbacks	
Front	15' minimum to living or porch ^{2, 3}
Interior Sideyard	5' minimum ¹
Corner Sideyard	10' minimum
Rear Yard	15' minimum; may reduce to 10' if plan offsets provide equal outdoor square footage area to 15' rear yard
Garage	18' minimum to sectional overhead garage door
Accessory Building Setbacks	
Front Oriented Accessory Buildings	15' minimum front setback 5' minimum interior side setback ⁵
Rear Oriented Accessory Buildings	5' minimum front setback 5' minimum interior side setback ⁵
Other Criteria	
Maximum Lot Coverage	55 percent ^{4, 6}
Maximum Building Height	35'
Public Utility Easement (PUE)	10'
<p><i>Footnotes</i> General: Eaves of patio roofs and shade structures may extend 50 percent onto the required interior side or rear yards ¹ Architectural features including fireplaces, chimneys, bay windows, wing walls, or media niches may encroach a maximum of 2 feet in any sideyard setback. No foundations are permitted in PUEs ² A minimum of 2' front yard stagger is required for one of every three contiguous units or provide a minimum of three wall plane breaks of 12 inches or more ³ Provide a minimum 5' recess from living or porch to garage ⁴ Lot coverage includes building footprint only (living area and garage) and expressly excludes driveways, porches, sidewalks and uncovered patios. Accessory structures such as attached and detached shade or patio roofs and other garden structures (gazebos, trellises, etc.) are allowed in addition to the lot coverage stated not to exceed 10 percent of the total lot area ⁵ Two zero-lot line accessory buildings may not be built adjacent to each other. Garage may be detached. If garage is detached, accessory living space is allowed above ⁶ Lot coverage percentage applies only if 67 percent or more homes in the Panhandle have features that comply with the City of Sacramento's <i>Single Family Residential Design Guidelines</i>. If the proposed subdivision does not meet the lot coverage regulation stated, an application for a special permit from the City's planning commission will be required</p>	



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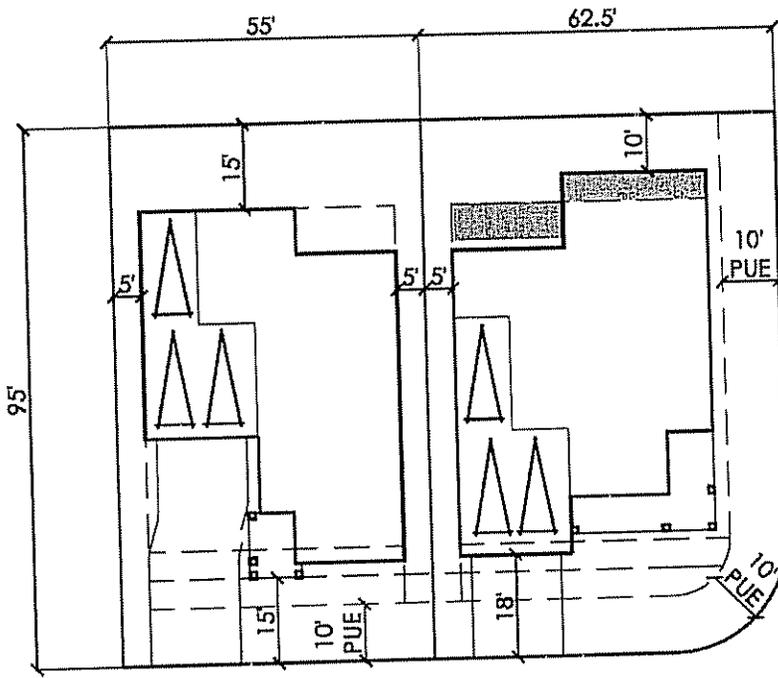


Figure 7. 55' by 95' Low Density Residential Footprint
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50' by 100' Low Density Residential – Planning Area 4

Table 6. 50' by 100' Low Density Residential Standards.

Criteria	Description
Main Building Setbacks	
Front	15' minimum to living or porch ^{2 3}
Interior Sideyard	5' minimum ¹
Corner Sideyard	10' minimum
Rear Yard	15' minimum; may reduce to 10' if plan offsets provide equal outdoor square footage area to 15' rear yard
Garage	18' minimum to sectional overhead garage door
Accessory Building Setbacks	
Front Oriented Accessory Buildings	15' minimum front setback 5' minimum interior side setback ⁵
Rear Oriented Accessory Buildings	5' minimum front setback 5' minimum or zero-lot line interior side setback ⁵
Other Criteria	
Maximum Lot Coverage	55 percent ^{4 6}
Maximum Building Height	35'
Public Utility Easement (PUE)	10'
<p>Footnotes General: Eaves of patio roofs and shade structures may extend 50 percent onto the required interior side or rear yards ¹ Architectural features including fireplaces, chimneys, bay windows, wing walls, or media niches may encroach a maximum of 2 feet in any sideyard setback except PUE. No foundations are permitted in PUEs. ² A minimum of 2 feet front yard stagger is required for one of every three contiguous units or provide a minimum of three wall plane breaks of 12 inches or more ³ Provide a minimum 5 feet recess from living or porch to garage on at least 50 percent of lots ⁴ Lot coverage includes building footprint only (living area and garage) and expressly excludes driveways, porches, sidewalks and uncovered patios. Accessory structures such as attached and detached shade or patio roofs and other garden structures (gazebo, trellises, etc.) are allowed in addition to the lot coverage stated not to exceed 10 percent of the total lot area ⁵ Two zero-lot line accessory buildings may not be built adjacent to each other. Garage may be detached if garage is detached accessory living space is allowed above ⁶ Lot coverage percentage applies only if 67 percent or more homes in the Panhandle have features that comply with the City of Sacramento's <i>Single Family Residential Design Guidelines</i>. If the proposed subdivision does not meet the lot coverage regulation stated, an application for a special permit from the City's planning commission will be required</p>	



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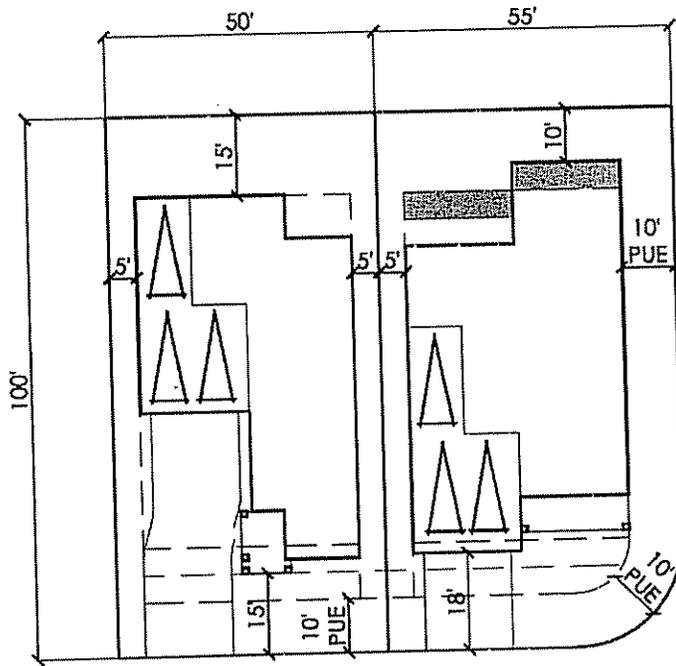


Figure 8. 50' by 100' Low Density Residential Footprint.
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45' by 100' Low Density Residential – Planning Area 3

Table 7. 45' by 100' Low Density Residential Standards.

Criteria	Description
Setbacks	
Front	15' minimum to living or porch ^{2 3}
Interior Sideyard	5' minimum ¹
Corner Sideyard	10' minimum
Rear Yard	15' minimum; may reduce to 10' if plan offsets provide equal outdoor square footage area to 15' rear yard
Garage	18' minimum to sectional overhead garage door
Accessory Building Setbacks	
Front Oriented Accessory Buildings	Not applicable
Rear Oriented Accessory Buildings	Not applicable
Other Criteria	
Maximum Lot Coverage	55 percent ^{4 5}
Maximum Building Height	35'
Public Utility Easement (PUE)	10'
<p>Footnotes General: Eaves of patio roofs and shade structures may extend 50 percent onto the required interior side or rear yards ¹ Architectural features including fireplaces, chimneys, bay windows, wing walls, or media niches may encroach a maximum of 2 feet in any sideyard setback except PUE. No foundations are permitted in PUEs. ² A minimum of 2 feet front yard stagger is required for one of every three contiguous units or provide a minimum of two wall plane breaks of 12 inches or more ³ Provide a minimum 5 feet recess from living room or porch to garage on at least 50 percent of lots ⁴ Lot coverage includes building footprint only (living area and garage) and expressly excludes driveways, porches, sidewalks and uncovered patios. Accessory structures such as attached and detached shade or patio roofs and other garden structures (gazebos, trellises, etc.) are allowed in addition to the lot coverage stated not to exceed 10 percent of the total lot area. ⁵ Lot coverage percentage applies only if 67 percent or more homes in the Panhandle have features that comply with the City of Sacramento's <i>Single Family Residential Design Guidelines</i>. If the proposed subdivision does not meet the lot coverage regulation stated, an application for a special permit from the City's planning commission will be required</p>	



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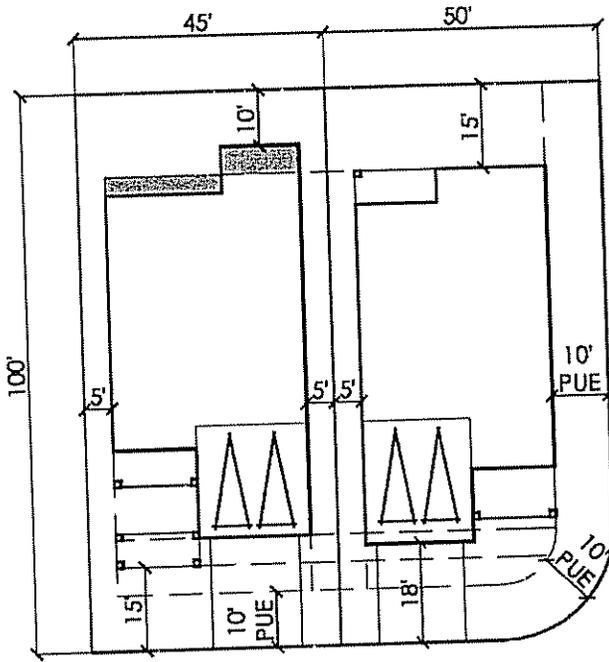


Figure 9. 45' by 100' Low Density Residential Footprint.
Footprints do not represent actual home designs for the Panhandle; they are provided to illustrate setback and PUE conditions only

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45' by 75' Low Density Residential (Alleys) – Planning Area 5B

Table 8. 45' by 75' Low Density Residential Alley-Loaded Standards.

Criteria	Description
Setbacks	
Front	7.5' minimum to living or porch ²
Interior Sideyard	5' minimum ¹
Corner Sideyard	10' minimum
Rear Yard	10' minimum at living
Garage	2' minimum from alley to sectional overhead garage door ⁴
Accessory Building Setbacks	
Front Oriented Accessory Buildings	Not applicable ⁴
Rear Oriented Accessory Buildings	Not applicable ⁴
Other Criteria	
Maximum Lot Coverage	60 percent ^{3 5}
Maximum Building Height	35'
Public Utility Easement (PUE)	7.5'
<p>Footnotes General: Eaves of patio roofs and shade structures may extend 50 percent onto the required interior side or rear yards ¹ Architectural features including fireplaces, chimneys, bay windows, wing walls, or media niches may encroach a maximum of 2 feet in any sideyard setback except PUE. No foundations are permitted in PUEs ² A minimum of 2 feet front yard stagger is required for one of every three contiguous units or provide a minimum of two wall plane breaks of 12 inches or more ³ Lot coverage includes building footprint only (living area and garage) and expressly excludes driveways, porches, sidewalks and uncovered patios ⁴ Garage may be detached. If garage is detached, accessory living space is allowed above. Accessory structures such as attached and detached shade or patio roofs and other garden structures (gazebo's, trellises, etc.) are allowed in addition to the lot coverage stated not to exceed 5 percent of the total lot area ⁵ Lot coverage percentage applies only if 67 percent or more homes in the Panhandle have features that comply with the City of Sacramento's <i>Single Family Residential Design Guidelines</i>. If the proposed subdivision does not meet the lot coverage regulation stated, an application for a special permit from the City's planning commission will be required</p>	



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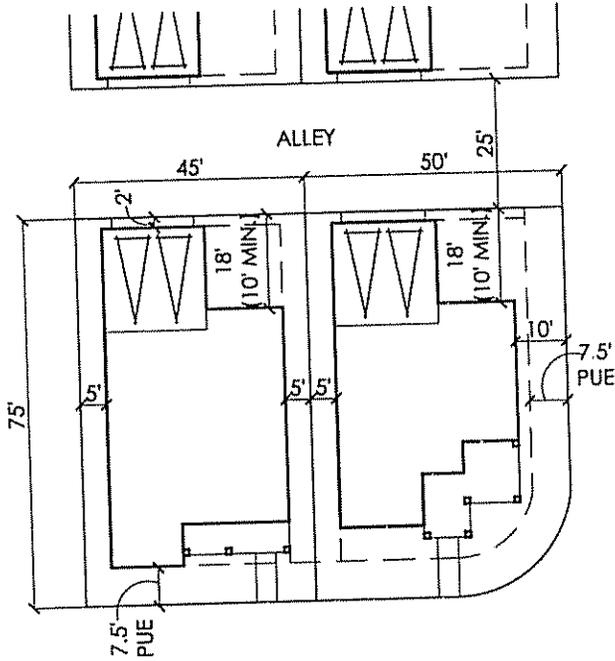


Figure 10. 45' by 75' Low Density Residential (Alleys) Footprint.
Footprints do not represent actual home designs for the Panhandle; they are provided to illustrate setback and PUE conditions only

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40' by 80' Low Density Residential – Planning Areas 5A, 8 and 20

Table 9. 40' by 80' Low Density Residential Standards.

Criteria	Description
Setbacks	
Front Setback	10' minimum to porch or living ²
Interior Sideyard	5' minimum or zero-lot conditions ¹
Corner Sideyard	10' minimum
Rear Yard	10' minimum
Garage	18' minimum to sectional overhead garage door
Accessory Building Setbacks	
Front Oriented Accessory Buildings	Not applicable
Rear Oriented Accessory Buildings	Not applicable
Other Criteria	
Maximum Lot Coverage	55 percent ^{4 5}
Maximum Building Height	35'
Public Utility Easement (PUE)	10'
<p><i>Footnotes</i> General: Eaves of patio roofs and shade structures may extend 50 percent onto the required interior side or rear yards. ¹ Architectural features including fireplaces, chimneys, bay windows, wing walls, or media niches may encroach a maximum of 2 feet in any sideyard setback except PUE. No foundations are permitted in PUEs ² A minimum of 2 feet front yard stagger is required for one of every three contiguous units or provide a minimum of three wall plane breaks of 12 inches or more ³ Provide a minimum 5 feet recess from living or porch to garage on at least 50 percent of lots ⁴ Lot coverage includes building footprint only (living area and garage) and expressly excludes driveways, porches, sidewalks and uncovered patios. Accessory structures such as attached and detached shade or patio roofs and other garden structures (gazebos, trellises, etc.) are allowed in addition to the lot coverage stated not to exceed 5 percent of the total lot area ⁵ Lot coverage percentage applies only if 67 percent or more homes in the Panhandle have features that comply with the City of Sacramento's <i>Single Family Residential Design Guidelines</i>. If the proposed subdivision does not meet the lot coverage regulation stated, an application for a special permit from the City's planning commission will be required</p>	



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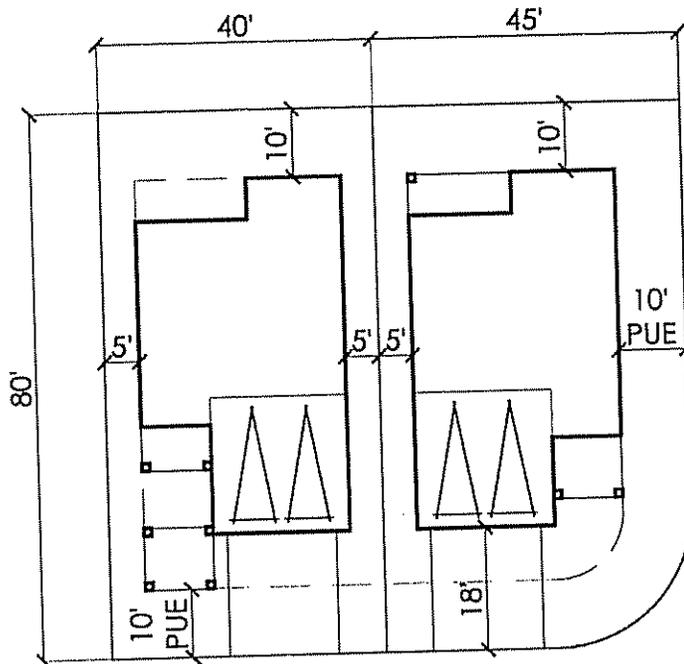


Figure 11. 40' by 80' Low Density Residential Footprints.
Footprints do not represent actual home designs for the Panhandle, they are provided to illustrate setback and PUE conditions only

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40' by 60' Low Density Residential (Alley) – Planning Areas 19A, 19B and 25

Table 10. 40' by 60' Low Density Residential Alley-Loaded Standards.

Criteria	Description
Setbacks	
Front	7.5' minimum to living or porch
Interior Sideyard	5' minimum or zero-lot conditions
Corner Sideyard	10' minimum
Rear Yard	7.5' minimum to living
Garage	2' from alley to sectional overhead garage door
Accessory Building Setbacks	
Front Oriented Accessory Buildings	Not applicable ¹
Rear Oriented Accessory Buildings	Not applicable ¹
Other Criteria	
Maximum Lot Coverage	60 percent ^{2, 4}
Maximum Building Height	35'
Public Utility Easement (PUE)	7.5'
<p>Footnotes General: Eaves of patio roofs and shade structures may extend 50 percent onto the required interior side or rear yards ¹ Garage may be detached. If garage is detached, accessory living space is allowed above ² Lot coverage includes building footprint only (living area and garage) and expressly excludes driveways, porches, sidewalks and uncovered patios. Accessory structures such as attached and detached shade or patio roofs and other garden structures (gazebos, trellises, etc.) are allowed in addition to the lot coverage stated not to exceed 5 percent of the total lot area ⁴ Lot coverage percentage applies only if 67 percent or more homes in the Panhandle have features that comply with the City of Sacramento's <i>Single Family Residential Design Guidelines</i>. If the proposed subdivision does not meet the lot coverage regulation stated, an application for a special permit from the City's planning commission will be required</p>	



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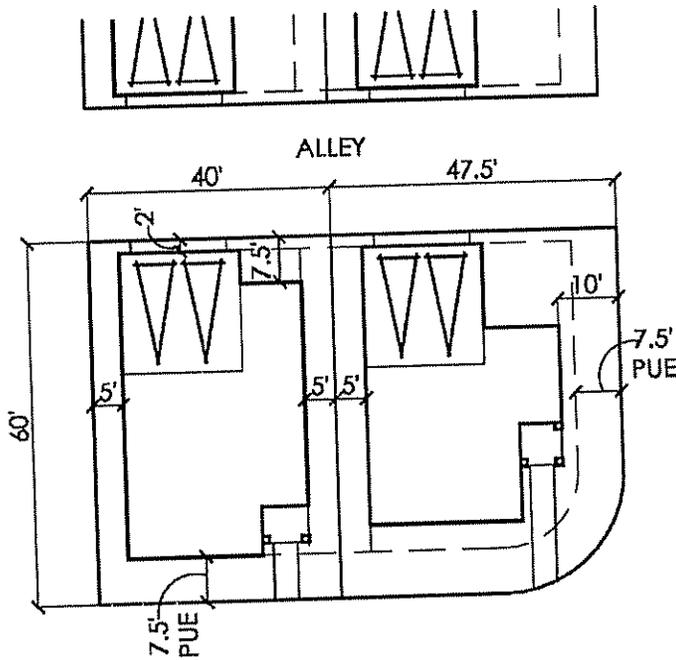


Figure 12. 40' by 60' Low Density Residential (Alley) Footprint.
Footprints do not represent actual home designs for the Panhandle; they are provided to illustrate setback and PUE conditions only

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Medium Density Residential (Villas) – Planning Areas 2, 10, 11 and 27

Table 11. The Villas, Medium Density Residential Standards.

Criteria	Description
Setbacks	
Front	Single-car garage. 18' minimum to sectional overhead garage door; Two-car garage. 18' street. 5' at alley minimum Private drive. 5' minimum Street, 10' minimum Paseo offset, no minimum
Interior Sideyard	3'-3" minimum See Figure 13
Corner Sideyard	10' if on public street, 5' if on private alley See Figure 13
Rear Yard	3'-3" minimum
Garage	See Figure 13
Accessory Building Setbacks	
Front Oriented Accessory Buildings	Not applicable
Rear Oriented Accessory Buildings	Not applicable
Other Criteria	
Maximum Lot Coverage	60 percent cumulative total coverage based on a "10-pack" configuration, not on any individual lot
Maximum Building Height	35'
Public Utility Easement (PUE)	10'

Table 12. The Villas, Square Footage by Home Plan.

Home Plan	Width (Feet)	Depth (Feet)	Approximate Lot Size (Square Feet)
1	34	45	2,431
2	22-8"	38	1,827
3	54	22-4"	1,955
4	32	40	2,025
5	22	68	2,060
6	34	45	2,431
Totals			12,739



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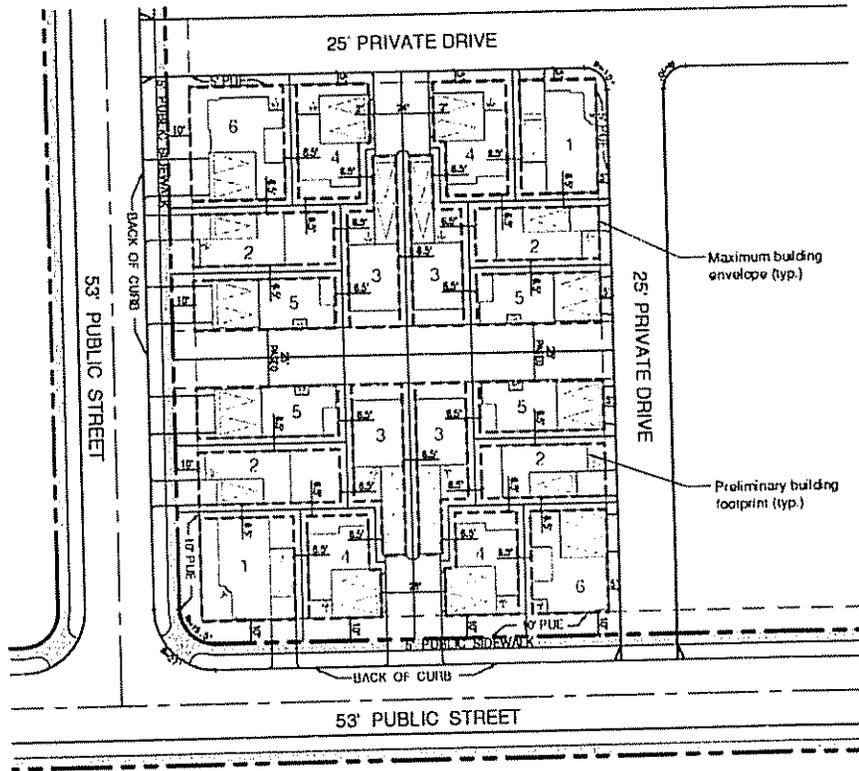


Figure 13. Villas Diagram and Typical Villas Configuration.
Footprints do not represent actual home designs for the Panhandle; they are provided to illustrate setback and PUE conditions only.

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Medium Density Residential (Greencourts) – Planning Areas 12, 13 and 23

Table 13. Greencourts, Medium Density Residential Standards.

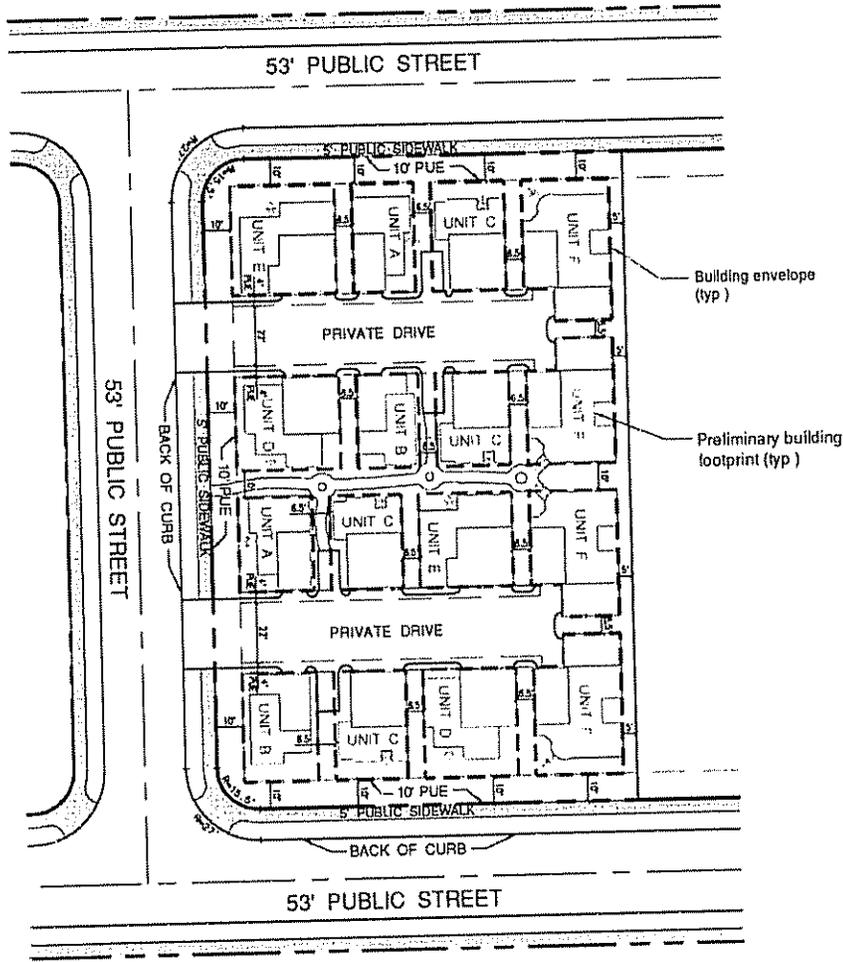
Criteria	Description
Setbacks	
Front	Varies See Figure 14
Interior Sideyard	Varies See Figure 14
Corner Sideyard	Varies See Figure 14
Rear Yard	Varies See Figure 14
Garage	Varies See Figure 14
Accessory Building Setbacks	
Front Oriented Accessory Buildings	Not applicable
Rear Oriented Accessory Buildings	Not applicable
Other Criteria	
Maximum Lot Coverage	Not applicable due to condominium subdivision proposed for this housing product type
Maximum Building Height	35'
Parking	Two spaces per unit, one of which must be covered
Public Utility Easement (PUE)	10'

Table 14. Greencourt Option Detailed Standards.

Plan	Option 1-A Unit Footprint (Square Feet)	Option 1-B Unit Footprint (Square Feet)	Option 2-A Unit Footprint (Square Feet)	Option 2-B Unit Footprint (Square Feet)
Plan A	650	650	650	650
Plan B	660	660	660	660
Plan C	749	1,498	749	749
Plan D	946	946	946	946
Plan E	1,082	1,082	1,082	1,082
Plan F	1,207	1,207	1,207	1,207
Total	5,294	5,294	5,294	5,294



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Note: Greencourt lot configurations displayed for illustrative purposes only. Panhandle tentative map proposes to subdivide the Greencourt units via a condominium subdivision with no fee simple lots created.
Figure 14. Greencourt Options 1-A, 1-B, 2-A and 2-B Typical Greencourt Configuration.
 Footprints do not represent actual home designs for the Panhandle; they are provided to illustrate minimum setback and PUE conditions only.

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Section 3.0 Attached Residential (Medium and High Density)

Multi-family residences can take different forms in the Panhandle depending on where and how they are integrated into the project. Allowable uses include condominiums, apartments, live-work, mixed-use and residential with commercial. Buildings shall be designed with distinct entrances articulated along the public right-of-way, street or community common pathways. Building façades could offer a combination of one-, two- or three-story elements with balconies and porches, reflecting the feel of a collection of smaller structures and an overall articulated façade. Building materials for exterior finishes should be durable and low maintenance. All common drainage areas within the project should be aesthetically landscaped.

Garages shall be articulated in the overall architectural style of the façade, and garage doors shall be recessed into walls. Detached trash enclosures should be aesthetically pleasing and screened with landscaping in keeping with the Panhandle's overall landscape design. Utility meters and other outdoor equipment shall be screened from view. Structural screening devices, where used, shall be compatible with adjacent architecture. Amenities such as recreational areas, swimming pools, or clubhouses shall be provided in proportion to the size of the particular multi-family development.

The City of Sacramento's Multi-Family Residential Design Principles provide the underlying guidelines for this section and should be consulted when planning and designing high density housing in the Panhandle PUD.

3.1. General

- All visible elevations shall be made interesting by means of articulation of façades, varied roof lines, window placement and shape and the use of a variety of exterior colors, finishes and details.
- Architectural styles may depart from that of single-family development.

3.2. Massing and Layout

- Open space amenities shall be created as a means of creating communities within the greater North Natomas community.
- Patios and courtyards are encouraged between buildings.
- Entries shall be prominent from the street.

3.3. Elevations

- Elevations visible from streets shall include articulation of building planes, a variety of colors, doors, entries and interesting roof lines. Roof lines may be varied or may follow a parapet line.



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- Elements such as windows treatments, rooflines and materials for rear and side elevations shall match or be stylistically related to front elevation.

3.4. Materials

The use of appropriate building materials for a selected architectural style is important for maintaining the style's integrity. However, imaginative combinations of building materials create unique designs and simultaneously provide individual identity and character to each home. Combinations of building materials on each elevation could provide varied texture and the opportunity for graceful color transitions. When used appropriately, all of these unique variations enrich individual homes, streetscapes and neighborhoods. The following materials are encouraged in the Panhandle:

- Stucco and/or cement plaster.
- Horizontal wood or composite siding.
- Board-and-batten wood or composite siding.
- Wood shingle siding.
- Railings of wood, wrought iron, tubular steel or other composite material of high quality.
- Dimensional composition roof shingles.
- Concrete flat roof tiles.
- Concrete barrel or 'S' tile roofs.
- Standing seam or corrugated metal roof.
- Brick or high-quality simulated brick material.
- Stone or high-quality simulated stone material (i.e., Cultured Stone or El Dorado Stone).
- Wood shutters or shutters made of other composite materials of high quality.
- Enhanced gable-end vents.
- Wood or cement-plaster-over-foam brackets.
- Wood, stucco, brick, or appropriate stone columns.

Any architectural wood element may be substituted for high-quality fiber cement or other manufactured elements as long as quality is maintained and no departures are made from style guidelines.

3.5. Color Palettes

Rich color palettes authentic to selected architectural styles are required. Because some building materials are better suited to receive neutral colors, a combination of building materials is encouraged to provide a

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wider range of rich body colors. The use of bright, vibrant exterior colors is encouraged on abstracted architectural style interpretations.

A wide range of trim and accent colors are encouraged on homes to add variety and community character. Trims shall be consistent with the historic context of the selected architectural styles.

3.6. Garage/Parking

- Either structured or surface parking is permitted. Enclosed parking in the form of free-standing or integral garages are encouraged. Tandem parking is permitted.

3.7. Enclosed Yards

- On street-facing elevations where walls are proposed, they shall be approved by special permit.
- Each dwelling unit shall have a usable outdoor space designed for the exclusive use of that dwelling unit. The outdoor space may be at grade or provided as a balcony. Patios and balconies should be directly accessible from the unit.
- Patios and balconies shall not be used for permanent storage; temporary storage must be screened from view.
- No vehicle parking is permitted between rear of sidewalk and front of structure.

3.8. Landscaping

- All non-paved areas shall have a landscape treatment.

3.9. Storage, Loading, Service and Trash Storage and Collection Areas

- Storage, loading, service and refuse areas shall be screened from view of the surrounding streets.
- Trash enclosures shall not be permitted in set-back areas.

3.10. Utility Screening

- All ground-mounted utilities shall be screened through the use of walls, plant materials or berms. Specific clearances as imposed by utility providers shall be observed.

3.11. Parcel 28 and 29: Specific Guidelines

The intent of these guidelines are to create a separation and distinction between two adjacent apartment sites (Parcels 28 and 29) planned along Del Paso Road.

- No habitable structure shall abut the western property line of Parcel 28. The only uses permitted adjacent to the property line are parking, circulation, landscape, recreation, storage and open space.



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- A driveway or street shall separate Parcels 28 and 29. If a driveway is the separation, then additional landscaping is required
- Entries or front doors shall face the driveway or street separating Parcels 28 and 29.
- Building elevations facing the driveway or street separating Parcels 28 and 29 shall be limited to two stories.
- Buildings facing Del Paso Road or the first public street north of Del Paso Road may be three levels in height if the third level building face is set back a minimum of five feet from the street. A third-floor patio may extend to the setback line of the first and second stories
- Interior buildings may be three stories in height without third-floor setbacks.
- The architectural styles must differ between Parcels 28 and 29.
- Refer to Figure 15 for a graphic representation of these guidelines

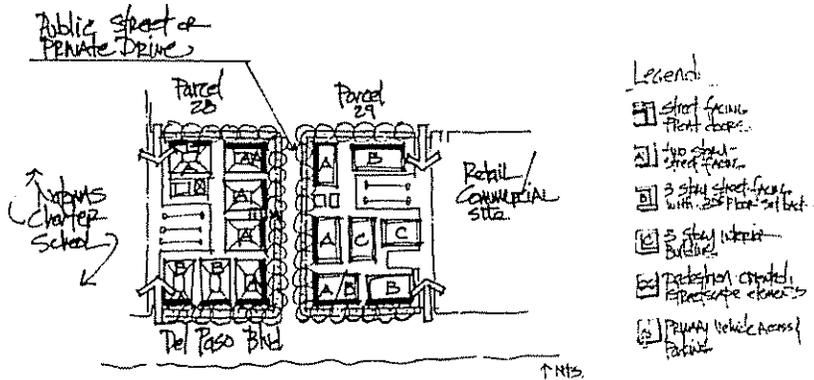


Figure 15. Parcel 28 and 29 Conceptual Sketch.

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3.12. Condominiums

Condominiums provide a medium density for-sale housing alternative to a single-family detached home and are designed with integral community amenities like recreation facilities and clubhouses. Condominium buildings are well maintained and have their own distinct architectural style to complement single-family homes in the neighborhood and the overall community. Condominiums are designed to suit active, semi-urban lifestyles; building aesthetics should match the quality of a traditional single-family detached home.

Table 15. Multi-Family Residential Standards, Medium Density Residential Condominiums.

Criteria	Description
Front Setbacks to Parcel Edge^{1, 2}	
Living space	10' minimum
Garden wall	0'
Side Setbacks to Parcel Edge^{1, 2}	
Living space	10'
Garden wall	0'
Other Criteria	
Parking	Per zoning ordinance
Public Utility Easement (PUE)	10'
Maximum Building Height	3-story
<i>Footnotes</i> ¹ No encroachments may interfere with the PUE. ² Architectural features including fireplaces, chimneys, bay windows, wing walls, media niches, etc. may encroach a maximum of 2 feet in any sideyard setback except PUE	

3.13. Apartments

Apartments provide high density, attached, for-rent housing designed to suit various life stages with an emphasis on common recreation areas. Designs should be aesthetically pleasing; they should both complement and blend with the selected architectural styles of the Panhandle community as well as the immediate surrounding traditional single-family homes. The following techniques should be used for multi-family condominium or apartment product types:

- Multi-family buildings may be designed with sufficient building articulation (roof dormers, hips, gables, balconies, wall projections and porches)
- End units may have articulation, like windows and doors facing sidewalks and public ways



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Table 16. High Density Residential Standards for Apartments.

Criteria	Description
Front Setbacks to Parcel Edge^{1, 2}	
Living space	10'
Garden wall	0'
Side Setbacks to Parcel Edge^{1, 2}	
Living space	10'
Garden wall	10'
Other Criteria	
Parking	Per zoning ordinance
Public Utility Easement (PUE)	10'
Maximum Building Height	3-story
Footnotes ¹ No encroachments may interfere with the PUE. ² Architectural features including fireplaces, chimneys, bay windows, wing walls, media niches, etc. may encroach a maximum of 2 feet in any sideyard setback except PUE. ³ In fee-simple townhome conditions side setbacks between interior units. May be reduced to a zero-lot line condition.	

3.14. Live-Work

Live-work homes use provide medium to high density attached for-sale single-family housing designed to suit lifestyles with an emphasis on home office space. These buildings may mix use horizontally or vertically in two- or three-story configurations. The first floor should be designed for use as a home office or other commercial uses. Use of this home office space shall be limited to the owner of the residential unit and business uses shall comply with the City of Sacramento's zoning code. The following techniques apply to fee-simple single-family attached rowhomes/townhomes:

- Live-work units may be designed as individual units or as a "big house," where the façade appears as a single large unit.
- Because rowhome/townhome units may be narrow in nature, most will be two to three stories tall. Some vertical articulation is necessary to avoid dominating unbroken three-story planes.
- Massing characterized by a series of stepping forms and staggered offset wall planes.
- Varied setbacks for different components of the home, such as garages, second floors, etc

It is assumed that approximately 500 square feet of each unit will be devoted to office/commercial use. As an alternative, this site could accommodate residential units above commercial space (maximum of

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14,000 square feet in 28 units) Live-work units will be located in plan areas designated in the PUD as commercial

Figure 16 illustrates a schematic plan for live-work units (envisioned for Planning Area 22). A comprehensive site development plan will be submitted to the City as a part of the Special Permit Application.

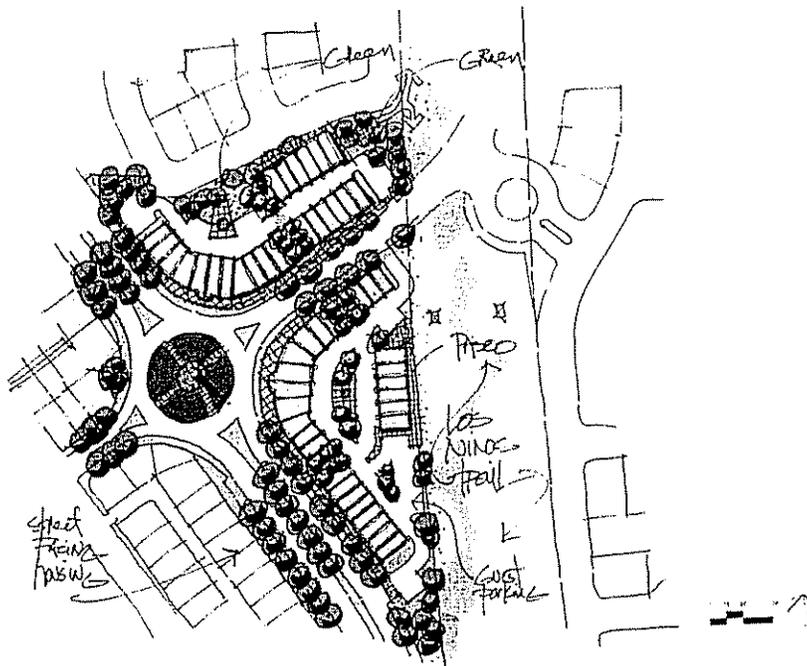


Figure 16. Schematic Live-Work Development Plan (Planning Area 22).



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Table 17. Commercial Live-Work Standards.

Criteria	Description
Front Setbacks to Parcel Edge^{1, 2}	
Living space	10'
Garden wall	0'
Side Setbacks to Parcel Edge^{1, 2}	
Living space	10'
Garden wall	0'
Setbacks on Community Paseos to Parcel Edge	
Living space	15'
Garden Wall	0'
Other Criteria	
Parking	Per zoning ordinance
Public Utility Easement (PUE)	10'
Maximum Building Height	3-story
<p><i>Footnotes</i></p> <p>¹ No encroachments may interfere with the PUE.</p> <p>² Architectural features including fireplaces, chimneys, bay windows, wing walls, media niches, etc. may encroach a maximum of 2 feet in any sideyard setback except PUE. No foundations in the PUE.</p> <p>³ In fee-simple townhome conditions side setbacks between interior units. May be reduced to a zero-lot line condition</p>	

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Section 4.0 Commercial Uses

4.1. Commercial Guidelines

In the Panhandle, commercial uses include traditional commercial and retail centers as well as the commercial portions of mixed-use and live-work complexes.

Commercial projects shall be compatible with the Panhandle community's design and reflect the character and richness of the project's homes, parks, landscape and monumentation. Although there are certain elements of signage and corporate identity inherent to most anchor tenants, building design shall incorporate a variety of scale, massing, materials and colors to minimize the undesirable effects of the typical "big box" commercial architecture. The retail anchor building will likely be the single largest retail building within the project. It is important to divide the building into separate and distinct elements. Areas of the building shall be divided into forms using basic architectural techniques: varying color, scale, and material to avoid the "mega-store" appearance predominantly found in these typical retail outlets.

High-end retail buildings included in this project have the most potential for individuality and variation. Individual tenant spaces should vary in scale and height as well as style and color. Intermediate open spaces should be included and relate to pedestrian walkways and open space view corridors each site may afford. Building massing shall relate to the street and pedestrian walkways and be inviting to pedestrians.

Design guidelines are included for the development of the Panhandle's commercial area as the structure upon which all future submittals can be based in Special Permits.

Commercial areas of the Panhandle will become primary, people-active places and building design should support a "Main Street" feel in all its diversity, contradiction and charm. Interest and complexity in building design is encouraged. Contemporary and more traditional approaches to building form and articulation will provide variety, interest and vitality appropriate for these commercial activity areas.

There are four parcels with commercial uses in the Panhandle: parcels 30 and 31 (commercial), parcel 22 (live-work) and parcel 15 (mixed use)

Figure 17 presents a schematic commercial illustration only. A comprehensive site development plan will be submitted to the City as a part of the Special Permit Application



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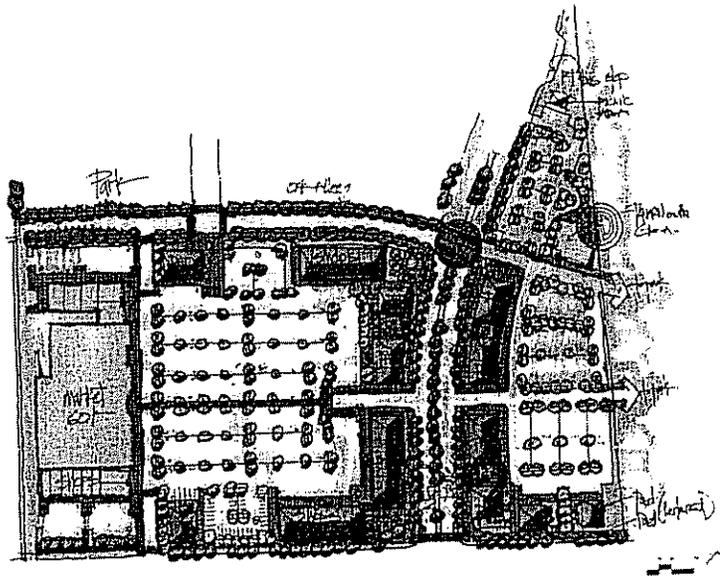


Figure 17. Schematic Commercial Development Plan (Planning Areas 30 and 31).

4.2. Commercial Planning Elements

Retail buildings along National Drive should include a variety of significant planning elements creating a vibrant, interactive area that draws not only the residents of the Panhandle, but also provides a destination for residents of North Natomas as well. Elements of National Drive should include:

- Plazas integrated into building design and placement that allow for outdoor seating adjacent to cafés and restaurants.
- Wide sidewalks that allow for outdoor seating and outdoor sales associated with retail activity.
- Street trees that buffer between pedestrians and traffic without obscuring or separating National Drive's connectivity.
- Pedestrian crosswalks at the intersections along National Drive that ensure easy access, safety and traffic calming, with careful thought toward their design and treatment.

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4.3. Commercial Style

The overall style of the Panhandle's commercial location reflects an eclectic use of traditional materials and forms to create unique architectural flavor. Forms, proportions and materials should create visually pleasing buildings that bridge the gap between residential housing and the more modernistic buildings surrounding the site

Commercial buildings should have varying materials and styles. Focal points and view corridors throughout the project should invite pedestrians from one point to another.

Roofs

Roofs and roof forms should be consistent with the overall architectural theme of the Panhandle. Pedestrian areas should be enhanced by shed and gable roof elements extending into walkways and plazas for cover and shade. Dormer elements are also encouraged for an added layer of detail and shadow.

Cornices

Cornice elements should be applied sparingly and should appropriately articulate basic building forms while providing differential between individual tenants. Varied cornice elements are encouraged. When used, cornices should provide contrast of color and material to wall areas beneath. Cornice elements should not be of such size or quantity that they become a dominant repetitive or overwhelming architectural feature.

Wall Transitions

A variety of elements should be used to create wall transitions between buildings and tenant spaces, and careful consideration should be given to walls adjacent to and oriented toward open spaces. Color and texture are basic elements of interest while towers and other details may be used in some cases to frame transition areas. Simple, intermediate elements that book-end an area of wall are encouraged. Whenever possible, color and simple traditional material changes are encouraged to break up wall areas.

Building Corners

Building corners present an opportunity to simply enhance the visual anchoring of individual structures. Presenting building corners as focal points to surrounding areas within the project is encouraged. Thoughtful treatment of building corners provides change in scale, color and material, as well as an opportunity to introduce windows as a simple focal detail.



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Canopies and Awnings

Judicious use of canopies and awnings is encouraged. These classic architectural details add an additional layer of interest to building façades. A variety of materials may be used including canvas, corrugated metal, wood trellises and shed or gable roof forms. Canopy and awning elements should also provide cover at pedestrian walkways wherever possible. These covered elements should also be placed to encourage the play of shadows against buildings.

Towers

Tower elements may be considered appropriate to the style of these buildings. When situated and massed properly, towers can enhance visual interest. These elements can serve as a connection between individual buildings, as focal points and as transition spaces. Towers should provide a change in scale, color and material and use windows as well. Vertical elements should not be limited to towers. The appropriate and tasteful use of chimney elements and finials is also encouraged.

Windows

Shape, size and placement of windows are important elements that lend positive, yet simple character to the overall theme of the project. Window size and proportion should be appropriate to individual building style. Window forms that vary between individual tenant spaces and buildings are encouraged. Windows, especially at a pedestrian level, are encouraged in overall building design. Consideration of design elements like shutters, canopies, recesses, iron and other elements should be used to enhance windows and add variety.

4.4. Building Materials

While selected styles are rooted in history, there is room for some appropriate level of abstraction. More dense commercial areas may bear more abstract, urban interpretations. Encouraged materials include:

- Smooth stucco finishes
- Style-appropriate stone
- Wrought iron
- Complimentary-colored canvas awnings
- Wood trellises
- Tile roof elements
- Wood columns and beams in key location
- Pre-cast stone trims, heads and sills
- Metal roof elements

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- Decorative sheet metal gutters and downspouts, collectors if and where appropriate
- Wood shutters
- Individually articulated window elements
- Tilt-up construction that utilizes imaginative forming techniques to add texture and shadow to otherwise unarticulated walls

Prohibited Materials Guidelines

- Heavy “knock-down” or “Spanish Lace” stucco finishes.
- Inauthentic stone veneers used or applied in ways that are not in keeping with the selected architectural style.
- Unfinished tilt-up wall panels.
- Large unbroken window walls.
- Exposed concrete block walls.
- Exposed aggregate walls

High-quality fiber cement or other manufactured elements may be substituted for any architectural wood element as long as quality is maintained and no departures are made from style guidelines.

Color Palettes

Colors should be consistent within the Panhandle’s commercial area and simultaneously offer distinction and individuality to different buildings and tenants in larger buildings. Bold colors are encouraged as long as they are not garish or obtrusive. Colors should bring together selected project materials throughout. Colors should be selected to complement stone, concrete, wood, fabrics and other materials

4.5. Commercial Site Guidelines

There are four commercial parcels in the Panhandle’s plan area are at the intersection of National Drive and Del Paso Road. These include two commercial sites: one live-work and one mixed-use. The parcels are intended to be mixed-use destinations for both Panhandle residents and those in surrounding neighborhoods

The commercial site west of National Drive is sized to accommodate a large-format anchor retailer as well as smaller in-line shops and restaurants. The large-format anchor retailer should be sited nearest the western edge of the parcel leaving the frontage along National Drive available for varied architectural façades of in-line shops and restaurants.



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The commercial site east of National Drive is envisioned to include neighborhood-serving retail shops. Buildings should be sited nearest National Drive with parking behind the buildings.

Site planning of both planning areas should result in a varied commercial street scene along National Drive that will be interesting for both pedestrians and motorists. Varied façade treatments for each individual tenant are encouraged but all should be complementary in sum.

4.6. Mixed-Use Commercial Site Guidelines

A mixed-use commercial parcel is located at the intersection of Club Center and National Drives. Its central location and proximity to high density housing types make this parcel an ideal walkable destination for nearby residents. Mixed-use may include a full range of commercial shops (books stores, coffee shops) and professional services in a plaza-like setting placed along the edges of Club Center and National Drives facing the street.

While vertical mixed-use (residential over retail or office) is preferred and encouraged, horizontal mixed-use is permitted on this site. Regardless of configuration, these retail shops and office uses should be sited along National Drive with parking behind.

Figure 18 presents a schematic mixed-use illustration envisioned for Planning Area 15. A comprehensive site development plan will be submitted to the City as a part of the Special Permit Application.

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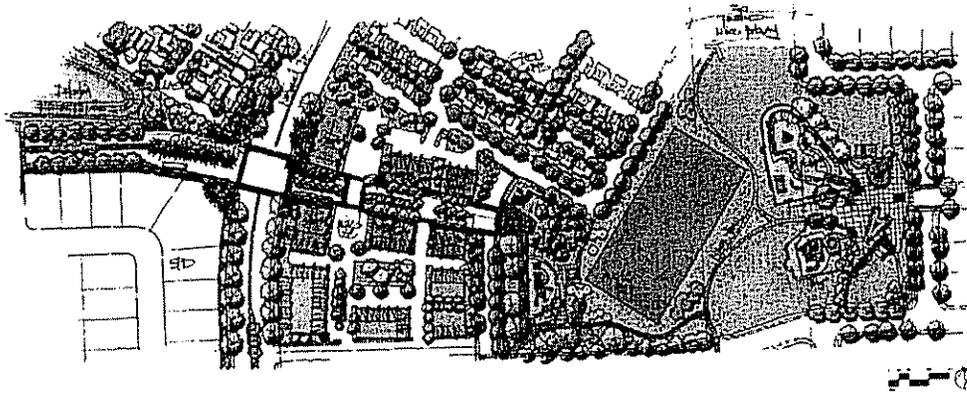


Figure 18. Schematic Mixed-Use Development Plan (Planning Area 15).



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Section 5.0 Park and Open Space Uses

5.1. Open Space Network

The public open space network in the Panhandle is composed of parks, a significant regional open-space parkway situated beneath a major power line easement (Niños Parkway), detention basins, trails and pathways and paseos. Figure 19 illustrates the open space elements

There is interconnection among open space elements. All residents of the Panhandle are less than one quarter mile away from a park, with most substantially closer. The Panhandle's nine parks are arrayed along both sides of the Niños Parkway. A stormwater detention basin is on the west side of the property. Approximately 65 percent of the Panhandle streets abut or terminate into parks, schools or other dedicated open space

5.2. Niños Parkway

Niños Parkway is also part of the larger regional parkway, and traverses the north/south length of the site under existing power lines. Niños Parkway provides a rich variety of passive and active recreation spaces and experiences for the Panhandle community. The parkway is designed for safety and utility; it also contributes to pedestrian and bicycle mobility in the Panhandle. The Niños Parkway was specifically designed to provide a superior north-south park/trail experience while simultaneously making numerous connections to the neighborhoods east and west of the Niños Parkway. These ample opportunities for access create a highly connected, mobile and walkable community

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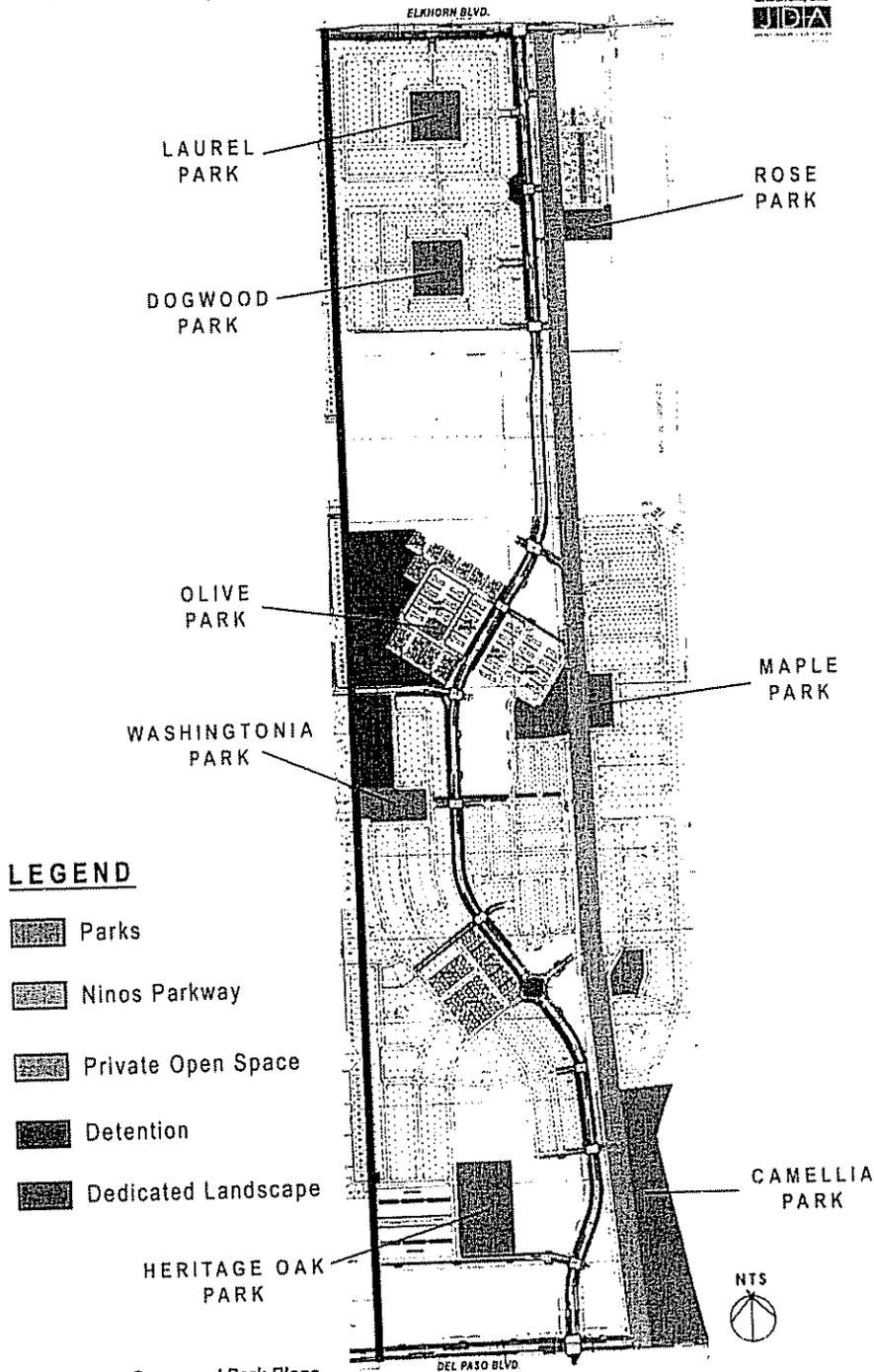


Figure 19. Open Space and Park Plans.



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5.3. Parks

In keeping with the theme of recalling Sacramento's gracious older neighborhoods, the Panhandle landscape plan evokes the best of Sacramento's most gracious park, Capitol Park. The Panhandle Parks are named after the most beloved of the trees and representative species are found throughout the Panhandle.

Public parks are located throughout the Panhandle community. These eight public parks range in size from 0.4 acres to 13.5 acres. Neighborhood-serving parks or urban plazas are used by people who live, work or visit nearby and are generally appropriate for areas of denser or mixed-used development. Elements may include small-scale features such as community gardens, children's play areas, sitting or picnic areas and walkways, landscaping or fountains and plazas. Niños Parkway is approximately 40 acres in size and will also be dedicated to the City as open space.

Neighborhood parks are located adjacent to schools whenever possible to provide continuity of space. These facilities may include tot lots, an adventure playground, landscaping, water fountains or unlighted sports fields/courts.

Community parks offer recreation opportunities for several neighborhoods and serve an area of two to three miles. These parks have all the services of neighborhood parks and may include a water feature, lighted sports fields or courts, a sports complex, restrooms, an amphitheater, parking lot(s) and nature areas.

5.4. Trails

Figure 20 illustrates the project-wide trail system. A system of pedestrian and bicycle trails provide transportation alternatives to a sole reliance on motorized vehicles. The City and County of Sacramento's trail proposals have been incorporated into this plan.

A Class I trail similar in nature to the American River trail follows the two-mile Niños Parkway and along the south side of Elkhorn Boulevard. A Class II bicycle trail follows the length of National Drive. Class II bicycle trails will be incorporated into road sections of Del Paso Road, Elkhorn Boulevard and Club Center Drive that abut the Panhandle. Access to the neighboring Ueda trail is also convenient.

Bicycle and pedestrian circulation within the Panhandle is accommodated on sidewalks and Class III bicycle routes on most streets.

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Elkhorn Boulevard Trail

A Class I trail is proposed for the landscape corridor along the south side of Elkhorn Boulevard. This Class I trail is adjacent to bicycle lanes on Elkhorn Boulevard.

Safe School Route

A safe school route has been designated between Del Paso Road to the High School/Middle School north of Club Center Drive. This safe school route provides a marked route for students and a safer path of travel than along National Drive. This route is marked on Figure 20.

5.5. Detention Basin

Stormwater detention basins are at the western edge of the property near Club Center Drive. The basins are designed with primarily 4:1 side slopes. Typically these facilities have meandering top banks with landscaped (native and/or drought tolerant) plant material. A multi-purpose trail/service road is adjacent to the basins providing access in and out of this open space.

The detention basins will be fenced with a post-and-cable system in locations where there is an abutting street. Where back-on lots are planned, they are typically fenced with open metal fencing.



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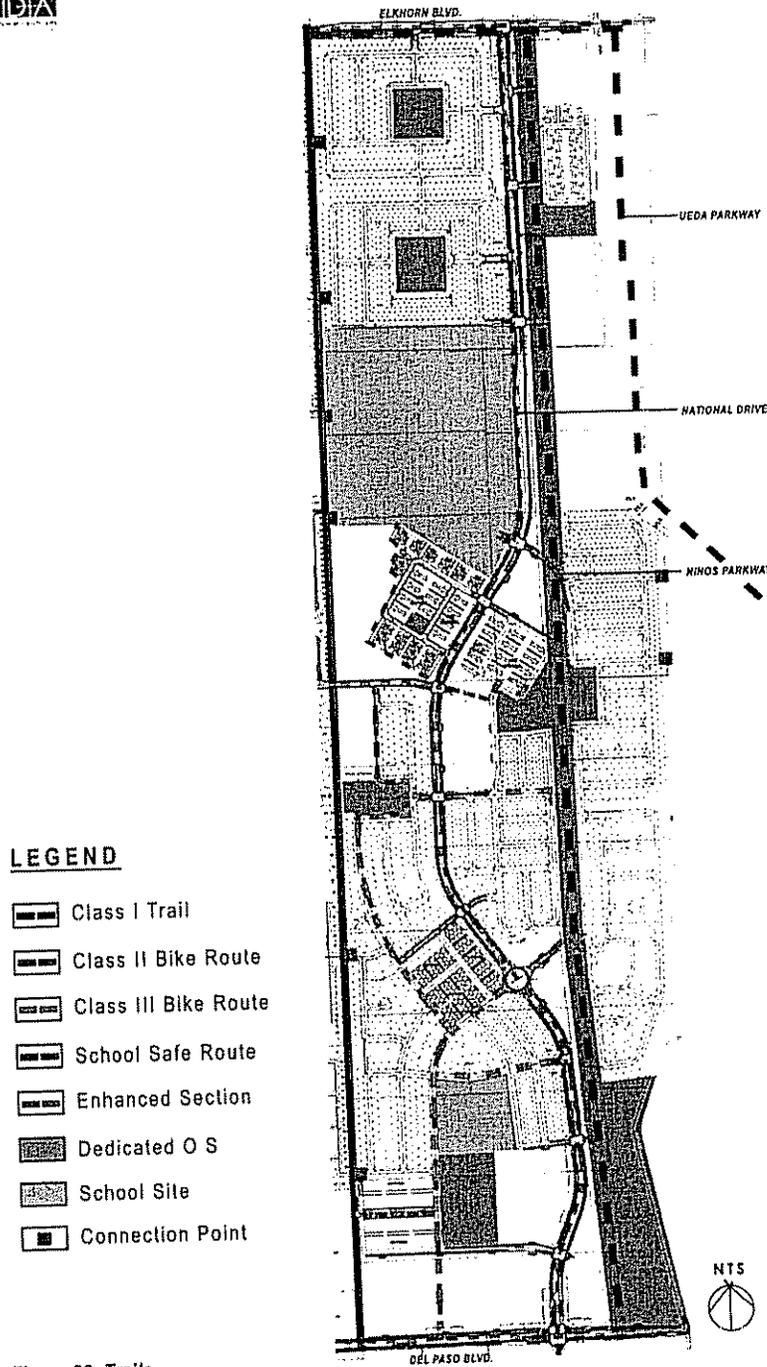


Figure 20. Trails.

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Section 6.0 Landscape Design Guidelines

The Panhandle's Landscape Master Plan complies with the guiding principles found in the Sacramento Tree Foundation's region-wide *Greenprint Initiative*. These PUD guidelines recognize and affirm the importance of tree canopies and their contributions to clean air and water, stormwater runoff reduction, energy conservation, improved public health and increased property values. These guidelines also support urban forest best management practices. Coordination with the City of Sacramento to achieve these goals is crucial for a healthy community and advances the City's goal of doubling its tree canopy. Figure 19 illustrates the open space network within the Panhandle, which in turn reflects the community-wide landscape program for the Panhandle.

6.1. Landscape Design Concept/Master Plan

The Landscape Master Plan has a six-fold purpose:

- Contribute visual identity to the Panhandle
- Provide visual continuity throughout the community.
- Identify important public places and mark them appropriately
- Establish high level amenities for the community.
- Institute sustainable practices for the conservation of resources.
- Contribute to the identification of individual neighborhoods

This plan offers planning and design guidance for public open space, parks, trails and streetscapes. This guidance also directs future, more detailed design efforts for these project elements.

6.2. Streetscapes

Streetscape plans take inspiration from Capitol Park and the nearby traditional neighborhoods of Midtown, East Sacramento, Land Park and Curtis Park. The Panhandle's streetscapes use strong sight lines, masses and planes of seasonal color as well as variations in height and texture to create interesting, noteworthy edges between neighborhoods and streets. Figure 21 illustrates typical plant materials proposed for public areas.

Street trees serve as place markers. Throughout the Panhandle, the street edge and tree canopy are primary visual features and help provide a sense of place. Streets, neighborhoods and parks are all defined by their trees. All three area tree treatments work together and have interlocking relationships in the Panhandle. Figure 22 presents the Panhandle's streetscape zones. Figure 23 and Figure 24 illustrate selected street sections as marked in Figure 22. Figure 25 through Figure 37 illustrate selected Panhandle street streetscape zones.



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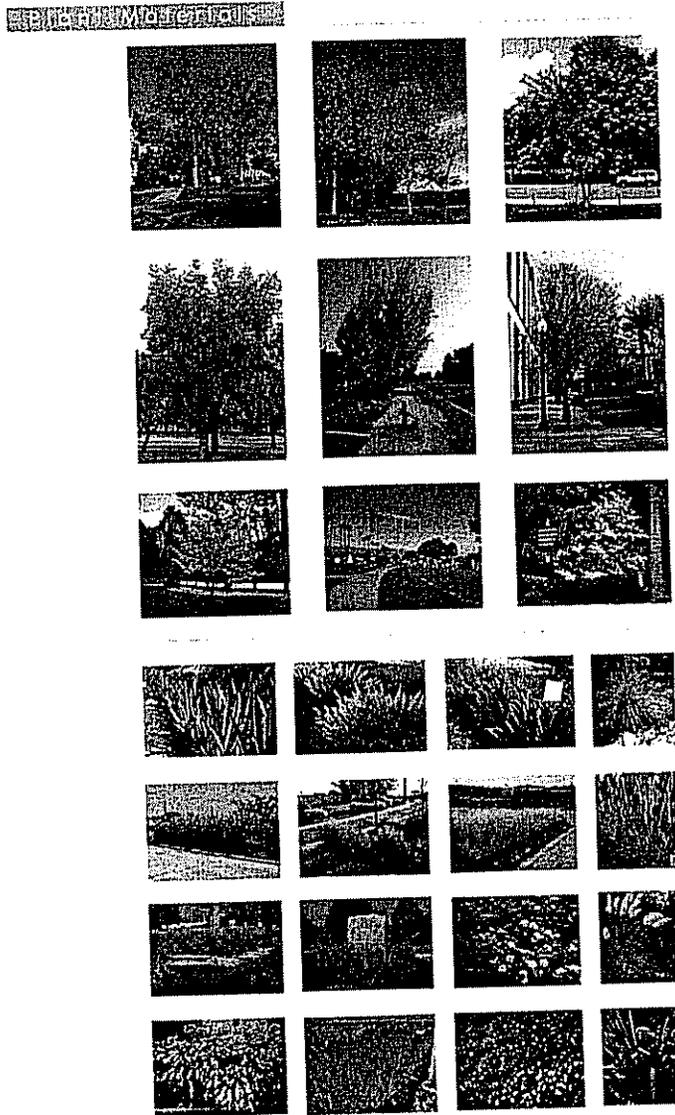


Figure 21. Typical Plant Materials.

Dunmore Homes and Vaquero Land Holdings
Panhandle PUD Guidelines
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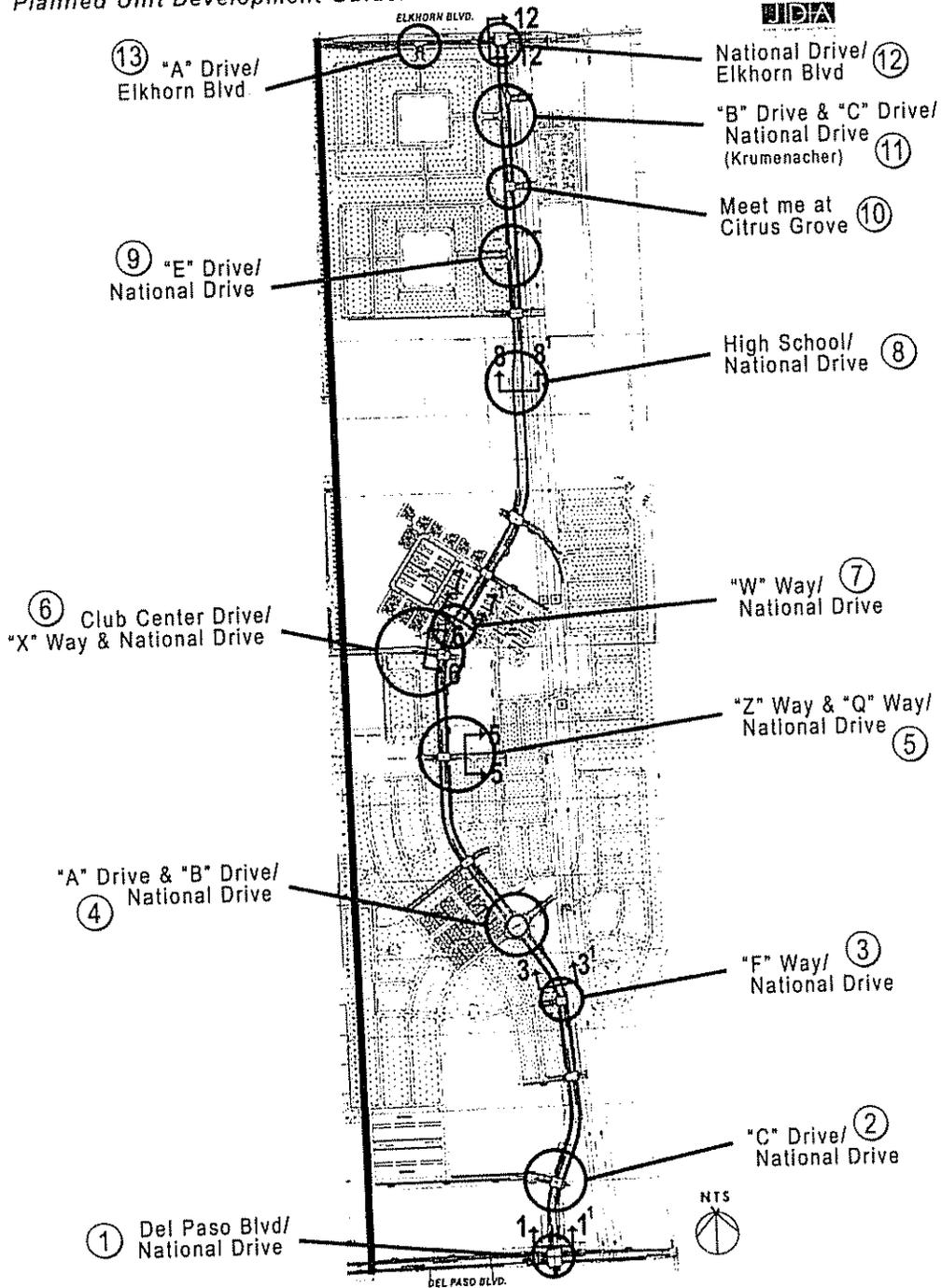


Figure 22. Landscape Locations



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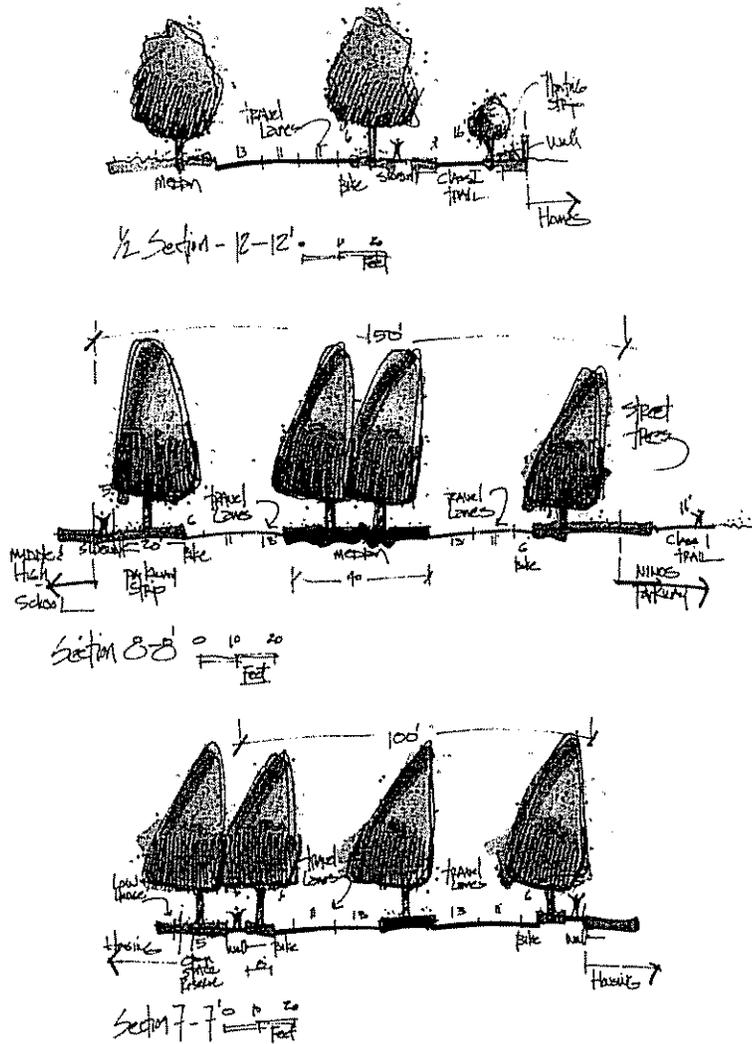


Figure 23. Street Sections.

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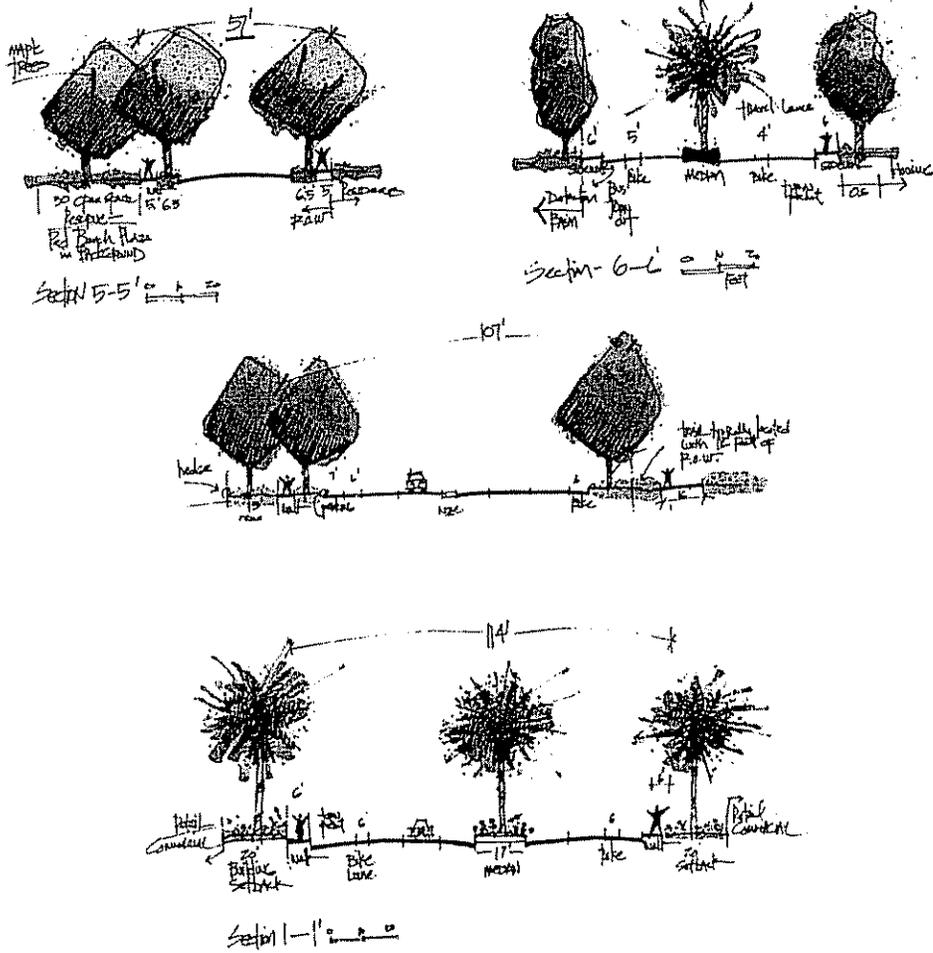


Figure 24. Street Sections.



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National Drive Streetscapes

Figure 25 through Figure 37 illustrate schematic landscape plans for segments along National Drive using plant materials selected from Table 18 below.

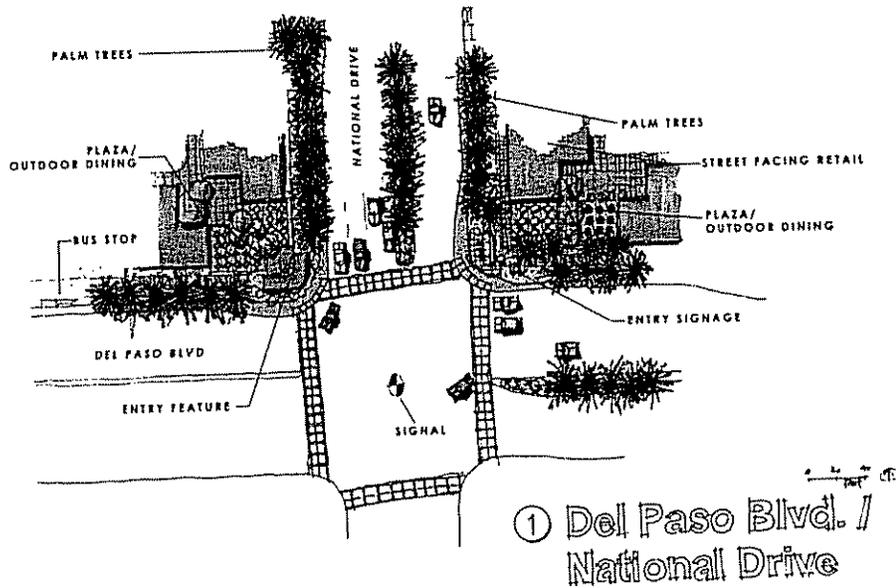


Figure 25. Schematic Landscape Plan 1. Del Paso Road and National Drive.

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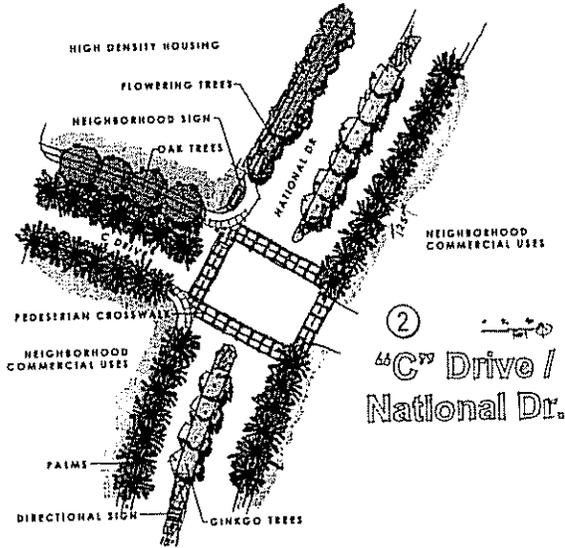


Figure 26. Schematic Landscape Plan 2. C Drive and National Drive.

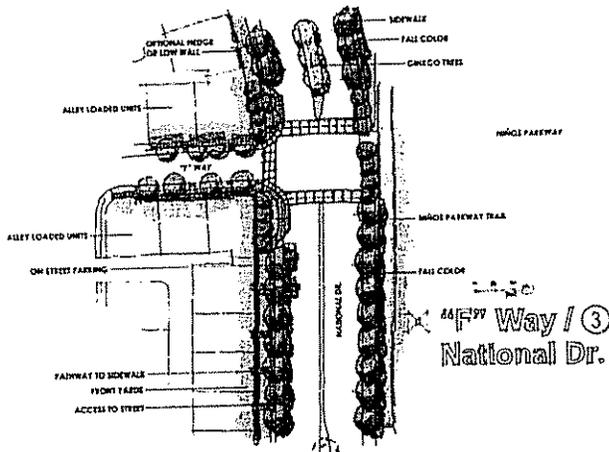


Figure 27. Schematic Landscape Plan 3. F Way and National Drive.



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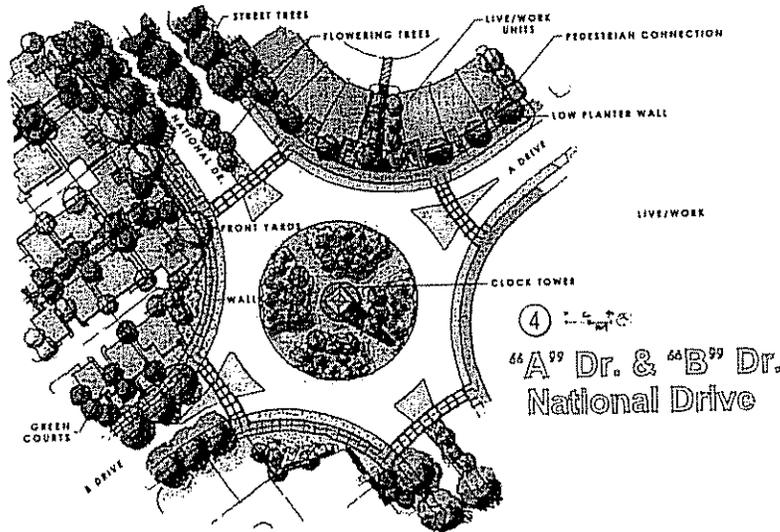


Figure 28. Schematic Landscape Plan 4. A and B Drives at National Drive.

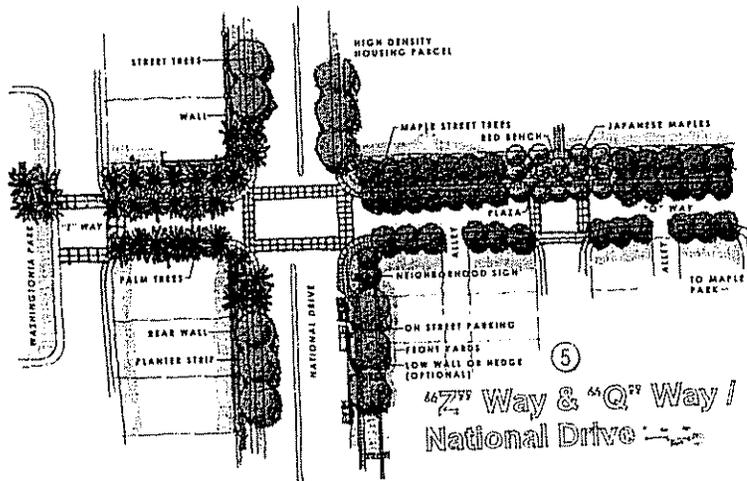


Figure 29. Schematic Landscape Plan 5. Z and Q Ways at National Drive.

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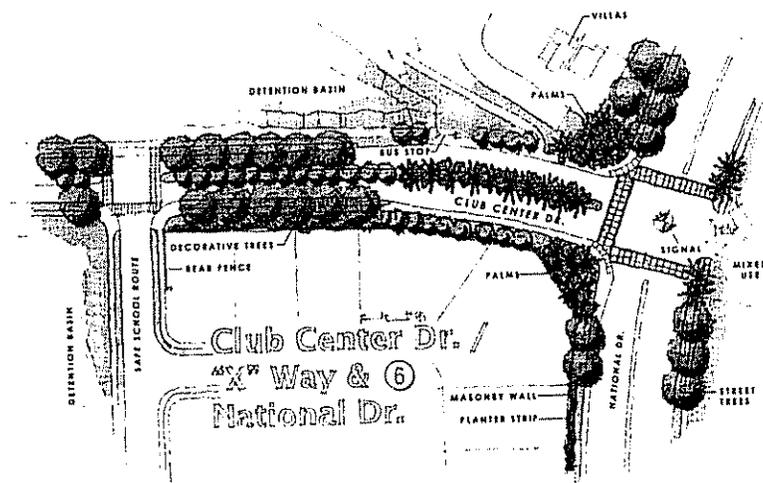


Figure 30. Schematic Landscape Plan 6. Club Center Drive and A Way at National Drive.

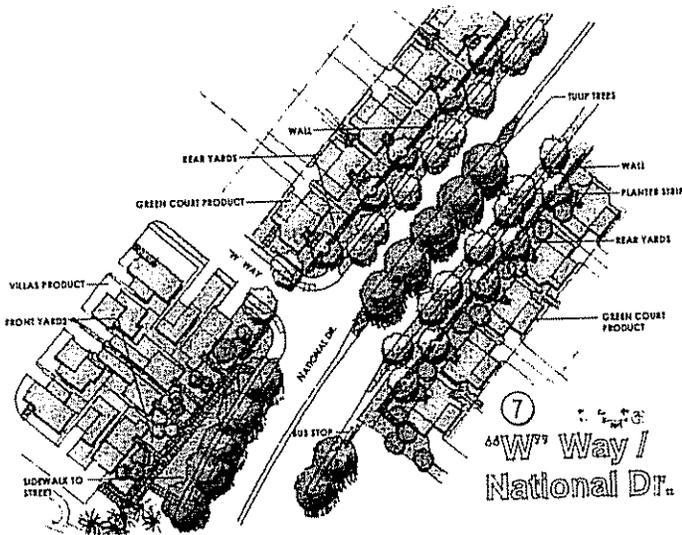


Figure 31. Schematic Landscape Plan 7. W Way at National Drive.



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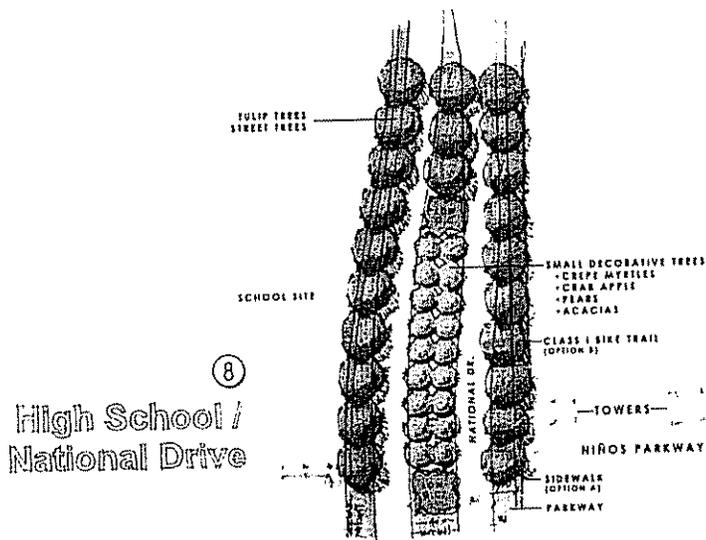


Figure 32. Schematic Landscape Plan 8. High School at National Drive.

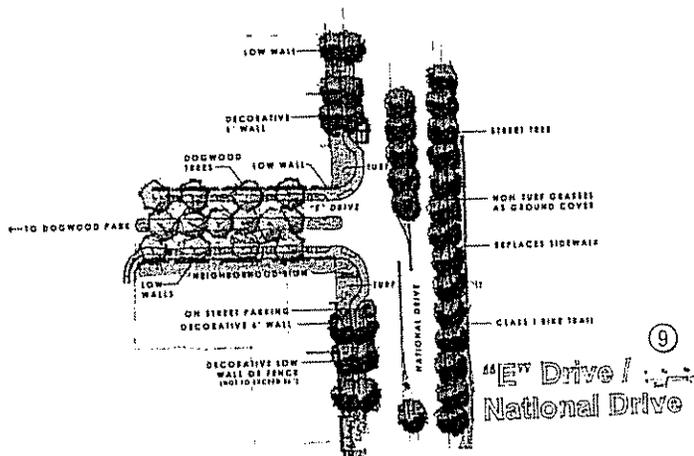


Figure 33 Schematic Landscape Plan 9. E Drive at National Drive

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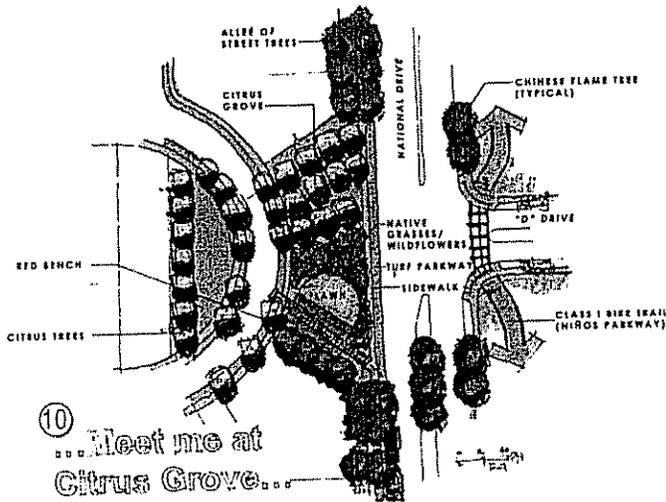


Figure 34. Schematic Landscape Plan 10. Citrus Grove.

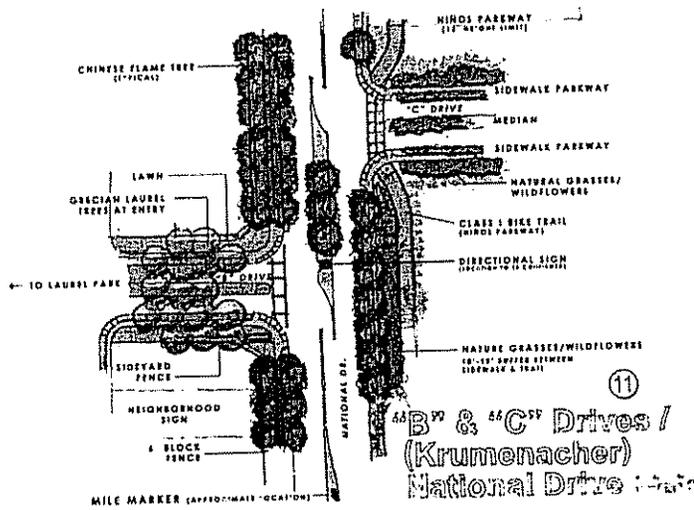


Figure 35. Schematic Landscape Plan 11. B and C Drives at National Drive.



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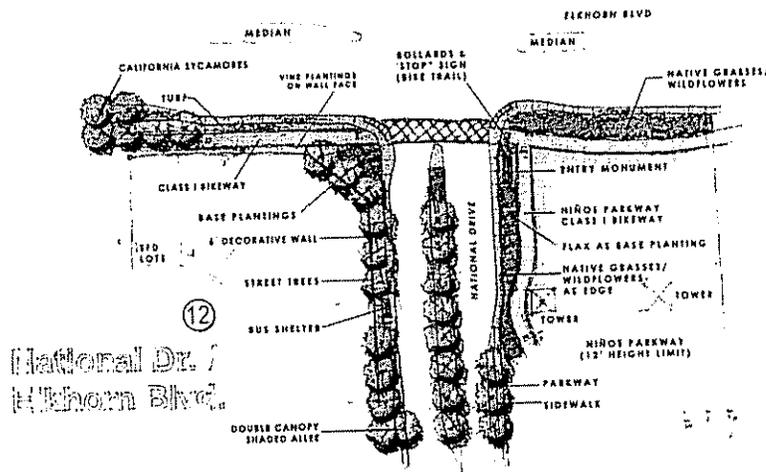


Figure 36. Schematic Landscape Plan 12. National Drive and Elkhorn Boulevard.

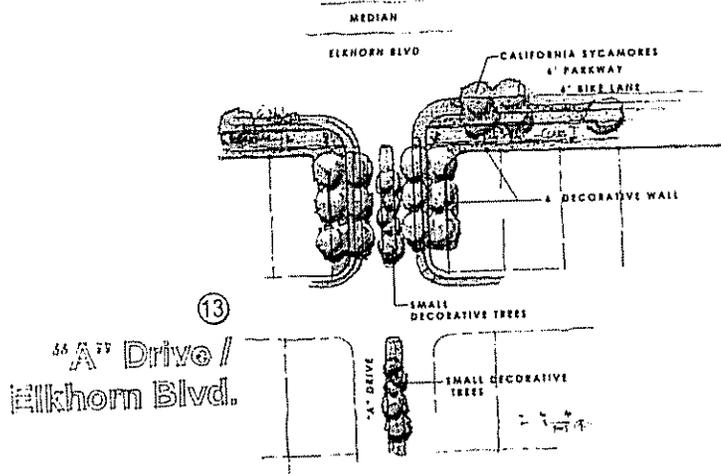


Figure 37. Schematic Landscape Plan 13. A Drive at Elkhorn Boulevard.

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LEGEND

- CF1 Commercial Frontage
• Palms
- CF2 Commercial Frontage
• Palms & Flowering Trees
- PES 1 Park Entry Sequence 1
• Oak Trees
- PES 2 Park Entry Sequence 2
• Cherry Trees
- PES 3 Park Entry Sequence 3
• Palms
- PES 4 Park Entry Sequence 4
• Maples
- PES 5 Park Entry Sequence 5
• Olives
- PES 6 Park Entry Sequence 6
• Dogwoods
- PES 7 Park Entry Sequence 7
• Roses
- PES 8 Park Entry Sequence 8
• Laurels
- N1 National Drive - South
• Fall Leaf Color
- N2 National Drive - Central
• Spring Flowering Trees
- N3 National Drive - School
• Spring Color
• Tulip Trees
- N4 National Drive - North
• Chinese Plane Trees
• Allée of Trees
- SC Secondary N/S Corridor
• Oak Trees
- EB Elkhorn Blvd
• Sycamores
- DP Del Paso Rd
• Sycamores

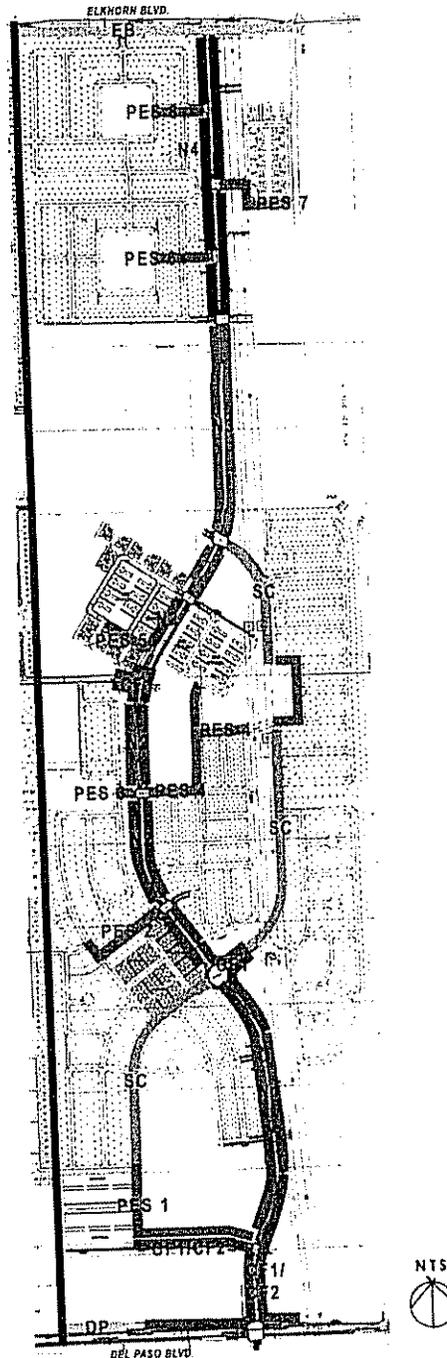


Figure 38: Streetscape Zone Locations



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Plant Palette

Table 18. Streetscape Planting Plan.

Streetscape	Segment	Primary Species	Locations or Location Portion	Purpose	Other Attributes
Commercial Frontage	CF1 (Palm)	<i>Washingtonia robusta</i> , <i>Washingtonia filifera</i>	Del Paso Road, National Drive. Club Center Drive	Commercial marker. skyline tree	Evergreen. tall and upright fan palm
Commercial Frontage	CF2 (Palm and pear trees)	<i>Washingtonia robusta</i> . <i>Washingtonia filifera</i> . <i>Pyrus calleryana</i>	National Drive (East side)	Commercial marker	Combination of height and street level trees
Park Entry Sequence 1	PES1 (Oak)	<i>Quercus rubra</i> . <i>Quercus ilex</i>	C Drive D Drive	Park entry sequence	Deciduous/evergreen
Park Entry Sequence 2	PES2	<i>Prunus serrulata</i>	W Way	Park entry sequence; skyline tree	Evergreen
Park Entry Sequence 3	PES3 (Washingtonia)	<i>Washingtonia filifera</i> , <i>Washingtonia robusta</i>	Z Way	Park entry sequence	Striking spring flowers. deciduous
Park Entry Sequence 4	PES4 (Maple)	<i>Acer spp.</i>	Q Way. P Way J Way	Park entry sequence; skyline tree	Evergreen. large. stately
Park Entry Sequence 5	PES5 (Sycamore)	<i>Platanus racemosa spp.</i> <i>Liriodendron tulipifera</i>	A and B Drives; H Way	Park entry sequence	Deciduous
Park Entry Sequence 6	PES6 (Dogwood)	<i>Cornus nuttallii</i> or <i>Cornus florida</i>	E Drive	Park entry sequence	Spring color
Park Entry Sequence 5	PES5 (Olive)	<i>Olea europaea</i>	V and W Ways	Park entry sequence	Fruitless varieties preferred
Park Entry Sequence 7	PES7 (Rose)	<i>Rosa spp</i>	D Drive	Park entry sequence	Trellises under power lines
Park Entry Sequence 8	PES8 (Laurel)	<i>Laurelis nobilis</i>	B Drive	Park entry sequence	Skyline tree
National Drive South	N1 (south)	<i>Ginkgo biloba</i> ; <i>Liquidambar styraciflua</i> "Palo Alto" (Sweet Gum); <i>Pistacia chinensis</i> (Chinese Pistache)	National Drive	Indicating distinctive segment of main drive	Deciduous street trees with good fall leaf display

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Streetscape	Segment	Primary Species	Locations or Location Portion	Purpose	Other Attributes
National Drive Central	N2	<i>Lagerstroemia indica</i> (Crape Myrtle); <i>Malus spp.</i> (Crabapple); <i>Prunus spp.</i> (Pear); <i>Acacia spp.</i> (Acacia); <i>Liriodendron tulipifera</i> (Tulip Tree)	National Drive	Indicating distinctive segment of main drive	Flowering, deciduous street trees
National Drive School	N3	<i>Lagerstroemia indica</i> (Crape Myrtle); <i>Malus spp.</i> (Crabapple); <i>Prunus spp.</i> (Pear); <i>Acacia spp.</i> (Acacia); <i>Liriodendron tulipifera</i> (Tulip Tree)	National Drive along school frontage	Indicating distinctive segment of main drive	Spring/Summer color and strong line created by tulip tree
The Arches; National Drive North	N4	<i>Koelreuteria bipinnata</i> (Chinese Flame Tree); <i>Zelkova serrata</i> , <i>Pistacia chinensis</i>	National Drive between High School/Middle School and Elkhorn Boulevard	Indicating distinctive segment of main drive	Canopy has flowers and colorful leaves to walk under
Secondary North/South Corridor	SC	<i>Quercus spp.</i> (Oaks)	Drives A and B	Marking the important secondary north/south route	Strong sense of corridor created by rows of oaks
Elkhorn Boulevard	EB	<i>Platanus racemosa</i> (California Sycamore); <i>Liriodendron tulipifera</i>	Elkhorn Boulevard, the length of the property	Indicating the limits of the Panhandle	Reflective of the more rural and agricultural parts of the Central Valley
Residential Streets	RS	<i>Ulmus parviflora</i> (Chinese Elm); <i>Zelkova serrata</i> (Zelkova); <i>Ceratonia siliqua</i> (Carob); <i>Nyssa sylvatica</i> (Tupelo); <i>Morus alba</i> (Mulberry); <i>Magnolia spp.</i> (Magnolias); <i>Sapium sebiferum</i> (Chinaberry); <i>Koelreuteria bipinnata</i> (Chinese Flame Tree)	Throughout the Panhandle	Street tree	Good, sturdy, proven street trees
Del Paso Non-Commercial	DP	<i>Platanus racemosa</i> (California Sycamore); <i>Liriodendron tulipifera</i>	Del Paso Road, the length of the property	Indicating the limits of the Panhandle	Reflective of the more rural and agricultural parts of the Central Valley



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6.3. Entry Landscapes

Two primary entrances are proposed for the Panhandle at the intersection of Del Paso Road and National Drive and at Elkhorn Boulevard and National Drive. Previous Figure 25 represents a configuration of the Del Paso/National Drive intersection. Previous Figure 36 represents a conceptualization of the entry at Elkhorn Boulevard and National Drive.

6.4. Street Furniture

Figure 39 presents selected examples of proposed street furniture for the Panhandle.

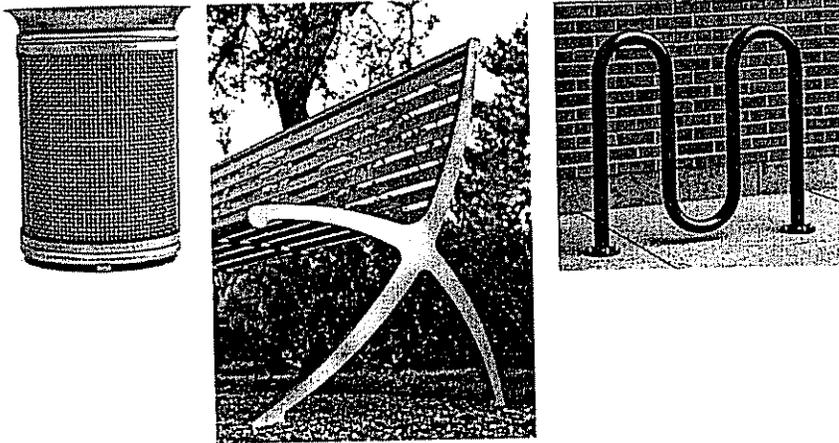


Figure 39. Proposed Street Furniture.

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6.5. Sorento Road Landscape Treatment

Sorento Road is the eastern edge of the Panhandle project beginning at Del Paso Road and extending north approximately one mile. The Panhandle's property boundary generally occurs along the centerline of Sorento Road, with the western (Panhandle) side of Sorento Road being proposed for drainage and landscape improvements. Along the Panhandle's eastern boundary, Camellia Park is on the south. The walled and gated age-restricted community is further north and single family homes are located even further north along Sorento Road.

Grading and drainage conditions in the Panhandle requires a small slope between back of lot line (Panhandle) and existing street paving for Sorento Road. Figure 40 illustrates a typical cross section.

The landscape treatment consists of a decorative fence or wall depending on the particular neighborhood backing up to Sorento Road. Treatments may include vine trellis located at intervals, plantings of trees and shrubs and a ground cover treatment along the edge of Sorento Road. All installed landscaping will be irrigated and maintained by either the Panhandle Homeowners Association or by the City's landscape maintenance crews. Figure 41 illustrates an elevation and plan view of the typical landscape treatment.

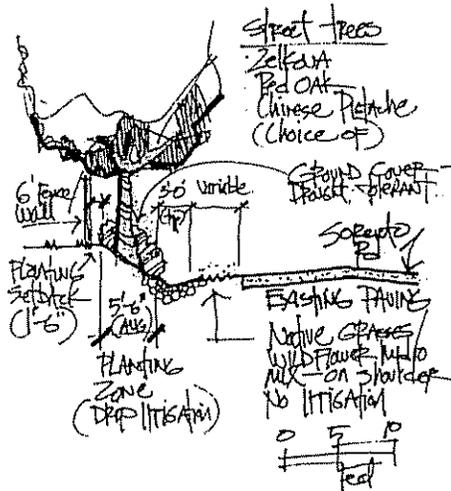


Figure 40. Sorento Road Cross Section.



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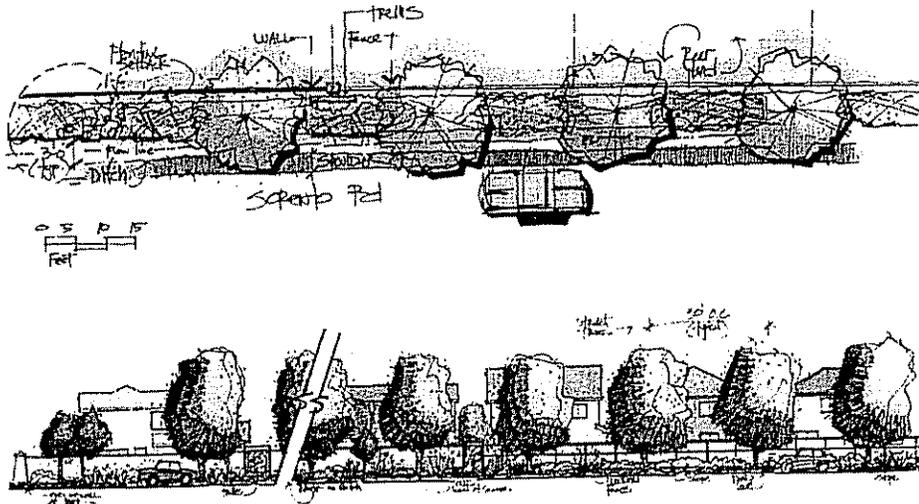


Figure 41. Soranto Road Streetscape.

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Section 7.0 Signage

Two major categories of signs are anticipated: Panhandle-wide signs and project signs. Signage for individual projects such as parks, the senior complex, commercial sites and high and medium density housing projects will be reviewed on a project-by-project basis as part of that project's entitlement process.

7.1. Panhandle-Wide Signage

Four types of signs are envisioned as developer-provided Panhandle-wide signs. All of these signs shall be designed as a family of signs. All of these four sign types are found primarily along National Drive. The four sign types are:

- Entry Monuments
- Neighborhood Signs
- Directional Signs
- Mile-Markers (Optional at Discretion of Developer)

Other types of signage, as stated below, are permitted. Figure 42 illustrates proposed locations for these four sign types. Figure 43 illustrates a potential Panhandle-wide signage family. Note that these figures are schematic only and a comprehensive signage program will be submitted to the City as part of a Special Permit Application.



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LEGEND



● Entry Signage



▲ Neighborhood



▣ Directional



1/10 Mile
Marker (Optional)

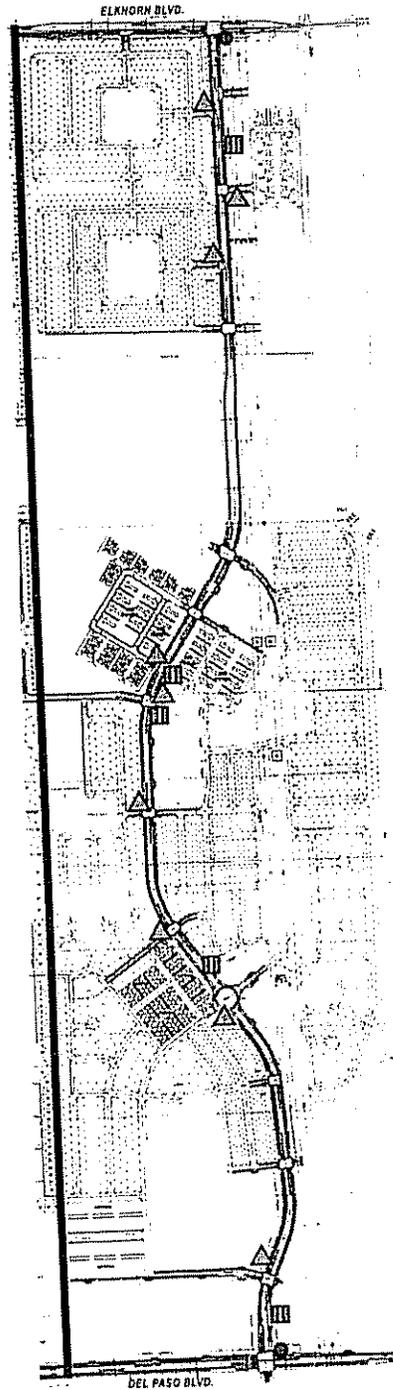


Figure 42. Project Signage.

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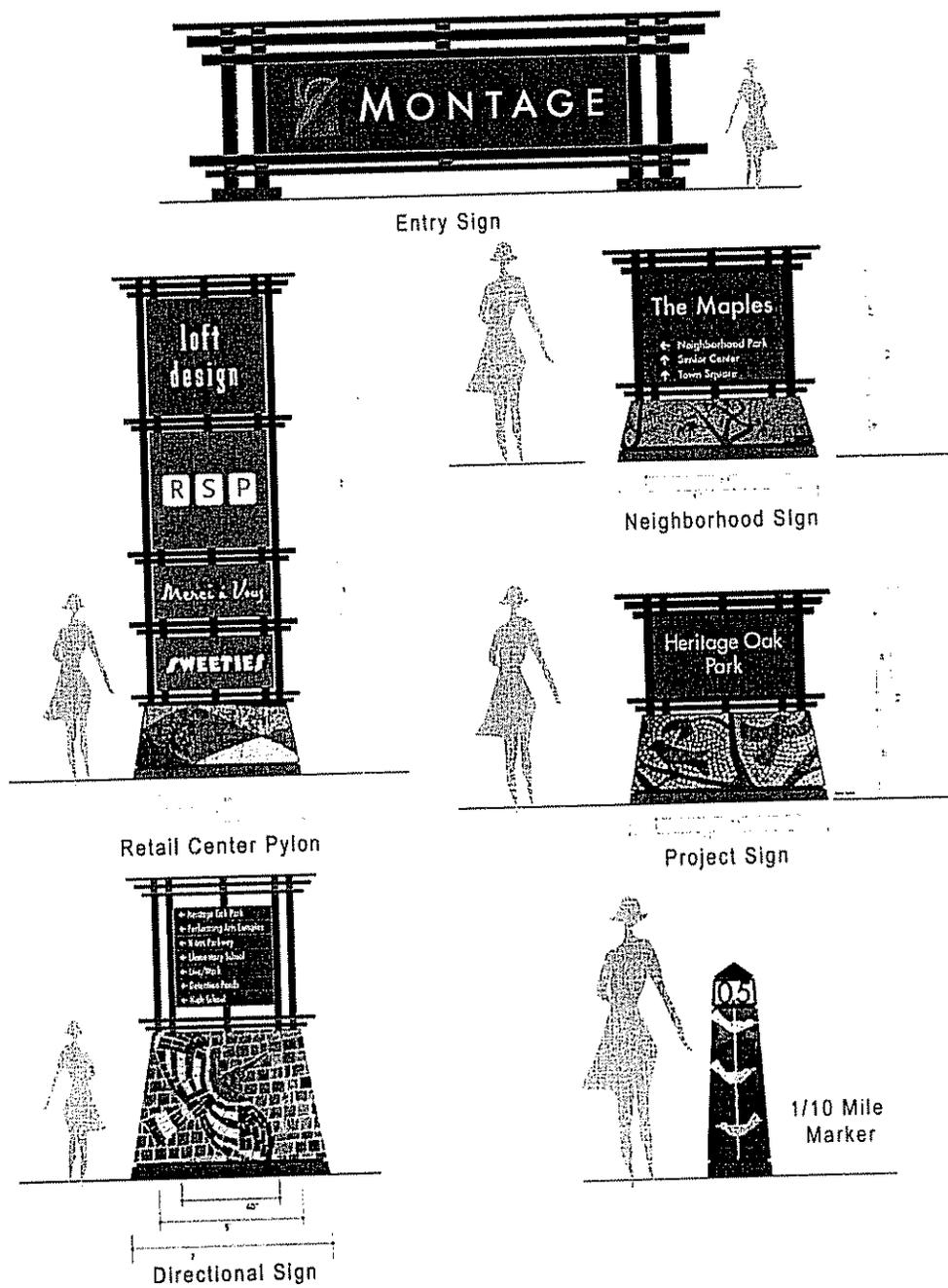


Figure 43. Sign Family.



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Entry Monuments

Entry monuments will be located at two intersections: Del Paso Road at National Drive and Elkhorn Boulevard at National Drive. Entry monument frames shall be no longer than 25 feet in length and no higher than 8 feet. The signage face itself shall not exceed 16 feet in length and 3 feet in height. Entry monuments may be double-faced and/or located on two sides of the above intersections.

Neighborhood Signs

Neighborhoods may or may not be identified with signage. If neighborhoods are identified by signage, these signs shall be located at prominent places along National Drive, generally at streets leading to the parks. Each neighborhood is allowed up to two signs along National Drive although a single sign is preferred.

Directional Signs

Directional signs are permitted wherever the need for directions is critical. Whenever possible, these signs should be located in the median of National Drive. Directional signs shall not exceed 12 feet in height and seven feet in length.

Mile-Markers

Mile-markers are intended to provide markers that help identify the project and provide way-finding information. These markers are optional and at the discretion of the developer.

7.2. Project Signage

Ground-mounted project monuments announce the name of a park, a prominent commercial site, the senior complex or a medium or high density residential project. Ground-mounted is permitted. One sign per intersection per project is permitted. If a project is bounded by three streets then two signs are permitted. It is at the discretion of the project as to where these signs are located.

Project signage shall reflect the architectural character of the project. Project signage shall not exceed six feet in height and six feet in length. Project signage may be lighted.

7.3. Commercial/Retail Signage

A comprehensive signage program shall be developed for each commercial site in the Panhandle as part of final design.

Retail Center Pylon

One identification sign shall be installed for the retail center. Maximum sign height shall be 15 feet high by four feet wide on National Drive and identify retail centers on both the west and east sides of National

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Drive. The exact location of the identification sign is yet to be determined; however, the sign will be set back approximately 500 feet from Del Paso Road and will not conflict with the main entry signage (please see Figure 43). Guidelines for commercial/retail signage are as follows:

Major Tenant Building Signage Guidelines

For spaces over 35,000 square feet in size:

- Total size of all signage should not exceed 400 square feet.
- Letter height on fascia shall not exceed 60 inches in height, although one letter may be up to 72 inches in height
- Subtext letters shall not exceed 24 inches in height.
- Subtext letters shall not exceed 24 percent of lease width
- Signage should be internally illuminated.

Medium Tenant Building Signage Guidelines

For spaces between 15,000 and 35,000 square feet in size:

- Total size of all signage should not exceed 250 square feet.
- Letter height should not exceed 54 inches in height although one letter may be up to 60 inches in height
- Subtext letters should not exceed 18 inches in height
- Length of signage not to exceed 65 percent of lease width
- Shop tenants should be permitted two signs per tenant and three if in a corner location.
- Signage should be internally illuminated

Minor Tenant Building Signage Criteria

For spaces between to 3,000 and 15,000 square feet in size:

- Total size of all signage should not exceed 250 square feet.
- A variety of signage types are encouraged
- Tenants may have one identification sign; two on a corner location is allowed.
- Letter height should not exceed 36 inches in height
- Length of signage should not exceed 65 percent of lease width
- Signage should be internally illuminated.



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- Pedestrian blade signs are permitted.

Shop Tenant Signage Guidelines

- A variety of signage types are encouraged
- Shop tenants should be permitted two signs per tenant and three if in a corner location.
- Aggregate signage should not exceed fifty feet in size.
- Length of signage should not exceed 65 percent of lease width.
- Letters should not exceed 30 inches in height
- Logos should not exceed 36 inches in height.
- Shop tenant signs should be internally illuminated, lighted from an outside source or be exposed tubing such as neon.
- Shingle signs, in lieu of window signage, are permitted.
- Architectural shutters, awnings or arcades along store fronts are encouraged. Awning signage with a business name is permitted in lieu of building face signage. Maximum size should not exceed that of building-mounted signage.
- Tenant signage may be applied with paint to background materials such as decorative metals or to the building face directly.

Live-Work Signage Guidelines

- Live-work units are permitted a shingle-style pedestrian blade sign.
- Shingle signs should be hung perpendicular to building face.
- Shingle signs should be hung from a supporting rod that matches the architectural style of the building façade.
- Supporting rod for the shingle sign should be located nine feet above sidewalk level.
- Shingle sign should not exceed four feet in length and two feet in height.
- Tenants are encouraged to use creativity in signage.
- Shingle sign materials may be wood, metal, plastic or glass.
- Signs should be externally illuminated by ground- or building-mounted light fixtures.
- Window or door signage expressing the name of business is permitted. Signage face should not exceed 2.25 square feet in size. Other than business name, logo, hours of operation and website address, no other signage should be permitted.

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Section 8.0 Walls and Fences

8.1. Walls and Fences

Figure 44 illustrates the locations of walls and fences within the Panhandle. Perimeter walls within the Panhandle are minimized by design. Low walls, fences and hedges along the frontages of alley-loaded homes provide both openness and a margin of privacy from the street.

Masonry Perimeter Walls

Two types of perimeter walls are envisioned for the Panhandle: a solid masonry wall and a masonry base wall with tubular steel pickets above. Both walls shall be capped with a wall cap and total height of wall with cap shall not exceed six feet eight inches in height. Figure 45 and Figure 46 illustrate schematic perimeter wall designs. Guidelines for perimeter walls include:

- Column, pilaster and base materials may be concrete or masonry block. Split-face or other decorative block walls are permitted. Walls of non-decorative block or concrete shall be faced in stucco or other decorative facing material. Concrete bases do not need decorative facing material.
- Perimeter walls may have a decorative cap.
- Height of perimeter walls (including cap) are six feet eight inches maximum.
- Pilasters and visible support columns are permitted.
- Columns and pilasters may exceed the six-foot height limit.
- Corner and entry columns should be larger than interior columns and/or pilasters.
- Inserts of steel pickets are permitted.
- Walls may be covered in vines.
- Graffiti abatement steps such as landscaping or the application of a sacrificial coating may be applied.
- With the exception of the age-restricted project, park-abutting walls shall be a semi-transparent fence made of painted tubular steel. The steel fence (four feet in height) shall be mounted on a low concrete wall (two feet in height), for a total height of six feet. No opaque surfaces other than columns and landscaping may block visibility through the fence. The age-restricted south shall be the standard perimeter wall.
- Walls may have semi-circular bump-outs sized to accommodate a tree.



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LEGEND

-  6' Masonry & Steel Picket Wall
-  6' Masonry Wall
-  Optional Low Wall/
Fence or Hedge
-  Rear Privacy Fence
Along Perimeter

Please refer to figures 45 and 46 for detailed conceptual wall elevations

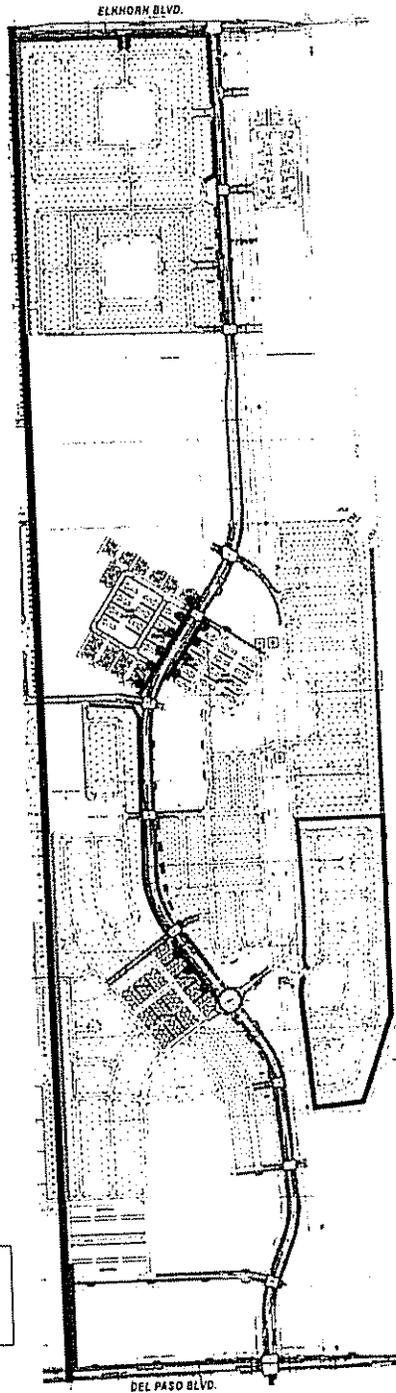


Figure 44. Walls and Fences.

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Low Decorative Walls and Fencing

Low decorative walls are permitted on the front of all alley-loaded lots. These walls are intended to provide a strong edge along pedestrian-oriented streets (please see Figure 44 through Figure 46) Guidelines for low decorative walls include:

- Low decorative walls and fencing shall not exceed 28 inches in height.
- Decorative features such as trellises and arches are permitted where front door sidewalks intersect the wall. These features shall not exceed eight feet six inches in height.
- Style, color and wall materials shall be standardized for the length of each separate product frontage. Style, color and wall materials may be unique for each product frontage.
- Low walls are to be located within 12 inches of the back of the sidewalk. Walls abutting the rear edge of the sidewalk are permitted.
- Low wall materials may be concrete or masonry block. Split-face or other decorative block walls are permitted. Walls of non-decorative block or concrete shall be faced in stucco or other decorative facing material.
- Low fencing shall be wood or wood-simulated material.
- Low fencing should be placed 12 inches from the edge of the sidewalk allowing a planter space.

Park Fencing

Park Fencing consists of the City of Sacramento's standard post-and-cable detail. This fencing will be placed around the detention basins and portions of the parks, including Niños Parkway, at the discretion of the City of Sacramento.

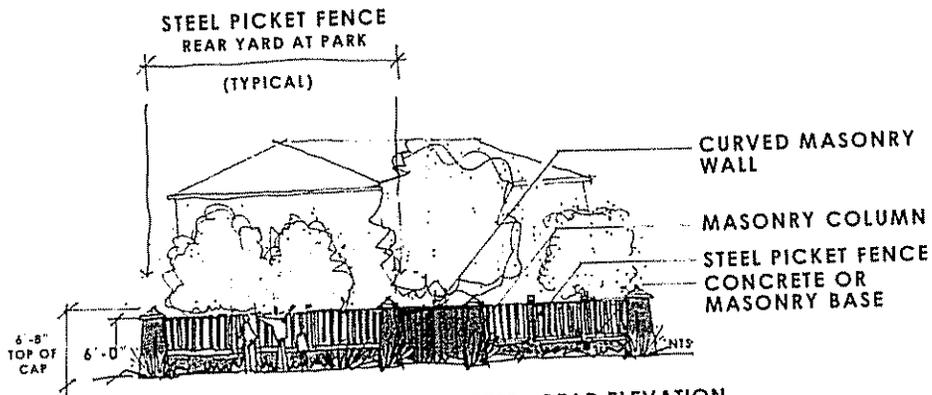
Fencing at High Density Housing

Fencing is discouraged around high density housing. If fencing is desired, a transparent fencing such as steel picket fencing is recommended. Fencing for high density housing will be subject to design review at time of project submittal.

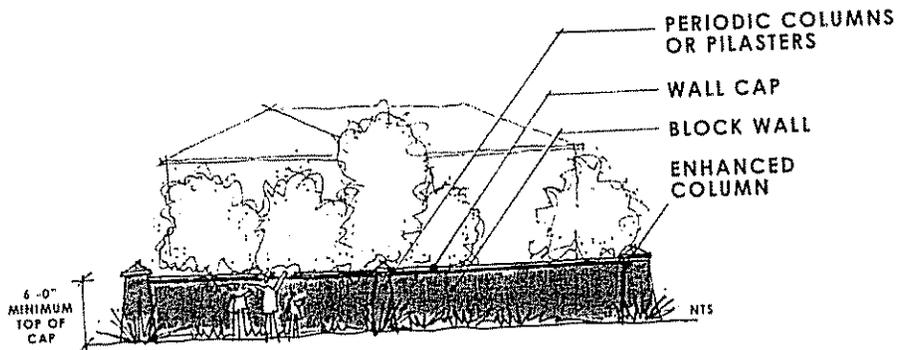


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BIG WALLS



- STEEL PICKET FENCE ALONG STREET - REAR ELEVATION
- STEEL PICKET FENCE - REAR YARDS AT PARKS (ELIMINATE CURVED MASONRY WALL)



- PERIMETER BLOCK WALL
- WALL ALONG STREET

Figure 45. Conceptual Examples. Big Walls.

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LITTLE WALLS

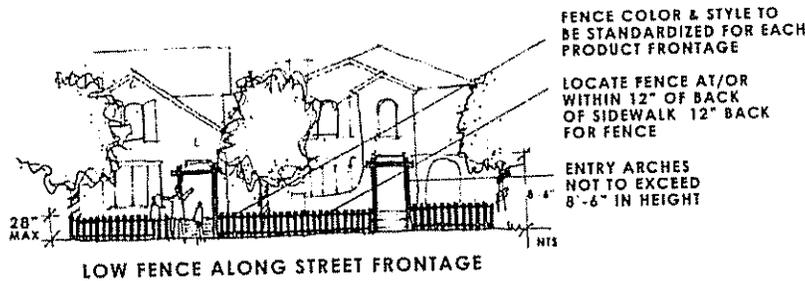
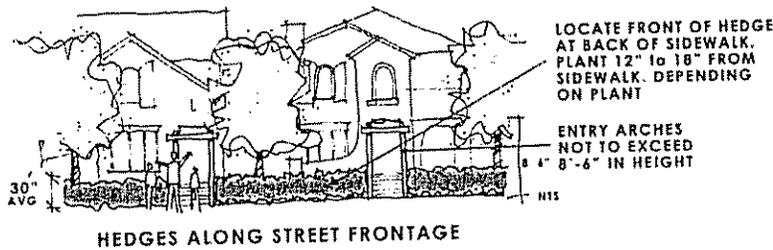
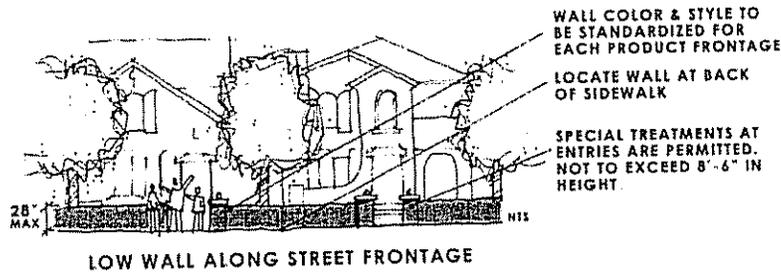


Figure 46. Conceptual Examples Little Walls.



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Section 9.0 Lighting Guidelines

- A lighting plan shall be developed and provided with special use permits and/or development plan review for the Panhandle PUD to ensure that all lights are low-intensity, fully-hooded, back-shielded and directed away from residential areas to reduce light "spillage" and glare, and to prohibit illumination from breaking the horizontal plane.
- Outdoor lighting for commercial uses and community parks/sports facilities in the Panhandle PUD shall be designed to be turned off when not in use where security and safety is not a concern. This requirement shall be included in lighting plans submitted to the City as part of the improvement plans.
- Light fixtures for sports fields that are planned to be lighted in the Panhandle PUD shall be directed away from residential areas to reduce light "spillage" and glare. Light fixtures shall be designed to limit illumination to the sports fields only and shall demonstrate the illumination of adjacent residential properties will not exceed one foot-candle.
- Architectural lighting should articulate building design as well as provide functional lighting for pedestrian movement. Lighting should also enhance architectural forms, landscape features, public art or other site elements.
- Hanging or suspended overhead pendant lights are encouraged.
- Bollard lighting in pedestrian areas is allowed and encouraged.
- Exterior lighting may be building- or ground-mounted.
- Entry signage may be illuminated by ground-mounted fixtures, internally illuminated or by fixtures installed directly on the given entry monument or sign.
- Placement of lights should limit glare, obtrusive light, light trespass and upward-directed, wasted light.
- Metal halide parking lot lighting is encouraged.
- Light fixtures and standards should be consistent throughout the Panhandle project. Column and standard color may vary between projects.
- Light standards in parking lots should not exceed 25 feet in height.
- Light standards for pedestrian ways should not exceed 15 feet in height.
- Service area lighting should be contained within that area. Service area lighting should avoid direct visibility from surrounding streets or internal drives.
- Security lighting fixtures should not be substituted for parking lot or walkway lighting fixtures unless adequate safety allows for dual use.

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Appendix A. Recommended Plant List.

The following plant materials are subject to confirmation from site specific soils analysis that plant species shall survive.

Type	Water Usage	Botanical Name	Common Name	Plant Function
Large Trees (50' - 100')	High	<i>Acer spp.</i>	Maples	Shade/Color
Large Trees (50' - 100')	High	<i>Alnus rhombifolia</i>	White Alder	Shade
Large Trees (50' - 100')	Medium	<i>Araucaria heterophylla</i>	Norfolk Island Pine	Shade
Large Trees (50' - 100')	Medium	<i>Calocedrus decurrens</i>	Incense Cedar	Shade
Large Trees (50' - 100')	Medium	<i>Catalpa speciosa</i>	Western Catalpa	Shade
Large Trees (50' - 100')	Low	<i>Cedrus deodar</i>	Deodar Cedar	Shade
Large Trees (50' - 100')	Low	<i>Callis australis</i>	European Hackberry	Shade
Large Trees (50' - 100')	Medium	<i>Cinnamomum camphora</i>	Camphor	Shade
Large Trees (50' - 100')	Medium	<i>Ginkgo biloba</i>	Maldenhair	Shade
Large Trees (50' - 100')	Medium	<i>Gleditsia triacanthos</i>	Honeylocust	Shade
Large Trees (50' - 100')	High	<i>Liriodendrum tulipifera</i>	Tulip	Shade
Large Trees (50' - 100')	Medium	<i>Magnolia spp.</i>	Magnolia	Shade
Large Trees (50' - 100')	Low	<i>Phoenix canariensis</i>	Date Palm	Shade
Large Trees (50' - 100')	High	<i>Picea abies</i>	Norway Spruce	Shade
Large Trees (50' - 100')	High	<i>Picea pungens</i>	Colorado Spruce	Screening
Large Trees (50' - 100')	Medium	<i>Pinus canariensis</i>	Canary Island Pine	Screening



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Type	Water Usage	Botanical Name	Common Name	Plant Function
Large Trees (50' - 100')	Low	<i>Pistacia chinensis</i>	Chinese Pistache	Shade
Large Trees (50' - 100')	Medium	<i>Platanus acerifolia</i>	London Plane	Shade
Large Trees (50' - 100')	Medium	<i>Platanus racemosa</i>	California Sycamore	Shade
Large Trees (50' - 100')	Medium	<i>Populus nigra 'Italica'</i>	Lombardy Poplar	Shade
Large Trees (50' - 100')	Low	<i>Quercus spp.</i>	Oaks	Shade
Large Trees (50' - 100')	Low	<i>Sequoia sempervirens</i>	Coast Redwood	Shade
Large Trees (50' - 100')	Medium	<i>Ulmus spp.</i>	Elms	Shade
Large Trees (50' - 100')	Low	<i>Washingtonia filifera</i>	California Fan Palm	Skyline tree
Large Trees (50' - 100')	Low	<i>Washingtonia robusta</i>	Mexican Fan Palm	Skyline tree
Large Trees (50' - 100')	Medium	<i>Zelkova serrata</i>	Green Vase Zelkova	Shade
Medium Trees (30' - 50')	Medium	<i>Alnus cordata</i>	Italian Alder	Shade
Medium Trees (30' - 50')	High	<i>Betula jacquemonti</i>	Himalayan Birch	Shade
Medium Trees (30' - 50')	Medium	<i>Carpinus betulus</i>	European Hornbeam	Shade
Medium Trees (30' - 50')	Low	<i>Celtis sinensis</i>	Chinese Hackberry	Shade
Medium Trees (30' - 50')	Low	<i>Ceratonia siliqua</i>	Carob	Shade
Medium Trees (30' - 50')	Low	<i>Cercidium floridum</i>	Blue Palo Verde	Shade
Medium Trees (30' - 50')	Low	<i>Cercis spp.</i>	Red Bud	Shade/Color
Medium Trees (30' - 50')	Medium	<i>Koelreutria bipinnata</i>	Chinese Flame Tree	Shade. Flowers. Leaves
Medium Trees (30' - 50')	Medium	<i>Liquidambar styraciflua</i>	American Sweet Gum	Shade

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Type	Water Usage	Botanical Name	Common Name	Plant Function
Medium Trees (30' - 50')	Medium	<i>Magnolia spp</i>	Magnolias	Shade/Flowers
Medium Trees (30' - 50')	Medium	<i>Maytenus boaria</i>	Mayten Tree	Shade
Medium Trees (30' - 50')	Medium	<i>Morus alba</i> 'Fruitless'	White Fruitless Mulberry	Shade
Medium Trees (30' - 50')	High	<i>Nyssa sylvatica</i>	Sour Gum	Shade
Medium Trees (30' - 50')	Low	<i>Pinus eldarica</i>	Afghan Pine	Screening
Medium Trees (30' - 50')	Low	<i>Pinus halepensis</i>	Allepo Pine	Screening
Medium Trees (30' - 50')	Medium	<i>Pinus sylvestris</i>	Scotch Pine	Screening
Medium Trees (30' - 50')	High	<i>Populus fremontii</i>	Fremont Cottonwood	Shade
Medium Trees (30' - 50')	Medium	<i>Sapium sebiferum</i>	Chinaberry	Shade
Small Trees (15' - 30')	Low	<i>Acacia baileyana</i>	Bailey Acacia	Shade
Small Trees (15' - 30')	High	<i>Acer</i>	Maples	Accent
Small Trees (15' - 30')	High	<i>Acer palmatum</i>	Japanese Maple	Accent
Small Trees (15' - 30')	Low	<i>Albizia julibrissin</i>	Silk Tree	Shade, Accent
Small Trees (15' - 30')	Medium	<i>Arbutus unedo</i>	Strawberry	Screening, Shade
Small Trees (15' - 30')	High	<i>Cornus florida</i>	White Eastern Dogwood	Accent
Small Trees (15' - 30')	Low	<i>Cercis occidentalis</i>	Western Redbud	Accent
Small Trees (15' - 30')	Low	<i>Citrus spp</i>	Citrus	Accent
Small Trees (15' - 30')	Medium	<i>Crataegus laevigata</i>	English Hawthorn	Accent
Small Trees (15' - 30')	Medium	<i>Crataegus phaenopyrum</i>	Washington Hawthorn	Accent



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Type	Water Usage	Botanical Name	Common Name	Plant Function
Small Trees (15' - 30')	Low	<i>Eleagnus angustifolia</i>	Russian Olive	Accent
Small Trees (15' - 30')	Medium	<i>Eriobotrya deflexa</i>	Bronze Loquat	Accent
Small Trees (15' - 30')	Medium	<i>Fraxinus spp.</i>	Ash	Shade
Small Trees (15' - 30')	Medium	<i>Geijera parviflora</i>	Australian Willow	Shade
Small Trees (15' - 30')	Medium	<i>Koeleruteria paniculata</i>	Goldenrain	Shade
Small Trees (15' - 30')	Low	<i>Lagerstroemia indica</i>	Crape Myrtle	Accent
Small Trees (15' - 30')	High	<i>Ligistrum lucidum</i>	Glossy Privet	Shade
Small Trees (15' - 30')	High	<i>Magnolia soulangiana</i>	Saucer Magnolia	Accent
Small Trees (15' - 30')	High	<i>Magnolia stellata</i>	Star Magnolia	Accent
Small Trees (15' - 30')	High	<i>Malus spp.</i>	Crabapple	Accent
Small Trees (15' - 30')	Low	<i>Olea europaea</i>	Olive	Accent
Small Trees (15' - 30')	High	<i>Podocarpus gracilior</i>	Fern Pine	Screening
Small Trees (15' - 30')	Medium	<i>Prunus bioreiana</i>	Flowering Plum	Accent
Small Trees (15' - 30')	Medium	<i>Prunus carolinia</i>	Carolina Laurel Cherry	Accent
Small Trees (15' - 30')	Medium	<i>Prunus cerasifera 'Atropurpurea'</i>	Purple Leaf Plum	Accent
Small Trees (15' - 30')	Low	<i>Prunus lyonii</i>	Catalina Cherry	Accent
Small Trees (15' - 30')	High	<i>Prunus serrulata</i>	Flowering Cherry	Accent
Small Trees (15' - 30')	Medium	<i>Pyrus spp.</i>	Pear	Accent. Street tree
Small Trees (15' - 30')	Low	<i>Raphiolepis 'Majestic Beauty'</i>	(No common name)	Accent. Screening

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Type	Water Usage	Botanical Name	Common Name	Plant Function
Small Trees (15' - 30')	Low	<i>Rhus lancea</i>	African Sumac	Screening
Large Shrubs (6' - 15')	High	<i>Abelia grandiflora</i>	Glossy Abelia	Screening, Massing
Large Shrubs (6' - 15')	Low	<i>Acacia 'Baileyana'</i>	Bailey Acacia	Screening, Massing
Large Shrubs (6' - 15')	High	<i>Aucuba japonica</i>	Japanese Aucuba	Accent
Large Shrubs (6' - 15')	Low	<i>Berberis thunbergii</i>	Barberry	Massing, Accent
Large Shrubs (6' - 15')	Low	<i>Callistemon citrinus</i>	Lemon Bottlebrush	Screening, Massing
Large Shrubs (6' - 15')	High	<i>Camellia spp.</i>	Camellia	Accent, Screening, Massing
Large Shrubs (6' - 15')	Low	<i>Ceanothus spp.</i>	Blue Blossom	Accent, Massing, Screening
Large Shrubs (6' - 15')	High	<i>Coccolus laurifolius</i>	Laurel-Leaf Snailseed	Massing
Large Shrubs (6' - 15')	High	<i>Cornus stolonifera</i>	Red Twig Dogwood	Screening, Accent
Large Shrubs (6' - 15')	Low	<i>Coloneaster lacteus (c. pameyi)</i>	Parney Cotoneaster	Screening, Massing
Large Shrubs (6' - 15')	High	<i>Cyperus papyrus</i>	Umbrella Plant	Accent
Large Shrubs (6' - 15')	Low	<i>Diosma album</i>	White Breath of Heaven	Accent, Massing
Large Shrubs (6' - 15')	Low	<i>Diosma pulchrum</i>	Pink Breath of Heaven	Accent, Massing
Large Shrubs (6' - 15')	Low	<i>Dodoneo viscosa</i>	Hopseed	Massing, Screening, Accent
Large Shrubs (6' - 15')	Medium	<i>Escallonia rubra</i>	Escallonia	Massing
Large Shrubs (6' - 15')	Low	<i>Euonymus alata</i>	Burning Bush	Massing, Accent
Large Shrubs (6' - 15')	Medium	<i>Fajjoa sellowiana</i>	Pineapple Guava	Screening
Large Shrubs (6' - 15')	Medium	<i>Forsythia intermedia</i>	Golden Bells	Massing, Accent



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Type	Water Usage	Botanical Name	Common Name	Plant Function
Large Shrubs (6' - 15')	Medium	<i>Grevillea 'Canberra'</i>	Canberra Grevillea	Screening, Massing
Large Shrubs (6' - 15')	Low	<i>Heteromeles arbutifolia</i>	Toyon, Christmas Berry	Screening, Massing
Large Shrubs (6' - 15')	High	<i>Ilex altacarensis spp.</i>	Holly	Screening
Large Shrubs (6' - 15')	Low	<i>Lagerstroemia indica</i>	Crape Myrtle	Accent, Massing
Large Shrubs (6' - 15')	Medium	<i>Laurus 'Saratoga'</i>	Saratoga Laurel	Screening
Large Shrubs (6' - 15')	Low	<i>Laurus nobilis</i>	Grecian Laurel	Screening
Large Shrubs (6' - 15')	High	<i>Ligustrum japonicum</i>	Waxleaf Privet	Screening
Large Shrubs (6' - 15')	High	<i>Magnolia spp.</i>	Magnolia	Accent
Large Shrubs (6' - 15')	Low	<i>Mahonia lomarifolia</i>	Burmese Grape	Screening, Massing
Large Shrubs (6' - 15')	Low	<i>Nerium oleander 'Little White'</i>	Oleander	Screening, Massing
Large Shrubs (6' - 15')	Low	<i>Nerium oleander 'Mrs. Roeding'</i>	Oleander	Screening, Massing
Large Shrubs (6' - 15')	Low	<i>Nerium oleander</i>	Oleander	Screening, Massing
Large Shrubs (6' - 15')	Medium	<i>Osmanthus fragrans</i>	Sweet Olive	Massing, Accent
Large Shrubs (6' - 15')	Medium	<i>Phormium tenax</i>	New Zealand Flax	Accent
Large Shrubs (6' - 15')	Medium	<i>Photinia fraseri</i>	Red-Leaf Photinia	Screening, Massing
Large Shrubs (6' - 15')	Medium	<i>Photinia serrulata</i>	Chinese Photinia	Screening, Massing
Large Shrubs (6' - 15')	Medium	<i>Pittosporum tenuifolium</i>	Tawhiwhi	Screening
Large Shrubs (6' - 15')	Medium	<i>Pittosporum crassifolium</i>	(No common name)	Screening
Large Shrubs (6' - 15')	Medium	<i>Pittosporum eugenioides</i>	Tarata	Screening

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Type	Water Usage	Botanical Name	Common Name	Plant Function
Large Shrubs (6' - 15')	Medium	<i>Pittosporum tobira</i>	Tobira	Screening
Large Shrubs (6' - 15')	Medium	<i>Pittosporum undulatum</i>	Victorian Box	Screening
Large Shrubs (6' - 15')	Medium	<i>Podocarpus macrophyllus</i>	Yew Pine	Screening, Massing
Large Shrubs (6' - 15')	Medium	<i>Prunus caroliniana</i> 'Bright-N-Tight'	Carolina Cherry	Screening, Massing
Large Shrubs (6' - 15')	Medium	<i>Prunus caroliniana</i> 'Compacta'	Carolina Cherry	Screening, Massing
Large Shrubs (6' - 15')	Medium	<i>Prunus cistena</i>	Sandcherry	Accent, Massing
Large Shrubs (6' - 15')	Low	<i>Pyracantha coccinea</i>	Pyracantha	Screening, Massing
Large Shrubs (6' - 15')	Low	<i>Rhamnus alternus</i>	Italian Buckthorn	Screening, Accent
Large Shrubs (6' - 15')	Low	<i>Rosmarinus officinalis</i> 'Miss Jessop's Upright'	Rosemary	Massing
Large Shrubs (6' - 15')	Medium	<i>Syzygium paniculatum</i>	Brush Cherry	Massing
Medium Shrubs (3' - 6')	High	<i>Abelia grandiflora</i> 'Sherwoodi'	Glossy Abelia	Screening, Massing
Medium Shrubs (3' - 6')	Low	<i>Agapanthus orientalis</i> 'Alba'	Lily-of-the-Nile	Massing
Medium Shrubs (3' - 6')	Low	<i>Arbutus unedo</i> 'Compacta'	Dwarf Strawberry Tree	Screening, Massing
Medium Shrubs (3' - 6')	Low	<i>Berberis thunbergii</i> 'Atrapurpurea'	Red-Leaf Japanese Barberry	Massing, Accent, Screening
Medium Shrubs (3' - 6')	Medium	<i>Buxus microphylla japonica</i>	Japanese Boxwood	Massing, Accent, Screening
Medium Shrubs (3' - 6')	Medium	<i>Chaenomeles spp.</i>	Flowering Quince	Massing
Medium Shrubs (3' - 6')	High	<i>Choisya ternata</i>	Mexican Orange	Massing, Screening
Medium Shrubs (3' - 6')	Low	<i>Cistus purpureus</i>	Orchid Rockrose	Accent
Medium Shrubs (3' - 6')	Low	<i>Citrus limon</i>	Lemon	Accent

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Type	Water Usage	Botanical Name	Common Name	Plant Function
Large Shrubs (6' - 15')	Medium	<i>Pittosporum tobira</i>	Tobira	Screening
Large Shrubs (6' - 15')	Medium	<i>Pittosporum undulatum</i>	Victorian Box	Screening
Large Shrubs (6' - 15')	Medium	<i>Podocarpus macrophyllus</i>	Yew Pine	Screening, Massing
Large Shrubs (6' - 15')	Medium	<i>Prunus caroliniana</i> 'Bright-N-Tight'	Carolina Cherry	Screening, Massing
Large Shrubs (6' - 15')	Medium	<i>Prunus caroliniana</i> 'Compacta'	Carolina Cherry	Screening, Massing
Large Shrubs (6' - 15')	Medium	<i>Prunus cistena</i>	Sandcherry	Accent, Massing
Large Shrubs (6' - 15')	Low	<i>Pyracantha coccinea</i>	Pyracantha	Screening, Massing
Large Shrubs (6' - 15')	Low	<i>Rhamnus alternus</i>	Italian Buckthorn	Screening, Accent
Large Shrubs (6' - 15')	Low	<i>Rosmarinus officinalis</i> 'Miss Jessop's Upright'	Rosemary	Massing
Large Shrubs (6' - 15')	Medium	<i>Syzygium paniculatum</i>	Brush Cherry	Massing
Medium Shrubs (3' - 6')	High	<i>Abelia grandiflora</i> 'Sherwoodi'	Glossy Abelia	Screening, Massing
Medium Shrubs (3' - 6')	Low	<i>Agapanthus orientalis</i> 'Alba'	Lily-of-the-Nile	Massing
Medium Shrubs (3' - 6')	Low	<i>Arbutus unedo</i> 'Compacta'	Dwarf Strawberry Tree	Screening, Massing
Medium Shrubs (3' - 6')	Low	<i>Berberis thunbergii</i> 'Atrapurplea'	Red-Leaf Japanese Barberry	Massing, Accent, Screening
Medium Shrubs (3' - 6')	Medium	<i>Buxus microphylla japonica</i>	Japanese Boxwood	Massing, Accent, Screening
Medium Shrubs (3' - 6')	Medium	<i>Chaenomeles spp.</i>	Flowering Quince	Massing
Medium Shrubs (3' - 6')	High	<i>Choisya ternate</i>	Mexican Orange	Massing, Screening
Medium Shrubs (3' - 6')	Low	<i>Cistus purpureus</i>	Orchid Rockrose	Accent
Medium Shrubs (3' - 6')	Low	<i>Citrus limon</i>	Lemon	Accent



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Type	Water Usage	Botanical Name	Common Name	Plant Function
Medium Shrubs (3' - 6')	Low	<i>Echium fastuosum</i>	Pride of Madeira	Massing, Screening
Medium Shrubs (3' - 6')	Medium	<i>Escallonia 'Fradesii'</i>	Escallonia	Massing, Screening
Medium Shrubs (3' - 6')	Medium	<i>Euonymus alata 'Compacta'</i>	Compact Winged Euonymus	Massing
Medium Shrubs (3' - 6')	High	<i>Gardenia jasminoides</i>	Mystery Gardenia	Massing, Screening
Medium Shrubs (3' - 6')	Medium	<i>Grevillea 'Noelii'</i>	(No common name)	Massing
Medium Shrubs (3' - 6')	Medium	<i>Pittosporum tobira 'Variegata'</i>	Tobira	Screening, Massing
Medium Shrubs (3' - 6')	Medium	<i>Hydrangea macrophylla</i>	Bigleaf Hydrangea	Massing, Accent
Medium Shrubs (3' - 6')	High	<i>Ilex crenata</i>	Japanese Holly	Massing, Screening
Medium Shrubs (3' - 6')	Low	<i>Lavendula angustifolia 'Munstead'</i>	English Lavender	Accent, Massing
Medium Shrubs (3' - 6')	Low	<i>Lavendula dentata</i>	French Lavender	Accent, Massing
Medium Shrubs (3' - 6')	Low	<i>Lavendula stoechas</i>	Spanish Lavender	Accent, Massing
Medium Shrubs (3' - 6')	High	<i>Ligustrum vulgare 'Lodense'</i>	Lodense Privet	Screening, Massing
Medium Shrubs (3' - 6')	Low	<i>Mahonia aquifolium</i>	Oregon Grape	Massing, Screening
Medium Shrubs (3' - 6')	Medium	<i>Myrsine Africana 'African'</i>	Boxwood	Massing, Screening
Medium Shrubs (3' - 6')	Low	<i>Nandina domestica</i>	Heavenly Bamboo	Massing, Screening
Medium Shrubs (3' - 6')	Low	<i>Nandina domestica 'Compacta'</i>	Dwarf Heavenly Bamboo	Massing, Screening
Medium Shrubs (3' - 6')	Low	<i>Nerium oleander 'Petite'</i>	Oleander	Screening, Massing
Medium Shrubs (3' - 6')	Medium	<i>Phormium tenax 'Maori Chief'</i>	New Zealand Flax	Accent
Medium Shrubs (3' - 6')	High	<i>Polystichum munitum</i>	Sword Fern	Accent

**The Panhandle
Planned Unit Development Guidelines**



Type	Water Usage	Botanical Name	Common Name	Plant Function
Medium Shrubs (3' - 6')	High	<i>Potentilla fruticosa</i>	Cinquefoil	Massing, Screening
Medium Shrubs (3' - 6')	Medium	<i>Prunus glandulosa</i>	Flowering Almond	Accent, Massing, Screening
Medium Shrubs (3' - 6')	High	<i>Prunus laurocerasus</i> 'Zabeliana'	Zabel's Cherry Laurel	Massing, Screening
Medium Shrubs (3' - 6')	Low	<i>Raphiolepis indica</i>	India Hawthorn	Massing, Screening
Medium Shrubs (3' - 6')	High	<i>Rosa spp.</i>	Roses	Accent
Medium Shrubs (3' - 6')	High	<i>Rosa californica</i>	California Wild Rose	Accent, Massing
Medium Shrubs (3' - 6')	Low	<i>Rosmarinus officinalis</i>	Rosemary	Massing
Medium Shrubs (3' - 6')	Low	<i>Salvia clevelandii</i>	(No common name)	Accent
Medium Shrubs (3' - 6')	Low	<i>Salvia greggii</i>	(No common name)	Accent
Medium Shrubs (3' - 6')	Low	<i>Salvia leucantha</i>	Mexican Bush Sage	Accent
Medium Shrubs (3' - 6')	Medium	<i>Sarcococca ruscifolia</i>	(No common name)	Massing
Medium Shrubs (3' - 6')	Medium	<i>Spiraea bumalda</i>	(No common name)	Massing, Screening, Accent
Medium Shrubs (3' - 6')	Medium	<i>Spiraea thunbergii</i>	(No common name)	Massing, Screening
Medium Shrubs (3' - 6')	Medium	<i>Spiraea vanhouttei</i>	(No common name)	Massing, Screening, Accent
Medium Shrubs (3' - 6')	Medium	<i>Strelitzia nicolai</i>	Giant Bird of Paradise	Accent
Medium Shrubs (3' - 6')	Medium	<i>Strelitzia reginae</i>	Bird of Paradise	Accent
Medium Shrubs (3' - 6')	Low	<i>Viburnum tinus</i> 'Spring Bouquet'	(No common name)	Massing, Screening
Medium Shrubs (3' - 6')	Low	<i>Xylosma congestum</i> 'Compacta'	Shiny Xylosma	Massing, Screening
Small Shrubs (Under 3')	High	<i>Abelia grandiflora</i> 'Prostrata'	White Abelia	Massing



*The Panhandle
Planned Unit Development Guidelines*

Type	Water Usage	Botanical Name	Common Name	Plant Function
Small Shrubs (Under 3')	Low	<i>Agapanthus orientalis</i> 'Peter Pan'	Dwarf Lily-of-the-Nile	Massing
Small Shrubs (Under 3')	High	<i>Azalea indica</i>	Azalea	Massing, Accent
Small Shrubs (Under 3')	Low	<i>Berberis thunbergii</i> 'Crimson Pygmy'	Crimson Pygmy Barberry	Massing, Accent
Small Shrubs (Under 3')	Low	<i>Eriogonum fasciculatum</i>	California Buckwheat	Massing
Small Shrubs (Under 3')	High	<i>Gardenia jasminoides</i> 'Little Gem'	(No common name)	Massing
Small Shrubs (Under 3')	High	<i>Iris douglasiana</i>	(No common name)	Massing, Accent
Small Shrubs (Under 3')	Medium	<i>Limonium perezii</i>	Statice	Massing, Accent
Small Shrubs (Under 3')	Low	<i>Mahonia aquifolium</i> 'Compacta'	Dwarf Oregon Grape	Massing
Small Shrubs (Under 3')	Low	<i>Myrtus communis</i> 'Compacta'	Dwarf Roman Myrtle	Massing
Small Shrubs (Under 3')	Low	<i>Nandina domestica</i> 'Harbor Dwarf'	Dwarf Heavenly Bamboo	Massing, Screening
Small Shrubs (Under 3')	Medium	<i>Phormium tenax</i> 'Jack Spratt'	New Zealand Flax	Accent, Massing
Small Shrubs (Under 3')	Medium	<i>Pittosporum tobira</i> 'Wheeler's Dwarf'	(No common name)	Massing
Small Shrubs (Under 3')	Medium	<i>Spiraea nipponica</i>	(No common name)	Massing, Screening
Small Shrubs (Under 3')	Low	<i>Toucraium chamaedrys</i>	(No common name)	Massing
Small Shrubs (Under 3')	Low	<i>Tulbaghia violacea</i> 'Variegata'	Society Garlic	Massing, Accent
Ground Covers	Low	<i>Arctostaphylos</i> 'Emerald Carpet'	(No common name)	Massing
Ground Covers	Medium	<i>Arctotheca calendula</i>	Cape Weed	Massing
Ground Covers	High	<i>Campanula poscharskyana</i>	(No common name)	Massing
Ground Covers	Low	<i>Cerastium tomentosum</i>	Snow-In-Summer	Massing
Ground Covers	Medium	<i>Ceratostigma plumbaginoides</i>	(No common name)	Massing
Ground Covers	Low	<i>Coloneaster apiculatus</i>	(No common name)	Massing

The Panhandle
Planned Unit Development Guidelines



Type	Water Usage	Botanical Name	Common Name	Plant Function
Ground Covers	Low	<i>Cotoneaster horizontalis</i>	Rock Cotoneaster	Massing
Ground Covers	Medium	<i>Euonymus fortunei</i> 'Minima'	(No common name)	Massing
Ground Covers	Medium	<i>Euonymus fortunei</i>	(No common name)	Massing
Ground Covers	Low	<i>Festuca spp.</i>	Fescue	Massing, Accent
Ground Covers	Low	<i>Festuca californica</i>	(No common name)	Massing, Accent
Ground Covers	High	<i>Fragaria chiloensis</i>	Ornamental Strawberry	Massing
Ground Covers	Low	<i>Gazania</i>	(No common name)	Massing
Ground Covers	Medium	<i>Glechoma hederacea</i>	Ground Ivy	Massing
Ground Covers	Medium	<i>Hedera helix</i> 'Hahnii'	English Ivy	Massing, Accent
Ground Covers	Medium	<i>Hermercallis sp.</i>	Daylily	Massing, Accent
Ground Covers	Low	<i>Hyepicum calycinum</i>	Creeping St John's Wort	Massing
Ground Covers	Medium	<i>Lantana montevidensis</i>	Trailing Lantana	Massing, Accent
Ground Covers	High	<i>Liriope muscari</i>	Blue Lily Turf	Massing, Accent
Ground Covers	Medium	<i>Liriope spicata</i>	Creeping Lily Turf	Massing
Ground Covers	Medium	<i>Lonicera japonica</i> 'Halliana'	Hall's Honeysuckle	Massing
Ground Covers	Low	<i>Lysimachia nummularia</i>	Moneywort	Massing
Ground Covers	Low	<i>Nandina domestica</i> 'Harbor Dwarf'	Dwarf Heavenly Bamboo	Massing, Screening
Ground Covers	High	<i>Ophiopogon japonicus</i>	Mondo Grass	Massing
Ground Covers	Medium	<i>Osteospermum fruticosum</i>	African Daisy	Massing
Ground Covers	High	<i>Potentilla verna</i>	Spring Cinquefoil	Massing
Ground Covers	Low	<i>Rosmarinus officinalis</i>	Rosemary	Massing
Ground Covers	Low	<i>Santolina chamaecyparissus</i>	Lavender Cotton	Massing
Ground Covers	Low	<i>Santolina virans</i>	(No common name)	Massing, Accent
Ground Covers	Low	<i>Thymus citriodorus</i>	(No common name)	Massing, Accent
Ground Covers	Medium	<i>Trachelospermum asiaticum</i>	Asian jasmine	Massing
Ground Covers	Medium	<i>Trachelospermum jasminoides</i>	Star Jasmine	Massing
Ground Covers	Medium	<i>Verbena</i>	(No common name)	Massing, Accent
Ground Covers	High	<i>Veronica spicata</i> 'Red Fox'	(No common name)	Massing
Ground Covers	Low	<i>Vinca minor</i> 'Bowles'	(No common name)	Massing



*The Panhandle
Planned Unit Development Guidelines*

Type	Water Usage	Botanical Name	Common Name	Plant Function
Ground Covers	Low/Medium	<i>Androgon spp.</i>	Bluestem, Beardgrass	Prairie Grass
Ground Covers	Low	<i>Aristida purpurea</i>	Purple Bawn	Prairie Grass
Ground Covers	Low	<i>Bortelova spp.</i>	Boglamma Grass	Prairie Grass
Ground Covers	Low	<i>Calamagrostis spp.</i>	Feather Reed Grass	Prairie Grass
Ground Covers	Low	<i>Carex spp.</i>	Sedge	Prairie Grass
Ground Covers	Low	<i>Cortaderia selloana</i>	Pampas Grass	Flowers
Ground Covers	Low	<i>Elymus spp.</i>	Wild Rye	Flowers
Ground Covers	Low	<i>Eragrostis spp.</i>	Love Grass	Flowers
Ground Covers	Low	<i>Koeleria spp.</i>	Hair Grass	Flowers
Ground Covers	Low	<i>Melka spp.</i>	Melic	Flowers
Ground Covers	Low	<i>Miscanthus spp.</i>	Miscanthus	Flowers
Ground Covers	Low	<i>Muhlenbergia spp.</i>	Muhly Grass	Flowers
Ground Covers	Low	<i>Orysopsis spp.</i>	Rice Grass	Flowers
Ground Covers	Low	<i>Panicum spp.</i>	Switch Grass	Flowers
Ground Covers	Low	<i>Pennisetum spp.</i>	Fountain Grass	Flowers
Ground Covers	Low	<i>Pychelytrum spp.</i>	Ruby Grass	Flowers
Ground Covers	Low	<i>Schizachyrium spp.</i>	Little Bluestem	Flowers
Ground Covers	Low	<i>Stipa spp.</i>	Feather Grass	Flowers
Vines	High	<i>Ficus pumila</i>	Creeping Fig	Screening
Vines	Medium	<i>Gelsemium sempervirens</i>	Carolina Jessamine	Screening

ATTACHMENT 21 – CPC POWERPOINT PRESENTATION DATED MAY 31, 2007



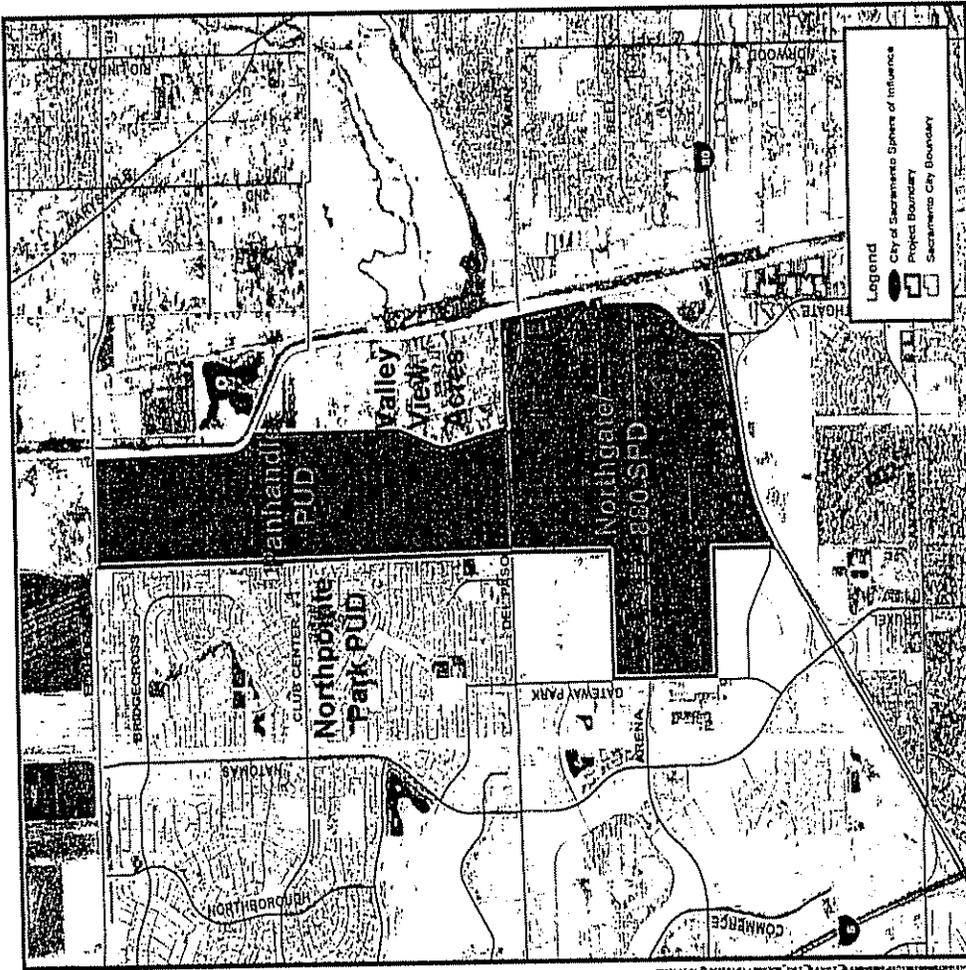
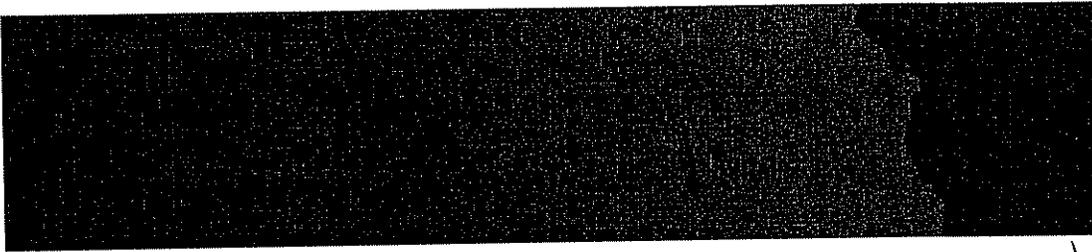
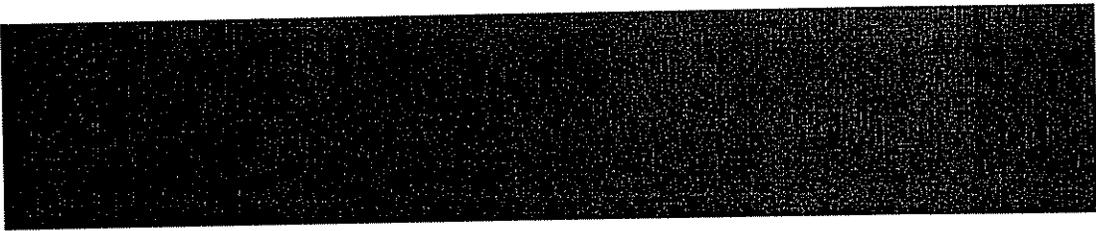
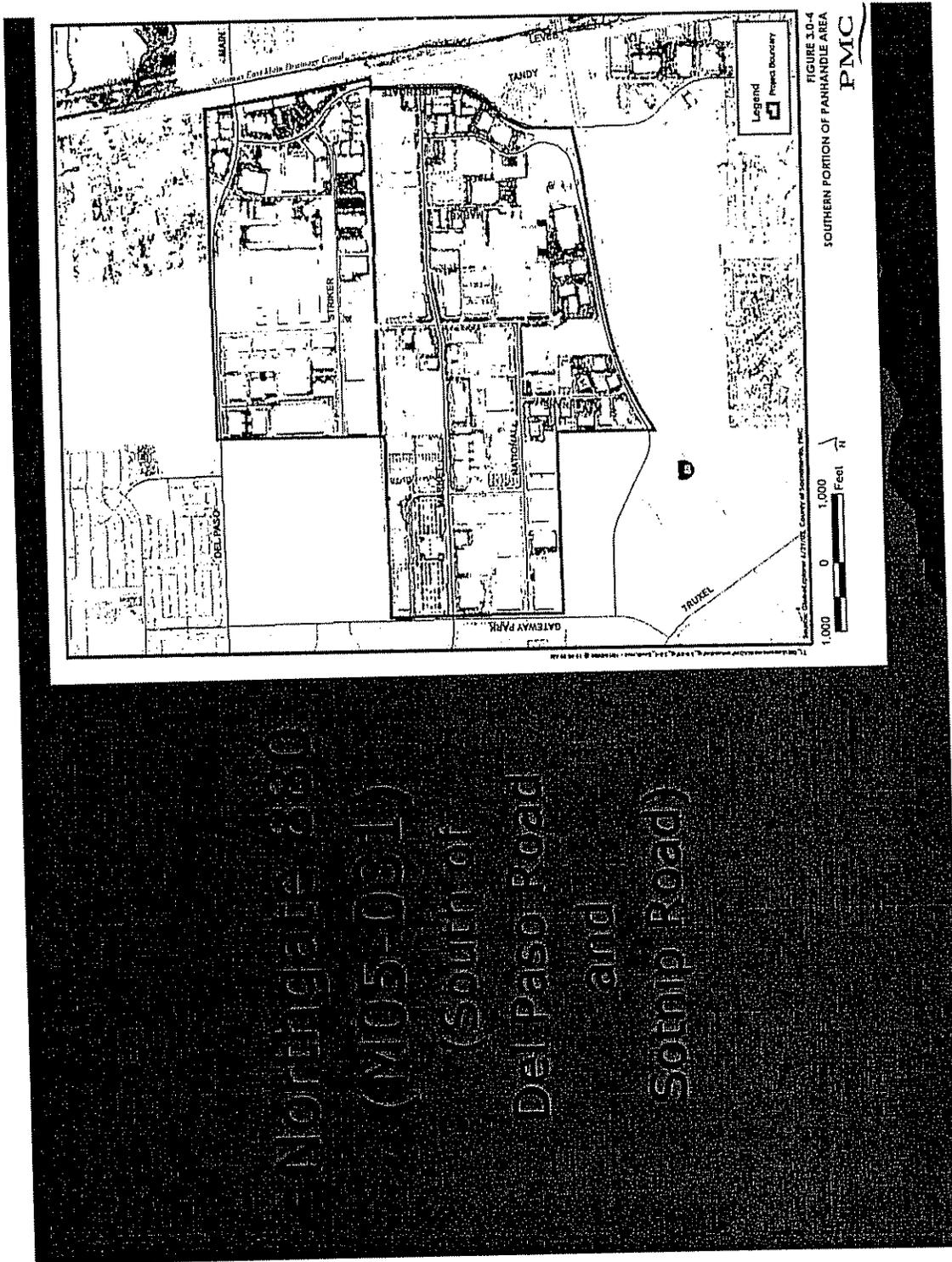


FIGURE 3.0-3
PROJECT LOCATION MAP





Northgate 880
(M05-031)
(Southern
Del Paso Road
and
Solonip Road)

Northgate 880 - Actions

- ◆ General Plan Amendment & Community Plan Amendment
- ◆ Prezone & Establishment of the Northgate 880 Special Planning District (SPD)

Panhandle - Actions

- ◆ General Plan Amendment & Community Plan Amendments
- ◆ Prezone & Establishment of PUD
- ◆ Development Agreement, Finance Plan, & Inclusionary Housing Plans
- ◆ Tentative Master Parcel Maps, Tentative Subdivision Maps, & Subdivision Modifications

Background

- ◆ Originally heard at City Planning Commission on May 24, 2007
- ◆ Continued to May 31, 2007
- ◆ Written and verbal comments were provided at the hearing

Additional Comments Received

◆ Verbal comments were received at the
May 24, 2007 hearing:

- Jude Lamare
- Walt Seifert
- Chris Holm
- Tony Trujillo
- Kenny Roggenkamp
- Wendy Garrison
- Nick Avdis
- Ralph Friend
- Timothy Hammons
- Larry Greene
- Christine Paros
- Richard Hack
- Bruce Roberts
- John Raymond

Additional Comments Received

◆ Additional written comments were submitted to staff:

- Natomas Charter School
- Natomas Park Master Association
- Tristan Godt
- Robert Cowan
- Vernon R. Rittscher
- Miguel and Maria Chavarin
- Karen and Britt Rodgers
- James P. Pacht
- Brigit Barnes & Associates
- Walt Seifert
- Richard Hack

School Impacts

- ◆ Rio Linda School District and North Sacramento School District testified that school impact fees and bond financing was not adequate to acquire land and construct school sites
- ◆ City staff incorrectly identified this as a potential environmental impact
- ◆ In fact, State law specifically precludes a conclusion that under-funded schools is an environmental impact of the project

Grant School District - Issue

- ◆ Testimony from Asst. Superintendent John Raymond that District could face liquidated damages claims of \$10.9 million and cost of portables if constructing not allowed to proceed this grading season
- ◆ Issue: Panhandle requires Incidental Take Permit (for Swainson's Hawk & Giant Garter Snake)
- ◆ City's HCP provides incidental take permit *once the site has been annexed into the City*

Grant School District - Timeframe

- ◆ Urgency of the Panhandle project based on obtaining a grading permit before end of grading season (September 30th)
- ◆ LAFCo issues Certificate of Annexation in early September (after 30 day protest period)
- ◆ Requires LAFCo action August 1st
- ◆ Requires City Council action on June 26th
- ◆ Requires Planning Commission action prior to June 15th

Grant School District - Options

- ◆ Stay the Course – Attempt to keep to the schedule
- ◆ Stand-alone (Flag) annexation of School District 70 acre property (plus access roadway)
- ◆ Amend Implementation Agreement of the HCP to allow grading outside City limits
- ◆ Section 7 Consultation with USFWS (in conjunction with the 404 permit from Corps of Engineers); County issues grading permit
- ◆ District Renegotiation of the contract

Finance Plan

- Facilities to be Financed
 - ◆ Contribution to Unfunded North Natomas Facilities
 - ◆ Contribution to North Natomas Regional Park
- Cost of Facilities
- Per Unit Burden
- Park Maintenance to be 100% Funded

Open Space Buffer

- ◆ The proposal in the packet identifies a 200' WAPA/SMUD easement
- ◆ Quimby Parks, including park at the south eastern edge of the property adjacent to Sorento Road
- ◆ Staff recommended additional land north of the park (on the west side of Sorento Road) to buffer from animal noise & odors from Valley View Acres
- ◆ Applicant & representatives of Valley View Acres have been meeting to identify common ground