

RESOLUTION NO. 2007-400

Adopted by the Sacramento City Council

June 12, 2007

ADOPTING AN INCLUSIONARY HOUSING PLAN FOR THE COGLIZER TENTATIVE MAP LOCATED AT 4920 MARYSVILLE BLVD. IN THE NORTH SACRAMENTO COMMUNITY PLAN AREA, SACRAMENTO, CALIFORNIA. (P06-043) (APN: 226-0220-007)

BACKGROUND

The City Council conducted a public hearing on Tuesday, June 12, 2007 concerning the Inclusionary Housing Plan for the Coglizer Tentative Map, and, based on documentary and oral evidence submitted at the public hearing, the City Council hereby finds:

- A. The proposed project is located in a new growth area and is subject to the City's mixed income housing requirements that 15 percent of the residential units be affordable to "Low" and "Very Low" income households; and
- B. The proposed plan is consistent with Chapter 17.190 of the City Code which requires an Inclusionary Housing Plan setting forth the number, unit mix, location, structure type, affordability and phasing of the inclusionary units in the residential development.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

- Section 1. The Inclusionary Housing Plan for the Coglizer Tentative Map (P06-043) is hereby adopted as attached hereto as Exhibit A.

Table of Contents:

Exhibit A: Inclusionary Housing Plan – 4 Pages

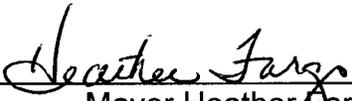
Adopted by the City of Sacramento City Council on June 12, 2007 by the following vote:

Ayes: Councilmembers, Cohn, Fong, Hammond, McCarty, Pannell, Sheedy, Tretheway, Waters and Mayor Fargo.

Noes: None.

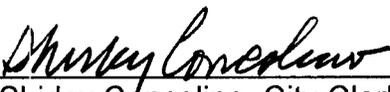
Abstain: None.

Absent: None.



Mayor Heather Fargo

Attest:



Shirley Concolino, City Clerk

Exhibit A

INCLUSIONARY HOUSING PLAN
COGLIZER TENTATIVE MAP
Approved: May 1, 2007

Introduction

Sheryl's LLC is the owner and developer ("Developer") of the proposed Coglizer Tentative Map subdivision located on the east side Marysville Boulevard between Main and Pinedale Avenues in the City of Sacramento. The owner proposes to build on a 4.48 acre parcel a 15 unit single family development consisting of 6 half-plex units and 9 single family units. ("Project")

Pursuant to the City Code section 17.190.100(B), an Inclusionary Housing Plan ("Plan") setting forth the number, unit mix, location, structure type, affordability and phasing of the Inclusionary units in the Project must be approved prior to or concurrent with the approval of legislative entitlements for the Project. This document constitutes that Plan, and as supplemented and amended from time to time, is intended to begin implementation of the inclusionary housing requirement. All future approvals for the Project, including tentative maps, subsequent tentative maps, planned development permits, special permits, site development plans, and plan review shall be consistent with this Plan.

The requirements under the Ordinance for the Project will be set forth in more detail in the Inclusionary Housing Agreement executed by the owner/developer and the Sacramento Housing and Redevelopment Agency ("SHRA") and recorded against the Project site. The Inclusionary Housing Agreement will describe with particularity the site, building schematics and size of the Inclusionary Units, pursuant to Section 17.190.110(C). The Inclusionary Housing Agreement shall be consistent with this plan.

Number of Inclusionary Housing Units

The Project proposed by the Developer includes 6 half-plex units and 9 single family units. As the Project is less than 5 gross acres section 17.190.030 (B)(2) of the Ordinance, which allows 15% of the project's inclusionary units be marketed at prices affordable to families at below 80% Area Median Income. (i.e. "low income" units) The developers obligations per the Ordinance is to provide 2 "low income" units.

If the project approvals are amended to increase or decrease the number of residential units in the Project, this Plan will be amended to reflect a number equal to 15% of Low Income Units of the revised total of residential units in the amended entitlement. However, after a building permit has been issued for a structure or Master Parcel which contains Inclusionary Units, those Units will be constructed and maintained as Inclusionary Units pursuant to the terms of Chapter 17.190 of City Code, regardless of any subsequent reduction in the number of approved total residential units.

Tenure

The Inclusionary Housing units shall consist of for sale units only.

Location, Size and Bedroom Count of Inclusionary Housing Units

The inclusionary housing units will consist of two half-plex units designated as lots 1A and 10B on the proposed map attached hereto Attachment I. The inclusionary housing units shall be between 1100-1400 square feet in size and be either 3 or 4 bedroom units.

Marketing of Units

The Developer will use their typical newspaper, internet, toll free number and signage to market this community. Information will be available in the on-site sales office regarding the availability of Inclusionary Housing and this will also be incorporated into internet advertising for the project.

Affordability Requirements

The Inclusionary units "for sale" shall be restricted to occupancy by Low Income Households. Low Income Households shall have gross incomes, at the time of initial occupancy, that do not exceed eighty percent (80%) of the Sacramento area median income, adjusted for family size.

The Sacramento Housing and Redevelopment Agency will provide the Developer a schedule of maximum Affordable Housing Prices no sooner than six months prior to the sales lottery in which homebuyers for the inclusionary units will be selected. With respect to each Inclusionary unit, the affordability requirements of this Section shall continue for no less than thirty (30) years from the recordation of the Inclusionary Housing Agreement. For-sale Inclusionary Units will be subject to the Sacramento Housing and Redevelopment Agency's resale and recapture provisions if sold before the end of the thirty (30) year regulatory period.

Phasing of Development and Inclusionary Housing Linkages

The Inclusionary Housing units shall be developed concurrently with the development of the Project. The nature of the concurrency is defined by the following linkages between approvals of market rate units and development of the Inclusionary Housing units.

The Inclusionary Housing Plan shall be approved concurrently with the approval of the Project's tentative map.

The Inclusionary Housing Agreement shall be executed prior to the approval of the Project's final map for the Project.

The Inclusionary Housing Agreement shall be recorded concurrently with the Project's final map.

Up to 50% of the building permits for Market Rate units may be pulled prior to the issuance of building permits for all Inclusionary Housing units in the Project.

The final 50% of the building permits for Market Rate units may be pulled after the issuance of building permits for all Inclusionary Housing units in the Project.

Marketing of the Inclusionary Housing units within the Project shall occur concurrently with the marketing of the Market Rate units.

Administration of Plan

The Inclusionary Housing Plan shall be administered by the Planning Director with the advice of the Executive Director of SHRA. The Planning Director may make minor administrative amendments to the text of this Plan as provided for in Sacramento City Code section 17.190.030.

