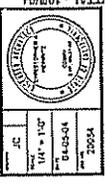
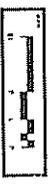


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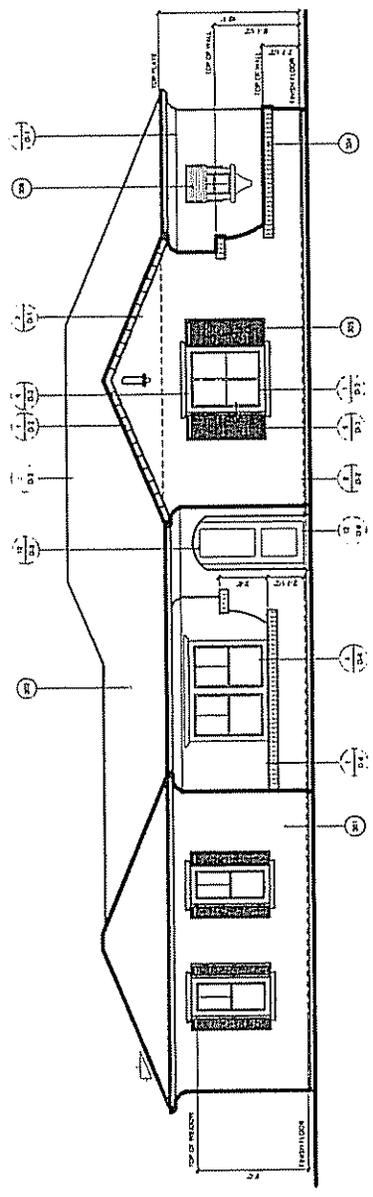
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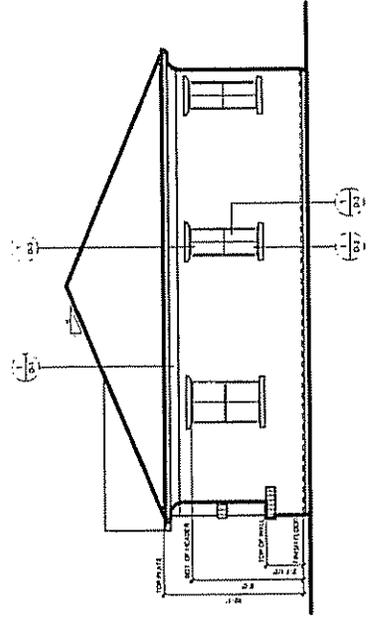
PLAN 7120  
EXTERIOR  
ELEVATION "A"  
POCKET ROAD

PAGE  
**A2-3.1**

- KEYNOTES**
- 301 3/4" DIA. FINISH NAIL TO 1/2" DIA. MINERAL LATH
  - 302 1/2" DIA. FINISH NAIL TO 1/2" DIA. MINERAL LATH
  - 303 CONCRETE TIE ANCHORS INSTALLED PER
  - 304 MANUFACTURER'S SPECIFICATIONS
  - 305 WALL ANCHORS SHOWN TO BE WATER TIGHT &
  - 306 WITH A MINIMUM OF 6" EMBEDMENT
  - 307 3/4" DIA. FINISH NAIL
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  - 400 3/4" DIA. FINISH NAIL



POCKET ROAD - FRONT ELEVATION A



POCKET ROAD - RIGHT ELEVATION A

REGIS HOMES  
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PLAN 7120  
 EXTERIOR  
 ELEVATION "A"  
 POCKET ROAD

DATE: 11/11/11  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 SCALE: 1/8" = 1'-0"

PLAN 7120  
 EXTERIOR  
 ELEVATION "A"  
 POCKET ROAD

PROJECT  
**A2-3.2**

**KEYNOTES**

K01: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K02: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K03: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K04: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K05: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K06: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K07: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

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K11: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K12: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K13: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K14: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

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K18: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K19: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K20: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

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K30: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K31: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K32: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K33: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

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K36: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

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K38: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K39: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K40: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K41: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K42: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K43: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K44: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K45: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

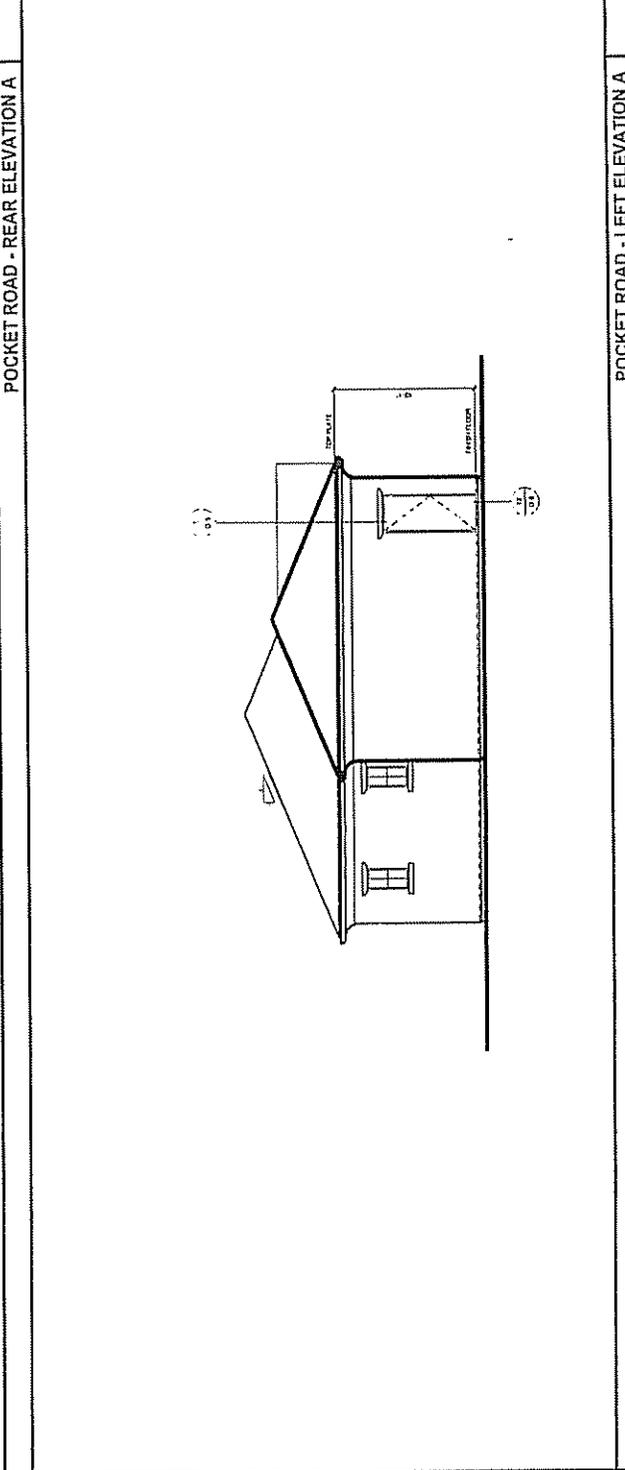
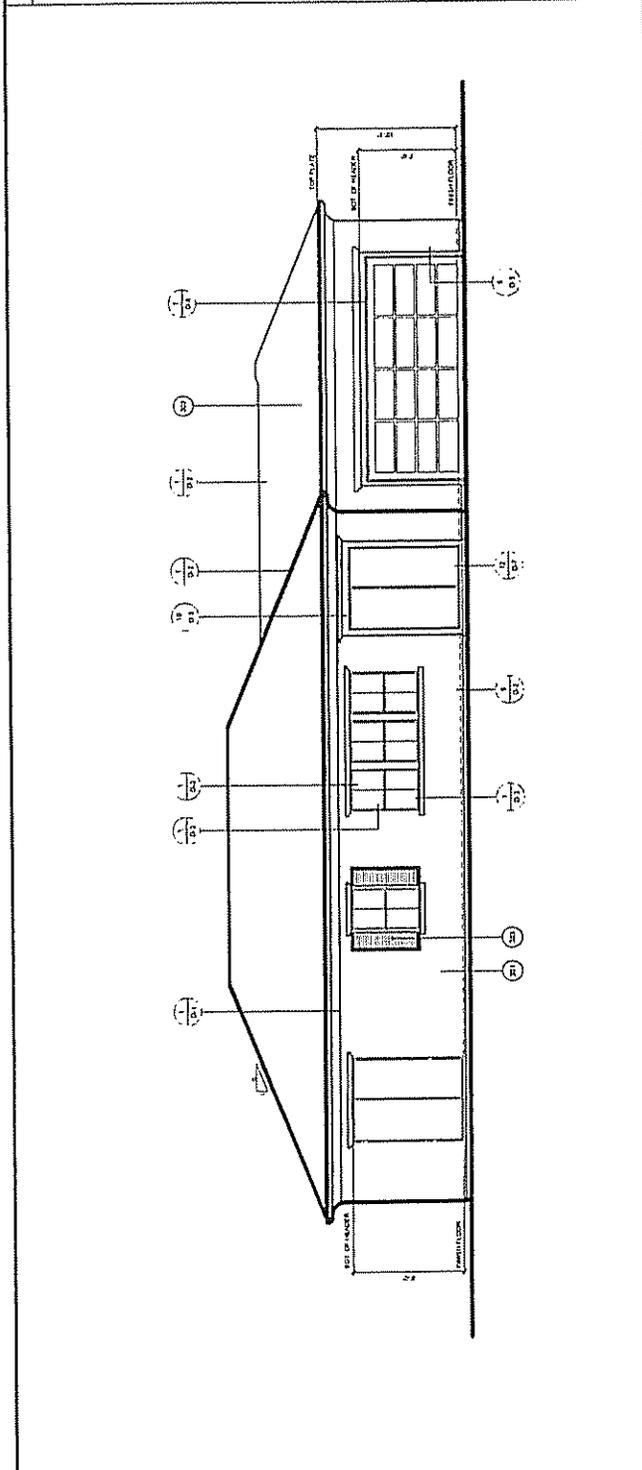
K46: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K47: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K48: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

K49: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION

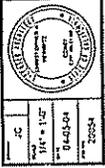
K50: 2X4 SILLION CLAMP FASTENERS AT MIN. 48" ON CENTER AND 18" FROM END OF SILLION



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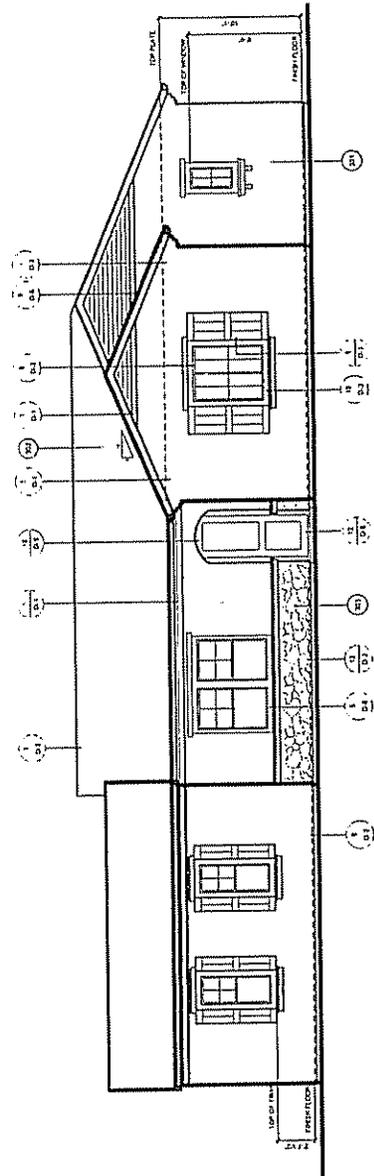


PLAN 7120  
EXTERIOR  
ELEVATION "B"  
POCKET ROAD

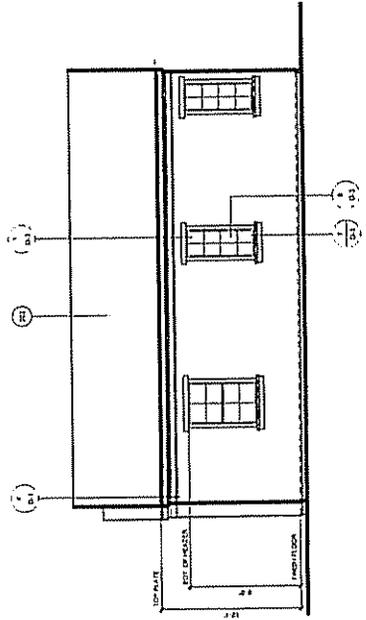
SHEET  
**A2-3.3**

**KEYNOTES**

- 301. 3/4" X 1/2" EXTERIOR CORNER BRACKET TO BE INSTALLED AT 1/4" FROM FACE OF ROOF TO FACE OF WALL.
- 302. 1/2" X 1/2" X 1/2" EXTERIOR CORNER BRACKET TO BE INSTALLED AT 1/4" FROM FACE OF ROOF TO FACE OF WALL.
- 303. 1/2" X 1/2" X 1/2" EXTERIOR CORNER BRACKET TO BE INSTALLED AT 1/4" FROM FACE OF ROOF TO FACE OF WALL.
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- 320. 1/2" X 1/2" X 1/2" EXTERIOR CORNER BRACKET TO BE INSTALLED AT 1/4" FROM FACE OF ROOF TO FACE OF WALL.



POCKET ROAD - FRONT ELEVATION B



POCKET ROAD - RIGHT ELEVATION B

REGIS HOMES  
 ISLANDS AT RIVERLAKE  
 City of Sacramento, CA  
 LIVABLE AREA - 1,500 S.F.

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 Phone: 916.441.1111  
 Fax: 916.441.1111  
 www.pnaw.com

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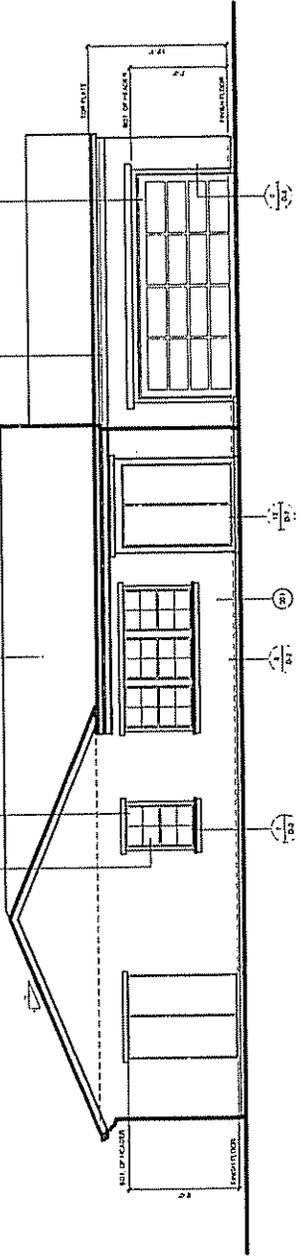
PLAN 7-120  
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PLAN 7-120  
 EXTERIOR  
 ELEVATION "B"  
 POCKET ROAD

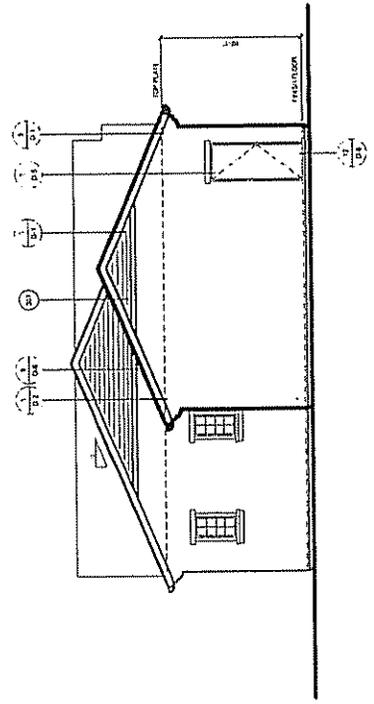
SHEET  
**A2-3.4**

**KEYNOTES**

- 01 3/4" EXTERIOR FINISH OVER 1/2" GYPSUM BOARD
- 02 1/2" EXTERIOR FINISH OVER 1/2" GYPSUM BOARD
- 03 1/2" EXTERIOR FINISH OVER 1/2" GYPSUM BOARD
- 04 1/2" EXTERIOR FINISH OVER 1/2" GYPSUM BOARD
- 05 1/2" EXTERIOR FINISH OVER 1/2" GYPSUM BOARD
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- 11 1/2" EXTERIOR FINISH OVER 1/2" GYPSUM BOARD
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- 64 1/2" EXTERIOR FINISH OVER 1/2" GYPSUM BOARD
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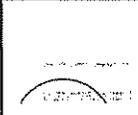


POCKET ROAD - REAR ELEVATION B



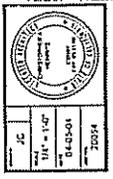
POCKET ROAD - LEFT ELEVATION B

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ISLANDS AT RIVERLAKE  
City of Sacramento, CA



FACLOWEKE-RESNAULTZ  
ASSOCIATES, INC.  
ARCHITECT, PLANNERS  
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1221 Street, Suite 100  
Sacramento, California 95811  
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WWW.FACLOWEKE.COM

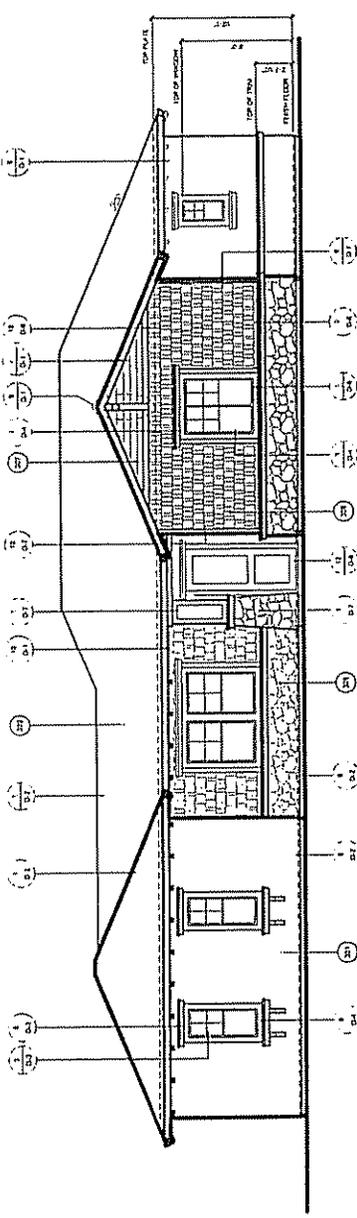
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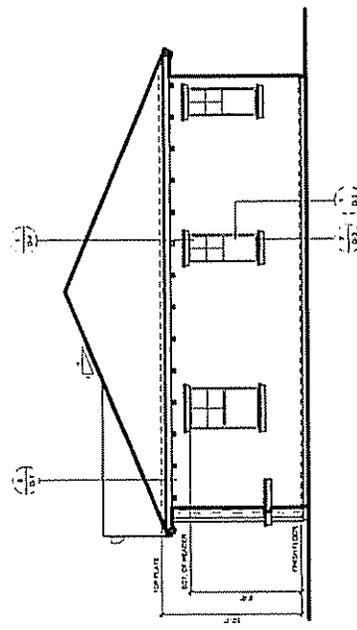
PLAN 7120  
EXTERIOR  
ELEVATION "C"  
POCKET ROAD

DATE  
**A2-3.5**

- KEYNOTES**
- 301 1/2" x 1/2" x 1/2" BRICK WITH GLAZED GROUT
  - 302 1/2" x 1/2" x 1/2" BRICK WITH GLAZED GROUT
  - 303 CONCRETE TILE ROOFING AS SHOWN IN PLAN
  - 304 CONCRETE TILE ROOFING AS SHOWN IN PLAN
  - 305 MANUFACTURED STONE TO MATCH EXISTING
  - 306 MANUFACTURED STONE TO MATCH EXISTING
  - 307 1/2" x 1/2" x 1/2" BRICK WITH GLAZED GROUT
  - 308 1/2" x 1/2" x 1/2" BRICK WITH GLAZED GROUT
  - 309 1/2" x 1/2" x 1/2" BRICK WITH GLAZED GROUT
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  - 312 1/2" x 1/2" x 1/2" BRICK WITH GLAZED GROUT
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  - 360 1/2" x 1/2" x 1/2" BRICK WITH GLAZED GROUT



POCKET ROAD - FRONT ELEVATION C



POCKET ROAD - RIGHT ELEVATION C

LIVABLE AREA - 1,500 SF.

REGIS HOMES  
ISLANDS AT RIVERLAKE  
City of Sacramento, CA

PACKOWSKI + HEINRICH  
ARCHITECTS  
1031 River Lake Blvd  
Sacramento, CA 95834  
Tel: 916.441.1111  
www.packowski.com

NO.	REVISION	DATE
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PLAN 7120  
EXTERIOR  
ELEVATION "C"  
POCKET ROAD

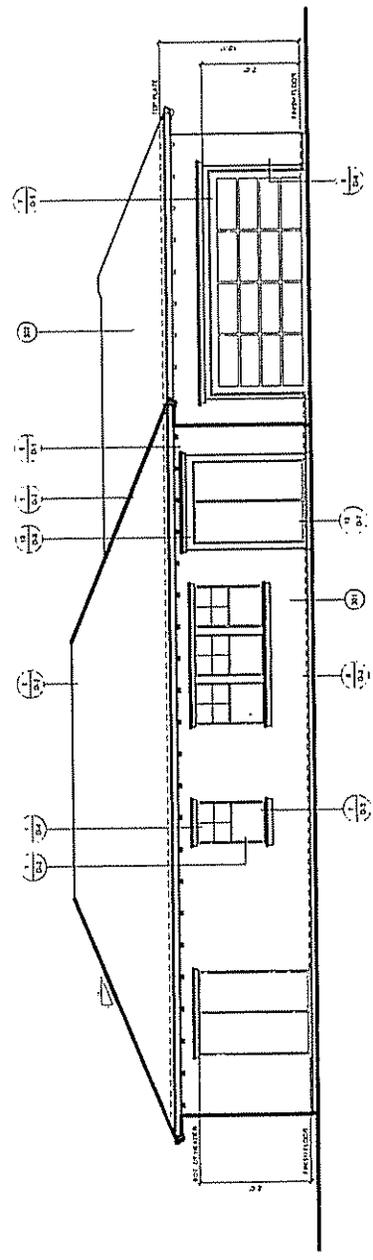
PLAN 7120  
EXTERIOR  
ELEVATION "C"  
POCKET ROAD

SHEET  
**A2-3.6**

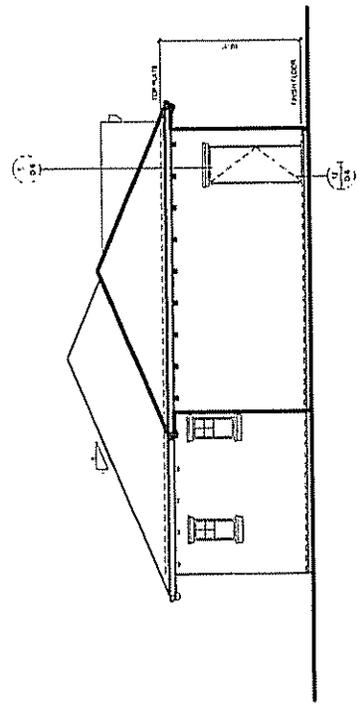
BUILDING DEPARTMENT RESUBMITTAL - 10/20/04

**KEYNOTES**

- 201 2x6 CEILING OVER PLASTER PARTIAL LAP
- 202 1/2" GYP BOARD OVER PLASTER
- 203 1/2" GYP BOARD OVER PLASTER
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- 250 1/2" GYP BOARD OVER PLASTER



POCKET ROAD - REAR ELEVATION C

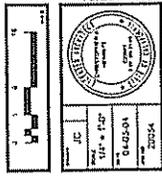


POCKET ROAD - LEFT ELEVATION C

REGIS HOMES  
 ISLANDS AT RIVERLAKE  
 City of Sacramento, CA  
 LIVABLE AREA - 1,500 S.F.

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 ARCHITECTS  
 1021 Howe, Suite 101  
 Sacramento, California 95811  
 Tel: 916.441.1111  
 Fax: 916.441.1111

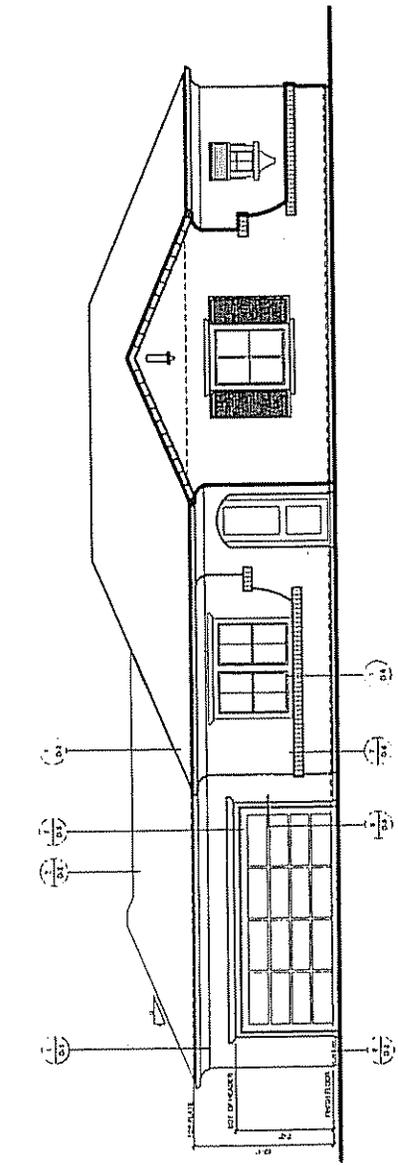
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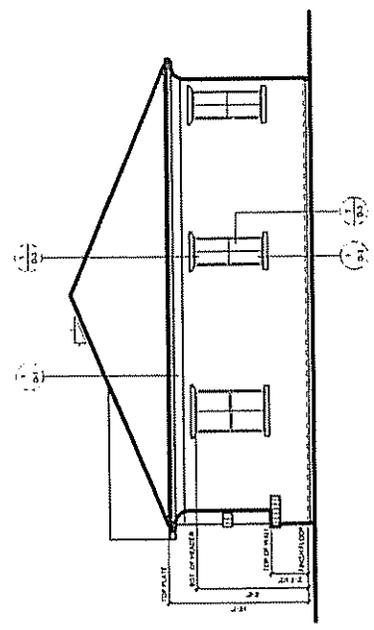
PLAN 7120  
 EXTERIOR  
 ELEVATION "A"  
 PRIVATE DRIVE

DATE  
**A2-3-7**

- KEYNOTES**
- 201 ALL WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 202 CONDUIT FOR WIRING TO BE INSTALLED PER WIRING SPECIFICATIONS
  - 203 ALL WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 204 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 205 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 206 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 207 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 208 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 209 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 210 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 211 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 212 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 213 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 214 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS
  - 215 WINDOW UNITS TO BE INSTALLED WITH 1/2" MIN. FOAM INSULATION BUILT UP PARTY WALL ASSEMBLY SPECIFICATIONS



PRIVATE DRIVE - FRONT ELEVATION A



PRIVATE DRIVE - RIGHT ELEVATION A

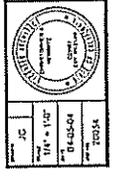




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 1221 Street, Suite 201  
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 www.p-r-a.com

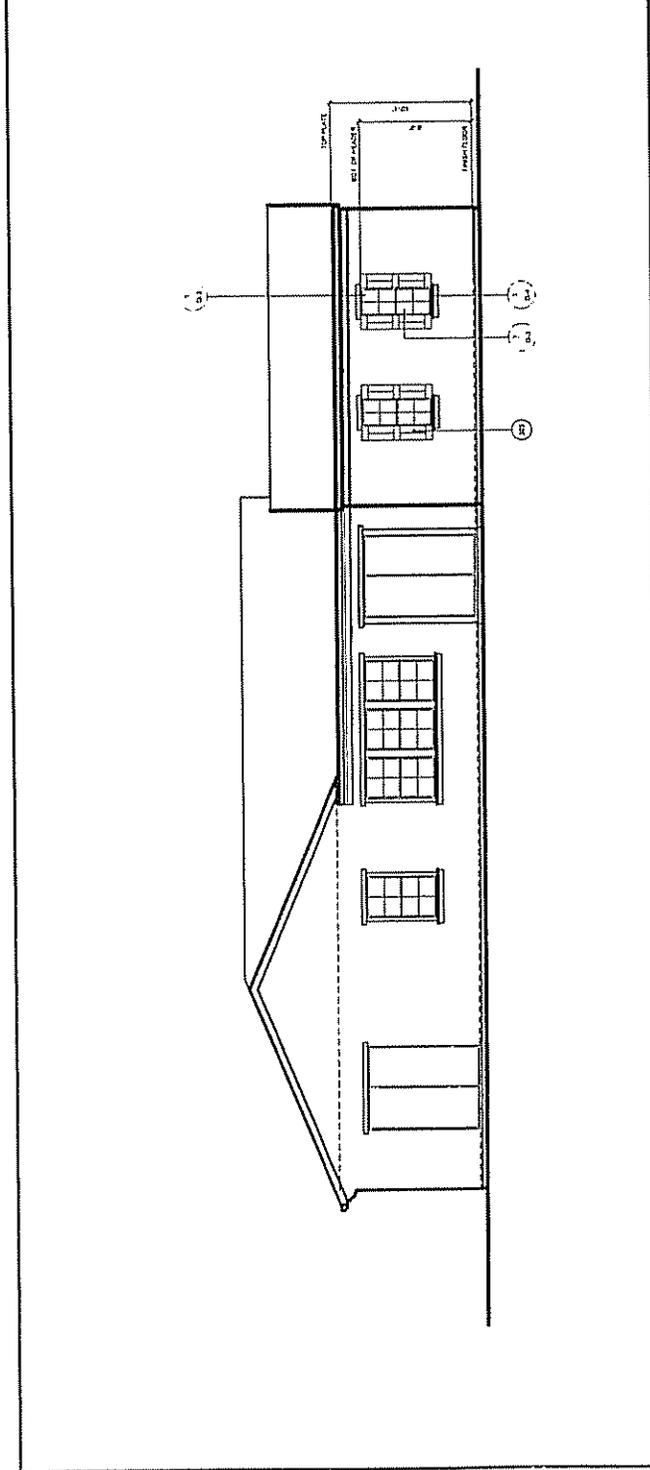
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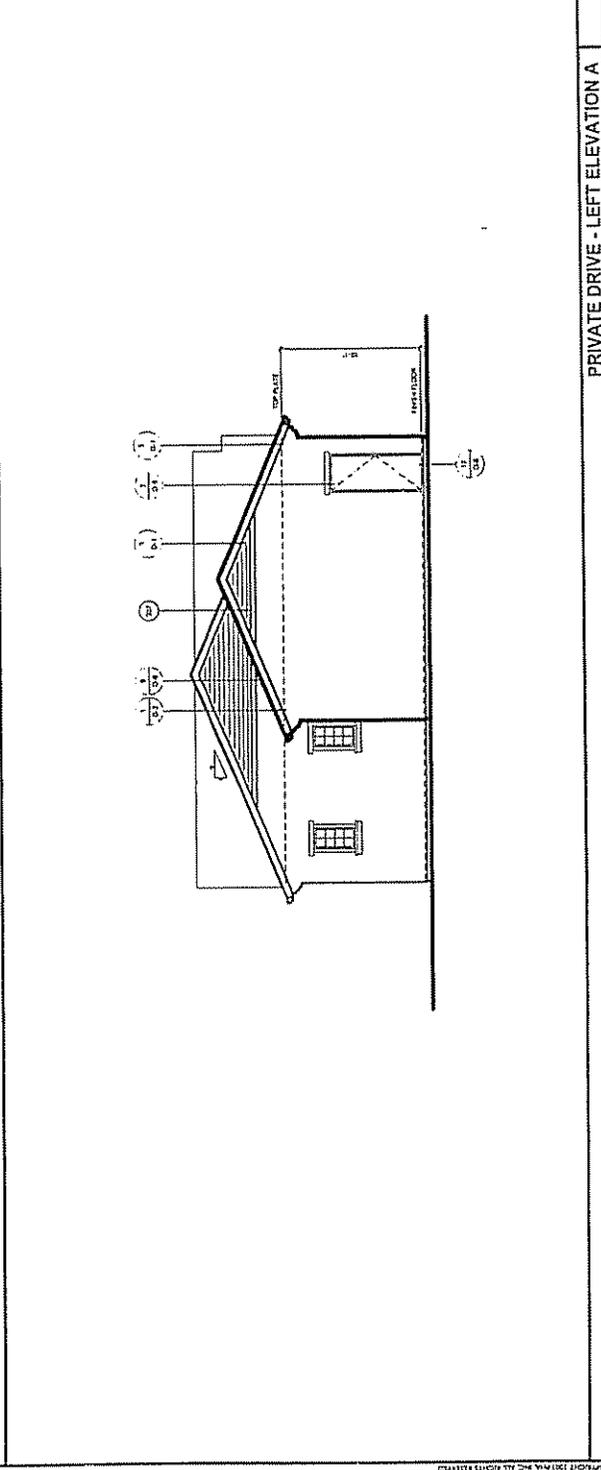
PLAN 7120  
 EXTERIOR "B"  
 ELEVATION "B"  
 PRIVATE DRIVE

SHEET  
**A2-3.10**

- KEYNOTES**
- 201 SEE NOTES REGARDING FINISHES BY ARCHITECT WITH FINISH SCHEDULE AND FINISH SCHEDULE
  - 202 CONCRETE TILE ROOFING INSTALLED PER MANUFACTURER'S SPECIFICATIONS
  - 203 MANUFACTURED STONE OR STONEHOLD COAT OR METAL FLUOROPOLYMER PAINT
  - 204 BRICK ACCENT TRIM
  - 205 SPOTTER, STYLE PER ELEVATION
  - 206 KUMARU FINISHES, METAL PER FINISH SCHEDULE
  - 207 WOOD OR COMPOSITE DECK BOARDING WITH WOOD TRIM, SEE DETAIL
  - 208 WOOD OR COMPOSITE DECK BOARDING WITH WOOD TRIM, SEE DETAIL
  - 209 1/2" FLOOR TRIM
  - 210 1" FLOOR TRIM
  - 211 1" FLOOR TRIM
  - 212 1" FLOOR TRIM
  - 213 1" FLOOR TRIM
  - 214 1" FLOOR TRIM
  - 215 1" FLOOR TRIM
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PRIVATE DRIVE - REAR ELEVATION B

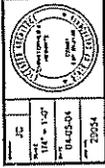
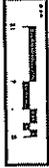


PRIVATE DRIVE - LEFT ELEVATION A

REGIS HOMES  
 ISLANDS AT RIVERLAKE  
 City of Sacramento, CA

PAKOWSKI • HEIMRITZ  
 ARCHITECTS  
 1177 J Street, Suite 111  
 Lincoln, California 95651  
 Phone: 754-1541  
 www.pakowskiheimritz.com

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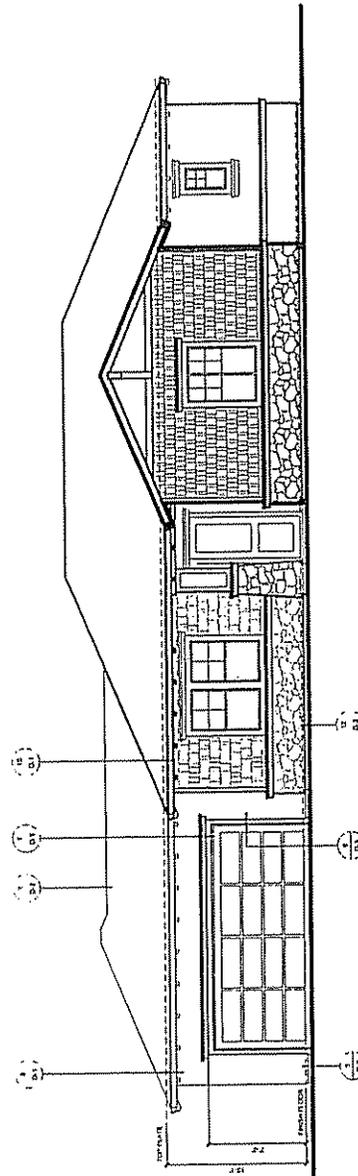


PLAN 7120  
 EXTERIOR  
 ELEVATION "C"  
 PRIVATE DRIVE

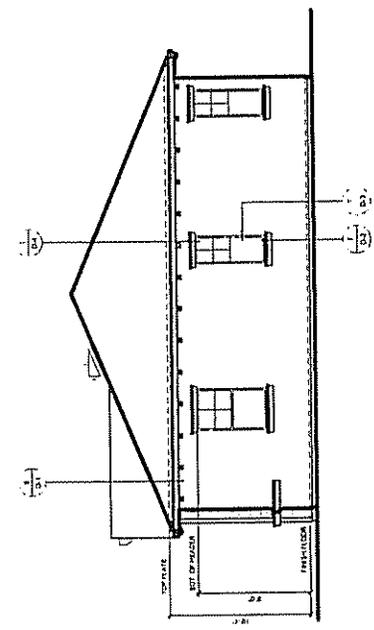
SHEET  
**A2-3.11**

**KEYNOTES**

- 101 2" X 4" STUDS PER 16" ON CENTER
- 102 2" X 6" STUDS PER 16" ON CENTER
- 103 2" X 8" STUDS PER 16" ON CENTER
- 104 2" X 10" STUDS PER 16" ON CENTER
- 105 2" X 12" STUDS PER 16" ON CENTER
- 106 2" X 14" STUDS PER 16" ON CENTER
- 107 2" X 16" STUDS PER 16" ON CENTER
- 108 2" X 18" STUDS PER 16" ON CENTER
- 109 2" X 20" STUDS PER 16" ON CENTER
- 110 2" X 22" STUDS PER 16" ON CENTER
- 111 2" X 24" STUDS PER 16" ON CENTER
- 112 2" X 26" STUDS PER 16" ON CENTER
- 113 2" X 28" STUDS PER 16" ON CENTER
- 114 2" X 30" STUDS PER 16" ON CENTER
- 115 2" X 32" STUDS PER 16" ON CENTER
- 116 2" X 34" STUDS PER 16" ON CENTER
- 117 2" X 36" STUDS PER 16" ON CENTER
- 118 2" X 38" STUDS PER 16" ON CENTER
- 119 2" X 40" STUDS PER 16" ON CENTER
- 120 2" X 42" STUDS PER 16" ON CENTER
- 121 2" X 44" STUDS PER 16" ON CENTER
- 122 2" X 46" STUDS PER 16" ON CENTER
- 123 2" X 48" STUDS PER 16" ON CENTER
- 124 2" X 50" STUDS PER 16" ON CENTER
- 125 2" X 52" STUDS PER 16" ON CENTER
- 126 2" X 54" STUDS PER 16" ON CENTER
- 127 2" X 56" STUDS PER 16" ON CENTER
- 128 2" X 58" STUDS PER 16" ON CENTER
- 129 2" X 60" STUDS PER 16" ON CENTER
- 130 2" X 62" STUDS PER 16" ON CENTER
- 131 2" X 64" STUDS PER 16" ON CENTER
- 132 2" X 66" STUDS PER 16" ON CENTER
- 133 2" X 68" STUDS PER 16" ON CENTER
- 134 2" X 70" STUDS PER 16" ON CENTER
- 135 2" X 72" STUDS PER 16" ON CENTER
- 136 2" X 74" STUDS PER 16" ON CENTER
- 137 2" X 76" STUDS PER 16" ON CENTER
- 138 2" X 78" STUDS PER 16" ON CENTER
- 139 2" X 80" STUDS PER 16" ON CENTER
- 140 2" X 82" STUDS PER 16" ON CENTER
- 141 2" X 84" STUDS PER 16" ON CENTER
- 142 2" X 86" STUDS PER 16" ON CENTER
- 143 2" X 88" STUDS PER 16" ON CENTER
- 144 2" X 90" STUDS PER 16" ON CENTER
- 145 2" X 92" STUDS PER 16" ON CENTER
- 146 2" X 94" STUDS PER 16" ON CENTER
- 147 2" X 96" STUDS PER 16" ON CENTER
- 148 2" X 98" STUDS PER 16" ON CENTER
- 149 2" X 100" STUDS PER 16" ON CENTER

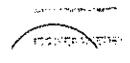


PRIVATE DRIVE - FRONT ELEVATION C



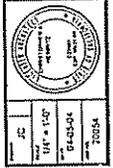
PRIVATE DRIVE - RIGHT ELEVATION C

REGIS HOMES  
 ISLANDS AT RIVERLAKE  
 City of Sacramento, CA



PACKOWSKI • HEINRITZ  
 ASSOCIATES  
 ARCHITECTURAL  
 CONSULTANTS  
 1011 Lewis Ave. Ste. 100  
 Sacramento, CA 95834  
 Tel: 916/441-1111  
 Fax: 916/441-1111  
 www.regishomes.com

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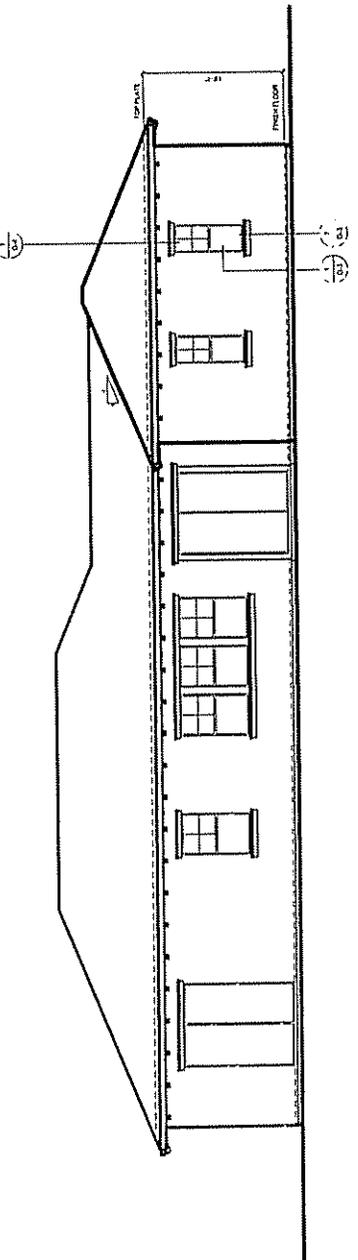


PLAN 7120  
 EXTERIOR "C"  
 ELEVATION "C"  
 PRIVATE DRIVE

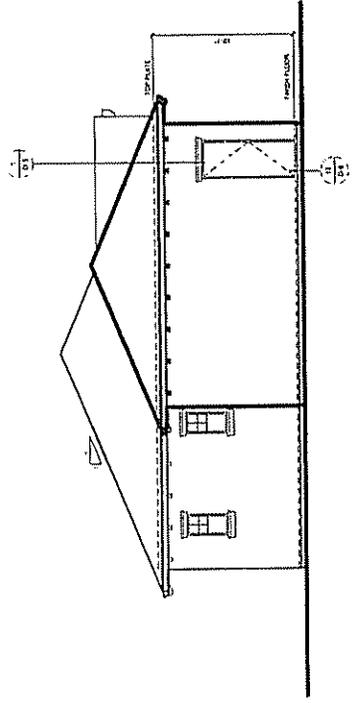
SHEET  
**A2-3.12**

**KEYNOTES**

- K1. SEE EXTERIOR ELEVATION "A" AND "B" FOR FINISHES AND MATERIALS.
- K2. CONCRETE TILE ROOFING INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- K3. MAKE UP ROOFING SYSTEM TO MATCH EXISTING.
- K4. INTERLOCK TILE PER ELEVATION.
- K5. SANDWICH PANELS, RIGID PER INSULATION.
- K6. INSULATION GRANULES FILL GAPS BY WOOD TRIM. SEE DETAIL.
- K7. MAKE UP GRANULES TO MATCH EXISTING GRANULES.
- K8. TRIM TO MATCH.
- K9. GUTTER, SEE DETAIL ON ELEVATION "A".
- K10. GUTTER, SEE DETAIL ON ELEVATION "A".
- K11. GUTTER, SEE DETAIL ON ELEVATION "A".
- K12. GUTTER, SEE DETAIL ON ELEVATION "A".
- K13. GUTTER, SEE DETAIL ON ELEVATION "A".
- K14. GUTTER, SEE DETAIL ON ELEVATION "A".
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- K16. GUTTER, SEE DETAIL ON ELEVATION "A".
- K17. GUTTER, SEE DETAIL ON ELEVATION "A".
- K18. GUTTER, SEE DETAIL ON ELEVATION "A".
- K19. GUTTER, SEE DETAIL ON ELEVATION "A".
- K20. GUTTER, SEE DETAIL ON ELEVATION "A".
- K21. GUTTER, SEE DETAIL ON ELEVATION "A".
- K22. GUTTER, SEE DETAIL ON ELEVATION "A".
- K23. GUTTER, SEE DETAIL ON ELEVATION "A".
- K24. GUTTER, SEE DETAIL ON ELEVATION "A".
- K25. GUTTER, SEE DETAIL ON ELEVATION "A".
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- K39. GUTTER, SEE DETAIL ON ELEVATION "A".
- K40. GUTTER, SEE DETAIL ON ELEVATION "A".
- K41. GUTTER, SEE DETAIL ON ELEVATION "A".
- K42. GUTTER, SEE DETAIL ON ELEVATION "A".
- K43. GUTTER, SEE DETAIL ON ELEVATION "A".
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- K48. GUTTER, SEE DETAIL ON ELEVATION "A".
- K49. GUTTER, SEE DETAIL ON ELEVATION "A".
- K50. GUTTER, SEE DETAIL ON ELEVATION "A".



PRIVATE DRIVE - REAR ELEVATION C



PRIVATE DRIVE - LEFT ELEVATION C



# REGIS HOMES

## ISLANDS AT RIVERLAKE

City of Sacramento, CA

PACKED BY: QUANTZ  
 ADDRESS: POCKET RD  
 CONTRACT NO: 1057  
 10215 Pocket Rd, #101  
 Sacramento, CA 95828  
 TEL: 916.487.1111  
 FAX: 916.487.1112  
 WWW: QUANTZ.COM

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PLAN 5713  
 2-19-04  
 2024

PLAN 5713  
 UPPER LEVEL  
 FLOOR PLAN  
 POCKET ROAD

1057 SQ. FT.

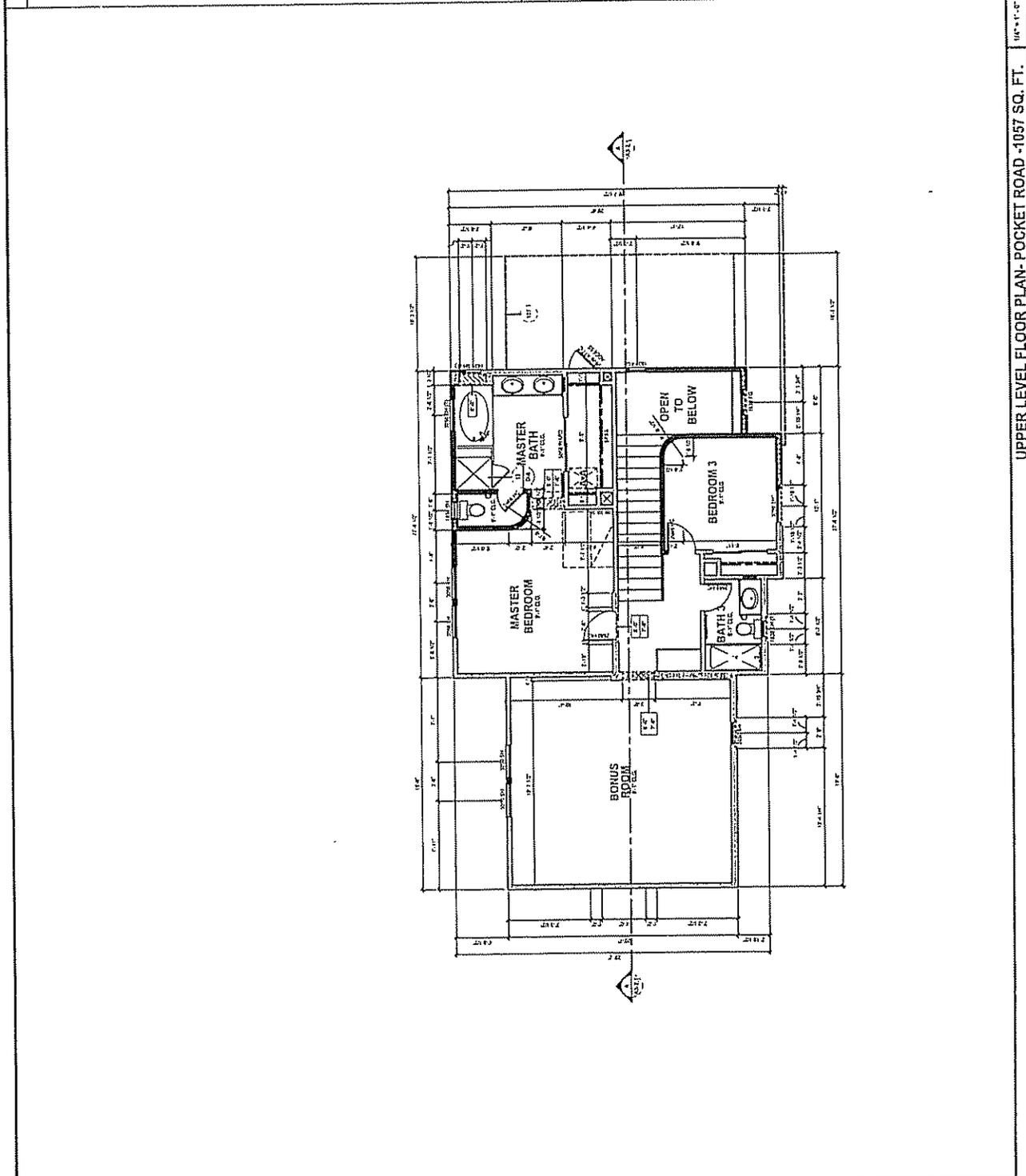
# A3a-1.2

### KEYNOTES

- 101 MANUFACTURED FROM MANUFACTURER'S SPECIFICATIONS
- 102 FLOORING BY TYPE 'B' OR 'B' DIVISION
- 103 WALLS BY TYPE 'B' OR 'B' DIVISION
- 104 CEILING BY TYPE 'B' OR 'B' DIVISION
- 105 ALL FINISHES SHALL BE AS SHOWN ON SHEETS UNLESS OTHERWISE NOTED AT POINT ACCESS
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### PLAN LEGEND

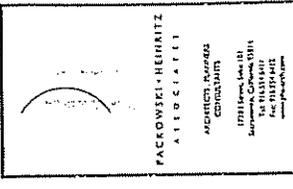
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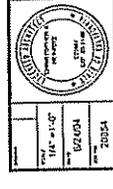
UPPER LEVEL FLOOR PLAN - POCKET ROAD - 1057 SQ. FT. 1057-1.2



REGIS HOMES  
ISLANDS AT RIVERLAKE  
City of Sacramento, CA



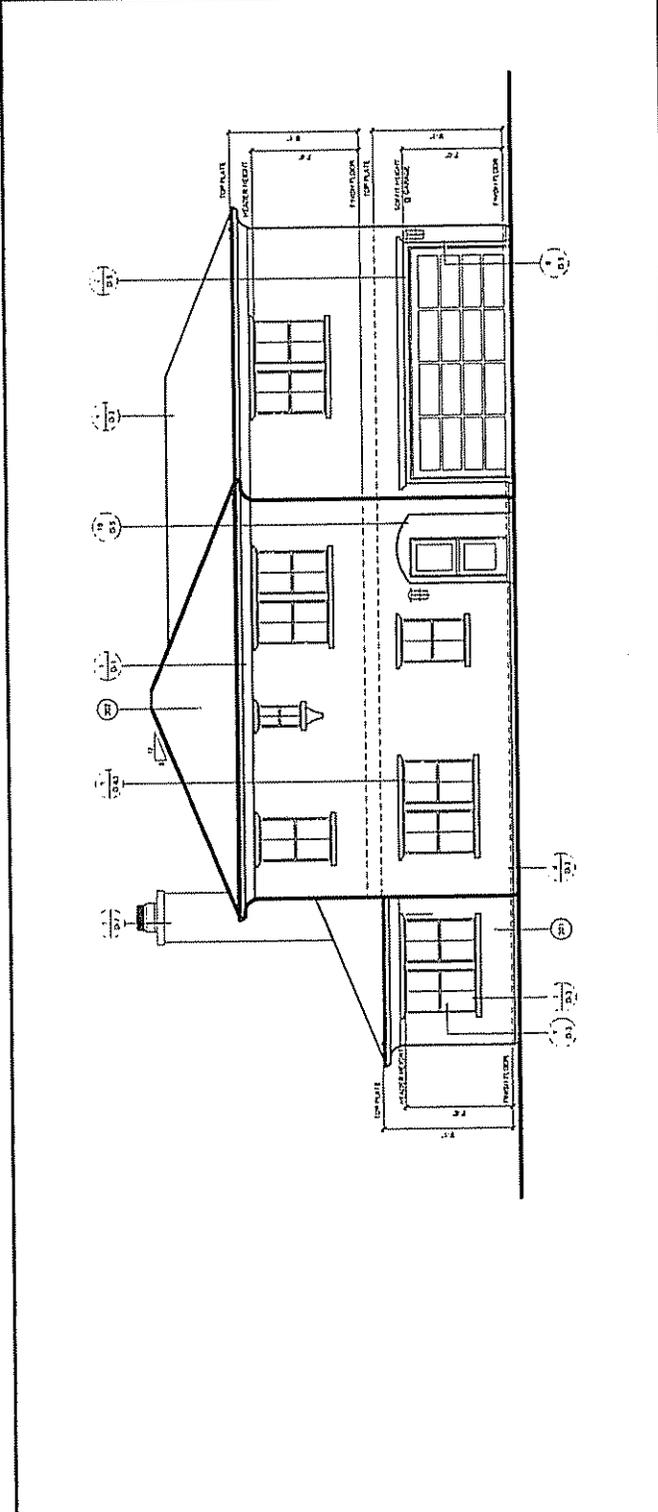
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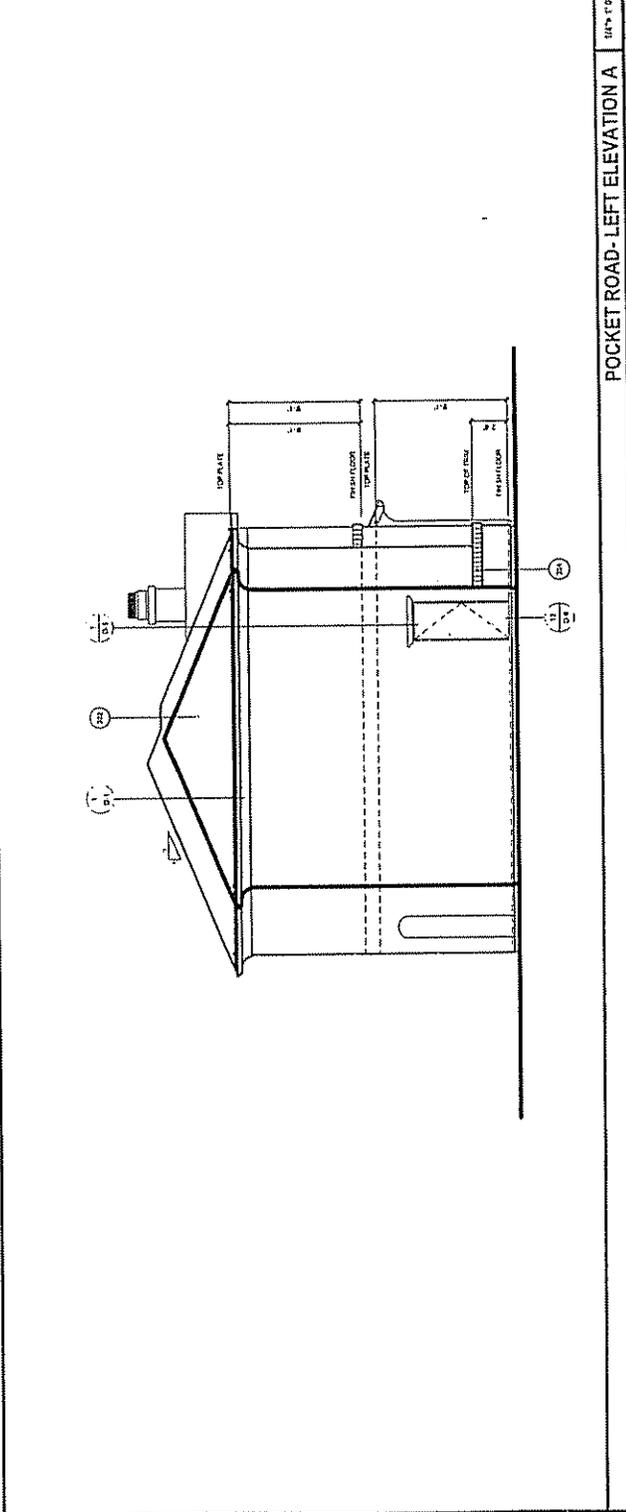
PLAN 5713  
EXTERIOR A  
ELEVATION A  
POCKET ROAD

SHEET  
A3a-3.2

- KEYNOTES**
- 201 3/4" EXTENSION LIGHT PLASTER OVER GYPSUM LATH
  - 202 1/2" PLANK, FORM BOARD OR BIRD'S EYE PAPER
  - 203 ADVANCE TILE ROOFING INSTALLED PER MANUFACTURER'S SPECIFICATIONS
  - 204 MANUFACTURER'S BLDG. OR ROOFING CONTRACTOR TO VERIFY ALL DIMENSIONS
  - 205 BRICK ACCENT TRIM
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POCKET ROAD- REAR ELEVATION A 1/8" = 1'-0"

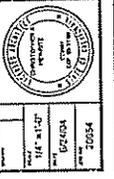


POCKET ROAD- LEFT ELEVATION A 1/8" = 1'-0"

REGIS HOMES  
ISLANDS AT RIVERLAKE  
City of Sacramento, CA

PACKOWSKI-HEINRITZ  
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www.p-h-a.com

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PLAN 5713  
EXTERIOR B  
POCKET ROAD

SHEET  
A3a-3.3

**KEYNOTES**

201 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

202 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

203 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

204 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

205 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

206 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

207 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

208 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

209 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

210 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

211 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

212 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

213 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

214 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

215 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

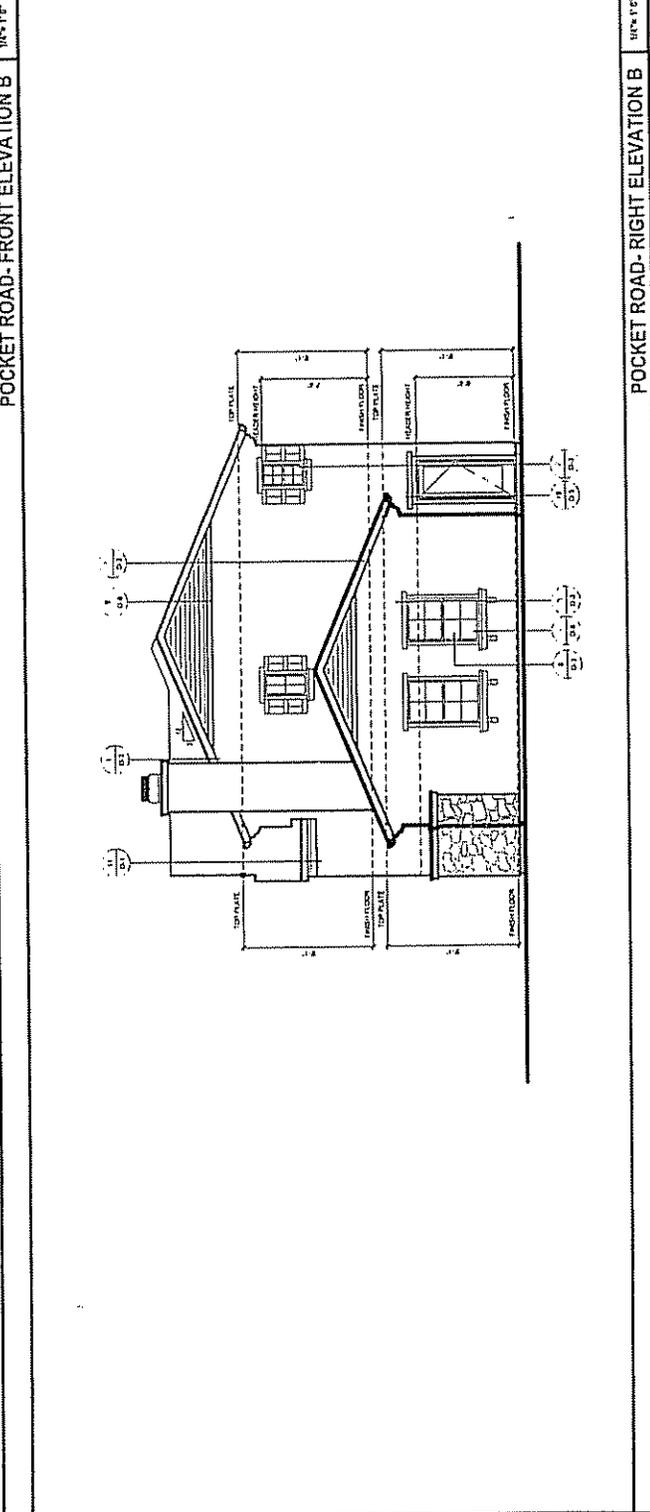
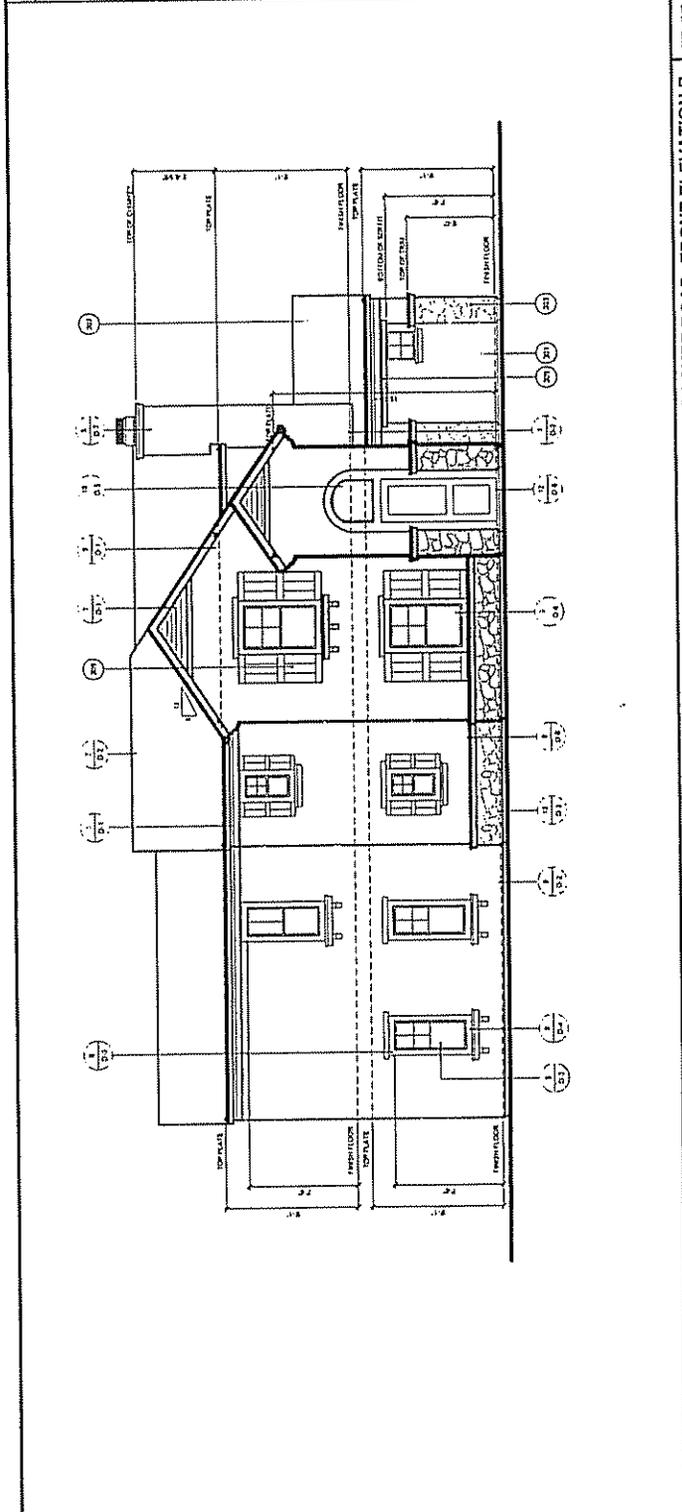
216 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

217 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

218 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

219 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER

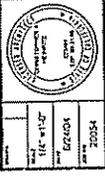
220 2" X 4" EXTENSION BEAMS AT FINISH FLOOR LEVEL, LATH & PLASTER OVER EDGES OF RISER, PAPER



REGIS HOMES  
ISLANDS AT RIVERLAKE  
City of Sacramento, CA

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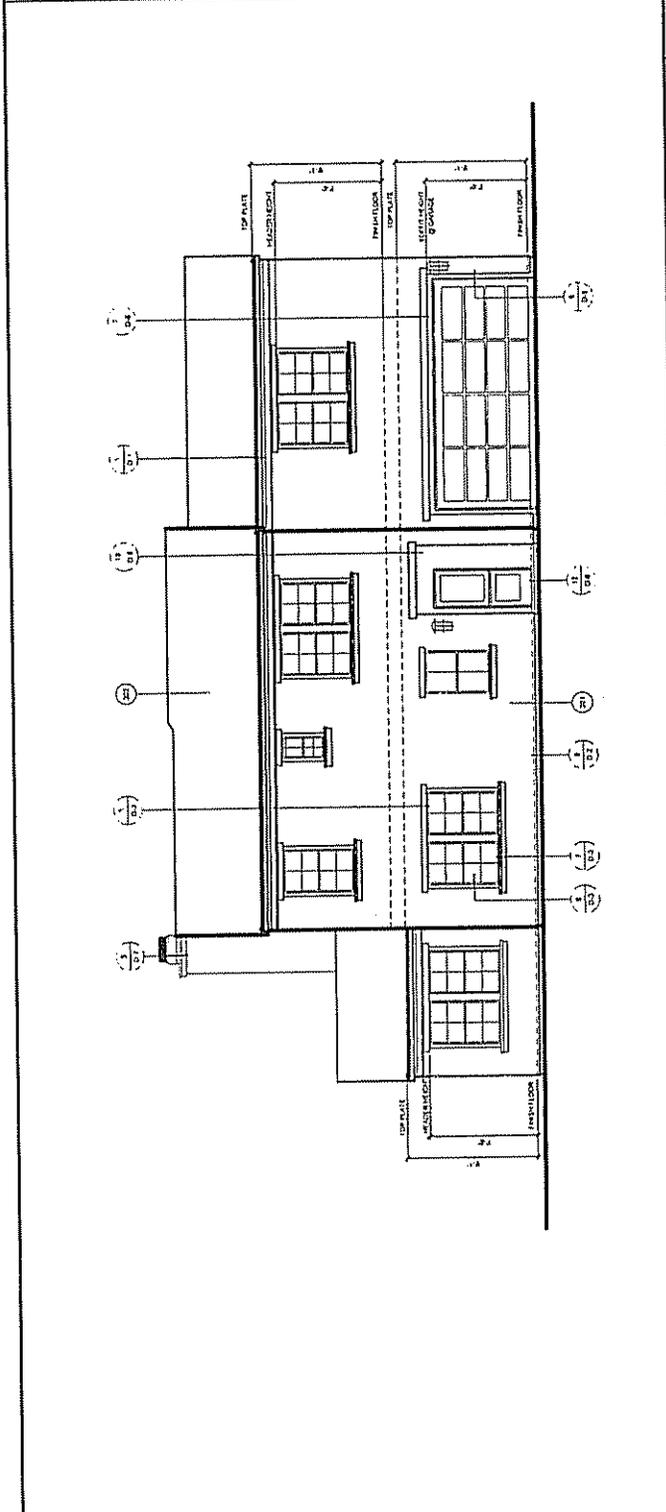
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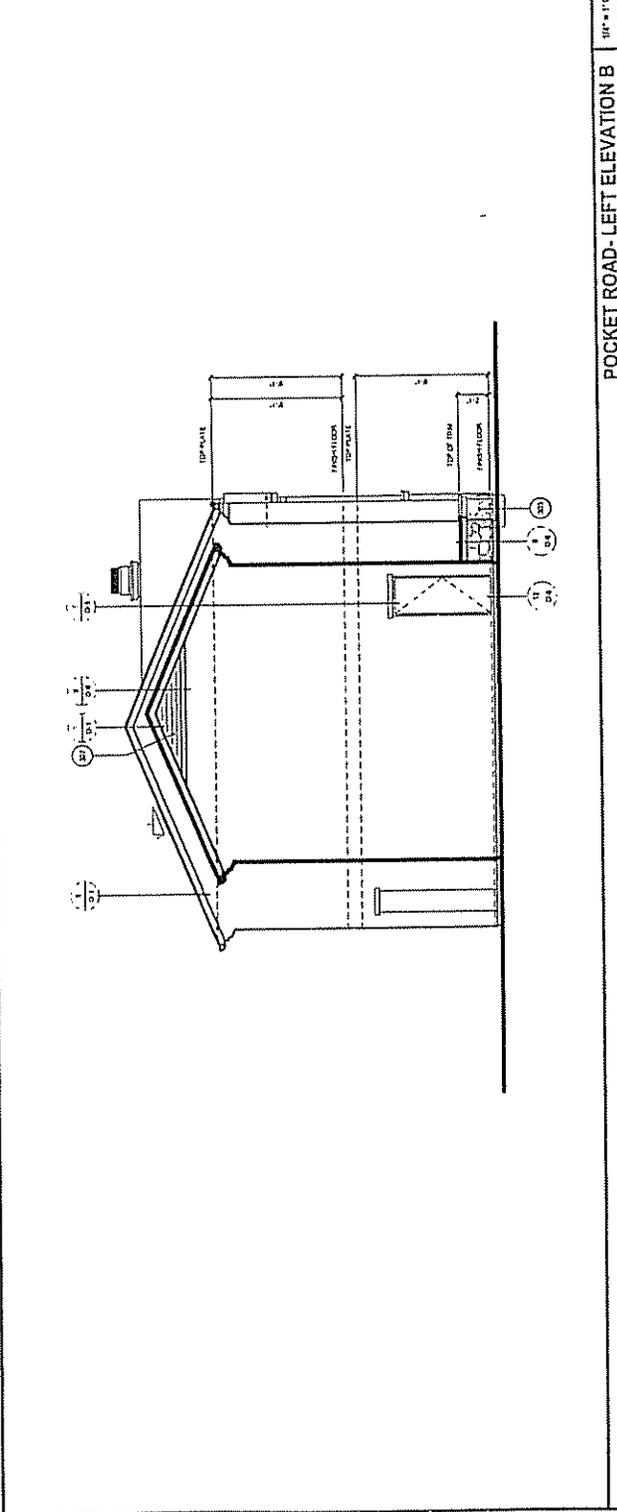
PLAN 5713  
EXTERIOR  
ELEVATION B  
POCKET ROAD

SHEET  
**A3a-3.4**

- KEYNOTES**
- X01 1/2" HIGH STUCK OUTSANDING WALL
  - X02 1/2" HIGH STUCK OUTSANDING WALL
  - X03 1/2" HIGH STUCK OUTSANDING WALL
  - X04 1/2" HIGH STUCK OUTSANDING WALL
  - X05 1/2" HIGH STUCK OUTSANDING WALL
  - X06 1/2" HIGH STUCK OUTSANDING WALL
  - X07 1/2" HIGH STUCK OUTSANDING WALL
  - X08 1/2" HIGH STUCK OUTSANDING WALL
  - X09 1/2" HIGH STUCK OUTSANDING WALL
  - X10 1/2" HIGH STUCK OUTSANDING WALL
  - X11 1/2" HIGH STUCK OUTSANDING WALL
  - X12 1/2" HIGH STUCK OUTSANDING WALL
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  - X14 1/2" HIGH STUCK OUTSANDING WALL
  - X15 1/2" HIGH STUCK OUTSANDING WALL
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  - X47 1/2" HIGH STUCK OUTSANDING WALL
  - X48 1/2" HIGH STUCK OUTSANDING WALL
  - X49 1/2" HIGH STUCK OUTSANDING WALL
  - X50 1/2" HIGH STUCK OUTSANDING WALL



POCKET ROAD- REAR ELEVATION B 3/8" = 1'-0"



POCKET ROAD- LEFT ELEVATION B 3/8" = 1'-0"



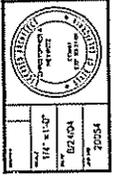
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ARCHITECTS

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1115 L Street, Suite 101  
Sacramento, California, 95811  
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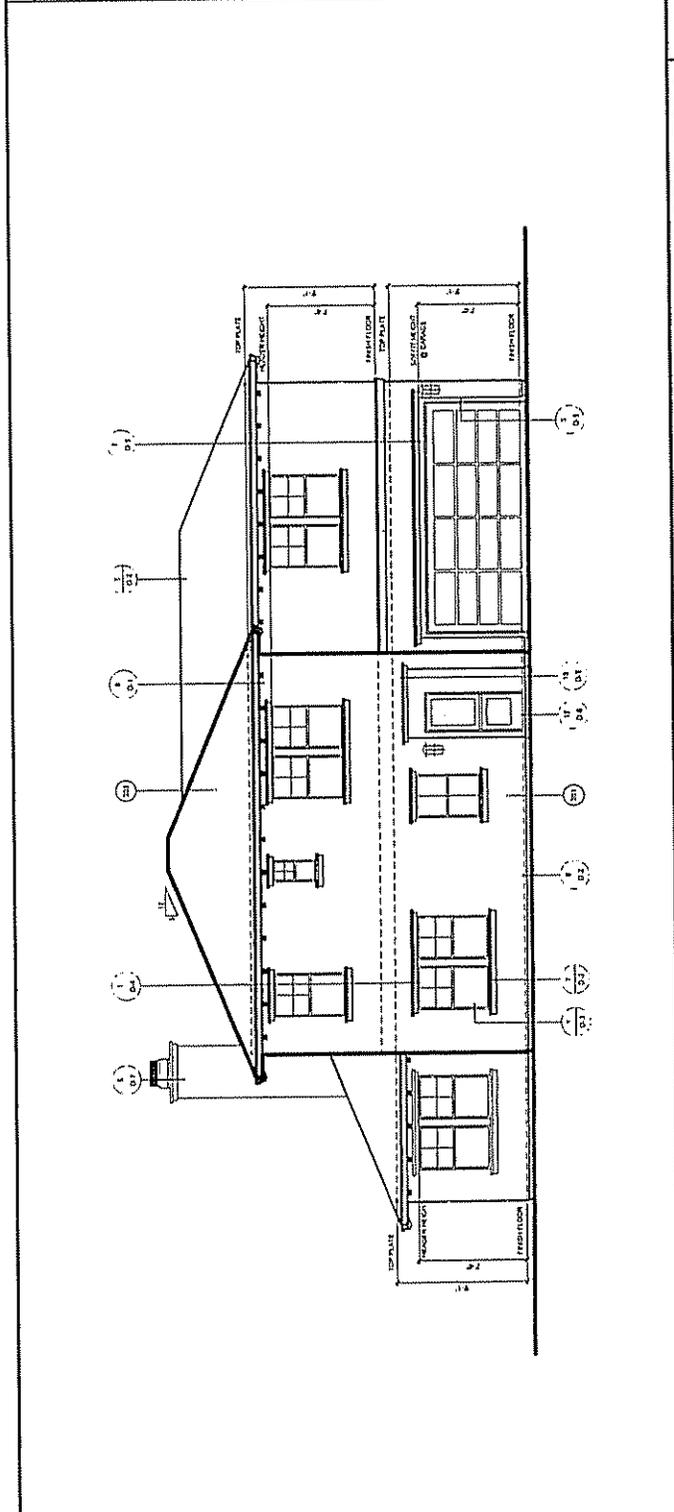
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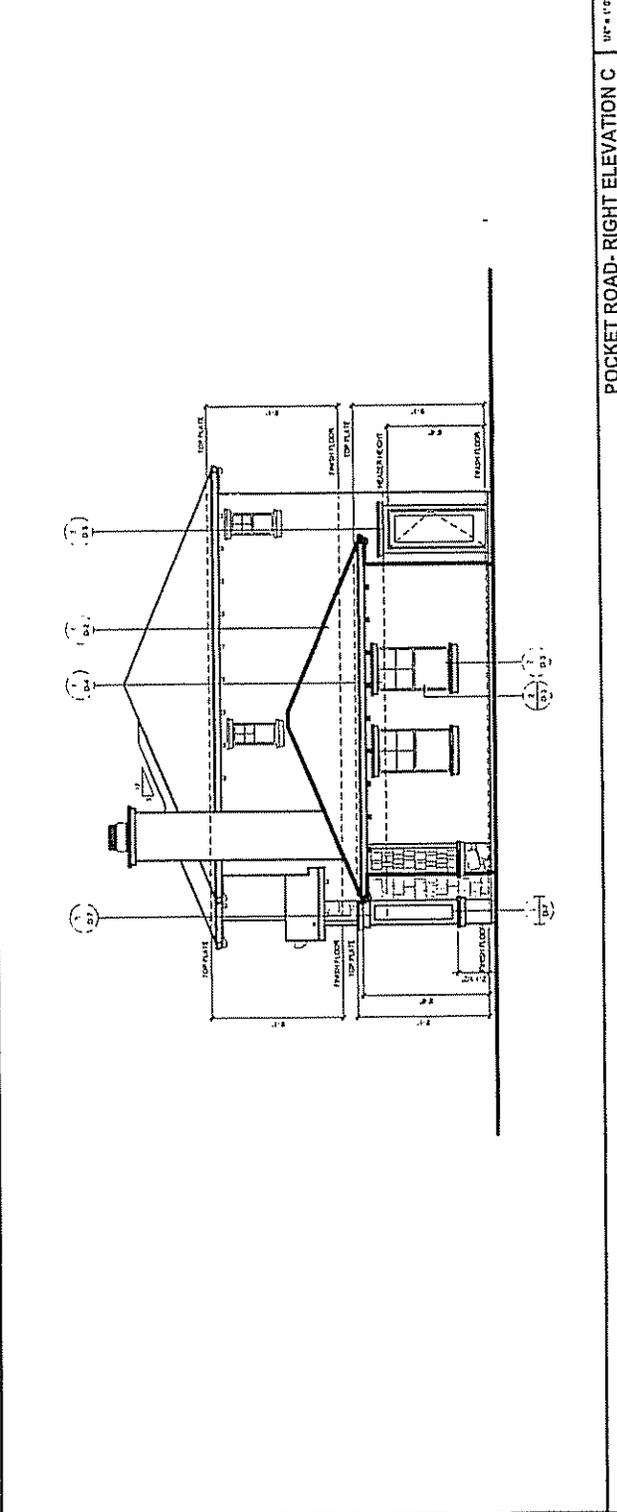
PLAN 5713  
EXTERIOR  
ELEVATION C  
POCKET ROAD

SHEET  
**A3a-3.6**

- KEYNOTES**
- 201 ALL METAL FASTENERS SHALL BE GALVANNEAL COATED TO PREVENT CORROSION.
  - 202 CONCRETE FILL SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - 203 MANUFACTURED BLOCKS OF IDENTICAL COAT OF METAL FINISH TO BE USED.
  - 204 BRICK AS SHOWN.
  - 205 MAGNETAL STEEL FOR ELEVATION.
  - 206 BRICKLAYER SHALL SET MARK.
  - 207 ALL METAL FASTENERS SHALL BE GALVANNEAL COATED TO PREVENT CORROSION.
  - 208 BRICK TO BE SET PER MANUFACTURER'S DETAILS.
  - 209 2x8 PLUM TRIM.
  - 210 2x12 PLUM TRIM WITH CORONATE CURVE. SEE DIMENSIONS ON ELEVATION.
  - 211 ALL 2x8 PLUM TRIM.
  - 212 2x8 PLUM TRIM.
  - 213 2x8 PLUM TRIM.
  - 214 ALL CORNER BRICKS TO BE SET PER MANUFACTURER'S DETAILS.



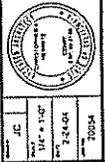
POCKET ROAD - REAR ELEVATION C 1/8" = 1'-0"



POCKET ROAD - RIGHT ELEVATION C 1/8" = 1'-0"

PLAN 5713  
EXT. ELEV. "A"  
OPTIONS  
PRIVATE DRIVE

PROJECT  
**A3a-3.7**



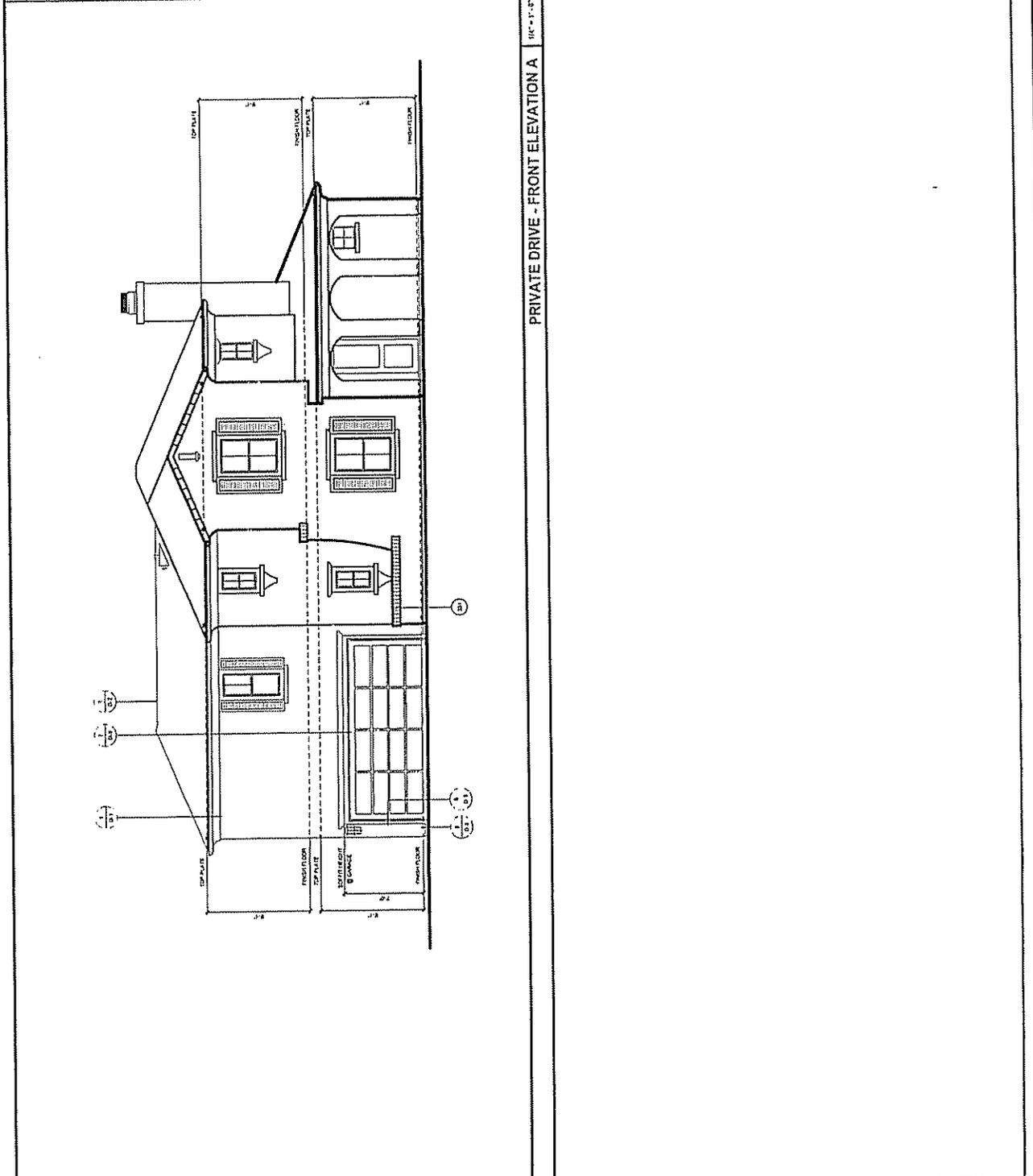
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LIVABLE AREA - 2,034 S.F.

- KEYNOTES**
- 201 ALL INTERIORS SHALL BE FINISHED WITH 1/2" THICK POLISHED CONCRETE SLAB ON GRADE.
  - 202 CONCRETE SHALL BE FINISHED TO MEET ALL MANUFACTURER'S SPECIFICATIONS.
  - 203 WALLS ABOVE STOVE OR SINK TO BE FINISHED WITH 1/2" THICK POLISHED CONCRETE.
  - 204 BRICK ACCENT TRIM.
  - 205 SKIRTED TILE FOR ELEVATION.
  - 206 WOOD PAINTS WITH 1/2" PAINT W/1/4" BRICK OR CONCRETE FOR W/1/4" BRICK W/1/4" BRICK TRIM, SEE DETAIL.
  - 207 WOOD OR BRICK TRIM TO MATCH EXISTING TRIM.
  - 208 WOOD OR BRICK TRIM TO MATCH EXISTING TRIM.
  - 209 2" POLYURETHANE INSULATION WITH 1/2" POLYURETHANE INSULATION.
  - 210 1/2" POLYURETHANE INSULATION WITH 1/2" POLYURETHANE INSULATION.
  - 211 1/2" POLYURETHANE INSULATION WITH 1/2" POLYURETHANE INSULATION.
  - 212 1/2" POLYURETHANE INSULATION WITH 1/2" POLYURETHANE INSULATION.
  - 213 1/2" POLYURETHANE INSULATION WITH 1/2" POLYURETHANE INSULATION.
  - 214 1/2" POLYURETHANE INSULATION WITH 1/2" POLYURETHANE INSULATION.



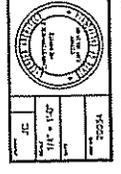
PRIVATE DRIVE - FRONT ELEVATION A 1/4" = 1'-0"



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 ISLANDS AT RIVERLAKE  
 City of Sacramento CA

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 ARCHITECTS  
 1721 (West) 4th St. #101  
 Sacramento, California 95811  
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 www.andretti-marini.com

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PLAN 5720  
 UPPER LEVEL  
 FLOOR PLAN  
 POCKET ROAD

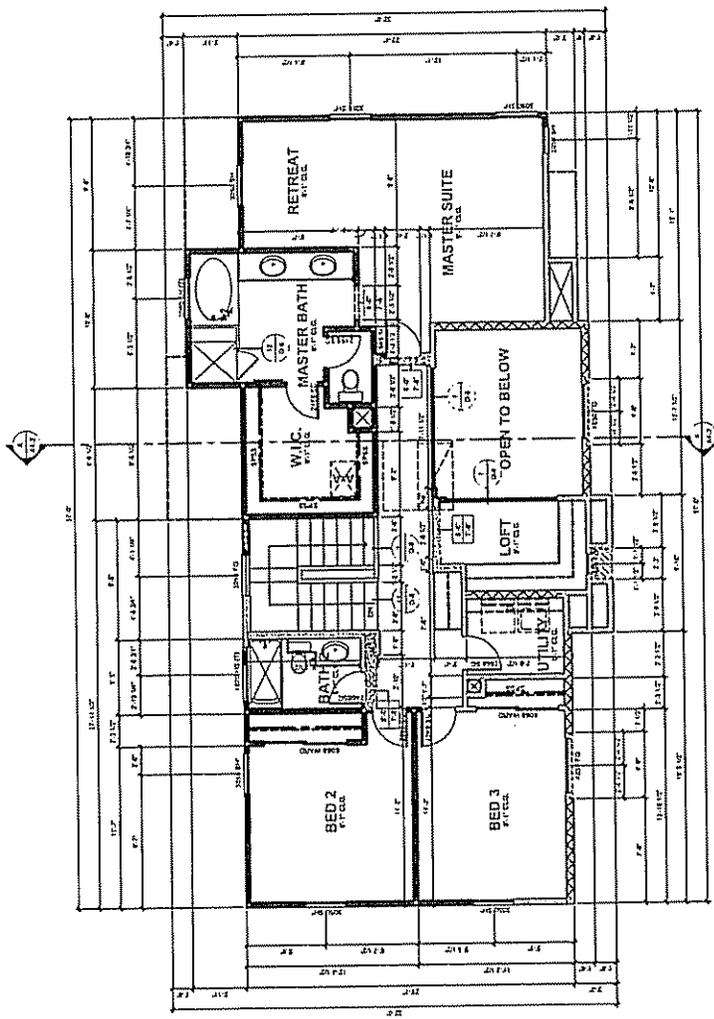
SHEET  
**A4-1.2**

**KEYNOTES**

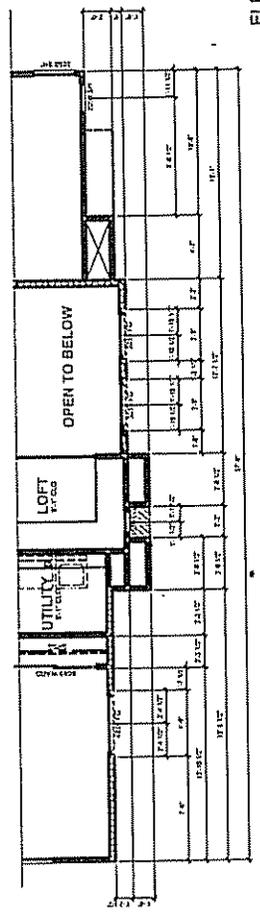
101. ALL WORK SHALL BE IN ACCORDANCE WITH THE PERMITS.
102. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMITS.
103. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMITS.
104. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMITS.
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113. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMITS.

**PLAN LEGEND**

- KEY: RETREAT, MASTER SUITE, LOFT, BED 2, BED 3, BATH, W.I.C., MASTER BATH, UTILITY, OPEN TO BELOW, POCKET ROAD
- WATER: WATER, WASTE WATER, SINK, TUB, SHOWER, TOILET, URINAL, SLOPE
- PLUMBING: VALVE, CLEAN OUT, SUMP PUMP, SLOPE
- ELECTRICAL: SWITCH, RECEPTACLE, LIGHT FIXTURE, DIMMER, GFI, SLOPE
- Mechanical: FAN, SLOPE
- Other: WINDOW, DOOR, STAIR, RAMP, BALUSTRADE, SLOPE



ELEVATION A AND C



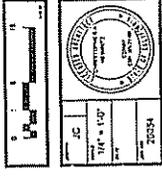
ELEVATION B

POCKET ROAD UPPER LEVEL FLOOR PLAN - 1,219 S.F.

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 FAX: 415.863.1112  
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PLAN 5720  
 EXTERIOR  
 ELEVATION "A"  
 POCKET ROAD

PROJECT  
**A4-3.1**

**KEYNOTES**

301. SEE EXISTING ELEVATION FOR MATERIALS OF FINISH, DIMENSIONS OF EXISTING WORK, AND LOCATIONS OF EXISTING WORK.

302. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN FEET AND INCHES.

303. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

304. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

305. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

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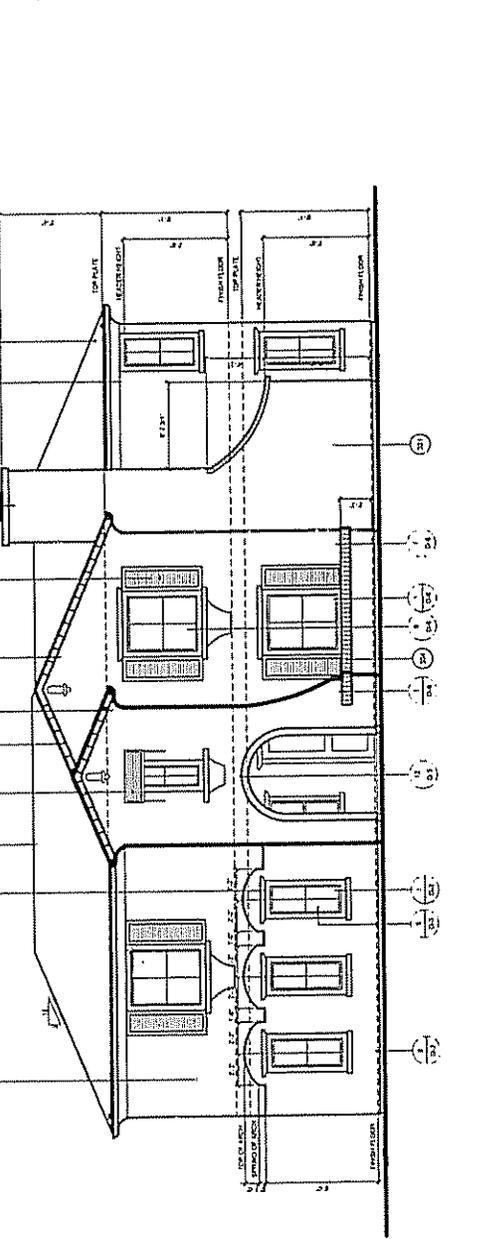
310. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

311. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

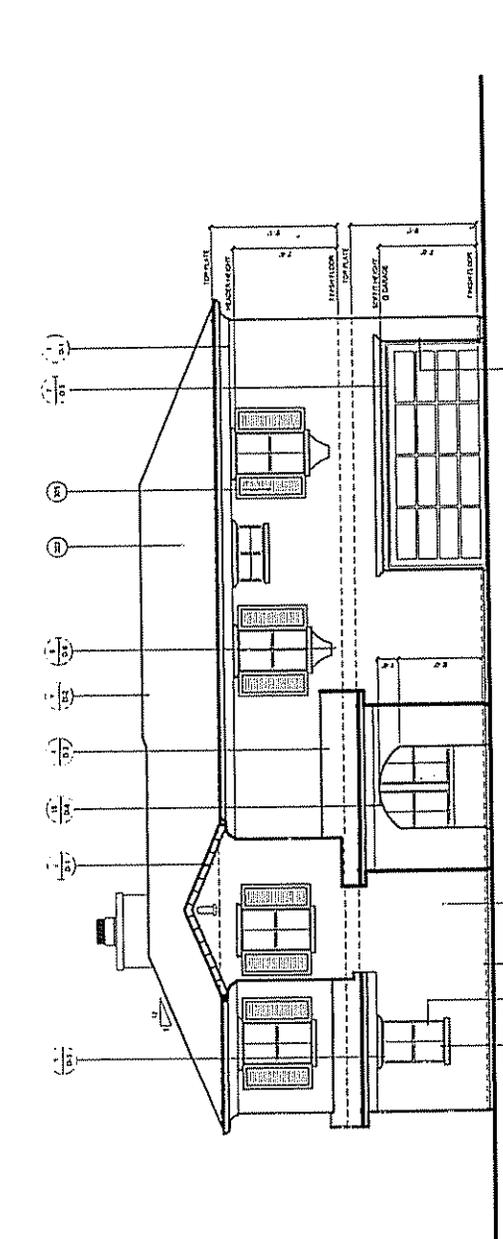
312. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

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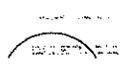


POCKET ROAD - FRONT ELEVATION A



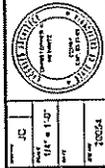
POCKET ROAD - REAR ELEVATION A

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www.pakowksi.com

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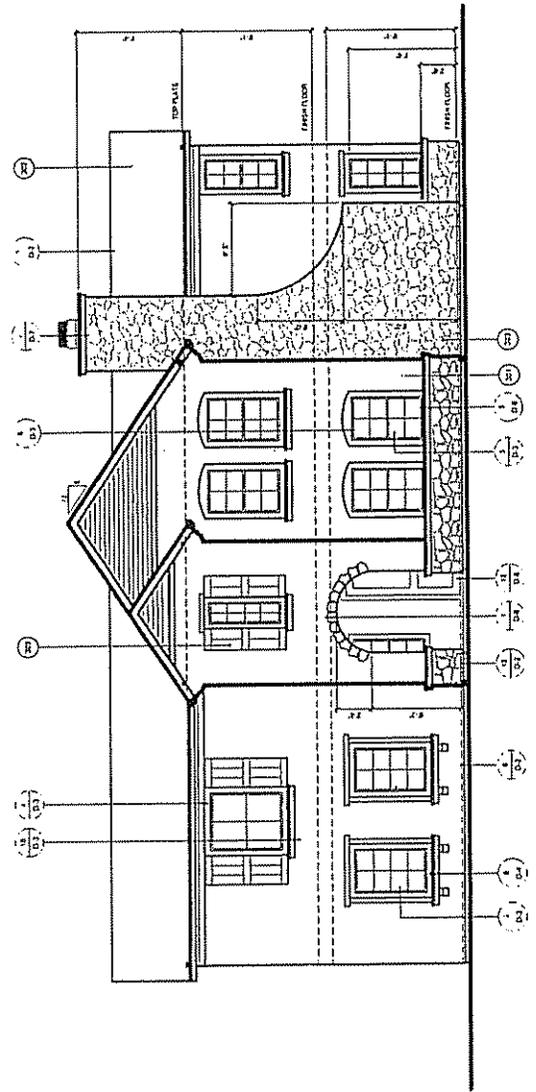


PLAN 5720  
EXTERIOR  
ELEVATION "B"  
POCKET ROAD

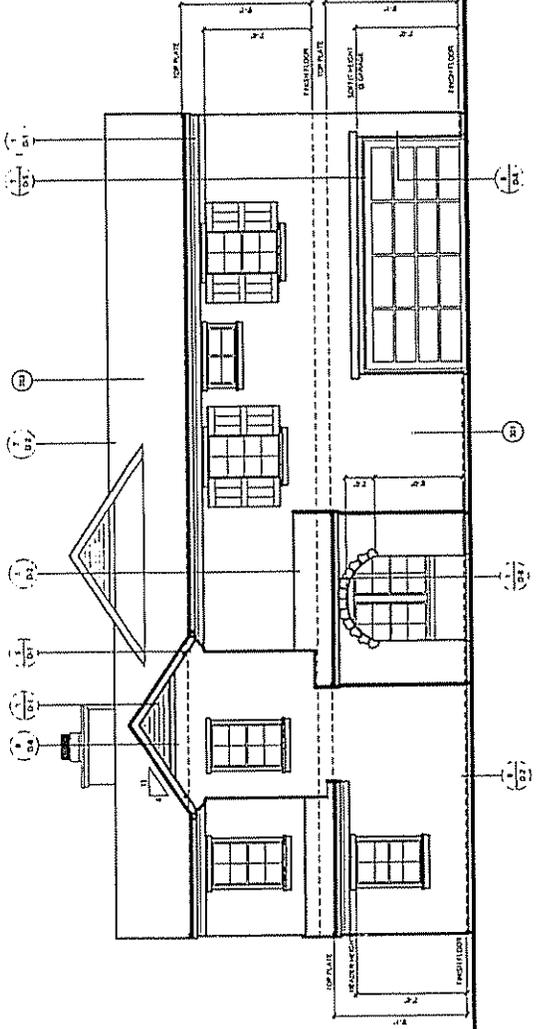
SHEET  
**A4-3.3**

**KEYNOTES**

- 201 ALL EXTERIOR SURFACES SHALL BE INSTALLED ON A 1/2" MIN. THICK BOARD OF BIRD PANEL.
- 202 CONCRETE TILE ROOFING SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 203 MANUFACTURED STOVE OR HEARTH SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 204 BRICK ACCENT TRIM.
- 205 BRICKTILES, 3"X6" PER ELEVATION.
- 206 BRICKWORK, MATCHING PER ELEVATION.
- 207 MATCH OR COORDINATED PER ELEVATION OR MANUFACTURER'S SPECIFICATIONS.
- 208 MATCH OR COORDINATED PER ELEVATION OR MANUFACTURER'S SPECIFICATIONS.
- 209 2"X4" FLOOR TRIM.
- 210 1"X4" FLOOR TRIM OR EQUIVALENT.
- 211 1/2" X 4" X 1/4" WOOD TRIM.
- 212 2" X 4" FLOOR TRIM.
- 213 1/4" X 4" X 1/4" WOOD TRIM.
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POCKET ROAD - FRONT ELEVATION B



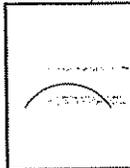
POCKET ROAD - REAR ELEVATION B





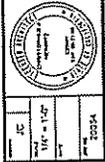


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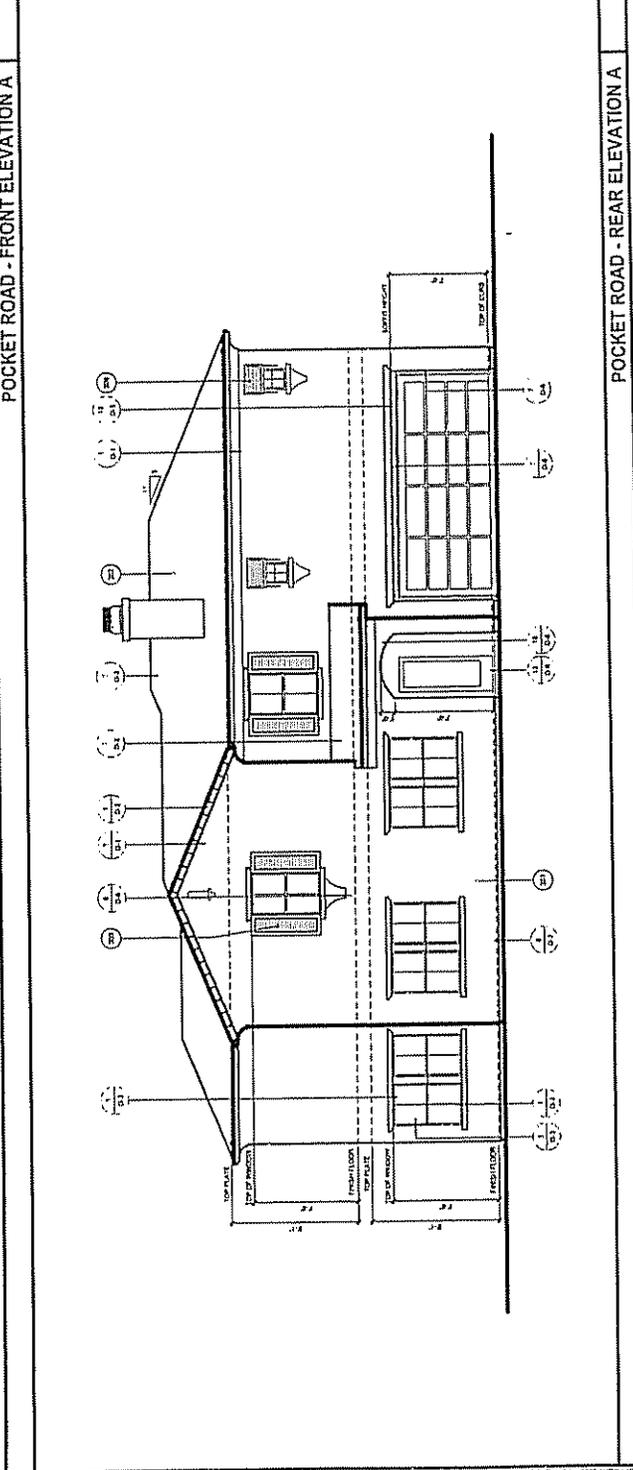
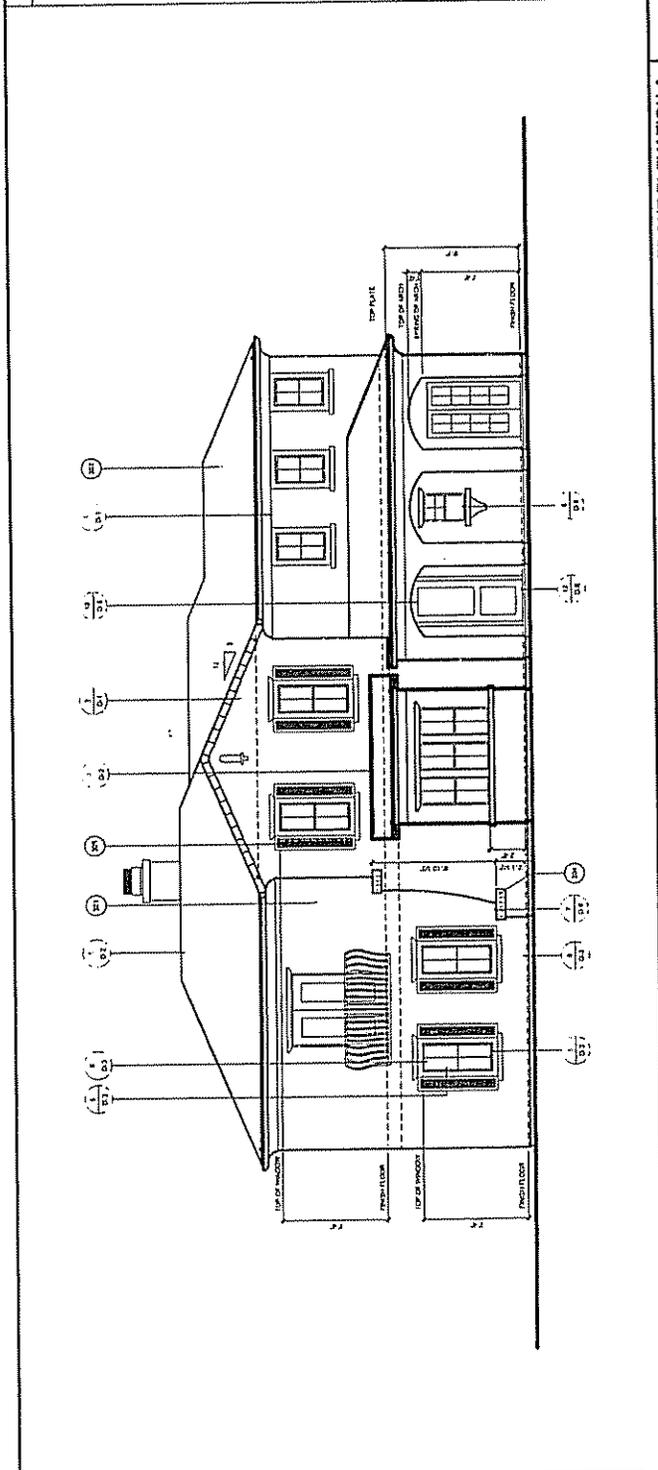
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PLAN 5730  
EXTERIOR  
ELEVATION "A"  
POCKET ROAD

SHEET  
**A5-3.1**

- KEYNOTES**
- X01 SEE SECTION FOR MATERIALS LIST
  - X02 FINISHES TO BE SHOWN ON ALL ELEVATIONS
  - X03 FINISHES TO BE SHOWN ON ALL ELEVATIONS
  - X04 FINISHES TO BE SHOWN ON ALL ELEVATIONS
  - X05 FINISHES TO BE SHOWN ON ALL ELEVATIONS
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# REGIS HOMES ISLANDS AT RIVERLAKE

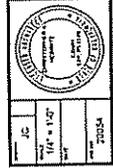
City of Sacramento, CA

**PACKOWSKI • HEINRITZ**  
4118 ELIOTT

ARCHITECTS • PLANNERS  
CONTRACTORS

1015 H Street, Suite 101  
Sacramento, California 95811  
TEL: 916.441.1111  
WWW.PACKOWSKIHEINRITZ.COM

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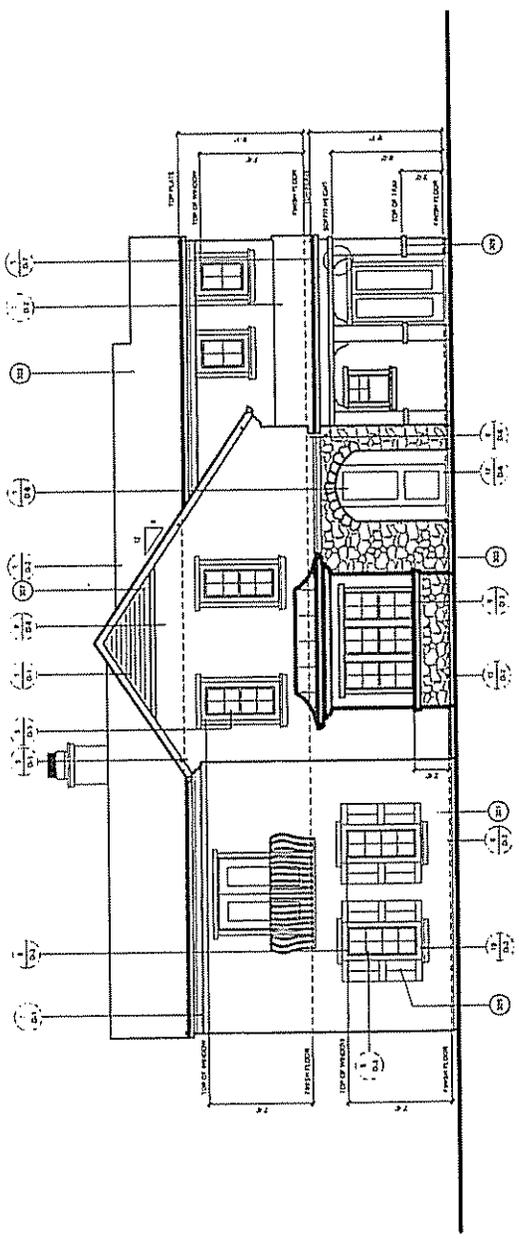
**PLAN 5730**

**EXTERIOR  
ELEVATION "B"  
POCKET ROAD**

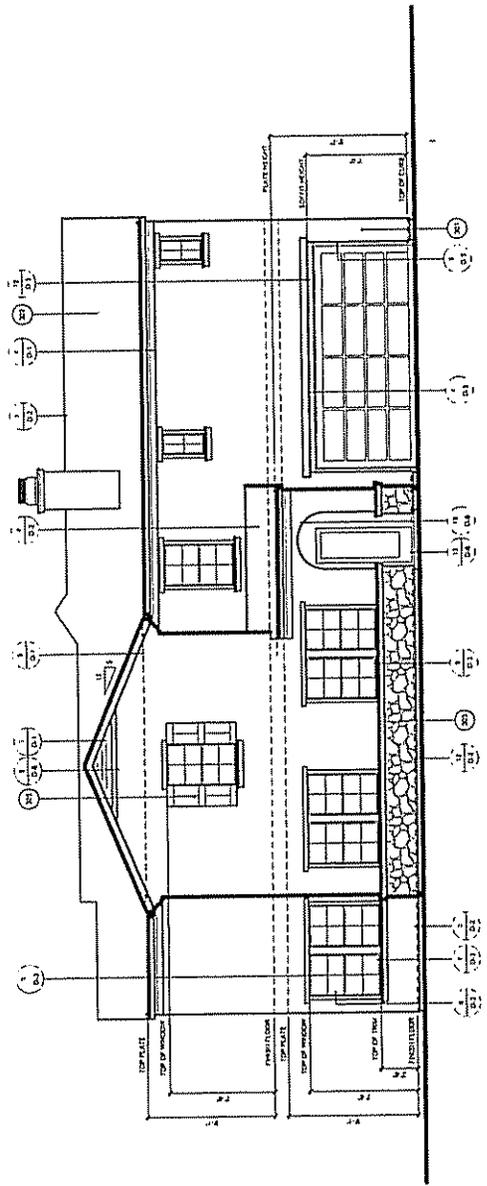
SHEET  
**A5-3.3**

### KEYNOTES

- 301 3"X 6" EXTERIOR CORNER FLASHING OF METAL WITH 1" MIN. OVERLAP TO ADJACENT SIDE PANEL
- 302 CONCRETE TILE ROOFING INSTALLED PER MANUFACTURER'S PERFORMANCE REQUIREMENTS WITH AN UNDERLAY PANEL
- 303 1/2" X 1/2" X 1/2" METAL ROOFING CORNER FLASHING
- 304 1/2" X 1/2" X 1/2" METAL ROOFING FLASHING
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POCKET ROAD - FRONT ELEVATION B

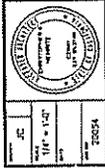


POCKET ROAD - REAR ELEVATION B

REGIS HOMES  
ISLANDS AT RIVERLAKE  
City of Sacramento, CA

ARCHITECT: JAMNOR CONSULTANTS  
PACKOWSKI • HEINATZ ASSOCIATES  
1771 Howe Ave. #11  
Sacramento, CA 95811  
TEL: 916.486.1111  
WWW.PACKOWSKIHEINATZ.COM

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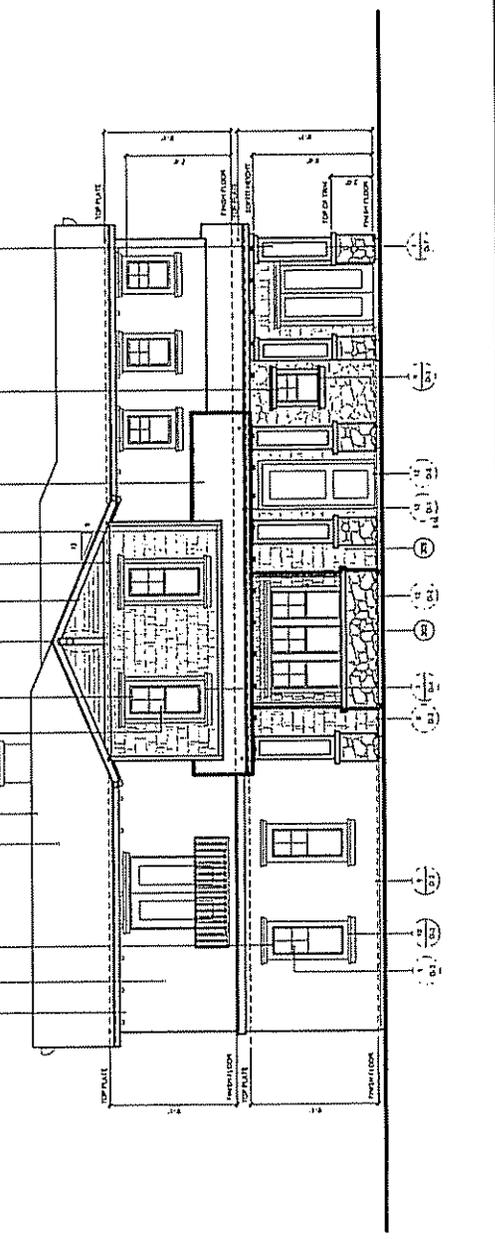


PLAN 5730  
EXTERIOR  
ELEVATION "C"  
POCKET ROAD

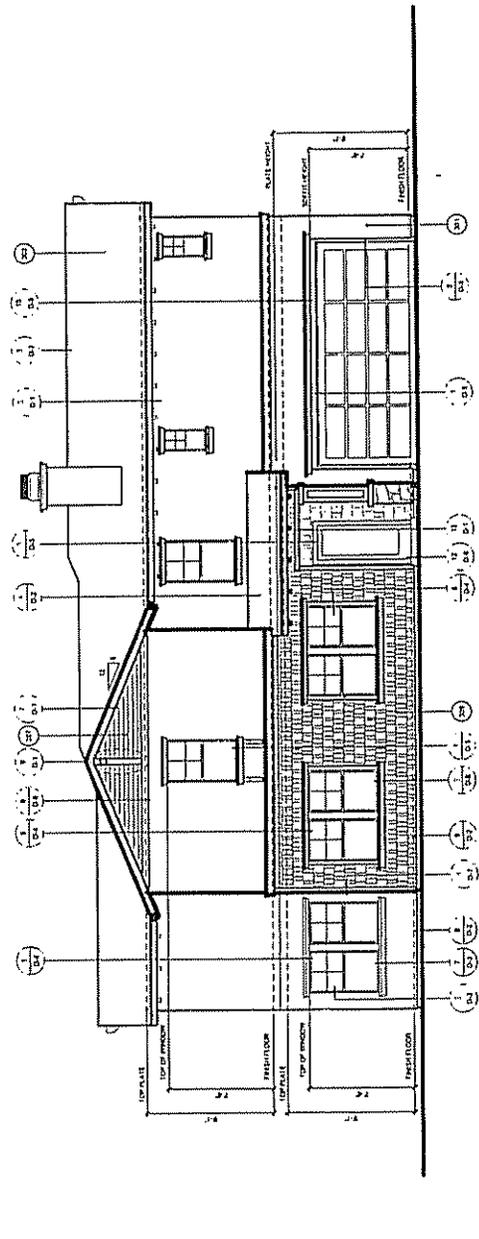
SHEET  
**A5-3.5**

**KEYNOTES**

- 101 3/4" SECTION CORNER PLANTER OF METAL LATH WITH 1/2" THICK POLYMER FIBER REINFORCED PORTLAND CEMENT PLASTER
- 102 CONCRETE TILE ROOFING INSTALLED PER SUDAS APPROVED SPECIFICATIONS
- 103 1/2" THICK POLYMER FIBER REINFORCED PORTLAND CEMENT PLASTER
- 104 BRICK ACCENT TRIM
- 105 BRICK LITTLE FOR ELEVATION
- 106 BRICKWORK INTERIOR METAL PERMIT
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POCKET ROAD - FRONT ELEVATION C

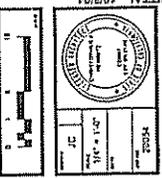


POCKET ROAD - REAR ELEVATION C

REGIS HOMES  
 ISLANDS AT RIVERLAKE  
 City of Sacramento, CA  
 LIVABLE AREA - 2244 SF

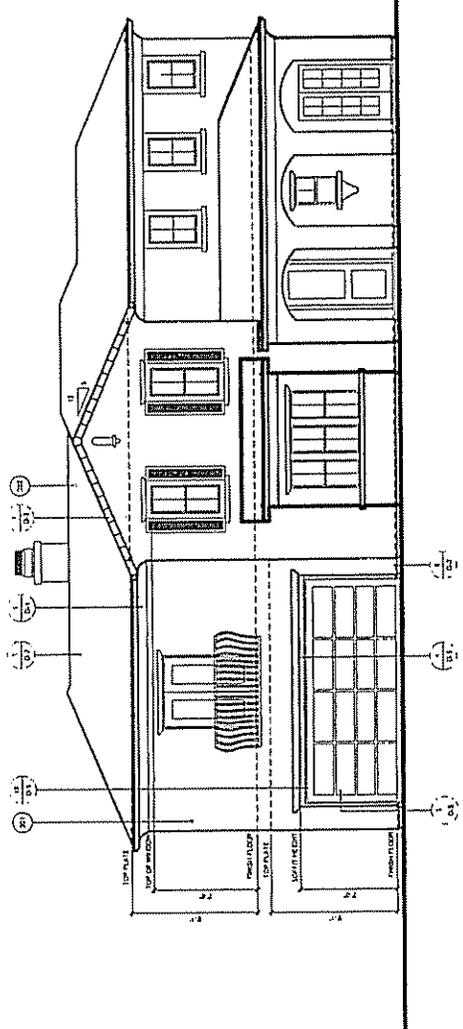
PACKOWSKI + HEINITZ  
 ASSOCIATES  
 ARCHITECTS  
 1000 R STREET, SUITE 100  
 SACRAMENTO, CA 95811  
 TEL: 916.441.1111  
 FAX: 916.441.1112

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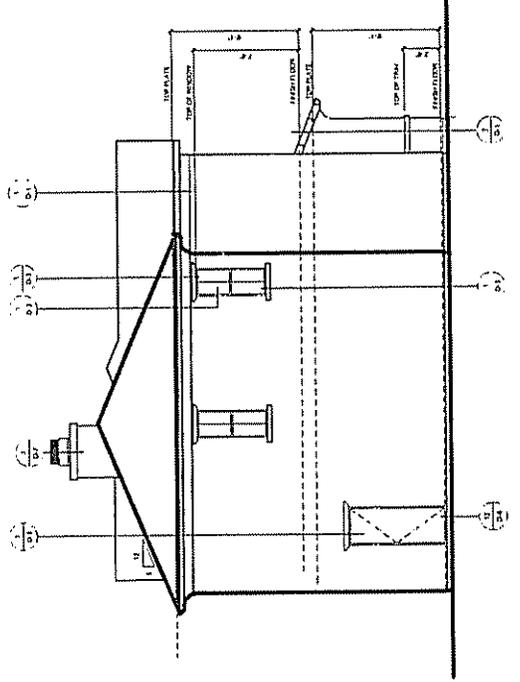


PLAN 5730  
 EXTERIOR "A"  
 ELEVATION "A"  
 PRIVATE DRIVE  
 SHEET  
**A5-3.7**

- KEYNOTES**
- 201 ALL EXTERIOR FINISHES TO BE PERMITTED MATERIALS BY CITY OF SACRAMENTO
  - 202 FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED
  - 203 FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED
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  - 220 FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED



PRIVATE DRIVE - FRONT ELEVATION A



PRIVATE DRIVE - LEFT ELEVATION A

REGIS HOMES  
ISLANDS AT RIVERLAKE  
City of Sacramento, CA

PACKOWSKI-HEINATZ  
ATTN: CIATTELL

ARCHITECT, GENERAL  
CONTRACTORS

1811 Locust Ave., 101  
Sacramento, California 95811  
Tel: 916/441-1111  
www.p-h.com

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PLAN 5730  
EXTERIOR  
ELEVATION "B"  
PRIVATE DRIVE

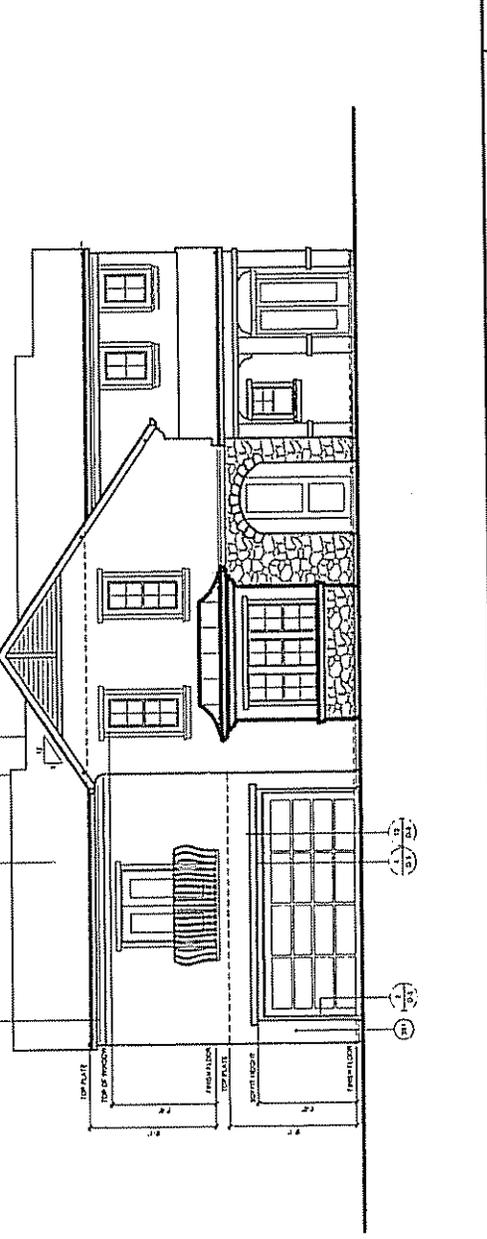
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EXTERIOR  
ELEVATION "B"  
PRIVATE DRIVE

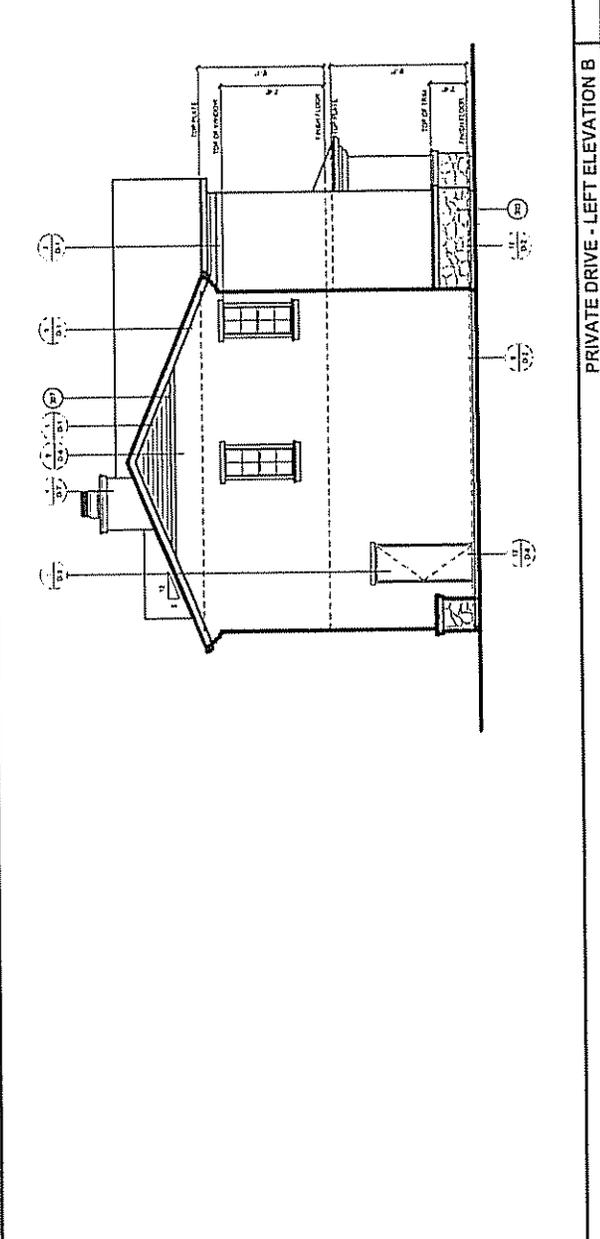
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**A5-3.8**

**KEYNOTES**

301 3/4" X 1/2" GUTTER DOWNPIPE WITH 1/2" DIA. DOWNPIPE HOOKS  
302 3/4" X 1/2" GUTTER DOWNPIPE WITH 1/2" DIA. DOWNPIPE HOOKS  
303 3/4" X 1/2" GUTTER DOWNPIPE WITH 1/2" DIA. DOWNPIPE HOOKS  
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PRIVATE DRIVE - FRONT ELEVATION B



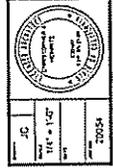
PRIVATE DRIVE - LEFT ELEVATION B

REGIS HOMES  
 ISLANDS AT RIVERLAKE  
 City of Sacramento, CA



PACEDWIKI + HEINRITZ  
 ARCHITECTS  
 1115 H STREET, SUITE 100  
 SACRAMENTO, CA 95811  
 TEL: (916) 441-1111  
 WWW.PACEDWIKI.COM

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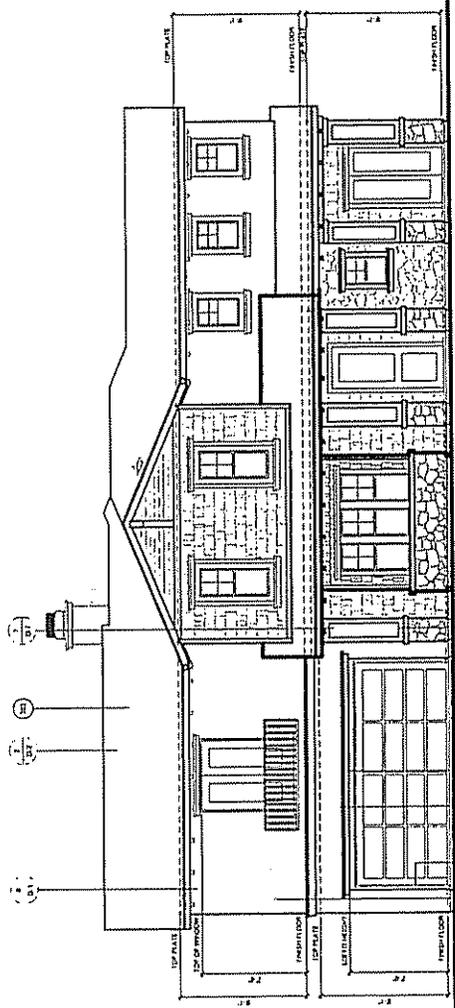


PLAN 5730  
 EXTERIOR  
 ELEVATION "C"  
 PRIVATE DRIVE

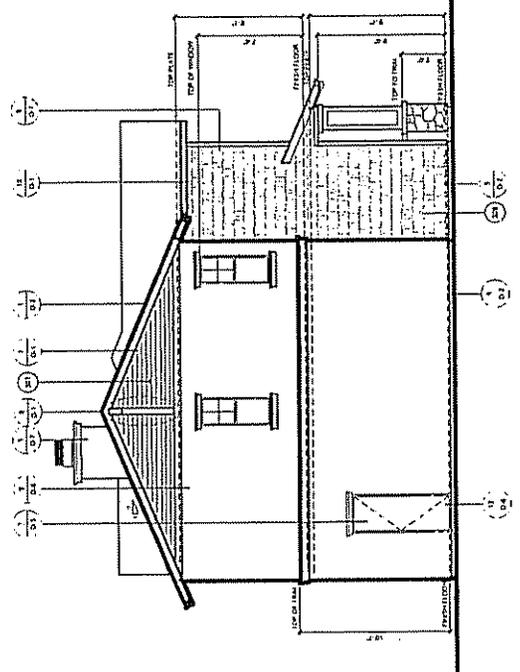
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 20054

**KEYNOTES**

- K01 3/4" X 1/2" EXTENSION LIGHTS MASTER PLASTER ON EXTERIOR WALLS BY 1/4" TYP. FORM BOARD OR FIBER PAPER
- K02 CONCRETE TILE ROOFING AND DRAINED PER MANUFACTURER'S RECOMMENDATION
- K03 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYP BOARD ON TOP
- K04 BRICK FACED TYP.
- K05 SHUTTER TILE FOR ELEVATION
- K06 SHAWNEE PORTLAND MORTAR FOR WORK
- K07 WOOD OR COMPOSITE 4" X 4" BEAMS W/ 1" WOOD FINISH, SEE DETAIL
- K08 1/2" X 1/2" X 1/2" BRICK WITH 1/2" WOOD FINISH, SEE DETAIL
- K09 1/2" X 1/2" X 1/2" BRICK WITH 1/2" WOOD FINISH, SEE DETAIL
- K10 1/2" X 1/2" X 1/2" BRICK WITH 1/2" WOOD FINISH, SEE DETAIL
- K11 1/2" X 1/2" X 1/2" BRICK WITH 1/2" WOOD FINISH, SEE DETAIL
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- K18 1/2" X 1/2" X 1/2" BRICK WITH 1/2" WOOD FINISH, SEE DETAIL
- K19 1/2" X 1/2" X 1/2" BRICK WITH 1/2" WOOD FINISH, SEE DETAIL
- K20 1/2" X 1/2" X 1/2" BRICK WITH 1/2" WOOD FINISH, SEE DETAIL



PRIVATE DRIVE - FRONT ELEVATION C



PRIVATE DRIVE - LEFT ELEVATION C

% of Lot Coverage	
Lot Size	3,555 s.f.
Bldg. Footprint	1,964 s.f.
% of coverage	47%
Walkways/Parking	407 s.f.
% of coverage	10%
Landscape	1,816 s.f.
% of coverage	43%

Private Drive

79'

2'-0" CURB & GUTTER

5'-0" P.U.E.

5'-0"

5'-0"

Property Line at  
Parking Space  
(4' x 16')

45'

Typ. Main Service  
Panel Location

Typ. Trash Location

Typ. HVAC location  
Solid Wing Fence

21'-0"

20'-0"

25'-0"

13'-0"

Typ. Private Yard

Typ. Tree

3'-6"

45'

Solid Wing Fence w/ Gate

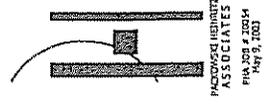
Garage dimensions are  
framed to frame clear

3'-0" walkway to connect  
with pedestrian walkway

79'

Pocket Rd. is  
40'-0" from  
property line

Pocket Road



**REGIS HOMES**  
THE ISLAND AT RIVERLAKE

**PLAN 1580**  
TYP. PLOT PLAN  
Pocket Road.

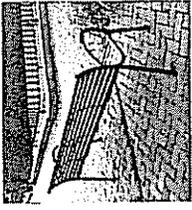
**PRELIMINARY ADMIN REVIEW DRAFT  
SUBJECT TO REVISION (27 MAY 2005)**

Exhibit D.

**CONCEPTUAL LANDSCAPING PLAN**

**Sheets L.1.00 – L.1.12**

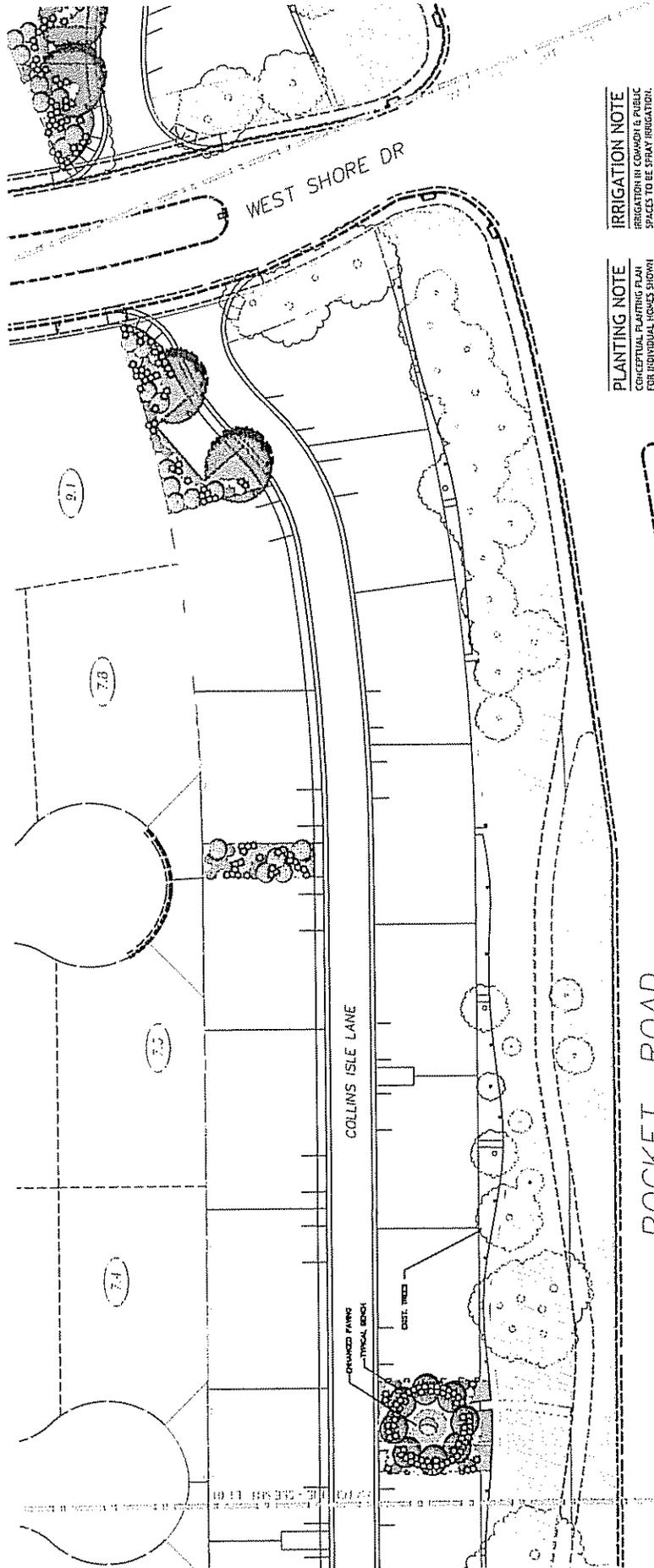




TYPICAL BENCH  
BACK FORMER: FIBER



ENHANCED PAVING  
COLORED & STAINED CONCRETE



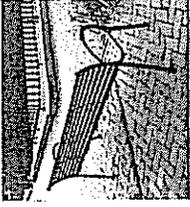
IRRIGATION NOTE  
IRRIGATION BY COMBINATION OF PUBLIC SPACES TO BE SPRAY IRRIGATION.

PLANTING NOTE  
CONCEPTUAL PLANTING PLAN FOR INDIVIDUAL LOTS SHOWN ON SHEETS C1.10 THRU C1.12.

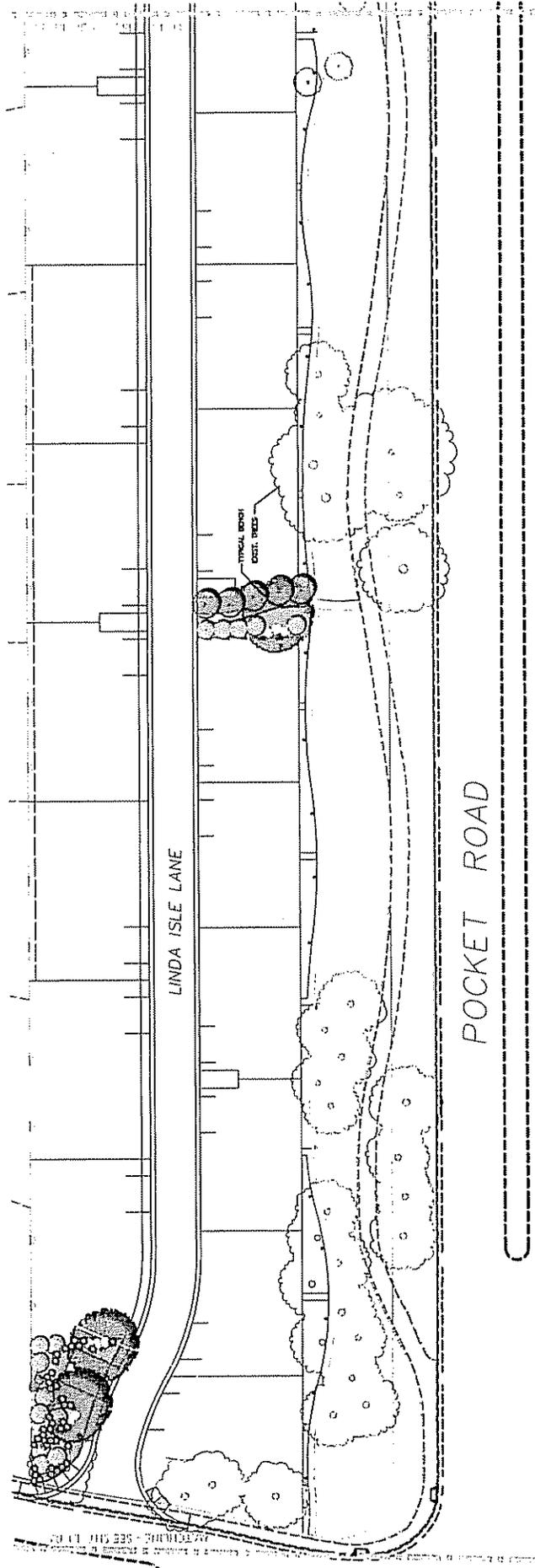
100' 0"  
SCALE: 1" = 20' 0"

# Conceptual Design

PREPARED FOR REGIS HOMES · JANUARY 2005



TYPICAL BENCH  
BLACK POWDERCOAT FINISH



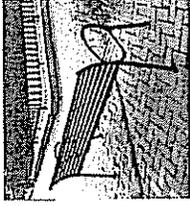
**PLANTING NOTE**  
CONCEPTUAL PLANTING PLAN  
FOR INDIVIDUAL HOMES SHOWN  
ON SHEETS L1-10 THRU L1-12.

**IRRIGATION NOTE**  
IRRIGATION IN COMMON & PUBLIC  
SPACES TO BE SPRAY IRRIGATION.

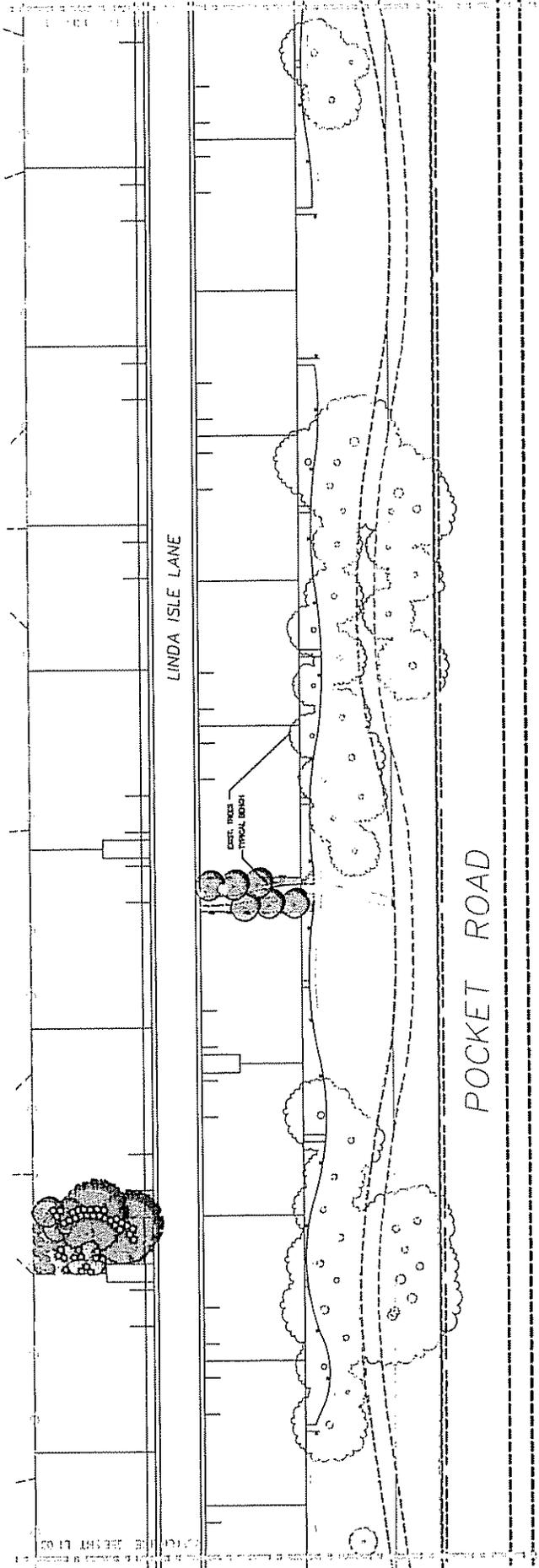


# Conceptual Design

PREPARED FOR REGIS HOMES - JANUARY 2005



TYPICAL BENCH  
 6" X 10" X 18" X 18" X 18"



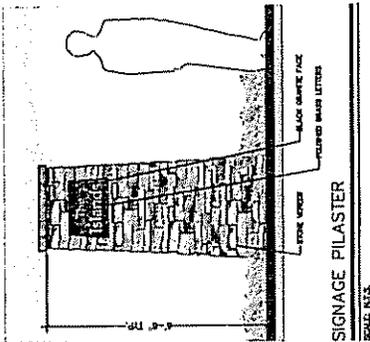
**IRRIGATION NOTE**  
 IRRIGATION LAYOUT & PUBLIC  
 SPACES TO BE SPART IRRIGATION.

**PLANTING NOTE**  
 CONCEPTUAL PLANTING PLAN  
 FOR INDIVIDUAL LOTS SHOWN  
 ON SHEETS C-1 TO T-100 E.T.C.

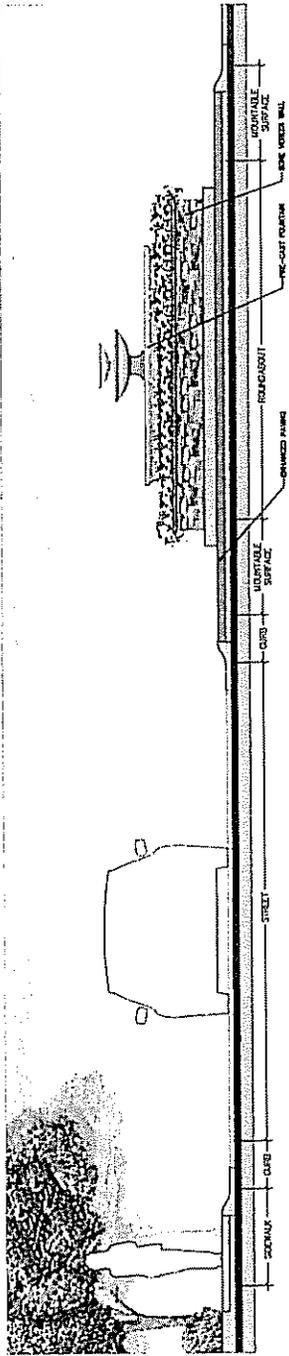
⊕  
 NORTH  
 SCALE: 1" = 10'

# Conceptual Design

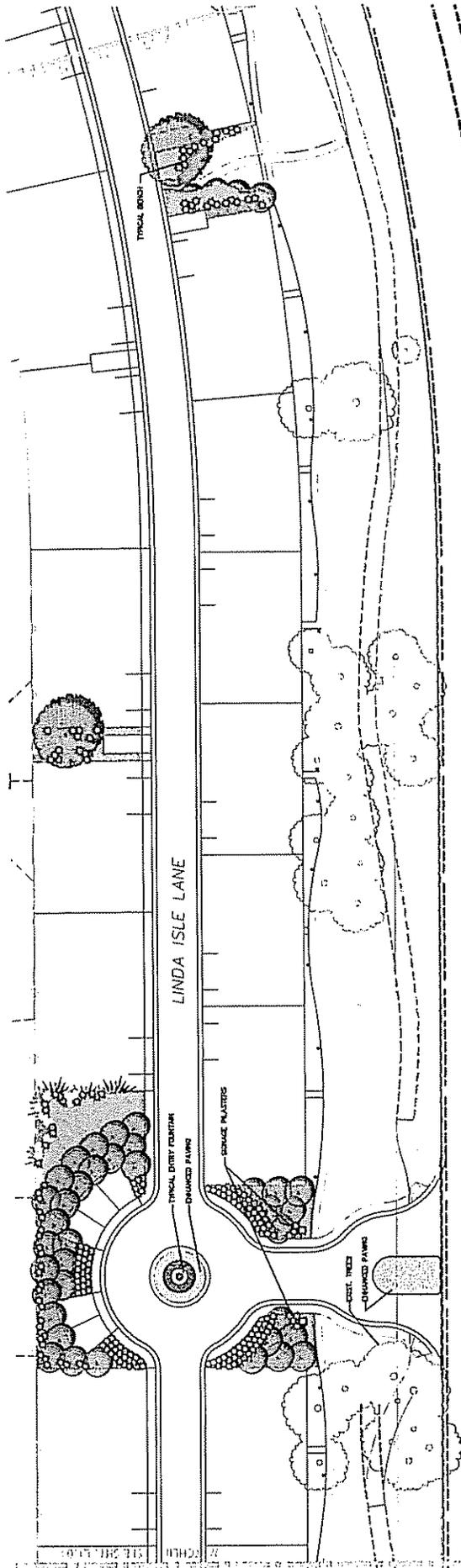
PREPARED FOR REGIS HOMES - JANUARY 2005



**SIGNAGE PILASTER**  
SCALE: N.T.S.



**TYPICAL ENTRY FOUNTAIN**  
SCALE: N.T.S.



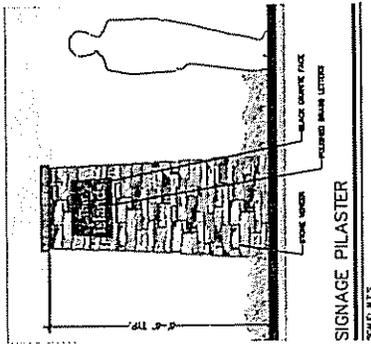
**POCKET ROAD**

**IRRIGATION NOTE**  
IRRIGATION IN COMMON & SERVICE SPACES TO BE SPRAY IRRIGATION.

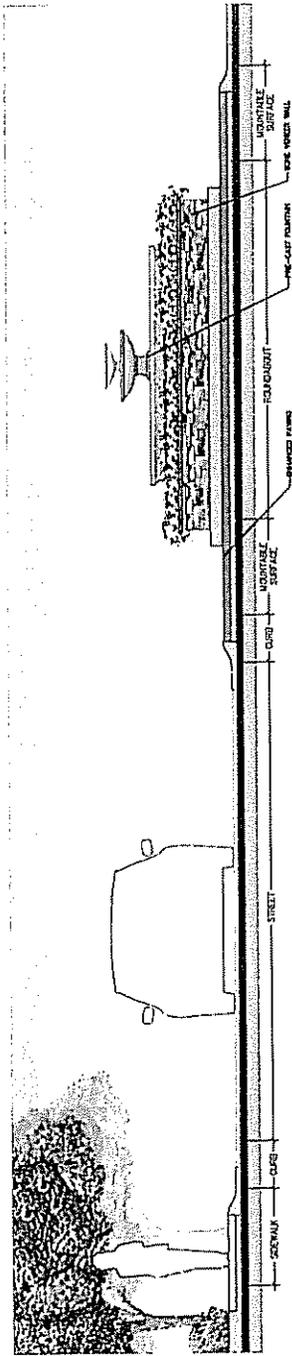
**PLANTING NOTE**  
CONCEPTUAL PLANTING PLAN FOR INDIVIDUAL HOMES SHOWN ON SHEETS L1.10 THRU L1.12.

1/20/05  
SCALE: 1/8"=1'-0"

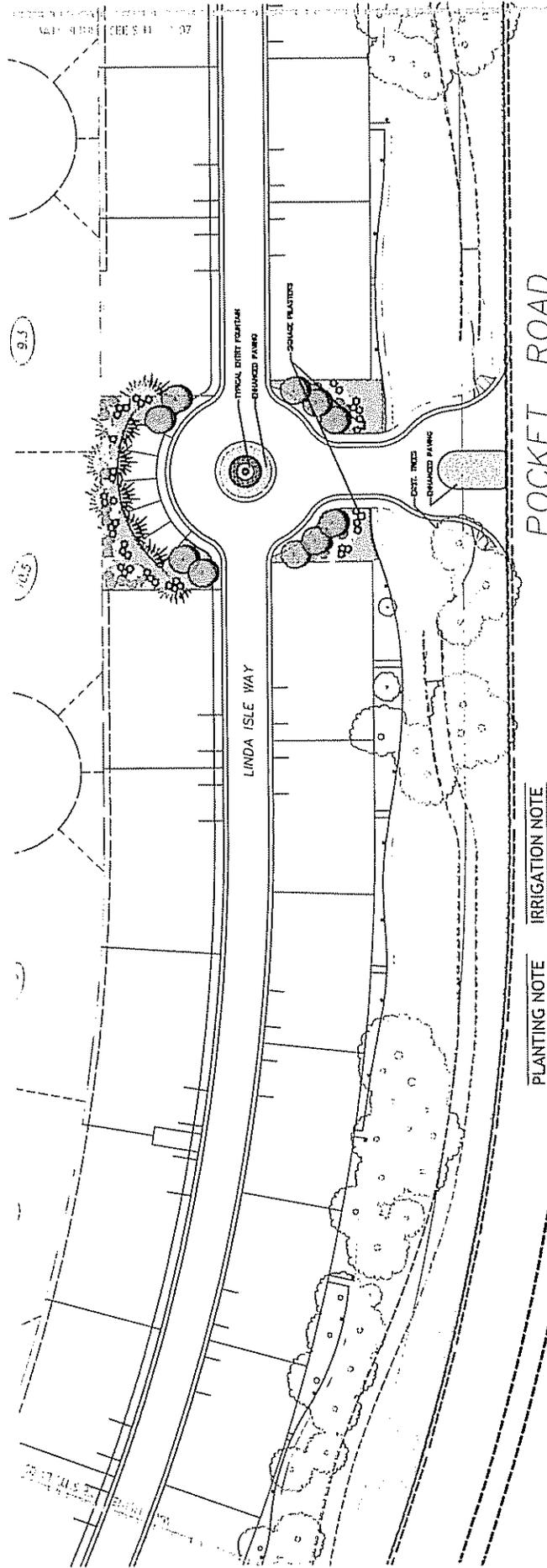
**Conceptual Design**  
PREPARED FOR REGIS HOMES - JANUARY 2005



**SIGNAGE PILASTER**  
SCALE: 1/2"



**TYPICAL ENTRY FOUNTAIN**  
SCALE: 1/2"



**PLANTING NOTE**  
CONCEPTUAL PLANTING PLAN FOR INDIVIDUAL HOMES SHOWN ON SHEETS L1.10 THRU L1.12.

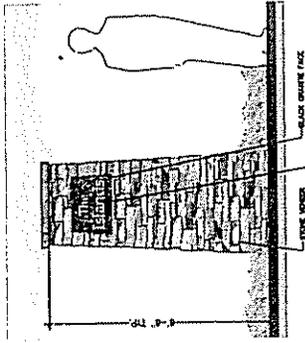
**IRRIGATION NOTE**  
IRRIGATION IN COMMON & PUBLIC SPACES TO BE SPRAY IRRIGATION.

⊗ NORTH  
SCALE: 1/4"

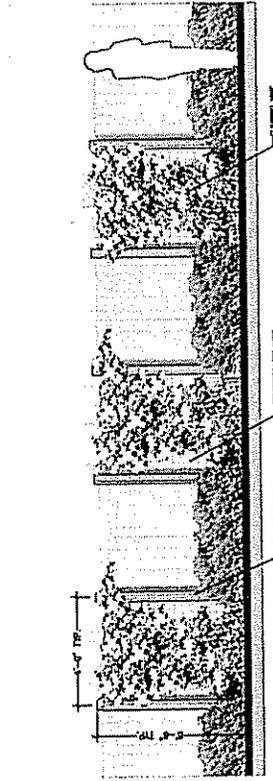
# Conceptual Design

PREPARED FOR REGIS HOMES · JANUARY 2005

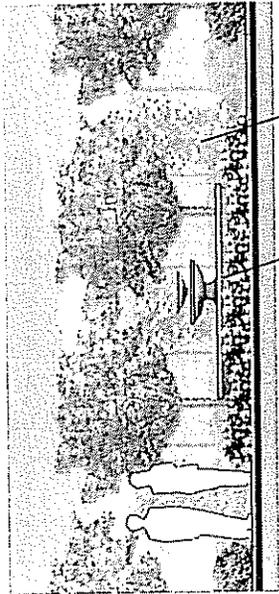




**SIGNAGE PILASTER**  
SCALE: 1/2" = 1'-0"

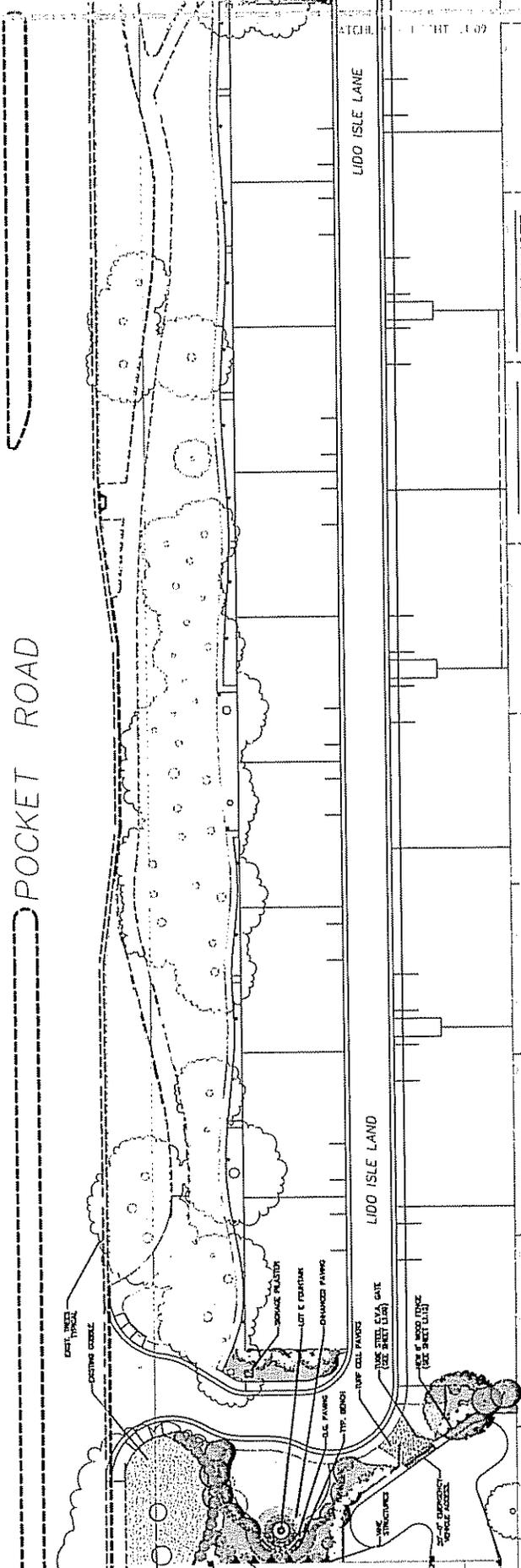


**VINE STRUCTURES**  
SCALE: 1/2" = 1'-0"



**LOT E FOUNTAIN**  
SCALE: 1/2" = 1'-0"

# POCKET ROAD

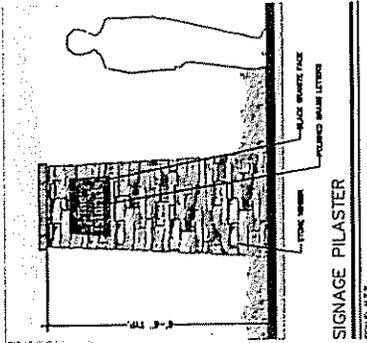


**PLANTING NOTE**  
CONCEPTUAL PLANTING PLAN  
FOR INDIVIDUAL HOMES SHOWN  
ON SHEETS L1.10 THRU L1.12.

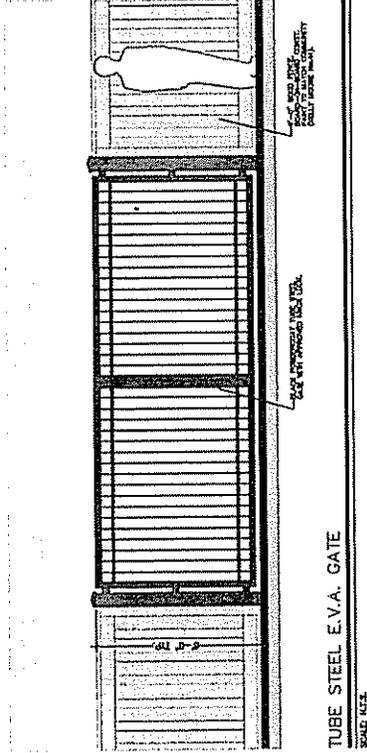
**IRRIGATION NOTE**  
IRRIGATION BY COMMON & PUBLIC  
SPACES TO BE SPRAY IRRIGATION.

# Conceptual Design

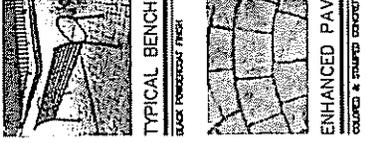
PREPARED FOR REGIS HOMES · JANUARY 2005



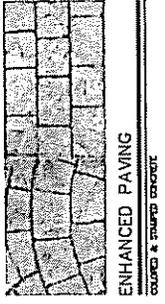
**SIGNAGE PILLASTER**  
SOLID ALUM.



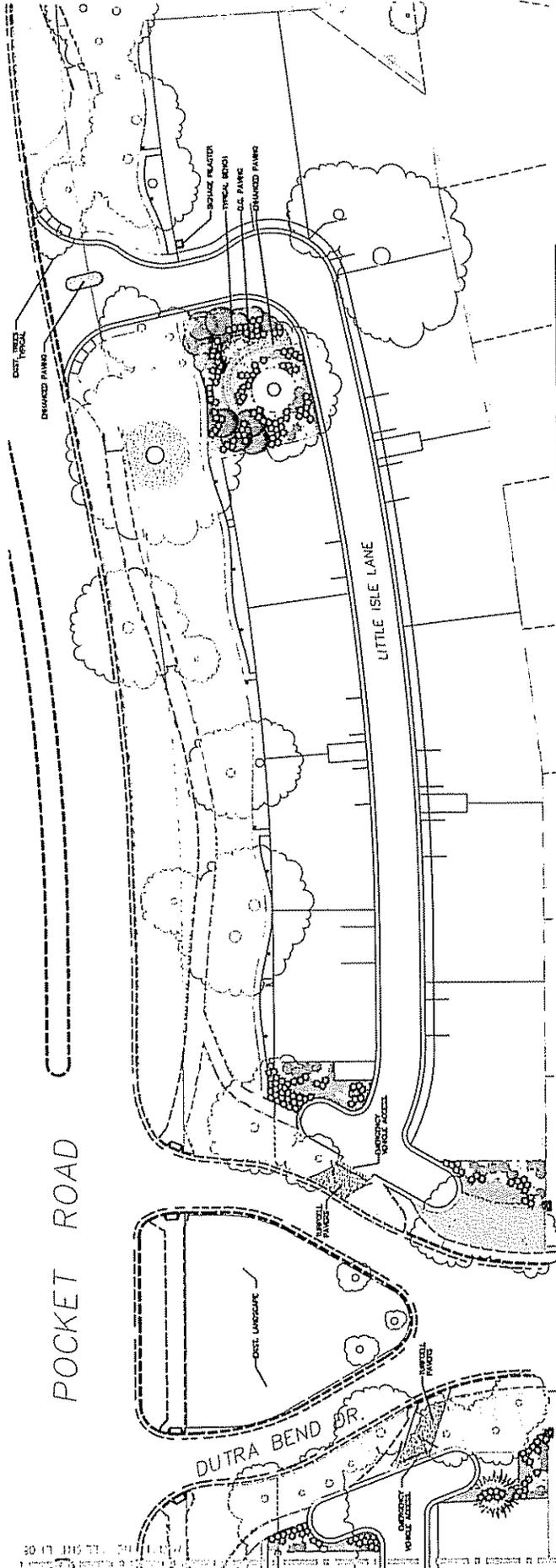
**TUBE STEEL E.V.A. GATE**  
SOLID ALUM.



**TYPICAL BENCH**  
BLACK PEBBLEGRIT FINISH



**ENHANCED PAVING**  
COLORED & STAMPED CONCRETE



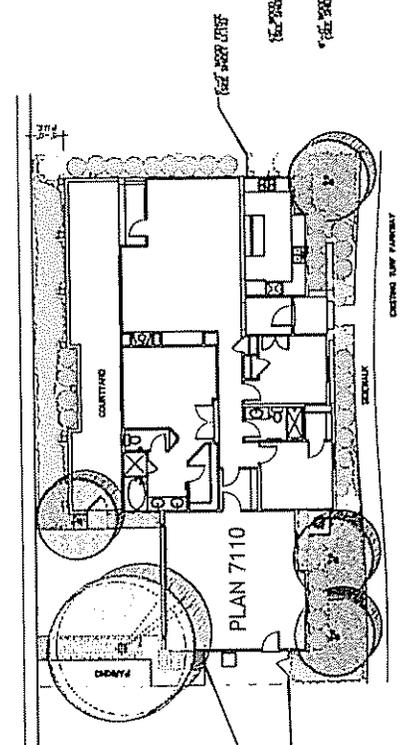
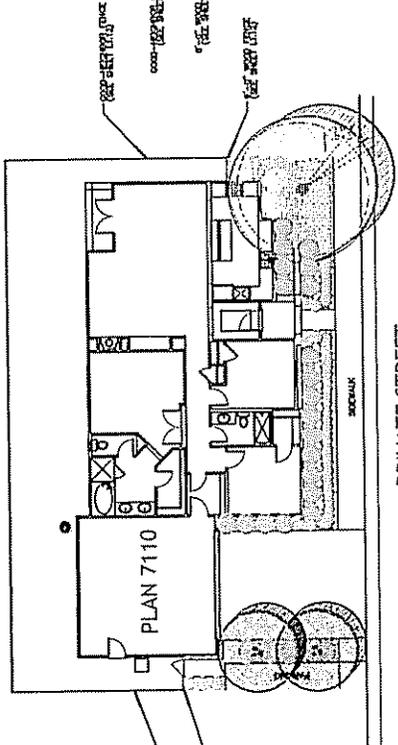
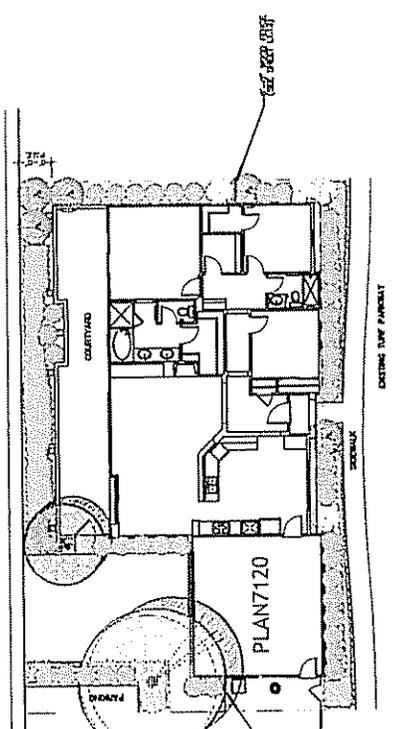
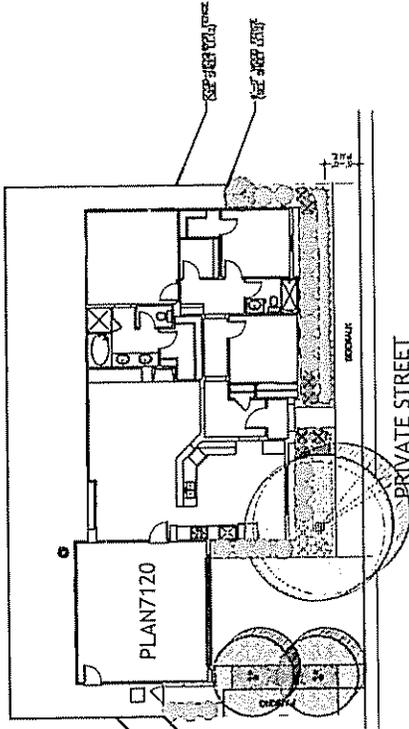
**PLANTING NOTE**  
CONCEPTUAL PLANTING PLAN  
FOR INDIVIDUAL HOMES SHOWN  
ON SHEETS LT.10 THRU LT.12.

**IRRIGATION NOTE**  
IRRIGATION BY COMMON & PUBLIC  
SPACES TO BE SPRAY IRRIGATION.

# Conceptual Design

PREPARED FOR REGIS HOMES · JANUARY 2005

PROJECT  
SCALE 1"=20'-0"



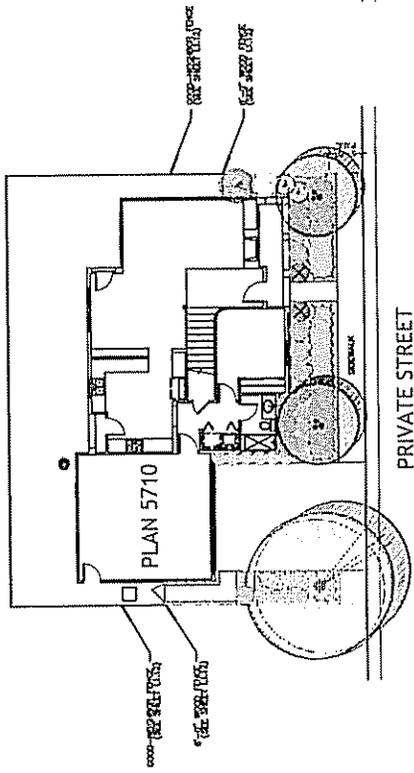
POCKET ROAD

IRRIGATION NOTE  
 IRRIGATION AT INDIVIDUAL HOMES  
 TO BE DRIP IRRIGATION.

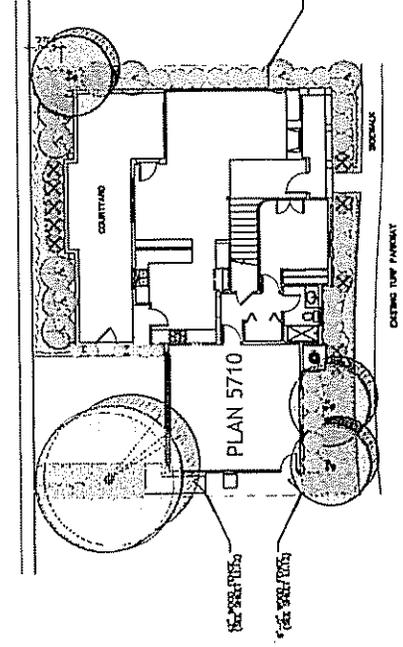
POCKET ROAD

# Conceptual Design

PREPARED FOR REGIS HOMES · JANUARY 2005



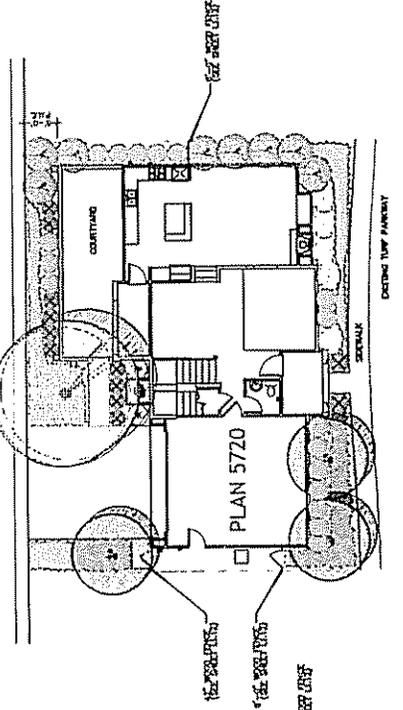
PRIVATE STREET



POCKET ROAD

PLAN 5720  
NOT TO BE USED  
ON PRIVATE STREET

PRIVATE STREET



POCKET ROAD

**IRRIGATION NOTE**  
IRRIGATION AT INDIVIDUAL HOMES  
TO BE DRIP IRRIGATION.

SCALE: 1/8" = 1'-0"

# Conceptual Design

PREPARED FOR REGIS HOMES · JANUARY 2005

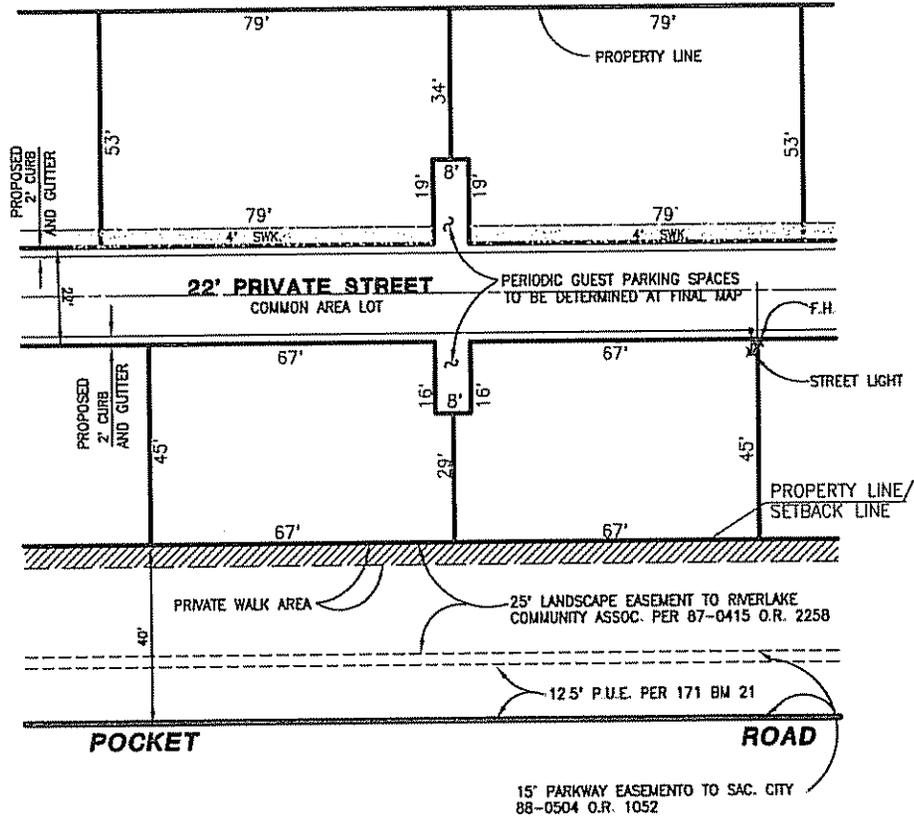


PRELIMINARY ADMIN REVIEW DRAFT  
SUBJECT TO REVISION (27 MAY 2005)

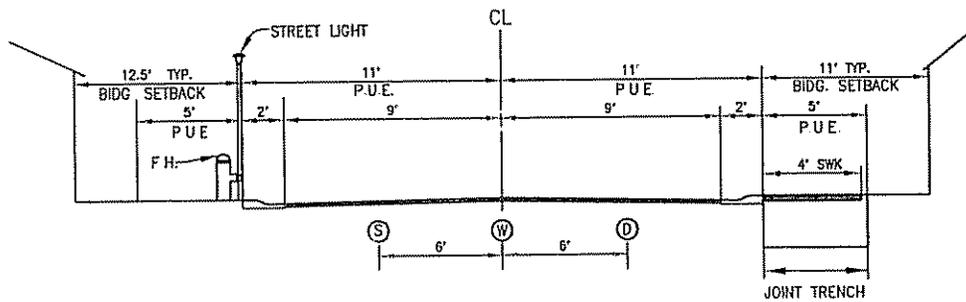
Exhibit D

22' PRIVATE STREET

X:\2001\010002\DWG\PRIVATE-ST-EX-1.DWG 03-27-03 3:08 pm - Blouie



**TYPICAL LOT**  
NOT TO SCALE



**PRIVATE ST. CROSS SECTION**  
NOT TO SCALE



**MORTON & PITALO, INC.**  
CIVIL ENGINEERING \* PLANNING \* SURVEYING  
1786 TRIBUTE ROAD • SUITE 200 • SACRAMENTO, CA 95815  
PHONE: 916/927-2400 • FAX: 916/567-0120

DRAWN:	B.L.	JOB NO:	010002
CHECKED:		DATE:	APRIL 2003
SCALE:	NOT TO SCALE	SHEET:	1 of 2

EXHIBIT MAP

**22' PRIVATE STREET**

CITY OF SACTO., CALIFORNIA

PRELIMINARY ADMIN REVIEW DRAFT  
SUBJECT TO REVISION (27 MAY 2005)

Exhibit E

**EXHIBIT E. RIVERLAKE COMMUNITY ASSOCIATION APPROVED SHADE AND  
PALM TREE LIST**

---

RIVERLAKE COMMUNITY ASSOCIATION  
ARCHITECTURAL CONTROL COMMITTEE

**LANDSCAPE GUIDELINES**

These guidelines have been prepared to help answer some of the questions you may have regarding submitting a landscape plan to the Architectural Control Committee. Several sections of Riverlake's CC&R's pertain to landscape plans and landscape maintenance. Before beginning your plan (or working with a professional) you should familiarize yourself with these sections:

**For All Lots:** Sections 8.03.C, 8.03.E, 8.03.O, 8.03.W, 8.03.Y, 8.03.BB, 9.03, 9.03.A, and 9.04 apply;

**For Lake Lots:** Sections 8.02.G, 8.03.C, and 8.05.B apply; and

**For Duplex/Halfplex Lots:** Sections 8.04.C and 8.04.I, apply.

The following addresses some frequently posed questions regarding submitting a landscape plan.

**Am I required to submit a plan?**

Yes!! Section 9.03 of the CC&R's requires that all plans must be submitted to the ACC, and approved, prior to the onset of work. Landscaping installation is to be completed 30 days after occupancy or 90 days after completion of the home, whichever is sooner (Section 9.04).

**How Do I submit a Plan?**

You can mail or bring the plan to the Riverlake Community Association office, 799 Lake Front Drive, Sacramento, CA 95831. The plan must be submitted in duplicate. Please call the Association at 395-7462 to check for meeting dates and times.

**What Are The Requirements Of A Plan?**

The plan should specify (and illustrate) the type, location and size of every element in the plan. All trees, shrubs, etc. should be (1) located with respect to the house, driveway, sidewalks, etc.; (2) should be identified (by common and botanical/Latin name); and (3) clearly marked according to size (usually indicated by gallonage). Dimensions of the yard should be indicated and in relative scale. All ground cover for lawn areas as well as in flower or shrub beds should be specified. A general rule of thumb is to "leave nothing to the imagination". If the committee cannot interpret a plan, it will be returned for revision/resubmittal. If there are proposed changes to any of the concrete work in the front yard or driveways/walkways it is a good idea to include that information in the landscape plan for review and approval.

**Are There Limits To What I Can Plant?**

Section 9.04 of the CC&R's states that landscaping is to include lawns, shrubs, trees and flowers. Artificial materials (plastic plants, flowers or astro turf) and gravel gardens will be disapproved. The CC&R's are sufficiently broad to allow for a good deal of latitude in individual preference and style. However, it is important to recognize that the committee has developed policies to help structure and maintain quality standard within Riverlake.

One of the committee's goals is to urge the creation of a "riverscape" throughout the development. Long, Green, gently rolling expanses of ground cover, burgeoning shade trees, and appropriately placed plantings will help achieve this effect. In addition to the specific requirements of the CC&R's, committee policy requires that at least one of the three required 15-gallon trees for the front yard be a fast-growing shade tree; that rocks and gravel are not allowed in the front 10' (ten feet) of the lot; that shredded fir, redwood or cedar (no chips are permitted) placed toward the front of the lots be covered by a ground cover to prevent washing or floating away; and, that mounds are to have no more than a 5:1 slope. Other than the five 15-gallon tree requirement (of which at least three go in the front yard), size of plants is discretionary. Use of shrubs for screening purposes however, should be 5-gallon sizes or more. A list of fast growing shade trees approved by the committee is attached for your reference.

#### **Do I Need To Submit A Plan For My Pool Or Rear Yard?**

Yes! Plans for rear yard landscaping visible to the public or common area, and pools, pool equipment and other similar installations must have prior written approval before the onset of work (Section 9.03).

#### **What If I Want To Change My Existing Landscaping?**

Depending on the nature and extent of the change, almost all changes will require prior written approval from the Architectural Control Committee. It is advisable to call the Association office before making the change, to check.

**RIVERLAKE COMMUNITY ASSOCIATION**  
**Approved Shade and Palm Trees**  
**Architectural Control Committee**

Approved by ACC on April 27, 2004

The Committee wishes to encourage the development of a shaded, river-like environment throughout the Riverlake Community. To achieve this effect, the Committee requires that each front yard have a minimum of one 15-gallon shade trees that has been selected from the Approved Shade Trees list. Please ensure that at least one of the five required 15-gallon trees of your landscape plan is a shade tree located in the front yard. The trees listed on the Approved Shade Tree list all grow well in the Sacramento area. Please select from this list.

The Committee has also approved several palm trees that may be used for the remaining required number of trees. You may select one or more palms from the Approved Palm Trees list or submit an alternative. Please keep in mind that the palm must be at least ten feet in height at time of installation.

The following list is categorized as Fast, Medium and Slow Growth Rate. The growth of any species of tree will be enhanced when proper planting, staking, irrigation and fertilization methods are implemented. Mature height and width should be a major criteria in tree selection. Tree planting and care instructions are available on the Riverlake Community Association website or from the Association office.

*Continued on next page*

Riverlake Community Association  
 Approved Shade and Palm Trees  
 Revised January 2004

APPROVED SHADE TREES FOR RIVERLAKE			
Botanical Name	Common Name	Mature height/width	Remarks
<b>Fast Growth Rate</b>			
<i>Acer rubrum</i>	Red Maple: 'Red Sunset' or 'October Glory' varieties	40-60'/40-60'	fall color
<i>Betula platyphylla japonica</i>	Japanese White Birch	40-50'/25'	resistant to bronze birch borer insects, white bark
<i>Betula nigra</i>	River Birch	50-90'/30'	resistant to bronze birch borer insects
<i>Celtis australis</i>	European Hackberry	50-70'/40-50'	
<i>Celtis sinensis</i>	Chinese Hackberry	40-60'/40-60'	
<i>Pyrus callenyanana</i>	Ornamental Pear 'Chanticleer'	20-40'/15-25'	fall color orange to reddish purple
<i>Pyrus callenyanana</i>	Ornamental Pear 'New Bradford'	50'/30'	'New Bradford' variety preferred to 'Bradford'
<i>Pyrus callenyanana</i>	Ornamental Pear 'Redspire'	30-35'/20'	fall color yellow-red
<i>Quercus rubra</i>	Red Oak	60-80'/30-50'	fall color, good in turf, fast growing
<i>Quercus coccinea</i>	Scarlet Oak	60-80'/35-40'	fall color, good in turf, fast growing
<b>Medium Growth Rate</b>			
<i>Acer buergerianum</i>	Trident Maple	20-35'/20-35'	fall color
<i>Celtis occidentalis</i>	Common Hackberry	40-50'/40-50'	
<i>Nyssa sylvatica</i>	Tupelo	30-40'/15-30'	tolerates poor drainage, fall color
<i>Quercus ilex</i>	Holly Oak	40-50'/40-50'	evergreen
<i>Quercus lobata</i>	Valley Oak	50-70'/50-70'	do not plant in lawn area
<i>Tilia americana</i>	American Linden	40-60'/30-50'	good in turf
<i>Zelkova serrata</i>	Sawleaf Zelkova	50-60'/50-70'	Fall color
<b>Slow Growth Rate</b>			
<i>Ginkgo biloba</i>	Maidenhair	70-80'/430-50'	insect/disease resistant fall color
<i>Pistacia chinensis</i>	Chinese Pistache	30-40'/30-40'	fall color
<i>Quercus douglasii</i>	California Blue Oak	40-60'/25-50'	do not plant in lawn area
<i>Tilia cordata</i>	Little Leaf Linden	30-50'/20-30'	good in turf

<b>APPROVED PALM TREES FOR RIVERLAKE</b>		
<b>Botanical Name</b>	<b>Common Name</b>	<b>Mature height/width</b>
<i>Chamaerops humilis</i>	Mediterranean Fan Palm	20'/20'
<i>Syagrus romanzoffiana</i> ( <i>Arecastrum romanzoffiana</i> )	Queen Palm	50'/20-25'
<i>Trachycarpus fortunei</i>	Windmill Palm	30'/10'
<b>PALM TREE NOT APPROVED FOR RIVERLAKE</b>		
<i>Washingtonia robusta</i>	Mexican Fan Palm	

### SMALL TREES

This list of small trees is provided as a reference. These small trees are not intended as substitutes for a required shade tree.

Many of the trees listed are available in multiple varieties that can vary greatly in size and growth habits. It is recommended to always verify plant species and variety prior to planting. Additional information on the trees is available in the *Sunset Western Garden Book*.

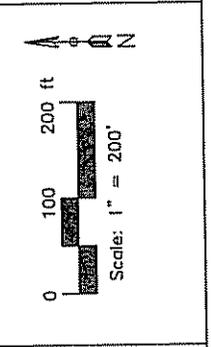
<b>Small trees Up to 25-30 feet in height</b>			
<b>Botanical Name</b>	<b>Common Name</b>	<b>Mature height/width</b>	<b>Remarks</b>
<i>Acer palmatum</i>	Japanese Maple	5-25' / 15-30'	Size and growth rate vary significantly with variety. Verify selected variety tolerates sun exposure at planting location.
<i>Malus</i>	Crabapple	6-25' / 8-25'	Size and pest resistance varies greatly by variety.
<i>Cercis canadensis</i>	Eastern Redbud	20-30' / 25-30'	Moderate growth rate. Provide good drainage.
<i>Cercis occidentalis</i>	Western Redbud	10-20' / 10-20'	Slow-moderate growth rate.
<i>Crataegus phaenopyrum</i>	Washington Hawthorn	20-30' / 20-25'	Moderate growth rate.
<i>Lagerstroemia indica</i>	Crape Myrtle	5-25' / 10-25'	Moderate growth rate. Size varies by variety.
<i>Magnolia</i> deciduous varieties	Flowering Magnolia	6-30' / 6-25'	Slow to moderate growth rate. Size varies by variety.



SYCAMORE  
Environmental  
Consultants, Inc.  
Basemap:  
City of Sacramento GIS

SHEET 1 of 3

03056 DEIR-Fig.20-A6-R1 Rezone.dwg

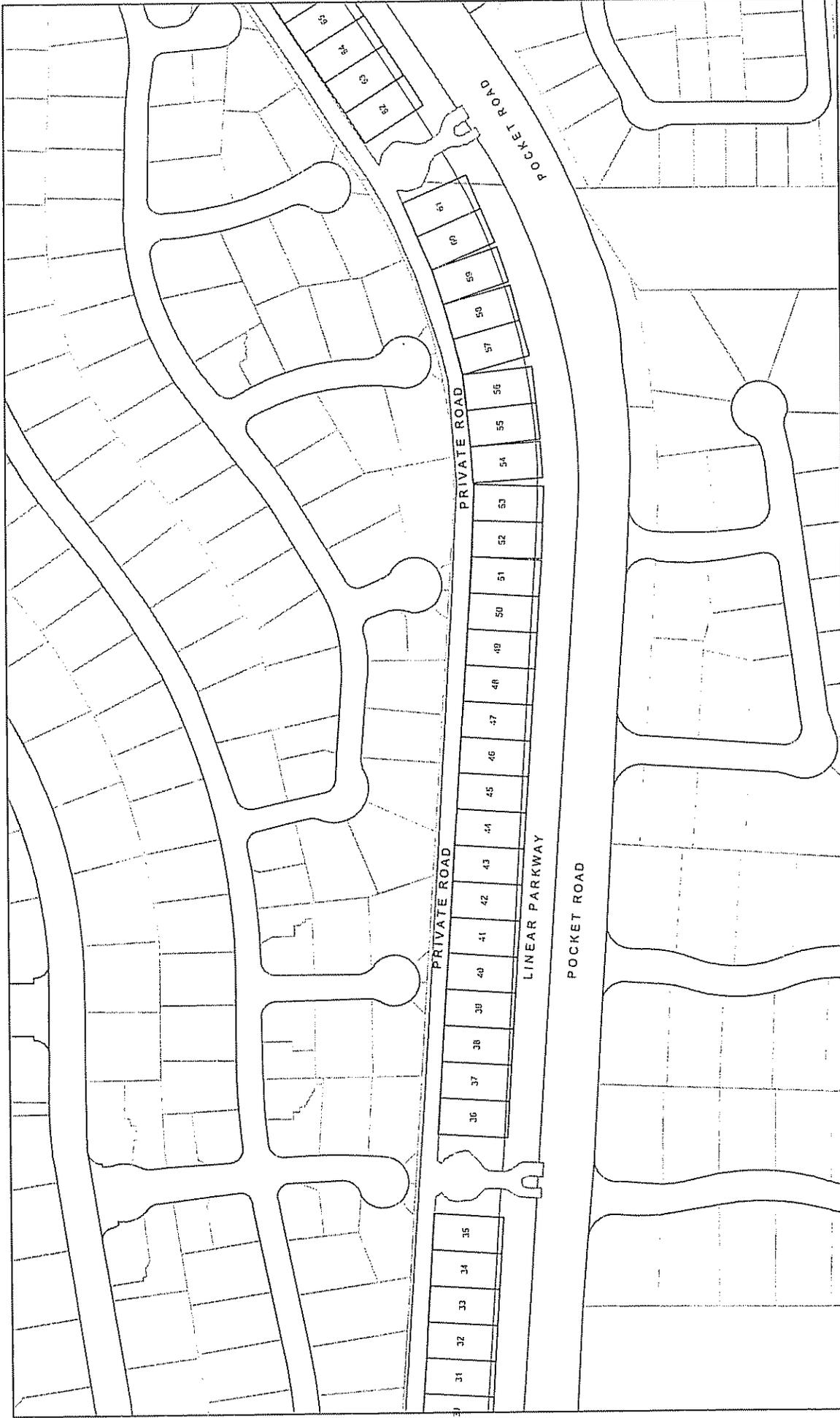


□ = R-1 Zone Minimum Lot Size 52 ft x 100 ft

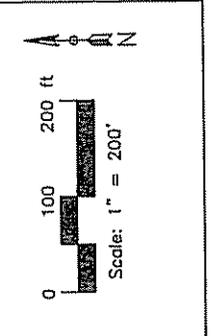
Private street along existing fence option shown.  
Private street along Linear Parkway option not shown.

Islands at Riverlake Project (P01-033)  
Draft Environmental Impact Report  
City of Sacramento, CA  
15 June 2005

Figure 20. R-1 Rezone (A6).



SYCAMORE  
Environmental  
Consultants, Inc.  
Basemap:  
City of Sacramento GIS



 = R-1 Zone Minimum Lot Size 52 ft x 100 ft

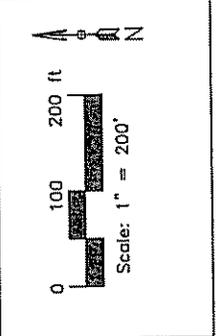
Private street along existing fence option shown.  
Private street along Linear Parkway option not shown.

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15 June 2005

Figure 20. R-1 Rezone (A6).

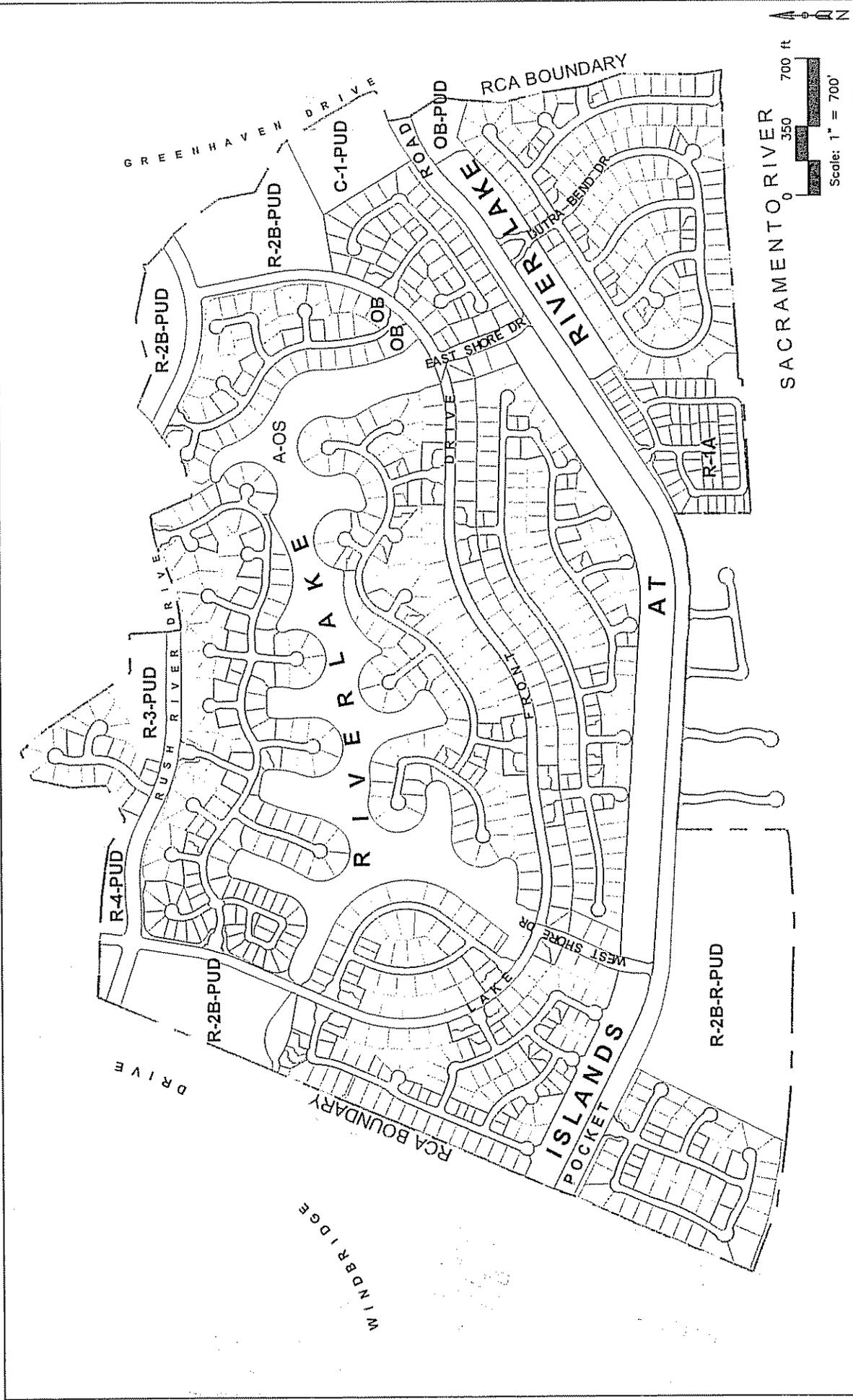


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Consultants, Inc.  
Basemap:  
City of Sacramento GIS  
SHEET 3 of 3

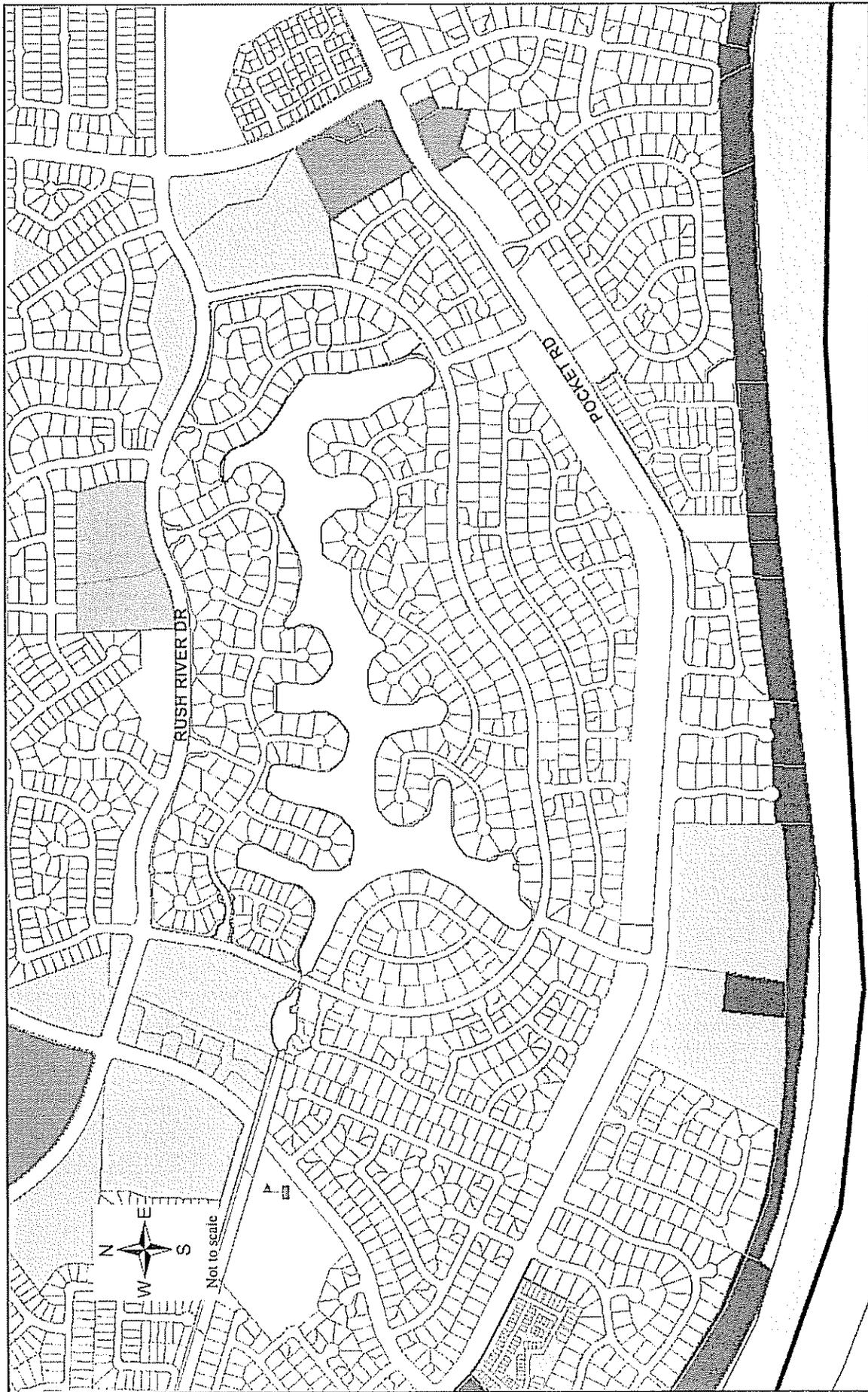


□ = R-1 Zone Minimum Lot Size 52 ft x 100 ft  
Private street along existing fence option shown.  
Private street along Linear Parkway option not shown.

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Figure 20. R-1 Rezone (A6).



<p>SYCAMORE Environmental Consultants, Inc.</p> <p>Basemap: City of Sacramento GIS</p> <p>03055 DEIR-Fig11_ZoningMap.dwg</p>	<p>R-2B-PUD = Multi-Family  R-3-PUD = Multi-Family  R-4-PUD = Multi-Family  OB-PUD = Office  C-1-PUD = Limited Commercial  A-OS PUD = Open Space</p>	<p>Islands at Riverlake Project (P01-033)  Draft Environmental Impact Report  City of Sacramento, CA  15 June 2005</p> <p>Figure 11. City of Sacramento Zoning Map.</p>
<p>R-1 PUD = Standard Single-Family (unshaded lots)  R-1A-PUD = Single-Family Alternative (green and gray shaded lots)</p> <p>RCA = Riverlake Community Association</p>	<p>R-2B-PUD = Multi-Family  R-3-PUD = Multi-Family  R-4-PUD = Multi-Family  OB-PUD = Office  C-1-PUD = Limited Commercial  A-OS PUD = Open Space</p>	<p>RCA = Riverlake Community Association</p>



**Pocket Land Uses**

- Residential 1R-2R du/dm
- Residential 7-15 du/dm
- Residential 3-6 du/dm
- Commercial/Shopping
- Highway Commercial
- Business/Professional Office
- Parks/Open Space
- Public/ quasi Public

- Schools
- City Eoundary
- Parcels
- Water
- Creeks

**Figure 9. Pocket Area Community Plan  
Land Use Designation Map**



City of San Jose  
Department of Planning  
1000 Market Street, Suite 1000  
San Jose, CA 95128

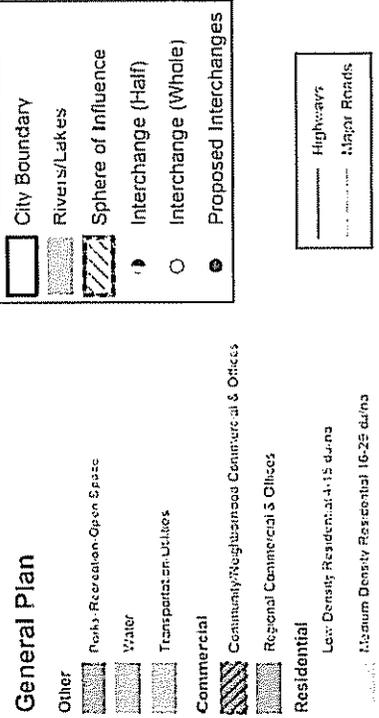
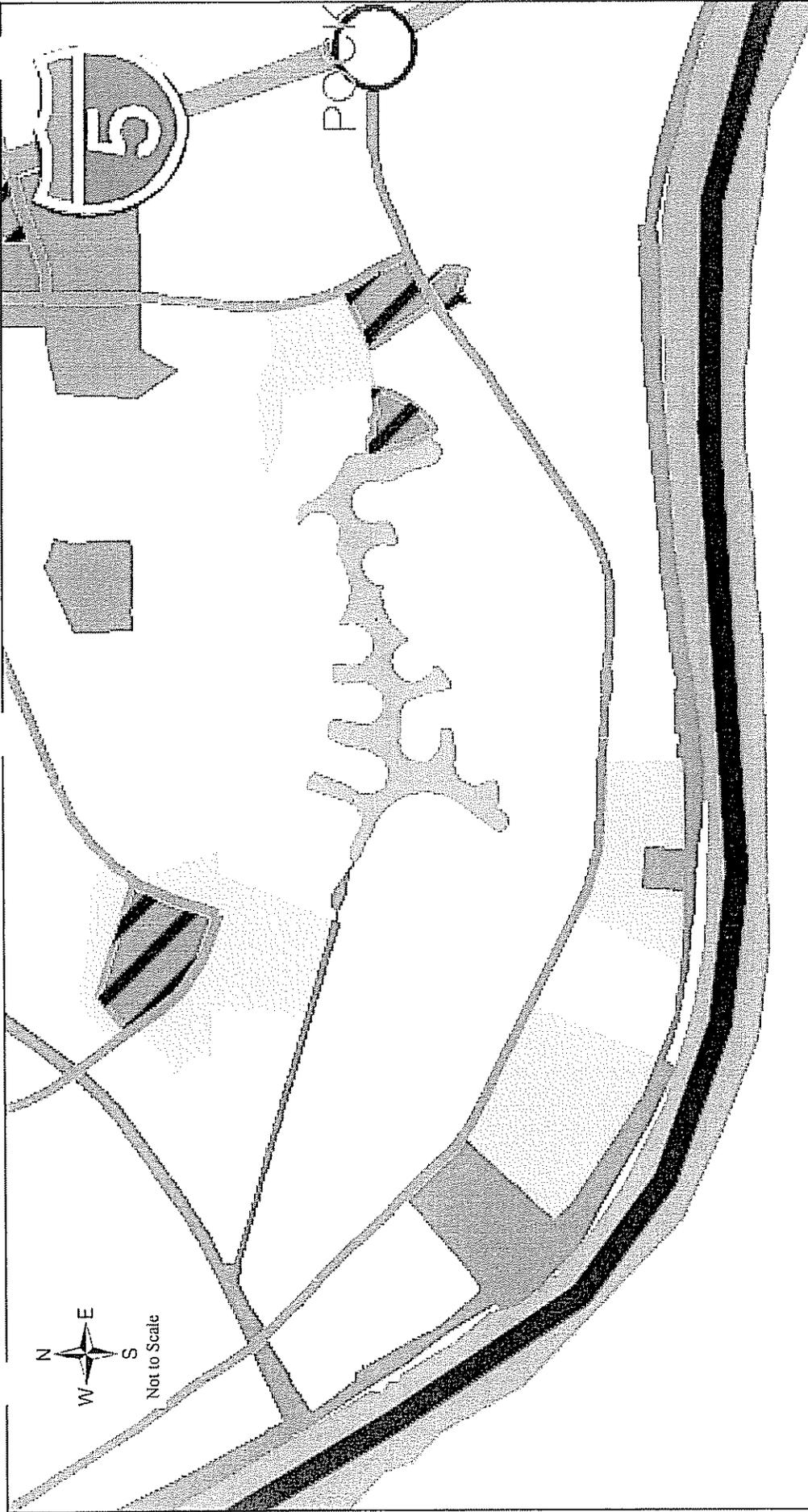
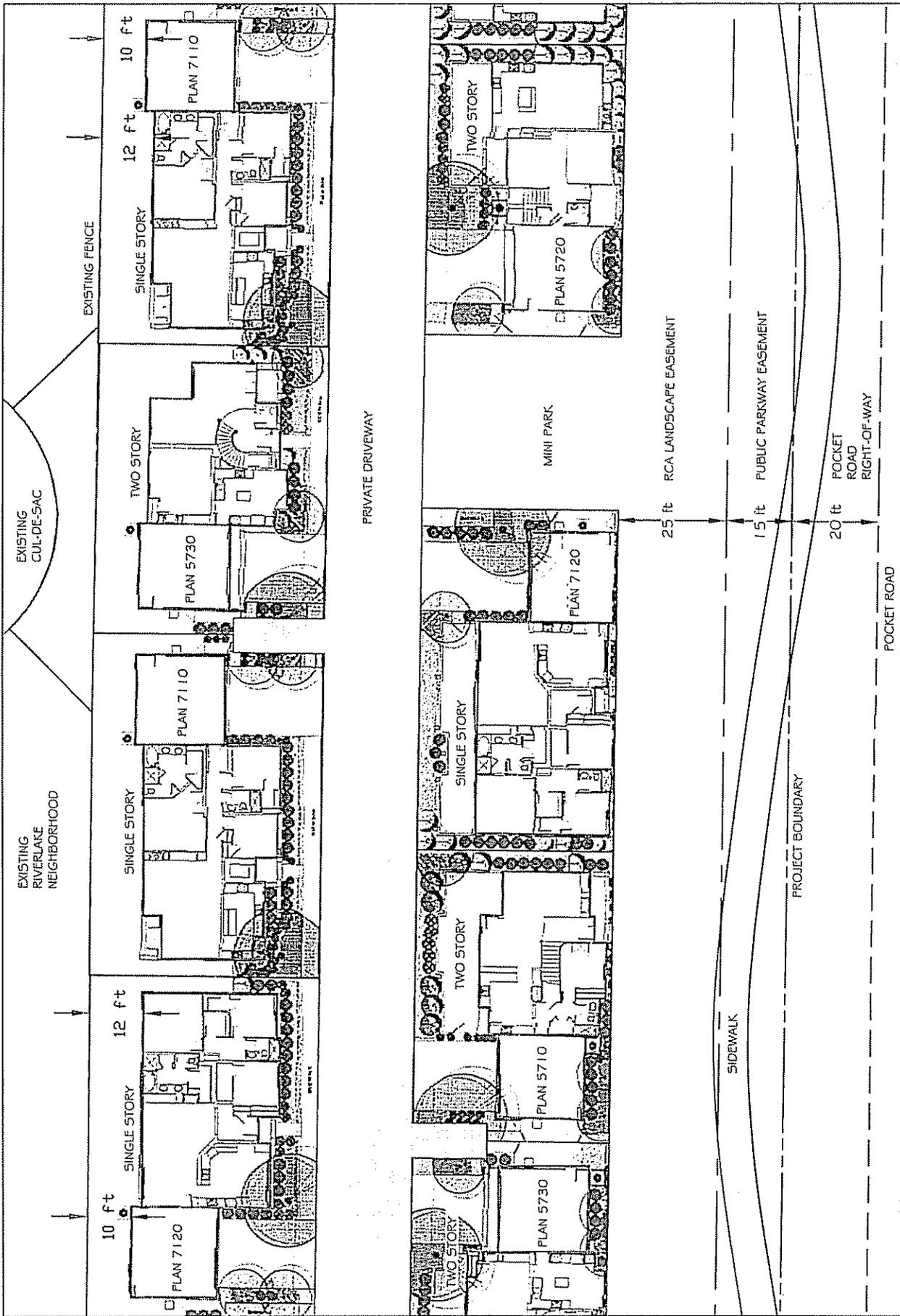
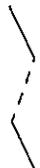


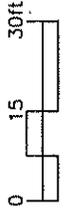
Figure 8. General Plan Land Use Designation Map





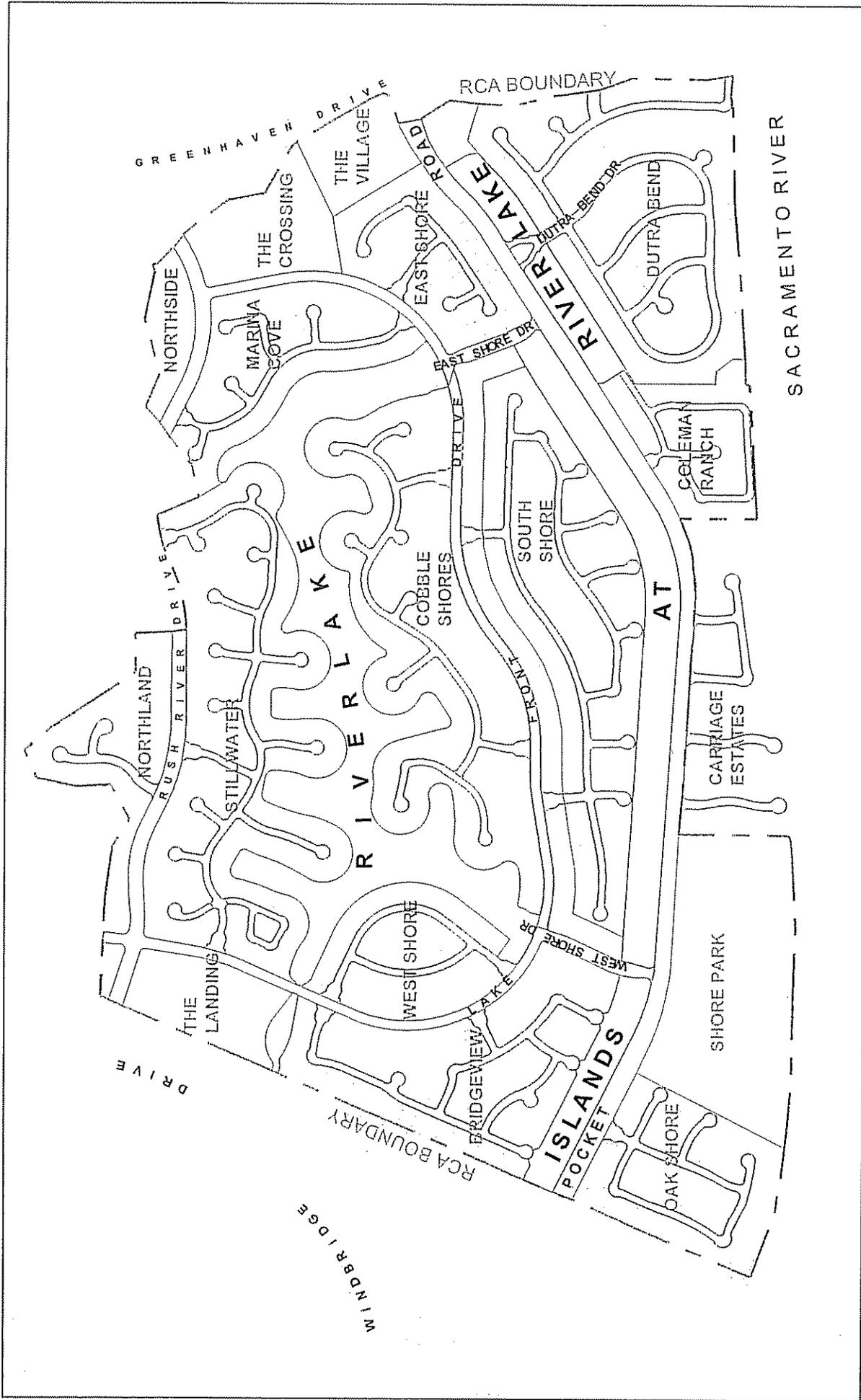
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 City of Sacramento, CA  
 15 June 2005  
 Figure 6. Typical Floorplans Shown on Lais

 = Project Boundary


  
 Scale: 1" = 30'

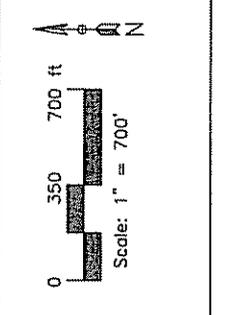

  
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Basemap: Quadmap Conceptual Landscape Plans, Packowski Heimtzl Associates Floorplans, Morton & Picalo, Inc., 01002B52.dwg

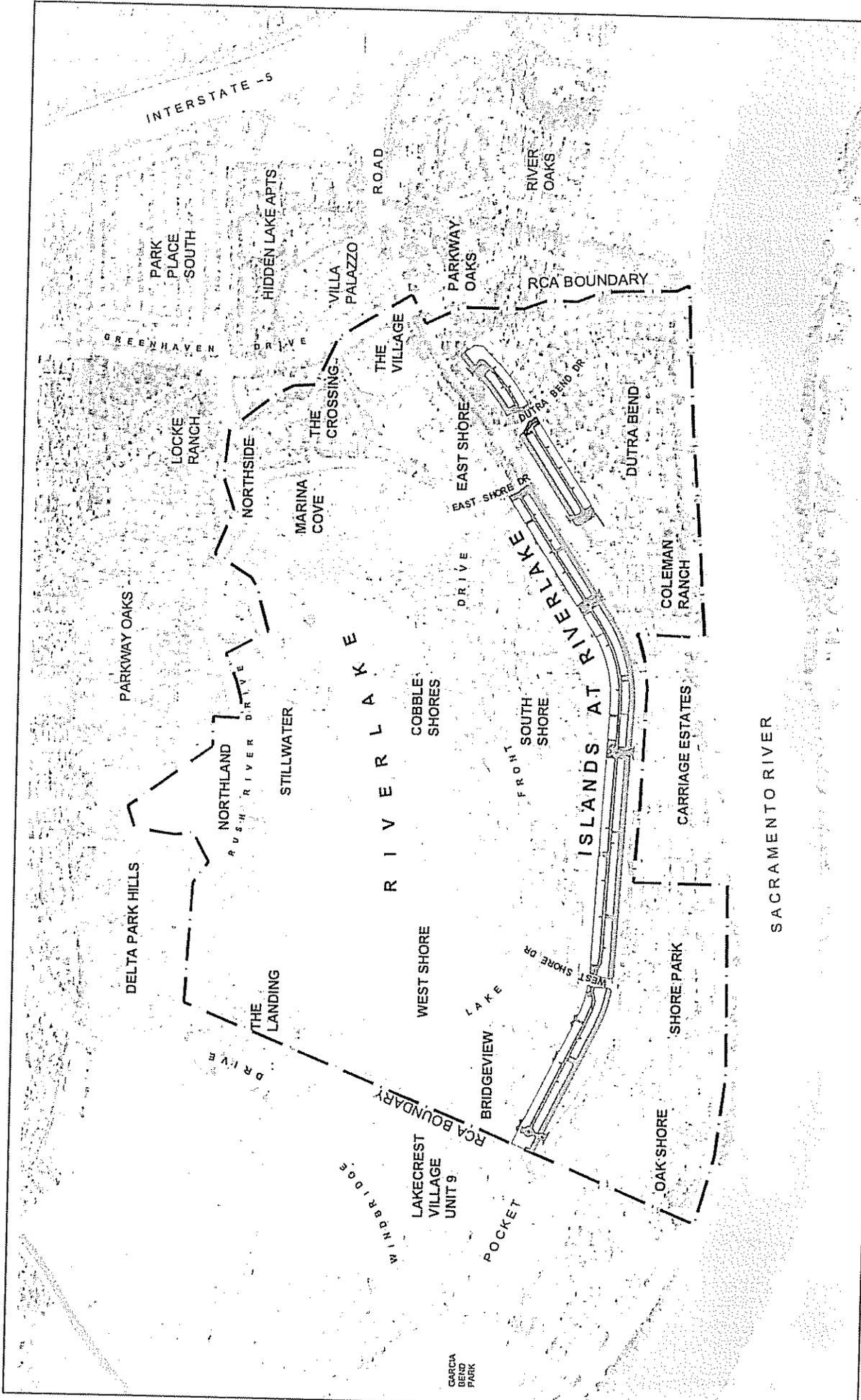


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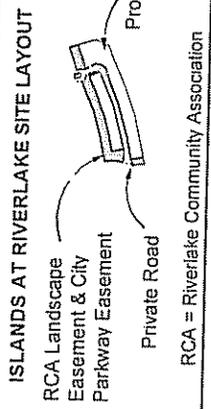
RCA = Riverlake Community Association



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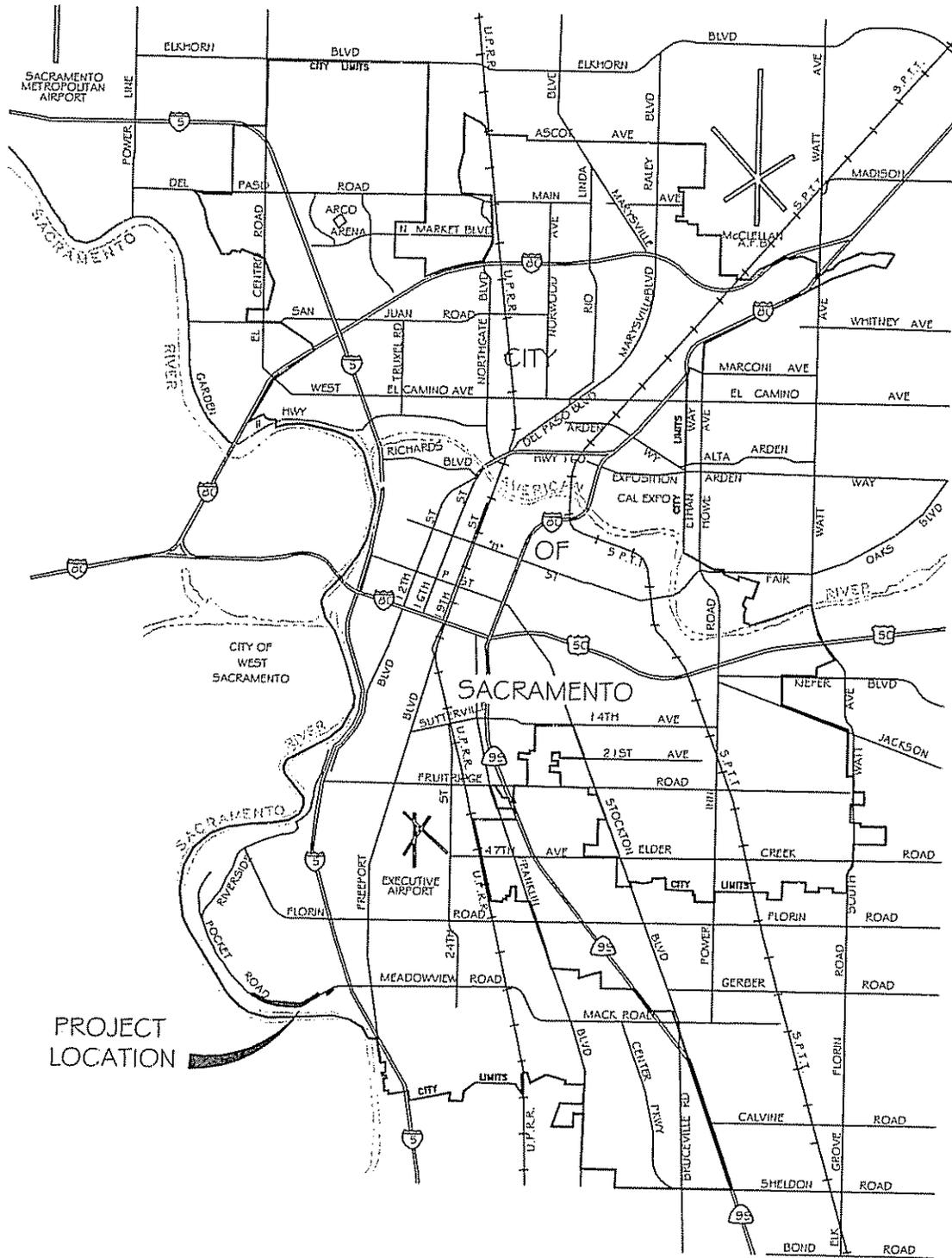



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 Basemap:  
 Microsoft Terraserver  
 2m/pixel USGS Urban Image,  
 9 May 2002



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Figure 3. Aerial Photograph of RCA.



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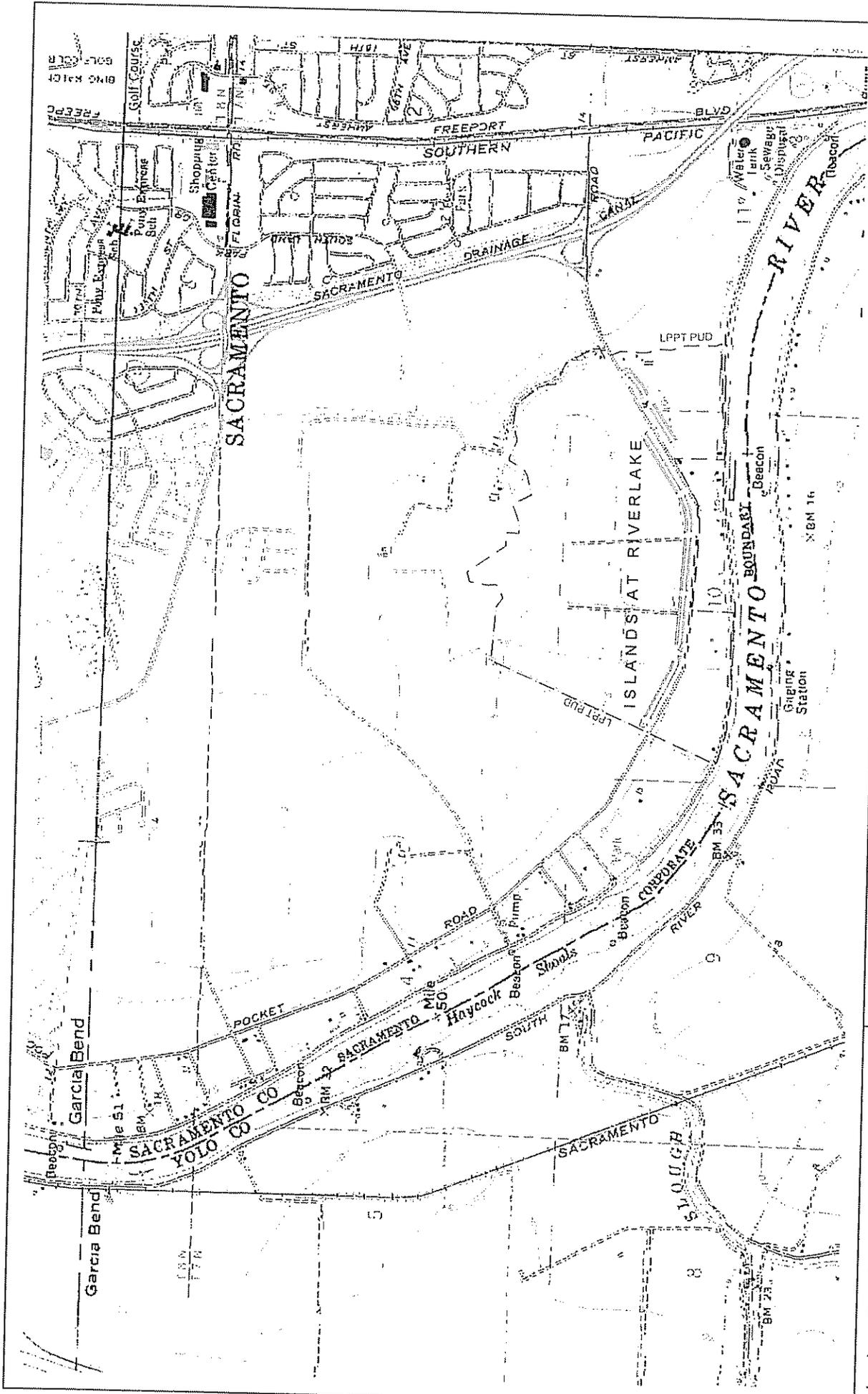
NOT TO SCALE



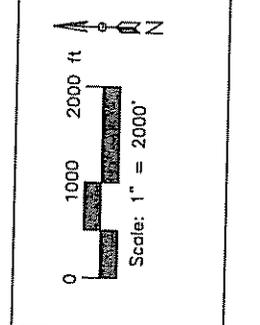
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Basemap:  
 City of Sacramento GIS

Figure 2. Regional Location Map



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Consultants, Inc.  
Basemap: Teale Data Center DRG  
Sacramento West USGS Quad  
(Photorevised 1980)  
and Clarksburg USGS Quad  
(Photorevised 1980)



**ISLANDS AT RIVERLAKE SITE LAYOUT**

RCA Landscape  
Easement & City  
Parkway Easement

Proposed Lots

Private Road

RCA = Riverlake Community Association

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Figure 1. Project Location Map.