

REPORT AMENDED BY STAFF 4-13-89  
**CITY PLANNING COMMISSION**

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Donald Joseph, Inc., 2210 16th Street, Sacramento, CA 95818				
OWNER	L&P Pacific Teichert, 6355 Riverside Blvd., Suite C, Sacramento, CA 95831				
PLANS BY	Donald Joseph, Inc., and Spink Corporation, P.O. Box 1311, Sacramento, CA				
FILING DATE	3/9/87	ENVIR. DET	Neg. Dec. 3/30/87	REPORT BY	JP:kh
ASSESSOR'S-PCL. NO.	031-1030-036				

- APPLICATION:
- A. Negative Declaration
  - B. Tentative Map to divide 3.9+ net acres into 31 townhouse lots and one common lot
  - C. Special Permit for a 31 unit townhouse development

LOCATION: Northwest corner of Pocket Road and West Shore Drive

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 31 unit residential development adjacent to the linear parkway in the LPPT-PUD (Site 23 LPPT Schematic Plan)

PROJECT EVALUATION:

1974 General Plan Designation:	Residential
1976 South Pocket Community Plan Designation:	Low-Density Residential LPPT-PUD
LPPT-PUD Schematic Plan Designation:	Site 23 - Townhouse - 8 du/ac maximum
Existing Zoning of Site:	R-1A PUD
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:

North: Vacant; R-1 PUD  
South: Vacant; Single Family; A  
East: Vacant; R-1A PUD  
West: Single Family; R-1

Parking Required:	50 spaces
Parking Provided:	31 2-car garage (62 spaces); 26 guest spaces
Property Dimensions:	Irregular
Property Area:	3.9+ acres
Density of Development:	8 du per acre
Square Footage of Building:	Unit 1: 1,791 sq. ft.; Unit 2: 1,408 sq. ft. Unit 3: 1,696 sq. ft.
Height of Building:	28'
Exterior Building Materials:	Wood, brick, stucco
Exterior Building Colors:	Earth tones, red brick

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On March 25, 1987, by a vote of five ayes, four absent, the Subdivision Review Committee voted to recommend approval of the tentative map subject to conditions.

PROJECT EVALUATION: Staff has the following comments regarding this proposal:

APPLC. NO. P87-131 MEETING DATE April 13 9 1987 ITEM NO. 20 82

A. Land Use and Zoning:

The subject site consists of a vacant parcel totaling 3.9+ net acres located in the Townhouse (R-1A) zone and LPPT-PUD. Surrounding land uses include: vacant land approved for single-family residences to the north (Bridgeview at Riverlake); farm land with single-family residences zoned Agricultural (A) to the south; vacant land zoned R-1A-PUD to the east; and single-family residences under construction to the west. The site is designated for Low-Density Residential uses by the 1976 South Pocket Community Plan.

As noted, the site is located in the LPPT-PUD. The original PUD approval indicated that on Sites 21, 22 and 23, a 40- to 50-foot wide linear parkway would be created along Pocket Road in conjunction with future residential development (Exhibit A). An additional 20 feet of curb, gutter, meandering sidewalk and landscaping would occur within the public right-of-way adjacent to Pocket Road. Staff was supportive of this design concept as it would discourage on-street parking along Pocket Road, develop an attractive frontage along Pocket Road and eliminate the need for a buffer wall between the street and proposed residential uses. The linear parkway concept was approved, the three sites zoned R-1A PUD, and landscaping within the public right-of-way has been completed.

The applicant is requesting a tentative map and special permit to develop 31 residential units allowing for individual ownership and one common lot on Site 23 of the LPPT-PUD (Exhibits B-E). The proposed density is eight units per acre. This proposed land use is consistent with the community plan designation and the LPPT-PUD schematic plan designation for the site.

B. Site Plan Design

The project is designed so that the residences are in three-unit clusters of one single-story unit and two two-story units. The three units are set at an angle to Pocket Road to diminish the "row effect" often associated with linear townhouse developments. The three-unit clusters are designed to share a motor court cul-de-sac with another cluster. These motor courts are placed behind the residences. The intent of the applicant is to provide a view from Pocket Road which emphasizes the linear parkway, landscaped common areas and the residential units, and which screens the motor court areas from Pocket Road.

Overall, planning staff finds the site plan to be innovative and well-designed. Staff recommends that a minimum five-foot landscape setback, 10-foot building setback and six-foot high solid fence be provided along the north property line to provide privacy to future residents of the adjacent single-family subdivision. A minimum of 10 feet between the one-story portion of the building clusters should be provided in order to provide adequate access to the units and prevent a canyon effect from occurring between clusters. Twenty feet between the main entrances to units across from one another should also be provided (Exhibit F).

The applicant has also indicated one detached unit that is not a part of a building cluster on the western portion of the site in order to allow the maximum number of units to be constructed on the site. Plans for this unit have not been finalized. Staff recommends that the plans for this unit be subject to Planning Director's review and approval prior to issuance of building permits to insure design compatibility with the remainder of the site.

2. Police Department - Access to the site to be approved by Police and Fire Departments.
3. Engineering Division - Comply with the requirements of the LPPT Development Agreement and follow the improvements for Bridgeview at Riverlake.
4. Traffic Engineering Division - Provide a circulation plan for the cul-de-sac entrances; and driveway entrances to meet City standards and be located to the satisfaction of the City Traffic Engineer.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration subject to the following mitigation measure:

The project is located in an area of potential archaeological sensitivity, consequently, the applicant shall comply with the following:

if unusual amounts of bone, shell, or artifacts are uncovered, work within 50 meters of the area will stop immediately and a qualified archaeologist will be consulted to develop if necessary further mitigation measures to reduce any archaeological impacts to a less than significant level, before construction continues.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratification of the negative declaration;
- B. Recommend approval of the tentative map subject to conditions; and
- C. Approve the special permit for a 31-unit townhouse development subject to conditions and based upon findings of fact which follow.

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Prepare a sewer and drainage study for the review and approval of the City Engineer.
2. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
3. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.
4. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80 percent south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code.

5. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
6. All driveways and entrances shall be to the satisfaction of the City Traffic Engineer.
7. Minimum lot pad grade = 4.0 feet; Minimum gutter grade = 2.5 feet.
8. Show reciprocal access, sewer, water and drainage easements on final map.
9. Cannot file final map until Bridgeview Subdivision is under construction and filed.
10. Pay Pocket Bridge fees.
11. Comply with provisions of development agreement between LPPT and City of Sacramento.
12. Driveways and entrances shall be to the satisfaction of the City Traffic Engineer.
13. Dedicate Lot A as a PUE including underground electrical facilities and appurtenances excepting therefrom any building pads.
14. The applicant shall enter into an agreement with the Regional Transit District to provide a bus shelter on Pocket Road.

Conditions - Special Permit

1. A revised site plan indicating the following modifications shall be submitted for Planning Director review and approval prior to issuance of building permits:
  - a. All parking spaces, patios, patio walls and/or fences and walkways connecting residential units with the public right-of-way shall be relocated outside of the linear parkway and any required landscape setback or eliminated from the site plan.
  - b. Driveways shall not connect Pocket Road with the adjacent single-family subdivision to the north.
  - c. A minimum 25-foot landscaped setback shall be provided adjacent to West Shore Drive and a minimum five-foot landscaped setback shall be provided adjacent to the north property line.
  - d. A minimum of 10-foot building setback shall be provided adjacent to the north property line.
  - e. A minimum of 10 feet shall be provided between the one-story portion of the building clusters and a minimum of 20 feet between the main entrances to units across from one another, shall be provided as shown in Exhibit F.

2. Site plan, floor plans and elevations for the one-unit structure on the western portion of the site shall be submitted for Planning Director's review and approval prior to issuance of building permits. The unit shall be a minimum of 10 feet from the north and west property lines and from the adjacent three-unit cluster.
3. Landscape and irrigation plans for the linear parkway, required setback areas and common areas shall be submitted for the review and approval of the Planning Director and Director of Community Services prior to issuance of building permits.
4. A six-foot high solid fence shall be provided adjacent to the north property line.
5. All parking spaces shall meet the width, depth and maneuvering requirements of the City Zoning Ordinance.
6. The project shall meet the access requirements of the City Fire and Police Departments.
7. The project shall meet the driveway requirements of the City Traffic Engineering Division.
8. Any proposed project identification signs shall be subject to Planning Director review and approval prior to issuance of sign permits.
9. The project shall comply with all applicable regulations of the LPPT-PUD Guidelines and LPPT-PUD Development Agreement.
10. Prior to approval of the final inspection of the project by the City Building Division, the Planning Director shall inspect the project for compliance with all conditions of the special permit.

*see page 7 for condition 11 added by staff 4-13-89*  
Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the proposed cluster home/townhouse development is compatible with the proposed single family and multiple family development for the area.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare or result in the creation of a nuisance in that adequate parking, landscaping and building setbacks will be provided.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for Low-Density Residential Use by the 1976 South Pocket Community Plan and the proposed cluster home/townhouse use conforms with the plan designation.

10. Approval subject to the following notice: The property on which construction is authorized by this permit may be subject to flooding. It is the applicant's and property owner's responsibility to ascertain whether and to what extent such flooding may occur, and to review the applicable base flood elevations for the proposed project which are contained in the effective Flood Insurance Rate Map; the Department of the Sacramento District Corps of Engineers, Sacramento, California, Flood Insurance Study for the Sacramento City and County of California, FBEM and FIRM work map, dated January 1989; and, all preliminary flood maps available at the City of Sacramento's Planning Division. The Federal Emergency Management Agency and the U.S. Army Corps of Engineers ("Corps") are studying portions of the City of Sacramento to determine what improvements and measures may be needed in order to deem the areas under study adequately protected from a 100 year flood. Until the needed improvements and measures are in place, the areas under study may be subject to flooding by a 100 year or lesser flood. (A "100 year flood" refers to the area subject to inundation by flooding once during any given 100 year cycle; however, such flooding could occur in any given year.) The applicant and property owners should check with the local Corps to ascertain the status of its ongoing study and the projected completion date of any flood control project which might affect the proposed development. Flood insurance may be mandatory in all areas not protected from a 100 year flood, and the City of Sacramento recommends obtaining such insurance whether it is mandated or not. If the investigation of the nature of the flood hazard indicates that the property is at risk, it is the applicant and property owner's responsibility to ensure that all persons holding a record title interest in the property, and all subsequent owners, tenants, occupants, and other interested parties receive notice, as required under applicable law, of the flooding risk to which the property may be subject. This notice is intended to ensure that those persons choosing to develop property in an area subject to flooding have knowledge and the means of acquiring knowledge of the particular risks involved in such development. This notice shall not create liability on the part of the City of Sacramento, or any of its officers, agents, or employees for any damages to persons or property caused by flooding. 8. The project shall comply with all applicable regulations of the LPPT(PUD) Guidelines and LPPT(PUD) Development Agreement. (staff added)



LAND & DEVELOPMENT INC.

P 87131-400  
790

March 10, 1989

City of Sacramento  
Planning Department  
1231 I Street  
Sacramento, CA 95814

ATTN: Will Weitman  
Senior Planner

RE: P87-131  
Parcel 23 at Riverlake

Dear Mr. Weitman:

It is my understanding the tentative map for Parcel 23 at Riverlake, resolution number 87-362, expires May 12, 1989 and the special permit to allow 31 townhouses in the R-1A zone expires April 9, 1989. I would like to obtain a one year extension on the tentative map and the special permit.

I have enclosed a 300' radius map, mailing labels for current property owners within 300 feet of the property, a copy of the resolution for the tentative map, and a check for filing fees in the amount of \$1070.00.

Please give this matter your immediate attention to avoid expiration of the tentative map on May 12, 1989. If you have any questions, please contact our office.

Sincerely,

*Florence Tanner*

Florence Tanner  
Developer's Assistant

FMT

Enclosures



2310 1814 ST. SACRAMENTO, CA 95822

as shown on drawings

DONALD JOSEPH CO

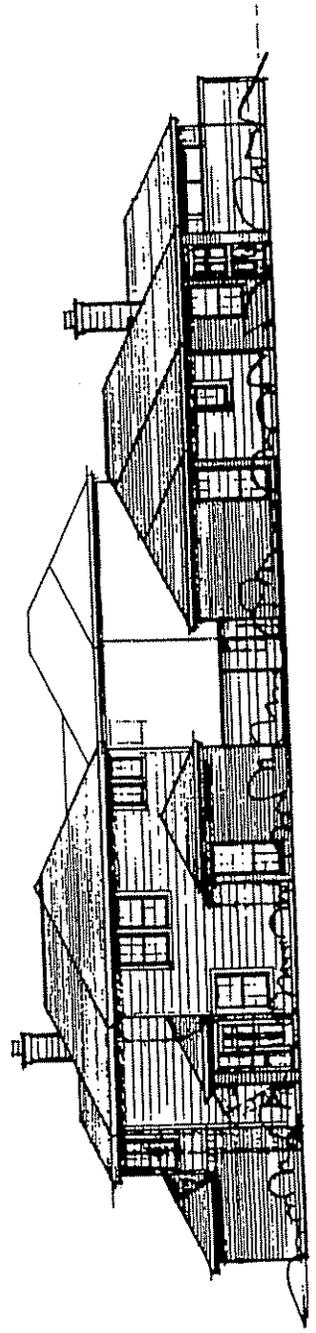
JOB NO. DRAWN BY

ELEVATION UNIT 1 & 2

1

# EXHIBIT D

D-1



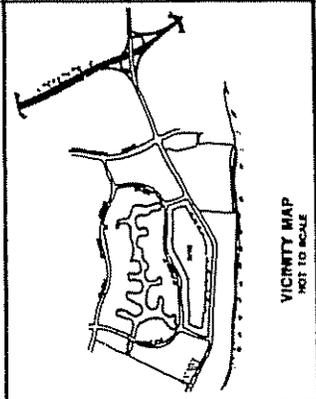
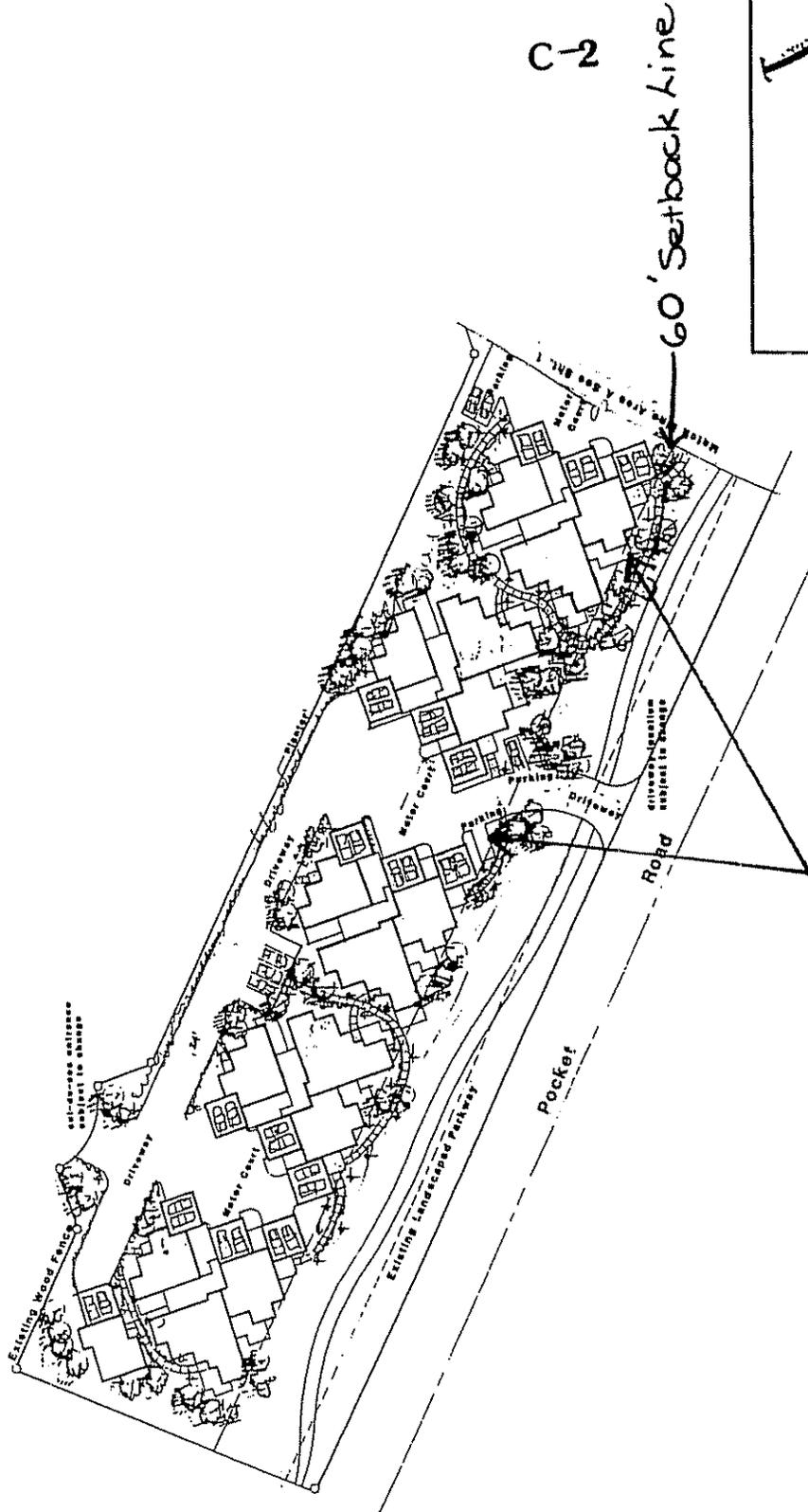
ELEVATION UNIT 1 & 2

done 4/5/87

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4-9-87

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Item 22





C-2  
60' Setback line

Remove all parking and patio areas from linear parkway (example)

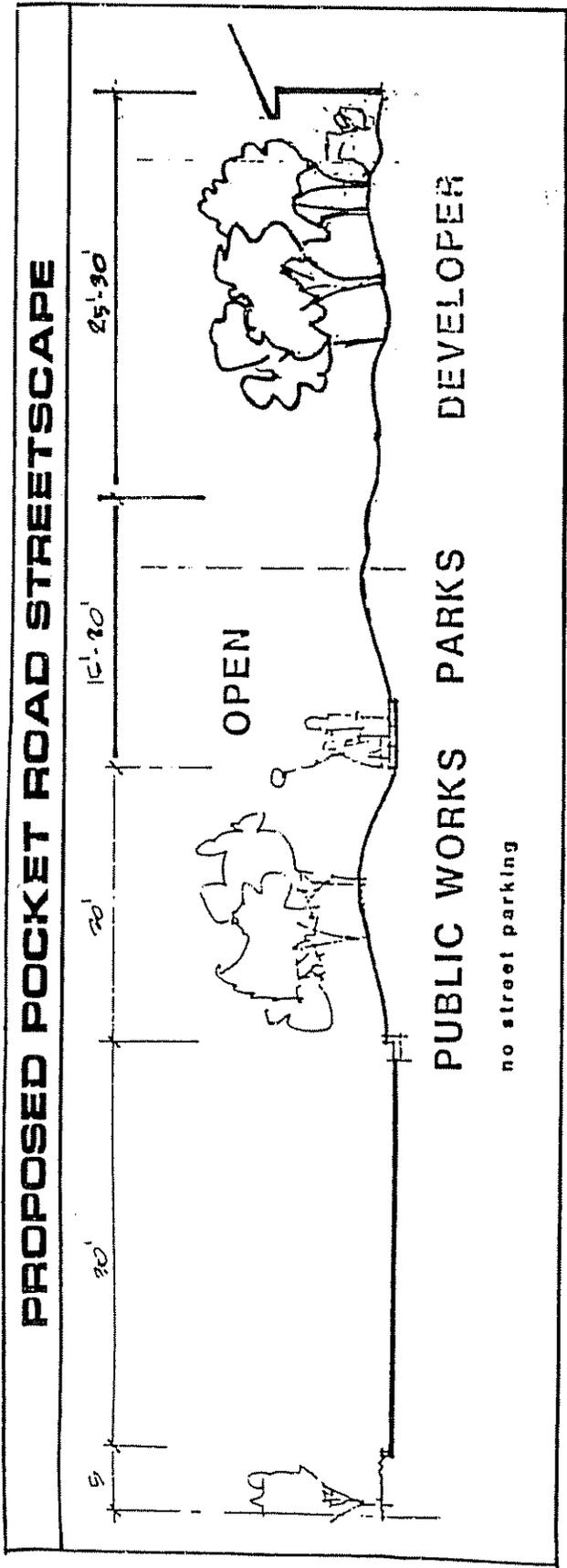
Partial Site Plan  
LOT 23 of Bridgeview at Riverlake  
Scale 1"=50'



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110-04

Item

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22



P87-131

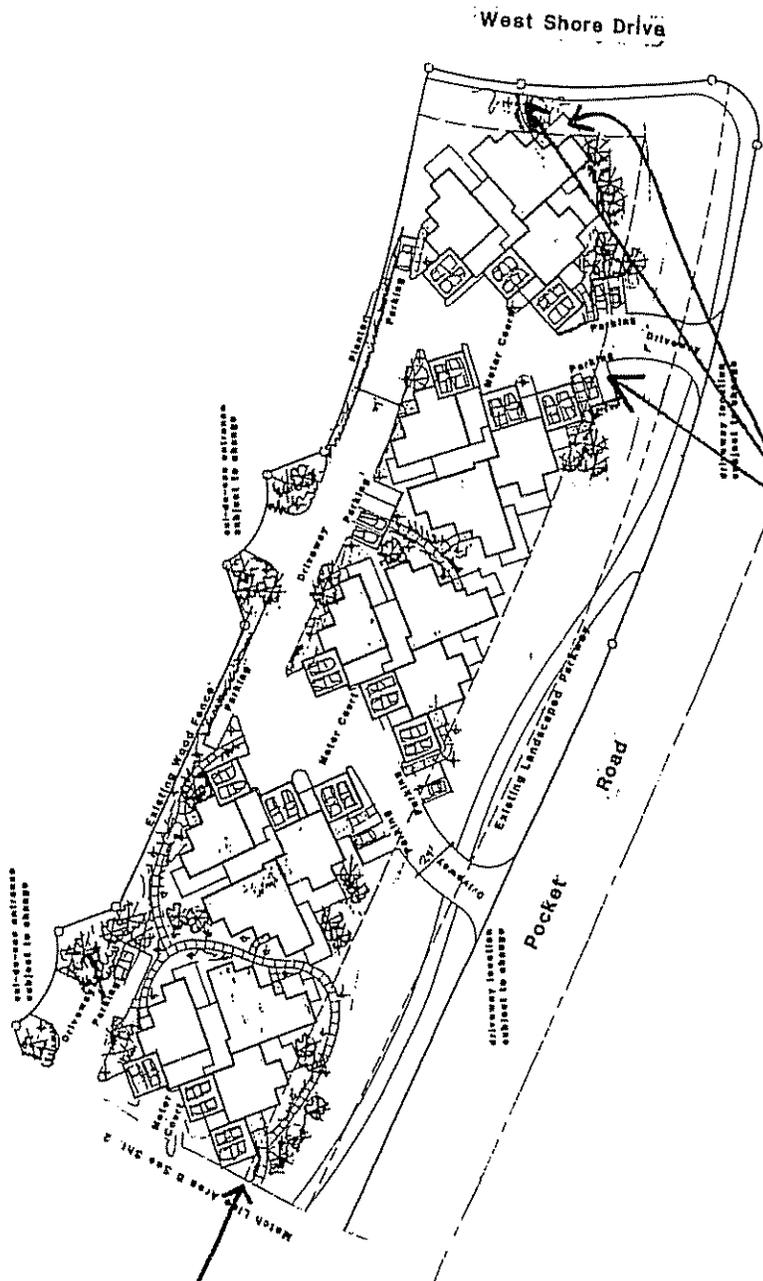
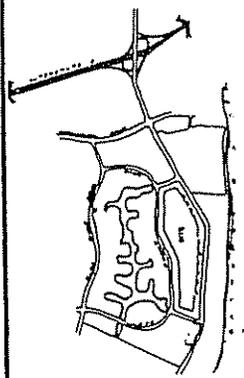
4-9-87

20  
27



# EXHIBIT C

## C-1



Remove all parking, patio areas and private walks leading to public right-of-way from linear parkway and landscaped setbacks (example)

60' Setback Line

Partial Site Plan  
LOT 23 of Bridgeview at Riverlakes  
Scale 1"=30'

DONALD JOSEPH CO

As shown, please

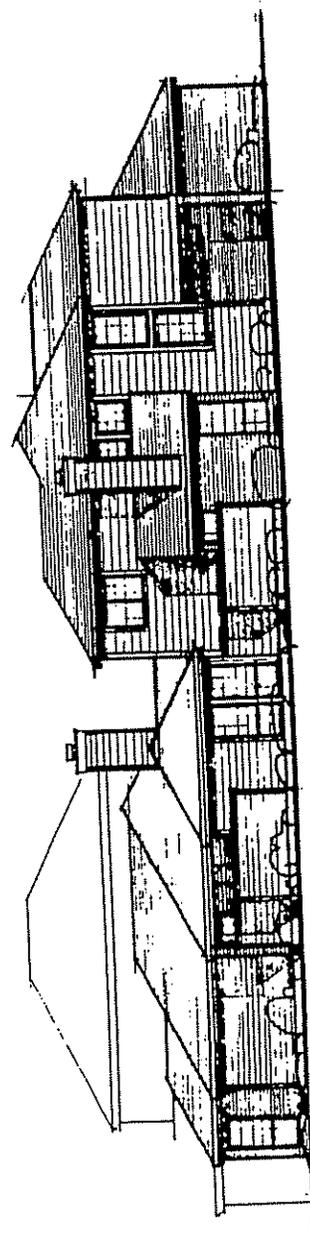
408 2848  
2210 1818 St. BETHESDA, MD

NOV  
DATE  
DRAWN  
REVISIONS

ELEVATION UNIT 2 & 3

2.

D-2



ELEVATION UNIT 2 & 3

SCALE: 1/8" = 1'-0"

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4-9-87

Item 22  
02

448 2828  
2810 1818 81  
8182 828

or other items

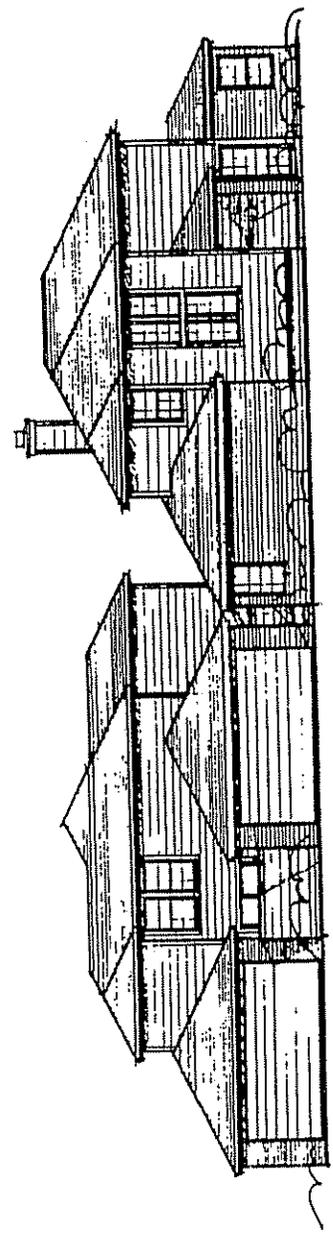
DONALD JOSEPH CO

NO  
DATE  
DRAWN  
REVISIONS

ELEVATION UNIT 3 & 1

3

D-3



ELEVATION UNIT 3 & 1

P87-131

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4-9-87

Item 20  
22

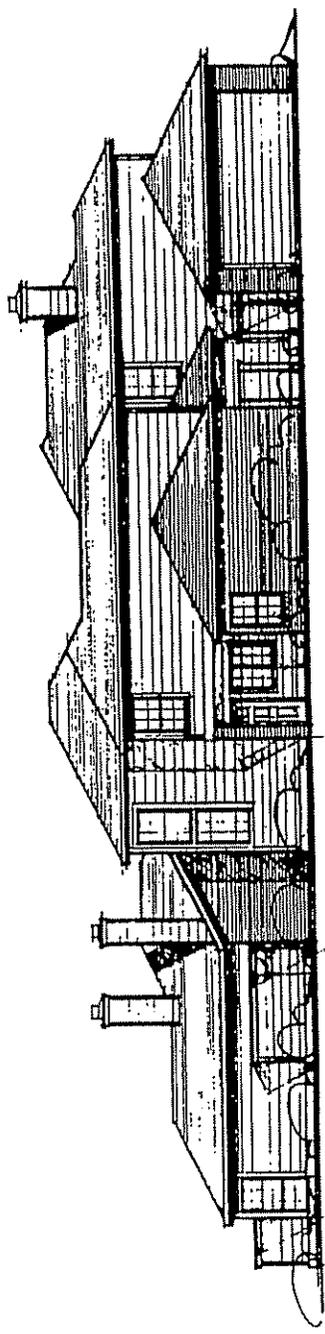
DONALD JOSEPH CO  
 445 WEST 18TH ST  
 ST. LOUIS, MISSOURI 63103  
 ARCHITECTS

NO	DATE	BY	REVISIONS

ELEVATION UNIT 2, 3 & 1

4

D-4



ELEVATION UNIT 2, 3 & 1

SCALE: 1/8" = 1'-0"

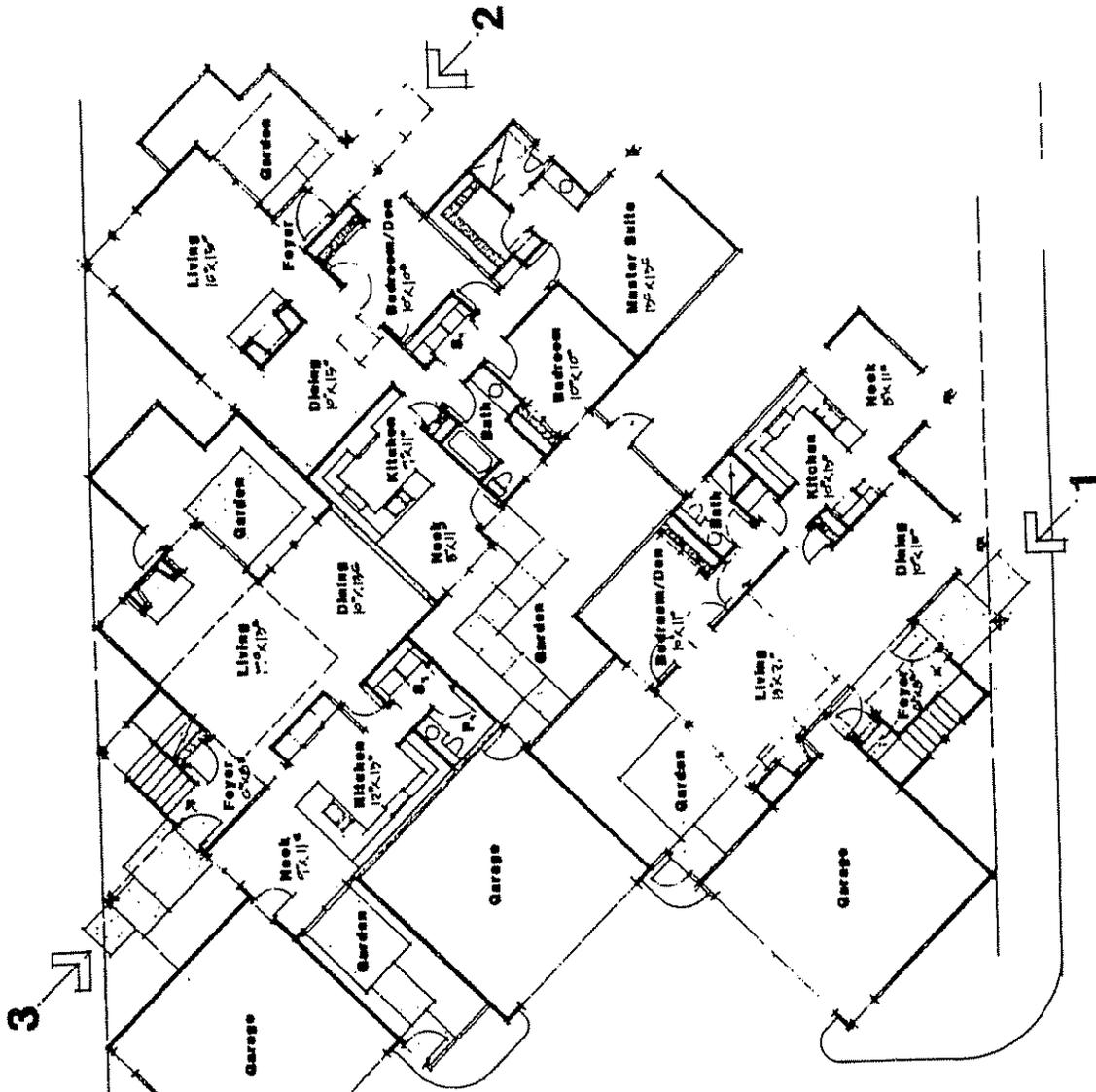
P87-131

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4-9-87

Item 20

EXHIBIT E

E-1



- Unit 1 1791 s.f.  
 4 Bedroom  
 3 Bath
- Unit 2 1408 s.f.  
 3 Bedroom  
 2 Bath
- Unit 3 1696 s.f.  
 3 Bedroom  
 2.5 Bath

GROUND FLOOR PLAN

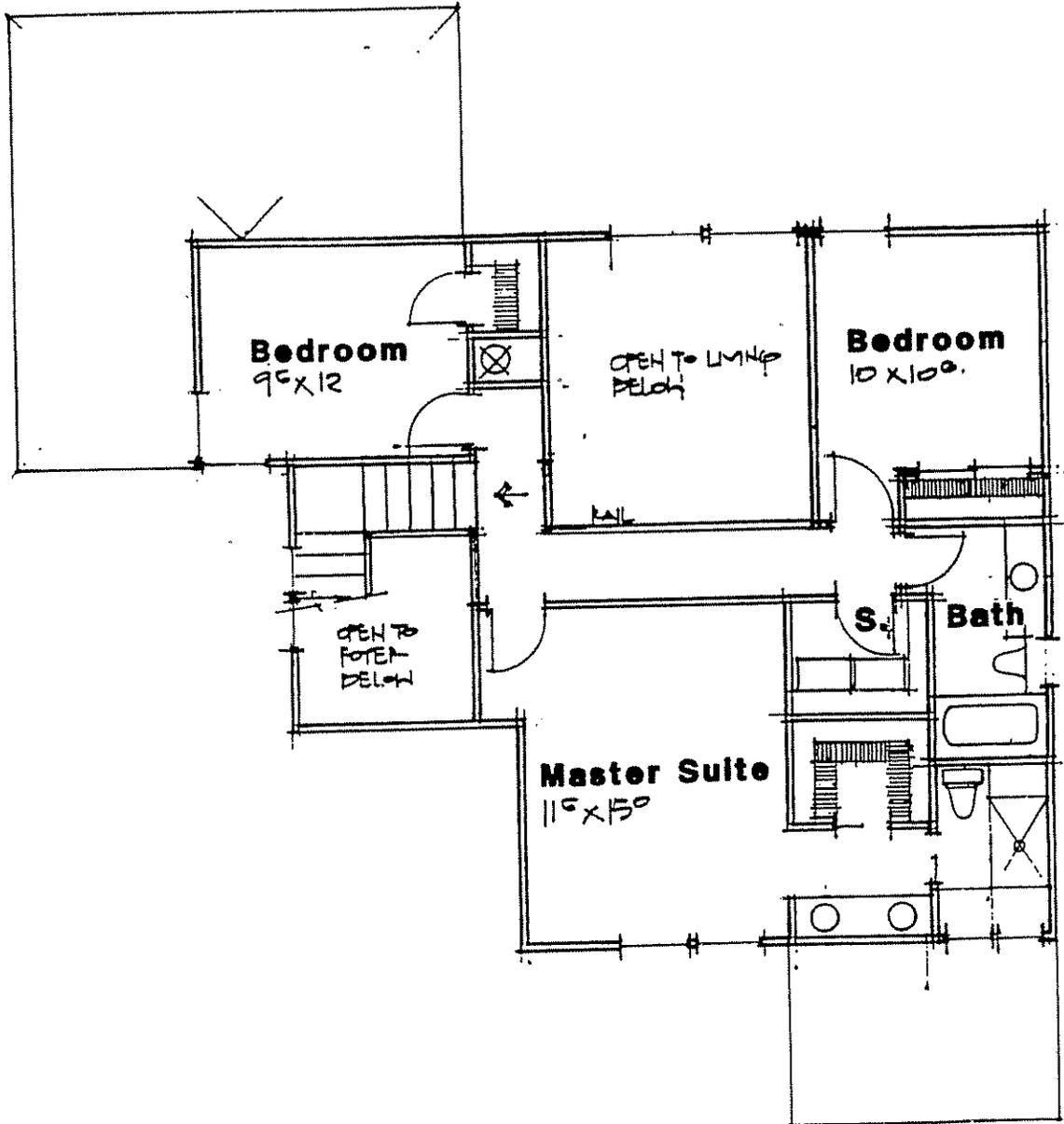
SCALE: 1/8" = 1'-0"  
 DATE: 8-87

P87-131

4-9-87

Item 22

13 61



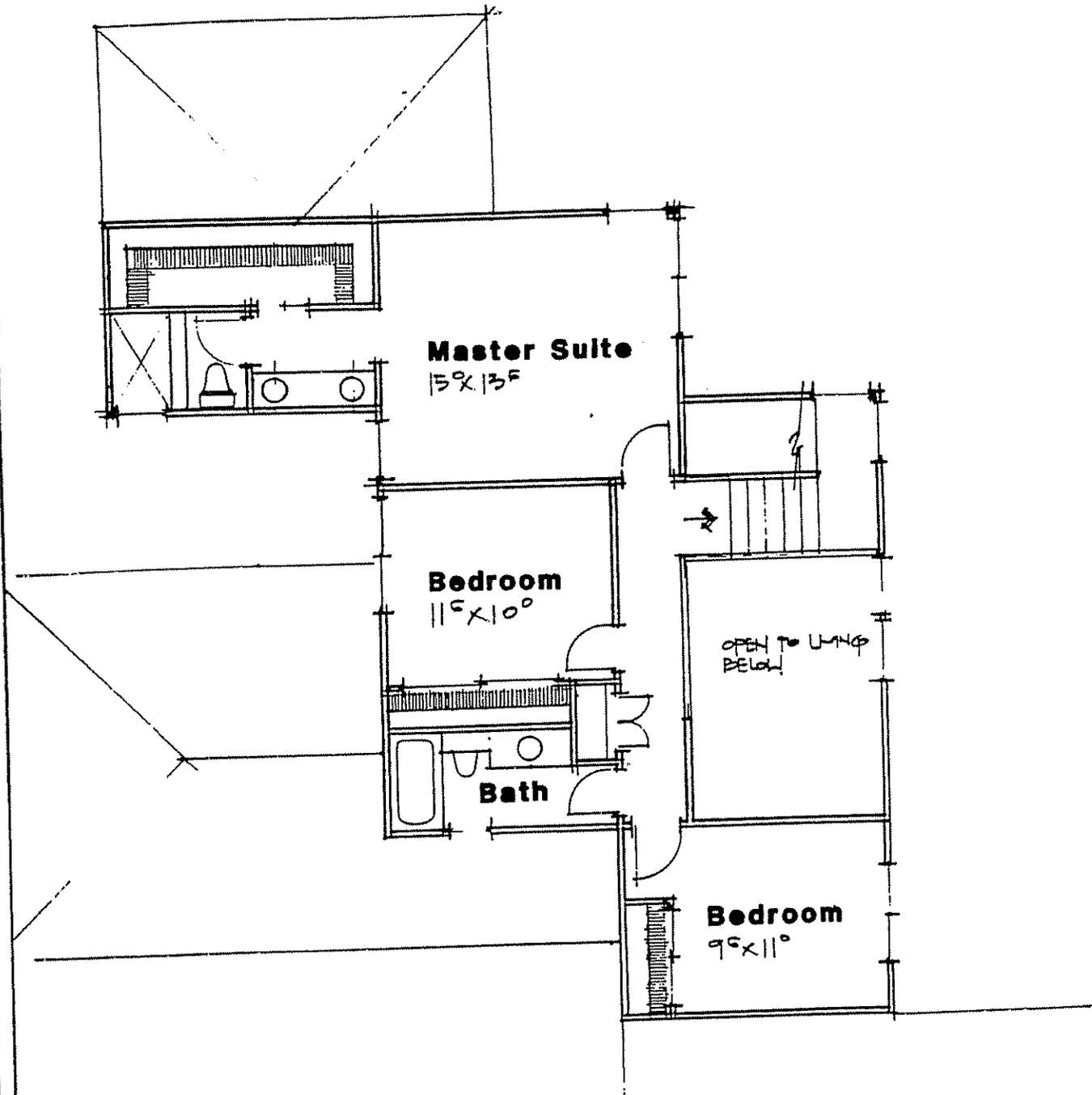
# SECOND FLOOR PLAN 1

SCALE: 1/8" = 1'-0"  
DFJ 1-20-87

13 9  
4-9-87

P87-131

20  
Item 20



# SECOND FLOOR PLAN

3

SCALE: 1/8" = 1'-0"  
DEL 1-20-87

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4-9-87

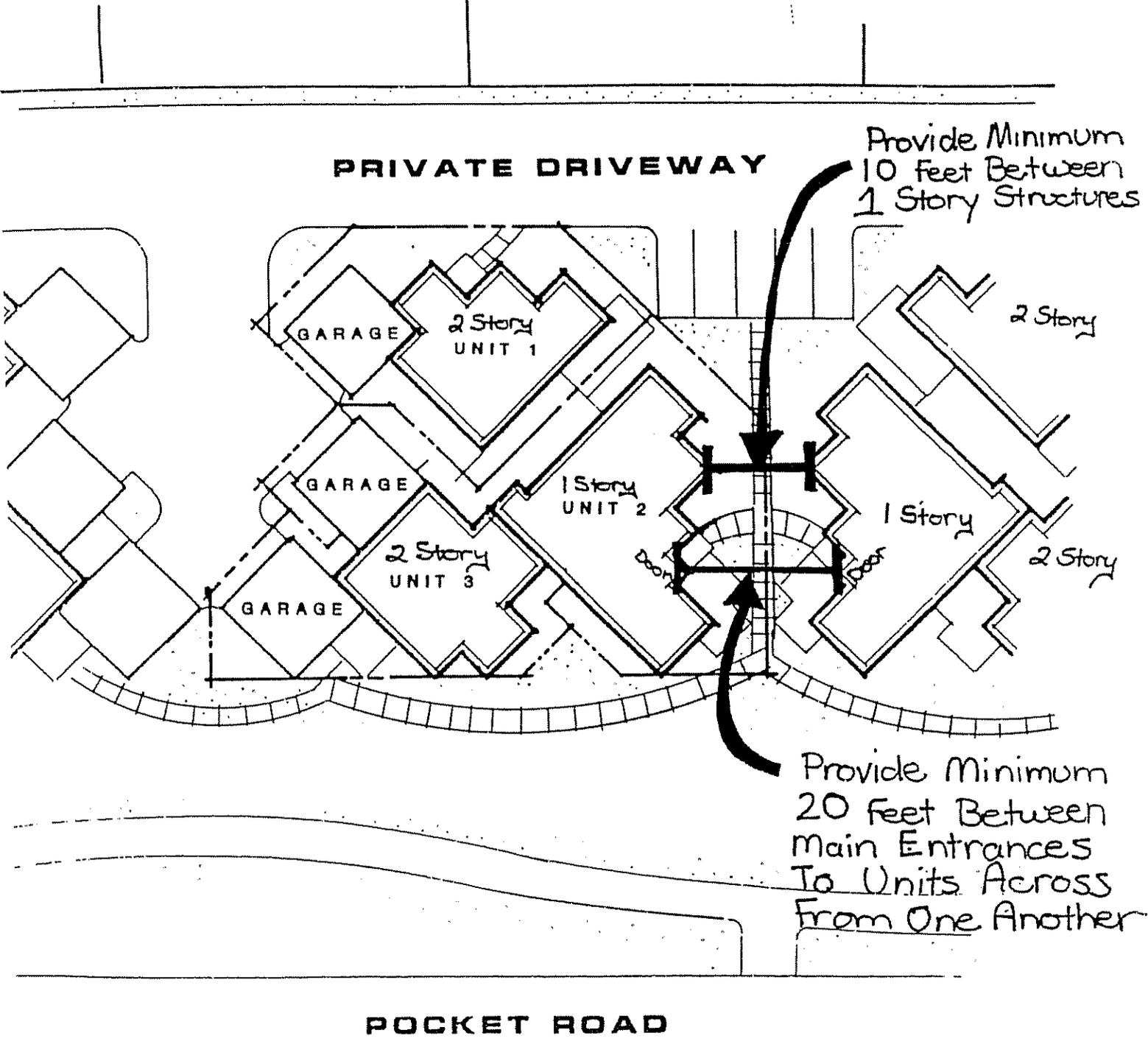
Item 20

P87-731

# TYPICAL BUILDING CLUSTER

SCALE: 1" = 30'

EACH 3 UNIT CLUSTER CONTAINS 4,488 SQ. FT. OF BUILDING AREA.



## Islands at Riverlake

### Density Information for the January 27<sup>th</sup>, 2003 meeting

General Plan – 4-15 dwelling unit per net acre (du/na\*)

Pocket Community Plan – 7-15 du/na

- \* Net acreage excludes publicly dedicated land(s), private streets that meet city standards, and other public use areas, as determined by the Planning Commission (Section 17.16.010-pg.1215).

In the staff report, the net density was determined by excluding the public use area (linear parkway of 40') as well as the 25' private drive from the 160' deep parcel leaving 95' or 59 percent of the original 20.6± acre parcel = 12.23± acres, for a density of 11.4 du/na (139 du ÷ 12.23 na).

With the 40' wide public use area (linear parkway) excluded, which comprises 25 percent of the property width, the density changes to 9.0± du/na (139 du ÷ 15.45 na) under the current proposal.

The maximum density allowed, including 25' private drive and excluding the 40' wide linear parkway, without amending the Community Plan is 15 du/na or 232 units (15.45 na x 15 du = 232 du). However, the LPPT PUD Guidelines would have to be amended as currently a maximum of 164 units are allowed (8 du/acre x 20.6 ac) under the current PUD guidelines.

The minimum number of units allowed without amending the Community Plan, including the 25' private drive and excluding the 40' wide linear parkway, would be 108 (7 du x 15.45 na = 108).

I appreciate Mr. Hestman's vision for the Islands at Riverlake especially, in responsiveness to the concerns of the Greenham Pocket Community.

I live in this community, I am raising my children here. I use the greenbelt everyday.

If Mr. Hestman was my neighbor, I would go for a walk with him along the greenbelt & share my concerns about this development. I've stood on East Shore Dr. & look at

These homes are beautiful, comfortable, & secure  
from Public Access by a 7' <sup>decorative</sup> Brick wall. The islands

@ Riverlake are not consistent with the existing  
community. I invite Mr. Hartman to come & stand  
with me & hold me to see his vision.

② The ECR states 7.15 dwelling / acre

Planning Commission Lists 11.35 units / acre

I'm confused about this difference.

	General Plan	Community Plan	LPPT PUD Guidelines	Staff Report
<b>Dwelling Units</b>				
Minimum	4	7		
Maximum	15	15	8	
<b>Net Acreage</b>				
Total Acreage	20.60	20.60	20.60	20.60
40' Parkway	5.15	5.15		5.15
25' Drive	3.22			3.22
Net Acres	12.23	15.45	20.60	12.23
<b>Dwelling Units/Net Acre (du/na)</b>				
Units				139.00
Minimum	48.9	108.2		
Maximum	183.5	231.8	164.8	
Staff Report Density				11.36

**TAB**

<b>A</b>	August 22, 2005	Letter to Lauren Hammond, Councilmember/SACOG Director from Mike McKeever, Executive Director of SACOG
<b>B</b>	August, 18, 2005	Letter to Planning Commission from J. Douglas Byrd, Riverlake Community Association Board of Directors
<b>C</b>	November 8, 2005	Letter to William "Bill" Parker, Parker Development Company from Jeff Marchner, President Riverlake Community Association
<b>D</b>	----	Density information for various projects
<b>E</b>	----	1987 Approval for Lot 21 of site
<b>F</b>	July 22, 2005	Letter to Robbie Waters, Councilmember from William Heartman, Regional President, Regis Homes
<b>G</b>	August 4, 2005	Documents pertaining to Planning Commission (conflict of interest)
<b>H</b>	September 11, 2003	Rush River Staff Report



August 22, 2005

Lauren Hammond  
Councilmember/SACOG Director  
City of Sacramento  
730 I Street, Suite 321  
Sacramento, CA 95814

Dear Director Hammond:

I am writing this letter in response to your request for review of the Islands at Riverlake Project. Thank you for the invitation to comment on this unique infill project as it relates to the Preferred Blueprint Scenario map and goals.

Remember that the Blueprint map is a conceptual map, intended to be interpreted and used as a concept level illustration of the growth principles. For this reason, it is risky to apply it at a parcel level. Through the Blueprint study, we have identified the need to aggressively utilize existing infill opportunities. The proposed Islands at Riverlake site plan is nearly identical to the Preferred Blueprint Scenario map. Its use of medium density housing and the inclusion of landscaped pocket parks and a linear parkway that provide bicycle and pedestrian connections to existing facilities fully embody the Blueprint growth principles. The proposed site plan for the Islands at Riverlake is clearly in the spirit of the Blueprint growth principles.

#### Findings and Evaluation

SACOG used the PLACE<sup>3</sup>S modeling software to review the application, which revealed a number of observations related to the principles of the Blueprint Project:

- The project offers non-motorized transportation opportunities. The proposal provides connections to existing bicycle and pedestrian facilities along Pocket Road that connects to other significant bike/pedestrian facilities such as the Pocket Canal Parkway and the Sacramento River Parkway and to recreational facilities at Garcia Bend Park. In addition, trails and sidewalks are included throughout the development.
- Compact development is considered essential for the Blueprint to succeed. This project proposes medium density residential in an infill setting; this is consistent with the Blueprint.
- A variety of housing options are important to the Blueprint principles so that multiple segments of the housing market can be met. The Island at Riverlake proposal offers a housing type that is currently in small supply within the Sacramento Region, is different than other types in the Riverlake Community Association area, and is expected to be more affordable than the average home in the same area.

Aburn  
Citrus Heights  
Colfax  
Davis  
El Dorado County  
Elk Grove  
Eolsom  
Ealt  
Eleton  
Eincaln  
Eive Oak  
Eoomis  
Earysville  
Elacer County  
Elacerville  
Erancho Cordova  
Erocklin  
Eroseville  
Esacramento  
Esacramento County  
Eutter County  
Evest Sacramento  
Eheatland  
EVinters  
Eoodland  
Eolo County  
Euba City

Director Hammond

Page 2

August 22, 2005

- Focusing development in infill areas better utilizes the public infrastructure and helps reduce the consumption of open space along the urban periphery. The proposed project is located on some of the last undeveloped parcels in the immediate neighborhood.
- The inclusion of landscaped pocket-parks and the linear parkway and the preservation of off-site Swainson's hawk habitat are consistent with the Blueprint Natural Resource Conservation Principle.

Overall, the Islands at Riverlake proposed site plan is consistent with the Blueprint Preferred Scenario and Goals. If you have any questions, please feel free to contact me. Thank you for your consideration.

Sincerely,



Mike McKeever  
Executive Director

MM:AH:ts  
Enclosure

cc: Sabrina Teller; Remy, Thomas, Moose & Manley, LLP

S:\Projects 05-06\0601-Blueprint\Hammond\tr082205 doc

## Sacramento Area Council of Governments: Basis for Comment on Development Proposals

The Sacramento Area Council of Governments (SACOG) is comprised of six counties and 22 cities in the region, including the City of Sacramento. SACOG's primary responsibility is developing and implementing the Metropolitan Transportation Plan (MTP), a document that establishes transportation spending priorities throughout the region. The MTP must be based on the most likely land use pattern to be built over the 25-year planning period, and it must conform with federal and state air quality regulations.

The MTP must effectively address two, linked, challenges. Current land use patterns, transportation funding levels, and transportation investment priorities are projected to lead to an increase in vehicle miles traveled that exceeds population growth, an increase in congestion levels of 50%, and increases in mobile source emissions, particularly carbon dioxide and particulates<sup>1</sup>. To attempt to solve these challenges two and one-half years ago the SACOG Board initiated the Blueprint project, an extensive study of the linkages between transportation, land use and air quality. The study has examined a number of growth alternatives at the neighborhood, county and regional scales and reached several important conclusions, including:

- The region will experience strong growth for the next 50 years, approximately doubling the number of jobs, people and houses;
- The structure of the population will change significantly, with two-thirds of the growth in households 55 years and older, and only 21 percent of the growth in households with school aged children;
- Older households have different housing needs and preferences than younger households – over two-thirds of today's householders over 55 express housing preferences for what might be termed non-traditional products in this marketplace – homes on small lots and attached housing;
- The rapid increase in housing prices in the region in the past few years has priced many people out of the home-buying market, emphasizing the need for alternative products such as small lot single family and attached housing that can be priced in a range that more people can afford;
- There is a strong connection between land use patterns, travel behavior and air quality;
- Specific land use patterns that lead to increased walking, biking and transit use and shorten the length of automobile trips include higher density housing and employment, locating jobs and housing near each other, and providing strong connectivity in the design of street and bicycle/pedestrian systems.

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<sup>1</sup> SACOG Metropolitan Transportation Plan, 2002

# Riverlake Community Association

August 18, 2005

Planning Commission  
City of Sacramento  
1231 "I" Street, Room 300  
Sacramento, CA 95814  
Attn: Mae

Re: Islands at Riverlake Project

Dear Commissioners:

The Riverlake Community Association Board of Directors adopted the attached resolution regarding the Islands at Riverlake project. It is being sent to you for your consideration in reviewing issues pertaining to the project.

Sincerely,



J. Douglas Byrd, ARM, CCAM  
General Manager

Enclosure: Resolution RCA 05-001

Cc: Councilmember Robbie Waters  
Bill Heartman, Sares-Regis

## RESOLUTION No. RCA 05-001

### OF THE BOARD OF DIRECTORS OF THE RIVERLAKE COMMUNITY ASSOCIATION

Re: Islands at Riverlake Project

Whereas, the Islands at Riverlake project by Regis Homes of Northern California, Inc has been proposed for a 20+ acre parcel along Pocket Road and in fact construction has begun; and

Whereas, the Board is aware that there are persons in the Riverlake community who support the project and those who oppose the project; and,

Whereas, the Board's resolution in this matter represents the positions of individual Board members voting to promote the overall best interests of the Association; and,

Whereas, subsequent to the Board's last stated position on the project, that construction substantially began, resulting in changed circumstances affecting the Board's position, as reflected below; and,

Whereas, the Islands at Riverlake property is in a state of physical and visual disarray due to a suspension of construction activities by order of the Appellate Court, and now presents a visual blight to those traveling along Pocket Road. Unfinished construction activities have resulted in weeds, piles of dirt, exposed pipe, temporary asphalt sidewalks and orange construction fencing throughout the project; and,

Whereas, failure to proceed with the Islands at Riverlake project will likely cause an indefinite continuance of this condition, to the detriment of Riverlake area residents; and,

Whereas, the Board has met with the developer and area residents over a period of several years in its role of evaluating the project for the conceptual approval by the Association. In this role, the Board has influenced several project changes that were beneficial to the project and the community; and,

Whereas, while the Board has stated objections to certain details of the project, it finds that overall it does not constitute an aesthetic detriment to the community; and,

Whereas, the Islands at Riverlake project has tentatively been approved for annexation by a 96% vote of RCA members voting, evidencing a strong sentiment by members for RCA controls of this substantial addition to the Riverlake community; further that any future project will not necessarily request annexation to Riverlake; and,

Whereas, annexation of the project will provide income to the Association to defray any additional administrative costs and will reduce the current amount of payment by current Association members for maintenance of the Pocket Road greenbelt; and,

Whereas, the developer of the Islands at Riverlake project has cooperated in submitting construction details for review by the Riverlake Architectural Control Committee to promote architectural consistency with the community; further that any future project may choose not to cooperate in such a manner; and,

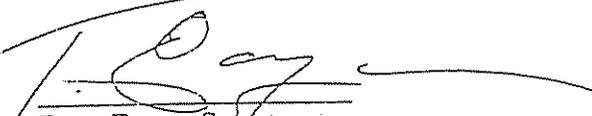
Whereas, the density level of 139 residential units on the project is possible only because of a development agreement that existed between LPPT and the city, under which Regis commenced this project before its expiration; a future project would not have the benefit of this development agreement and would likely have a higher density of 164 or more; and,

Whereas, there are no assurances that any future new project by the current developer or any other developer would receive greater support from the community at large, or be of a quality equal to this project;

Now Therefore, the Board hereby adopts the following resolutions:

- 1) That the Islands at Riverlake project will not be an aesthetic detriment to the community at large;
- 2) That completion of the proposed Islands at Riverlake project as proposed should be accomplished as expeditiously as possible.
- 3) That completion of the proposed Islands at Riverlake project is in the overall best interests of the Association and its members.
- 4) The Secretary is directed to send a copy of this Resolution to city officials who may be reviewing the project.

This resolution is adopted and made a part of the minutes of the special meeting of the RCA Board of the Riverlake Community Association on August 17, 2005.

  
Terry Eagan, Secretary

# Riverlake Community Association

November 8, 2005

William "Bill" Parker  
Parker Development Company

**Re: Islands at Riverlake Project**

Dear Mr. Parker: *Bill*

As a follow-up to your meeting with Peter Chin, Richard SooHoo and me on October 27, I briefed the Riverlake Community Homeowners Association ("RCA") Board on November 3 regarding the information you presented. In particular, I discussed your proposal to resurrect the 1994 townhouse project in hopes of resolving the current (apparent) community conflict over the Regis project. Jim Parker excused himself from this portion of the Board meeting.

No formal action was taken, as the board members felt comfortable letting our last expression (the August 17, 2005 Resolution) remain as our current position. They elected not to take an advocacy role at the city council meeting on November 15.

The Board was not particularly enthused about changing projects at this point and supporting your townhouse project. The additional 18 month to 2 year delay securing necessary approvals, etc., on top of the 2 year construction build-out for that project or the current project) was viewed as very undesirable. This factor outweighed any merit that the townhouse proposal *might* have over the Regis proposal. The increase in density from 139 to 164 units was also regarded as a negative factor. Further, there is no certainty that other residents might not object to the townhouse proposal, which could further delay project completion.

In addition, the Board remains concerned about the potential for a significantly higher density project, should the Regis project be derailed. The legal efficacy of the (expired) Development Agreement on this issue remains very much in doubt. As you are aware, the city recently abandoned its share of responsibility for greenbelt maintenance, citing the expiration of that agreement.

Finally, I must report that Board members were very disturbed by your financial support of the Pocket Protectors' legal actions, and especially the late disclosure of same. It was felt that your failure to communicate this important factor to the Board in a timely manner dishonored the time and effort expended by the RCA Board exercising the 'approval' role conferred on it by you.

Respectfully,



Jeff Marschner  
President

Cc: RCA Board of Directors  
Kimberly Kauffman-Brisby, City Planning  
Bill Heartman, Saes-Regis

<u>Project</u>	<u>Densities</u>
Natomas Field .....	48.5 - 53.5
Candela .....	45
Riverdale North .....	50
Natomas Central .....	45
PP Alt .....	48
Islands .....	49.8

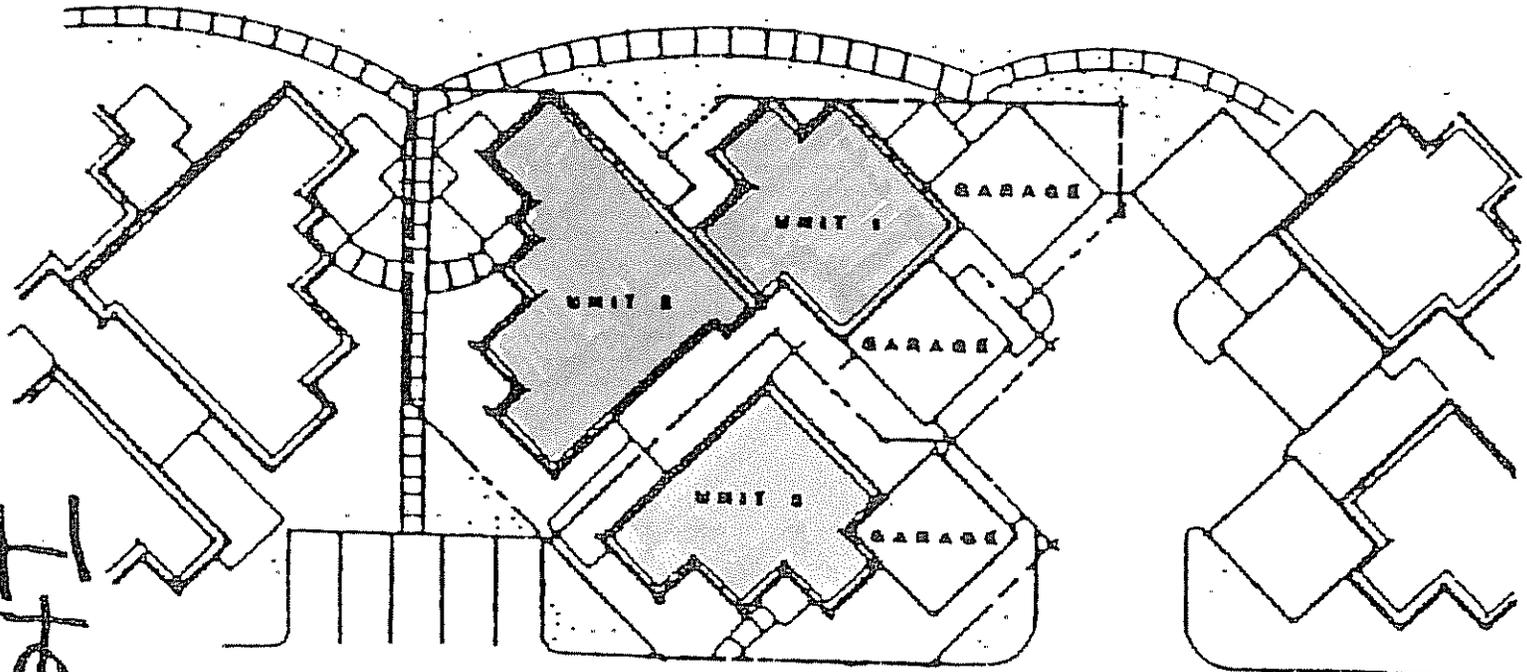
# TYPICAL BUILDING CLUSTER

SCALE: 1"=30'

EACH 3 UNIT CLUSTER CONTAINS 4,400 SQ. FT. OF BUILDING AREA

0141

POCKET ROAD



PRIVATE DRIVEWAY

Item

 detached unit (SFD)

 Attached units

MARCH 1, 1987

21

July 22, 2005

Councilmember Robbie Waters  
City of Sacramento  
730 "I" Street, Room 321  
Sacramento, California 95814-2608

Re: Islands of Riverlake  
Your letter dated June 13, 2005

Councilmember Waters,

First let me apologize for not responding more quickly to your letter. I took the opportunity while my youngest kids (15 -21) still want to travel with their parents to take my family to Europe from early June to the first week of July. In my absence, however, my field operations personnel were monitoring the site and in contact with Doug Byrd at the RCA.

We all recognize that the Court of Appeals has placed this project and the Riverlake Community in an unenviable position of having a construction project stopped mid-stream. While RCA and my organization have been diligently working to keep the site as clean, secure, and presentable as possible, it is impossible to return the property back to the way it was before we started construction. It is ironic that those complaining the most are typically the same people who sued the City, stopped the project, and disrupted your Community.

In response to your letter of March 14, 2005, I sent you an email as to what we would try to accomplish as the weather cleared (a copy of that email attached for your convenience). While mother-nature did not cooperate too well with us, as the site dried we were able to make significant progress.

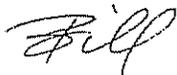
In response to your June 13, 2005 letter, attached you will find a spreadsheet called "Regis Worksite Cleanup" that was prepared by Doug Byrd from RCA that delineates items from RCA and the Pocket Protectors (communicating with RCA). As you can see by the comments on the left side, most of the items were completed before receipt of the list on May 09, 2005. The newly requested items at the bottom were dealt with immediately or as weather permitted. As I indicated in my March 14 email, the Islands project purchased the "blue pipes" for the project's water system and they have been stacked neatly on the project. Unfortunately we did not have any other water systems being installed this winter or spring where we could use that material. If we start another water system installation where I can use the material before we are able to resume construction on the Islands site, then I will remove the pipes. As for the orange fence, we are constantly monitoring and fixing that fence as appropriate.

Again, I apologize for the delay in my response and hope that I and we have addressed your issues. We will continue to try to keep the site as presentable as possible under these difficult circumstances by working with you and the Riverlake Community Association and neighbors. Again, if you would like to walk the site with me or my field personnel at any time so that we can better address any other concerns that you may have, please let me know.

Thank you for your attention to the above. If you have any question, please call.

Yours truly,

**REGIS HOMES**  
of Northern California, Inc - Sacramento



William F. Heartman  
Regional President

Enclosures - 2

cc: Doug Byrd, RCA  
file

**Regis Worksite Cleanup**

(List received from Doug Byrd at RCA, May 09, 2005)

**Regis Response to RCA list**

(prepared by Regis staff for Regis implementation)

Up-dated by Regis: 7/22/05

**CATEGORY PRIORITY**

**Tasks Performed at Riverlake's Request As of This Date\***

- 1 Sidewalk repairs with cold mix
- 2 Temporary cyclone fencing at fence breaks to Southshore and Bridgeview
- 2 Temporary wood fencing at fence break to Coleman Ranch
- 2 Replacement of destroyed street light near Coleman Ranch
- 3 Standing water drained from ditches/frenching (ongoing until rains stop)
- 4 Repairs/replacement of broken irrigation equipment along linear park
- 5 Water tower removal

5 Grade rough ground on West Shore Dr. median and egress/ingress points on Pocket Rd, planted grass seed. Riverlake removes weeds and ensures watering is sufficient

5 Replaced destroyed concrete curb with temporary asphalt curb

**Pocket Protector Requests**

- 1 Realign/roepen sidewalk into Dura Bend (No. 1 request)
- 1 Improve "poorly done" sidewalk repairs
- 2 Bolster/improve temporary fencing at Southshore and Bridgeview
- 3 Eliminate standing water conditions
- 3 Dust from project site
- 5 Remove temporary Portapotty
- 5 Weeds on work site
- 5 Restore work site to "original state" pending project approval
- 5 Orange temporary fencing "falling down"
- 5 Concern about the health of certain Redwood trees not getting the right amount of water
- 5 Trash on construction site not cleaned up

**Recently Requested items Requested by Riverlake that Regis has agreed to perform**

East Side of Dura Bend entry: Temporarily repair Dura Bend entry sidewalk using benderboard and decomposed granite and concrete mix. Orange fencing will be pulled back further from street and relocated just to the West of the restored sidewalk so Riverlake landscapers can mow the grass in this area. On the East side of the entry, the orange fence will be pulled back further from the street so the landscapers can mow grass in this area. Work will begin as soon as weather permits.

The sidewalk patches-especially at West Shore Drive will be improved by adding more asphalt in the areas not already repaired.  
The temporary fencing at the cul de sacs at Bridgeview and Southshore will be upgraded to the standard already installed at Coleman Ranch. Work will begin this week--weather permitting.

Standing water on site will be drained again as soon as the current rains stop.  
Regis landscapers will spray all weeds on the lot especially along the orange fence line. This will be done as soon as weather warms up a bit.

\* Regis erected temporary fencing, hazard signage, cleanup of site scraps, including pipes, and other safety work w/o prompting from Riverlake.

**Specific Task**

Completed prior to receipt of list from RCA  
See item #2 in third section  
Completed prior to receipt of list from RCA  
Completed prior to receipt of list from RCA  
Completed prior to receipt of list from RCA  
Completed prior to receipt of list from RCA

Completed prior to receipt of list from RCA  
Completed prior to receipt of list from RCA

Requested by RCA after PP meeting. Completed prior to receipt of list  
Requested by RCA after PP meeting. Completed prior to receipt of list  
Requested by RCA after PP meeting. Completed prior to receipt of list  
Requested by RCA after PP meeting. Completed prior to receipt of list  
No construction activity, weed abatement requested impacts dust  
One hidden Granite portapotty recently located on the site; have requested removal. All others have been removed.  
Have previously sprayed for weed control; will spray again by July 30.  
Not practical, would require removal of all pipes and re-grade site  
Constantly monitoring and correcting as necessary  
Requested by RCA after PP meeting. Completed prior to receipt of list  
Requested by RCA after PP meeting. Completed prior to receipt of list

Completed by May 11, 2005

Completed by May 11, 2005

Completed by June 11, 2005, once weather permitted

Completed by May 27, 2005

Completed by May 11, 2005



OFFICE OF THE  
CITY COUNCIL

CITY OF SACRAMENTO  
CALIFORNIA

ROBBIE WATERS  
COUNCILMEMBER  
DISTRICT SEVEN

MAR 16 2005

March 14, 2005

Bill Heartmann  
Regis Homes of Northern California, Inc.  
1435 River Park Drive, Suite 415  
Sacramento CA 95815

Dear Mr. Heartmann: *Bill*

The purpose of this letter is to advise you that I am being inundated with complaints regarding construction materials still on site at your property on Pocket Road, "Islands at Riverlake." Construction materials include the elevated water tower, various PVC pipes, blue sewer pipes and the de-watering pipes and sand bags.

A copy of my December 27, 2004 letter to you, in which I asked you to remove all construction equipment as reasonably possible, is enclosed. I did receive a voice mail from you in early January, in which you stated that you were concerned that if equipment was brought onto the property to remove the remaining equipment, ruts would remain in the saturated ground and that could possibly be interpreted as a violation of the court order.

I have been advised by the City Attorney that, if there is concern about the permissibility of removing the equipment under the current order from the Third Appellate District, that a request for clarification or amendment of the order could be sought from the appellate court. I would ask that you seek this direction from the court if you and your attorneys determine it necessary.

I would appreciate your timely response back on this matter, so that I can answer my constituent complaints in an informed manner. If you have any questions, please contact my office at 808-7338.

Sincerely,

ROBBIE WATERS  
COUNCILMEMBER, DISTRICT SEVEN

RW:dd;dfd7/05

**Bill Heartman**

---

**From:** Bill Heartman  
**Sent:** Wednesday, March 30, 2005 6:59 PM  
**To:** 'rwaters@cityofsacramento.org'  
**Cc:** Mark Mog; Don Moore  
**Subject:** Islands of Riverlake, Riverlake Community

Robbie,

In response to your letter to me dated March 14, 2005, below is what we have or are trying to accomplish:

1. From the issuance of the stay by the Third District Court of Appeals last December we have worked with the City field staff and Riverlake Community Association to stabilize and secure the site. We have removed equipment, back-filled open trenches, build a security fence at Coleman Ranch, replace temporary AC, maintained and replaced landscaping where possible, re-connected the irrigation system, and install temporary security fences where necessary
2. Since receipt of your December 27, 2004 letter, my site superintendent has contacted Granite Construction Company, the owner of the elevated water tower, numerous times requesting remove of the tower. While it was too wet to get the heavy equipment necessary to remove the tank on to the site during January and most of February, he has called them at least twice a week as the site became stable enough. I even had the Vice President of our entire construction company call Granite twice, to no avail. Unfortunately, we could not get the tank move before our most recent storms so we will need to wait for at least a week of dry weather before we can move it. My field staff will again push Granite as hard as possible once the site is dry enough.
3. Since receipt of your March 14, 2005 letter, I personnel walked the property with my site field staff and have instructed them to:
  - a. Collect and remove the de-watering pipes and remove the surface de-watering equipment.
  - b. Consolidate and organize any PVC pipes that we intend to use once we re-start construction
  - c. Remove any debris and scrap construction materials.Although they were only able to accomplish a small portion of these tasks before the storms over the last two weeks, as it dries out, we will get all of the above completed ASAP.

We can not remove the "green socks and bags" protecting the DI's and other SWIPPS measures without violating State Water Resources regulations and laws. The blue pipes on pallets stacked orderly on the property have been purchased for our site construction and there are no current plans to remove them.

I hope that the above addresses your concerns. We will continue to endeavor to work with you, RCA, and the City to keep the site as presentable as possible. If you would like to drive or walk the property with me and my field staff at any time so that we can address any other item, please let me know.

I appreciate all of the effort that you have and continue to put forth for the Riverlake Community. Please do not hesitate to call me if I can be of any further assistance

Thank you,

Bill Heartman  
Regional President  
SARES-REGIS Group of Northern California, LP  
REGIS HOMES of Northern California, Inc.  
(916) 929-3193, Ext 18  
email: bheartman@srgnc.com



OFFICE OF THE  
CITY COUNCIL

CITY OF SACRAMENTO  
CALIFORNIA

ROBBIE WATERS  
COUNCILMEMBER  
DISTRICT SEVEN

June 13, 2005

Bill Heartmann  
Regis Homes of Northern California, Inc.  
1435 River Park Drive, Suite #415  
Sacramento CA 95815

Dear Mr. Heartmann: *Bill*

The purpose of this letter is to request an update on the clean-up issues I have previously brought attention in my March 2005 and December 2004 letters on the Islands at Riverlake construction site.

I am particularly concerned with the remaining blue pipes and inconsistent sections of orange fence. Again, if there is concern about the permissibility of removing the equipment under the current order from the Third Appellate District, a request for clarification or amendment of the order could be sought from the appellate court. I would ask that you seek this direction from the court if you and your attorneys determine it necessary for additional clean up.

I would appreciate your prompt response back on this matter. If you have any questions, please contact my office at 808-7338.

Sincerely,

ROBBIE WATERS  
COUNCILMEMBER, DISTRICT SEVEN

RW:dd:dfgD7/05



OFFICE OF THE  
CITY COUNCIL

ROBBIE WATERS

COUNCILMEMBER  
DISTRICT SEVEN

CITY OF SACRAMENTO  
CALIFORNIA

December 27, 2004

Bill Heartmann  
Regis Homes of Northern California, Inc.  
1435 River Park Drive, Suite 415  
Sacramento CA 95815

Dear Mr. Heartmann:

The purpose of this letter is to request further remedial action on the Islands at Riverlake property during this interim time period when construction is prohibited. I have received several complaints recently about both possible safety issues with equipment as well as the visual landscape of this important community entrance.

Specifically, I would like to request that you remove all equipment as reasonably possible, including the elevated tank that says "Granite," the blue pipes and the dewatering devices. Any additional clean up that would improve the look of the corridor, while not interfering in any mandated process, would also be beneficial for your firm as well as the community.

I would appreciate your usual diligent attention to this matter. If you have any questions, please contact my office at 808-7338.

Sincerely,

ROBBIE WATERS  
COUNCILMEMBER, DISTRICT SEVEN

1/14/04

Call to LVM

for Robbie

talked

JAN - 3 2005

to

AAA

Sacramento City Charter

§ 30 Rules, quorum and voting.

1. (a) The city council shall determine its rules of procedure according to rules which it shall adopt.

(b) A majority of the members of the council then in office shall constitute a quorum, except that a lesser number may adjourn from time to time and may compel attendance or absent members in a manner provided by ordinance or resolution.

(c) The city council shall act only by ordinance, resolution or motion. **Except as otherwise provided in the Charter the affirmative vote of five council members or the council shall be necessary to pass any ordinance, resolution or motion.** The council shall be a continuing body and no measure pending before such body shall abate or be discontinued by reason of the expiration of the term of office or removal of the members of said body or any of them.



## Sabrina Teller

---

From: susan brandt-hawley [susanbh@econet.org]  
Sent: Thursday, August 04, 2005 4:02 PM  
To: Joseph Cerullo; sjackson@cityofsacramento.org  
Cc: Sabrina Teller; Tina Thomas  
Subject: Pocket Protectors/recusal

Hello.

I have just received a courtesy email copy of the letter from the Remy Thomas office requesting that your office investigate recusal of Theresa Taylor-Carroll in the upcoming Planning Commission hearing relative to the Islands at Riverlake project.

I note that the letter was hand-delivered; I would like the opportunity to present my views for your consideration, which will take me until Monday. But in summary, the fact that a planning commissioner may have expressed an opinion about a project that was before her in a public hearing is not grounds for recusal. Indeed, it is not improper, but is her charge. Further, my understanding is that the letter's representation regarding the proximity of the Commissioner's home to the project is inaccurate.

In small towns, public officials often live close to proposed projects, and need not therefore recuse themselves. There is no financial import to the project at issue relative to the Commissioner's home; indeed, Ms. Thomas's client takes the position that no adverse financial import will result from his proposed project.

My clients seek a fair public process in compliance with law. The requested recusal is inappropriate and unwarranted. As stated above, I will address this issue further in correspondence in a few days.

Thanks very much for your fair consideration of this matter.

Susan

**REMY, THOMAS, MOOSE and MANLEY, LLP**  
**ATTORNEYS AT LAW**

MICHAEL H REMY  
1948 - 2003  
\_\_\_\_\_

INA A. THOMAS  
JAMES G MOOSE  
WHITMAN F MANLEY  
\_\_\_\_\_

BRIAN J PLANT  
JOSEPH J. BRECHER  
OF COUNSEL

455 CAPITOL MALL, SUITE 210  
SACRAMENTO, CALIFORNIA 95814  
\_\_\_\_\_

Telephone: (916) 443-2745  
Facsimile: (916) 443-9017  
E-mail: info@rtmmlaw.com  
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JENNIFER S HOLMAN  
ANDREA K LEISY  
TIFFANY K WRIGHT  
ASHLE T CROCKER  
SABRINA V TELLER  
MICHELE A TONG  
MEGHAN M. HABERSACK  
ANGELA M. WHATLEY  
AMY R. HIGUERA

August 4, 2005

Via Hand-Delivery

Mr. Sam Jackson  
City Attorney  
City of Sacramento  
915 "I" Street, Suite 4010  
Sacramento, CA 95814

Re: Request for Recusal of Commissioner Taylor-Carroll from the Islands at Riverlake hearing (P01-133)

Dear Mr. Jackson:

As the rehearing for the Islands at Riverlake project (the "Project") approaches, we request that the City Attorney's Office investigate the necessity for Planning Commissioner Theresa Taylor-Carroll to recuse herself from the upcoming proceedings. This matter may be heard by the Planning Commission as soon as August 25, 2005. For several reasons discussed below, Ms. Taylor-Carroll's conflicts of interest on this issue create a demonstrable bias which merits recusal.

The Political Reform Act prohibits public officials, including planning commissioners, from making, participating in, or in any way *attempting to use their official position to influence a governmental decision in which they know, or have reason to know, they have a financial interest.* (Cal. Gov. Code, § 87100, italics added.) A public official has a presumed, material economic interest in a project if her property is within 500 feet of the project subject to a governmental decision. (Cal. Code Regs., tit. 2, § 18704.2, subd. (a).) Therefore, if a Planning Commissioner has property within 500 feet of the project at any point, she must not participate in any decisions concerning that project, unless that official can rebut the presumption of material economic interest that arises from owning/leasing property within 500 feet of the project.

Letter to Sam Jackson

August 4, 2005

Page 2

We understand that Ms. Taylor-Carroll's property at 7724 Dutra Bend Drive is less than 500 feet of the proposed Island at Riverlake Project. (See the record of her address printed from the State Bar's website and the map showing the proximity of her address to the proposed Project, both attached hereto.) This creates the rebuttable presumption that Ms. Taylor-Carroll possesses a material, economic interest in the Project. Absent any proof to the contrary, the Political Reform Act requires that Ms. Taylor-Carroll recuse herself from participating in the proceedings.

To help interpret the Political Reform Act, the Fair Political Practices Commission issues advice on conflict-of-interest inquiries. On June 30, 2005, the FPPC, when asked about conflicts of interest for Planning Commissioners who owned property within 500 feet of a proposed project, advised that the project is presumed to have a financial effect on their properties, and they are thus prohibited from participating in the decision on the project. (2005 Cal.Fair-Pract. LEXIS 100, Op. A-05-054.)

In another FPPC opinion, before a person was appointed as Planning Commissioner, she expressed her opposition to a rezoning project near her home in a local newspaper and before the City Council. The FPPC advised that if the decision on the project would affect the Planning Commissioner's financial interest differently than it would affect the majority of the citizens, then she must recuse herself. (1990 Cal.Fair-Pract. LEXIS 393, Op. I-90-181.) This opinion suggests that since Ms. Taylor-Carroll's property may be influenced differently from the majority of the citizens in the City, she should have recused herself then, and certainly should now.

County records show that Ms. Taylor-Carroll has owned the Dutra Bend property since at least 1999, well before the Planning Commission's *first* hearings on the Project in August of 2002. The Fair Political Practices Commission could bring an administrative action against an official who has violated the disclosure or disqualification requirements of the Political Reform Act, and may impose administrative penalties of up to \$5,000.00 for each violation. (Cal. Gov. Code, § 83116.) Additionally, a public official who uses her official position to influence a governmental position for personal economic gain or violates the disqualification provision of a conflict of interest code is *liable in a civil action* brought by the civil prosecutor or by a person residing within the jurisdiction for an amount *up to three times the value of the benefit*. (Cal. Gov. Code, § 91005, subd. (b).) Because she did not recuse herself from the prior hearing on the Project, Ms. Taylor-Carroll violated the Political Reform Act and also may be subject to administrative and civil penalties. As an attorney and

Letter to Sam Jackson

August 4, 2005

Page 3

public official, she should have been well aware of the requirements of the Political Reform Act.

Apart from the presumption of economic interest, we believe that the project may also be presumed to have an actual, material effect on Ms. Taylor-Carroll's property, as evidenced by the testimony of her neighbors at both the Planning Commission and City Council meetings. Examples of factors that may have a material financial effect on real property are, "[t]he character of the neighborhood including, but not limited to, substantial effects on: traffic, view, privacy, intensity of use, noise levels, air emissions, or similar traits of the neighborhood." (Cal. Code Regs., tit. 2, § 18705.2, subd. (b)(1)(c).) Here, any evidence that the project may affect traffic, views, privacy, noise levels, or other traits of Ms. Taylor-Carroll's neighborhood supports the contention that Ms. Taylor-Carroll may have a financial bias regarding the project. Indeed, as the City is well aware, many of her neighbors, including the very vocal Pocket Protectors group, have alleged that the proposed project will have such effects.

Commendably, City Council Member Robbie Waters abstained from hearing or voting on the Project in 2003 because he owned property adjacent to the site. If he believed that his ownership raised an appearance of potential financial interest, certainly Ms. Taylor-Carroll should have similarly recused herself.

Aside from owning property within 500 feet of a project, or from having any other financial interest, a conflict still may be present due to a City official's personal beliefs about a project on which the official is voting. In such a situation, proof of actual, concrete bias must be shown to merit a disqualification of the official from the decision making process. (*Nasha v. City of Los Angeles* (2004) 125 Cal.App.4th 470, 476.)

We have been informed that Ms. Taylor-Carroll heavily lobbied some of the other Commissioners against the Project at its previous hearings before the Planning Commission in August 2002. This lobbying apparently took place in the ante-chamber of the Planning Commission's hearing room. Her vocal opposition demonstrates Ms. Taylor-Carroll's concrete, personal bias against the Project, which merits her recusal regardless of any financial interest.

Ms. Taylor-Carroll also took the unusual step of personally defending the Planning Commission's vote to deny the Project at a City Council hearing on the appeal from the Planning Commission's denial on May 27, 2003. There, she attempted to assure the City Council that the Planning Commission did not vote under duress from the vocal

Letter to Sam Jackson

August 4, 2005

Page 4

neighborhood opponents of the Project. This defensiveness demonstrates an uncommon interest in the project that casts serious doubt on her ability to assess the Project impartially at the upcoming hearing.

In *Nasha v. City of Los Angeles* (2004) 125 Cal.App.4th 470, 483, the Second District Court of Appeal found that a Planning Commissioner had an unacceptable probability of bias. There, a commissioner sat on both the Planning Commission and on the Studio City Residents Association. (*Id.*, at p. 476.) He wrote an article in the Association's newsletter strongly opposing a project that was later rejected by his Planning Commission. (*Ibid.*) The Court found that despite the fact that the Commissioner apparently suffered no financial impact from the project, his article demonstrated the concrete fact of his actual bias. (*Ibid.*) Here, Ms. Taylor-Carroll's lobbying of her fellow Commissioners and her comments to the City Council are ample evidence of an unacceptable probability of bias which would merit her dismissal or recusal from decisions on the Project.

Ms. Taylor-Carroll's actions also may have violated the Brown Act. The purpose of the Brown Act is to curb misuse of the democratic process by secret legislation by public bodies. (*Cohan v. City of Thousand Oaks* (1994) 30 Cal App.4th 547, 555.) The Act's definition of "meeting" includes an informal gathering of a majority of a legislative body. (42 Ops.Cal.Atty. Gen. 61.) The Court of Appeal has held that an Elks Club luncheon attended by five county supervisors, where they discussed a union strike against the county, was a "meeting" within the definition in the Act and should have been noticed and made public. (*Sacramento Newspaper Guild v. Sacramento County Bd. of Suprs.* (1968) 263 Cal.App.2d 41, 50-51.) There, the court noted that "[t]here is rarely any purpose to a nonpublic pre-meeting conference except to conduct some part of the decisional process behind closed doors." (*Ibid.*) Ms. Taylor-Carroll's ante-chamber lobbying of her fellow Commissioners qualifies as the type of nonpublic, pre-meeting conference that is forbidden by the Brown Act.

\* \* \*

You may recall that the findings of the Planning Commission were of substantial importance to the Third District Court of Appeal in *Pocket Protectors v. City of Sacramento* (2004) 124 Cal.App.4th 903, in its determination that a fair argument existed with respect to alleged significant effects of the Project and requiring that an expensive EIR be prepared before the Project could proceed. Unfortunately, we will never know the true extent to which Ms. Taylor-Carroll's lobbying may have affected the votes in the prior Planning Commission decision. We are very interested now, however, in assuring a fair process for Regis Homes when this matter is heard again by the Planning Commission. This letter and any responses

Letter to Sam Jackson

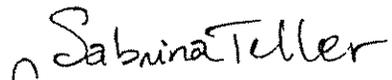
August 4, 2005

Page 5

to it should be included in the administrative record for any further proceedings in this case, as per Public Resources Code section 21167.6, subdivision (e).

Please let me know immediately how the City Attorney's Office intends to handle this issue.

Very truly yours,

  
for Tina Thomas

cc: Joe Cerullo, Senior Deputy City Attorney  
Susan Brandt-Hawley (via email)



# THE STATE BAR OF CALIFORNIA

Wednesday, August 3, 2005

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## ATTORNEY SEARCH

### Theresa Trader Taylor - #88795

#### Current Status: Active

This member is active and may practice law in California.

See below for more details.

#### Profile Information

Bar Number	88795	Phone Number	(916) 427-7434
Address	7724 Dutra Bend Dr Sacramento, CA 95831	Fax Number	Not Available
		e-mail	Not Available
District	District 2	Undergraduate School	Temple Univ; Philadelpl PA USA
County	Sacramento	Law School	McGeorge SOL Univ of Pacific; CA USA

#### Status History

Effective Date	Status Change
<i>Present</i>	Active
11/29/1979	Admitted to The State Bar of California

Explanation of member status

#### Actions Affecting Eligibility to Practice Law

##### Disciplinary and Related Actions

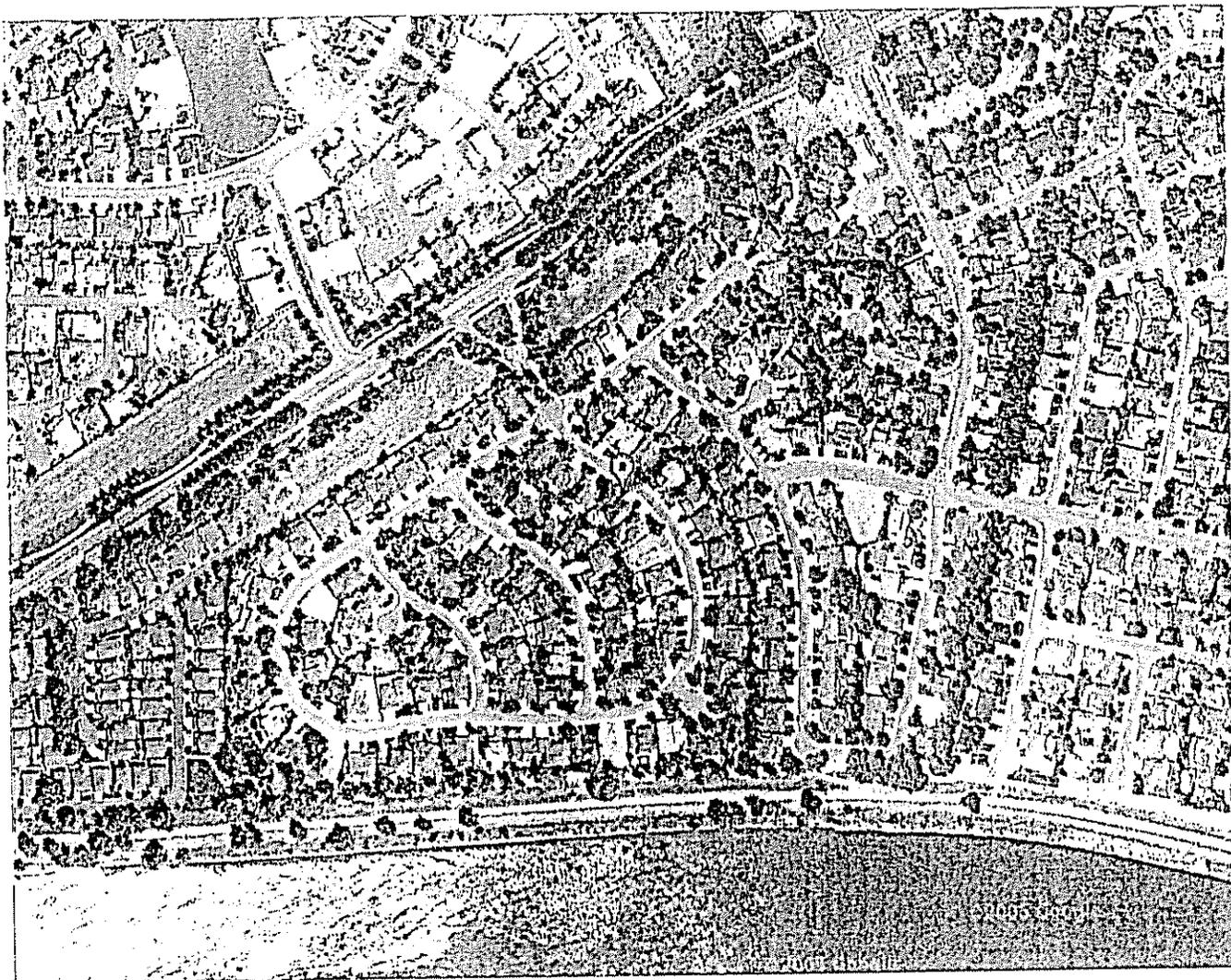
*This member has no public record of discipline*

##### Administrative Actions

*This member has no public record of administrative actions.*

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7724 Dutra Bend Dr, Sacramento, CA 95831



7724 Dutra Bend Dr  
Sacramento, CA 95831



**P02-066 – REFLECTIONS AT RUSH RIVER**

- REQUEST: A. Environmental Determination: Exempt 15332;  
B. Community Plan Amendment to redesignate 1.46± acres from Residential 3-6 du/na to Residential 7-15 du/na; *Withdrawn by Staff*  
C. Tentative Parcel Map to subdivide the 1.46± acre parcel into 11 parcels for single-family residential units in the R-1A PUD zone; and,  
D. Special Permit to allow the development of 11 single-family detached residential units within the R-1A-PUD zone;

LOCATION: Northeast Corner of Rush River Drive and Delta Wind Drive  
APN: 031-1440-024  
South Pocket Community Plan Area  
Sacramento City Unified School District  
Council District 7

APPLICANT/OWNER:	Tony Zogopoulos, 916-771-8551 Network Builder Services 8265 Sierra College Blvd., Ste. 316 Roseville, CA 95661
APPLICATION FILED:	May 22, 2002
APPLICATION COMPLETED:	May 14, 2003
STAFF CONTACT:	Ellen Marshall, (916) 264-5851

**SUMMARY:**

The applicant is proposing to subdivide a 1.46± acre parcel into 11 lots for a single family residential development. The applicant is also requesting approval of a Special Permit to construct 11 single family homes. The project was heard by the Planning Commission on July 10, 2003 and continued to give the applicant and the neighbors the opportunity to resolve issues relating to private driveway adjacent to the northern property line.

**RECOMMENDATION:**

Staff recommends approval subject to conditions. The recommended approval is based on the project's consistency with the General Plan, the South Pocket Community Plan, and compliance with Zoning Ordinance requirements.



# PLANNING DIRECTOR'S SPECIAL PERMIT

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

**APPLICANT** L & P Land and Development, Inc. 6355 Riverside Blvd., Suite C, Sacto, CA  
**OWNER** L&P Pacific Feichert, 6355 Riverside Blvd., Suite C, Sacramento, CA 95831  
**PLANS BY** Donald Joseph Company, 2210 16th Street, Sacramento, CA  
**FILING DATE** 6-15-87 **ENVIR. DET.** EX 15303 a **REPORT BY** JC:rt  
**ASSESSOR'S-PCL. NO.** 031-1210-002

**APPLICATION:** Planning Director's Special Permit to construct a six model home complex for a proposed 165 unit townhouse project (P87-278)

**LOCATION:** West of 8144 Pocket Road

**PROPOSAL:** The applicant is requesting the necessary entitlements to construct a six model home complex for a proposed 165 unit townhouse project on parcels 21, 22, and 23 at Riverlake.

## PROJECT INFORMATION:

1974 General Plan Designation:	Low Density Residential
1976 South Pocket Community Plan Designation:	Low Density Residential/Low Density Multi-Family LPPT (PUD)
LPPT PUD Schematic Plan Designation:	Site 21 - Townhouse, 8 du/acre maximum
Existing Zoning of Site:	R-1A
Existing Land Use of Site:	Vacant

## Surrounding Land Use and Zoning:

North:	Vacant; R1A
South:	Single Family; R1
East:	Dutra Townhouse; R1A
West:	Vacant, R1A

Parking Required:	6 spaces
Parking Provided:	15 spaces
Property Dimensions:	185' x 225'
Property Area:	3.26+ acres
Density of Development:	8 d.u. per acre
Square Footage of Building:	1468; 1696; 1791
Height of Building:	25'
Topography:	Flat
Street Improvements:	To Be Constructed
Utilities:	Existing
Exterior Building Materials:	Wood or Stucco and Brick
Roof Material:	Cedar Shake
Exterior Building Colors:	Earthtone and Pastels

P87-278

000732

PROJECT EVALUATION:

- A. The subject site is vacant, zoned single family alternative (R1A) and located in LPPT-PUD. The parcel is designated for low density residential by the 1974 General Plan. The LPPT Schematic Plan designates townhouse with a maximum of 8 du/acre.

Surrounding land uses are: vacant to the north and west, s the south and the recently restored Dutra farmhouse, curru subdivision sales office, to the east.

- B. The applicant proposes to construct six model homes for the proposed 165 unit townhouse project approved April 9, 1987 (P87-129, P87-130, P87-131) by the Planning Commission. The units will form a cluster of two halfplexes at 1468 and 1696 square feet and a single family at 1791 square feet. The clusters will consist of one single story unit and two two-story units. The exterior building materials will be of wood or stucco with brick and cedar shake roofs.
- C. The model home complex will utilize the parking facilities and sales office at the Dutra farmhouse. A temporary paved pathway will connect the parking lot with the model home complex.
- D. Signage has not been proposed or addressed with this project.

ENVIRONMENTAL DETERMINATION:

The project is exempt from review pursuant to State EIR Guidelines (CEQA Section 15303a).

RECOMMENDATION:

Staff recommends the Planning Director's Special Permit be approved based on the conditions and Findings of Fact which follow:

Conditions:

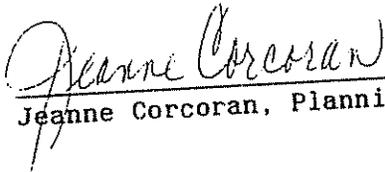
1. The special permit shall be issued for one year from date of approval. The Planning Director may renew the permit up to one additional year upon written application at least thirty days prior to expiration.

Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use, in that the model homes are adjacent to each other and are temporary.

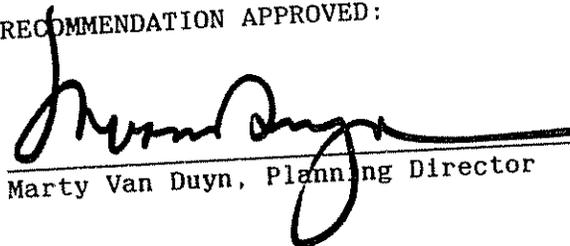
2. The proposed project, as conditioned, will not be detrimental to the public health, safety or welfare or result in the creation of a nuisance in that adequate visitor parking for the model home complex is provided at the Dutra farmhouse.
3. The proposed project, as conditioned, is consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for residential use by the 1976 South Pocket Community Plan and the proposed model home complex use conforms with the designation.

REPORT PREPARED BY:

  
\_\_\_\_\_  
Jeanne Corcoran, Planning Technician

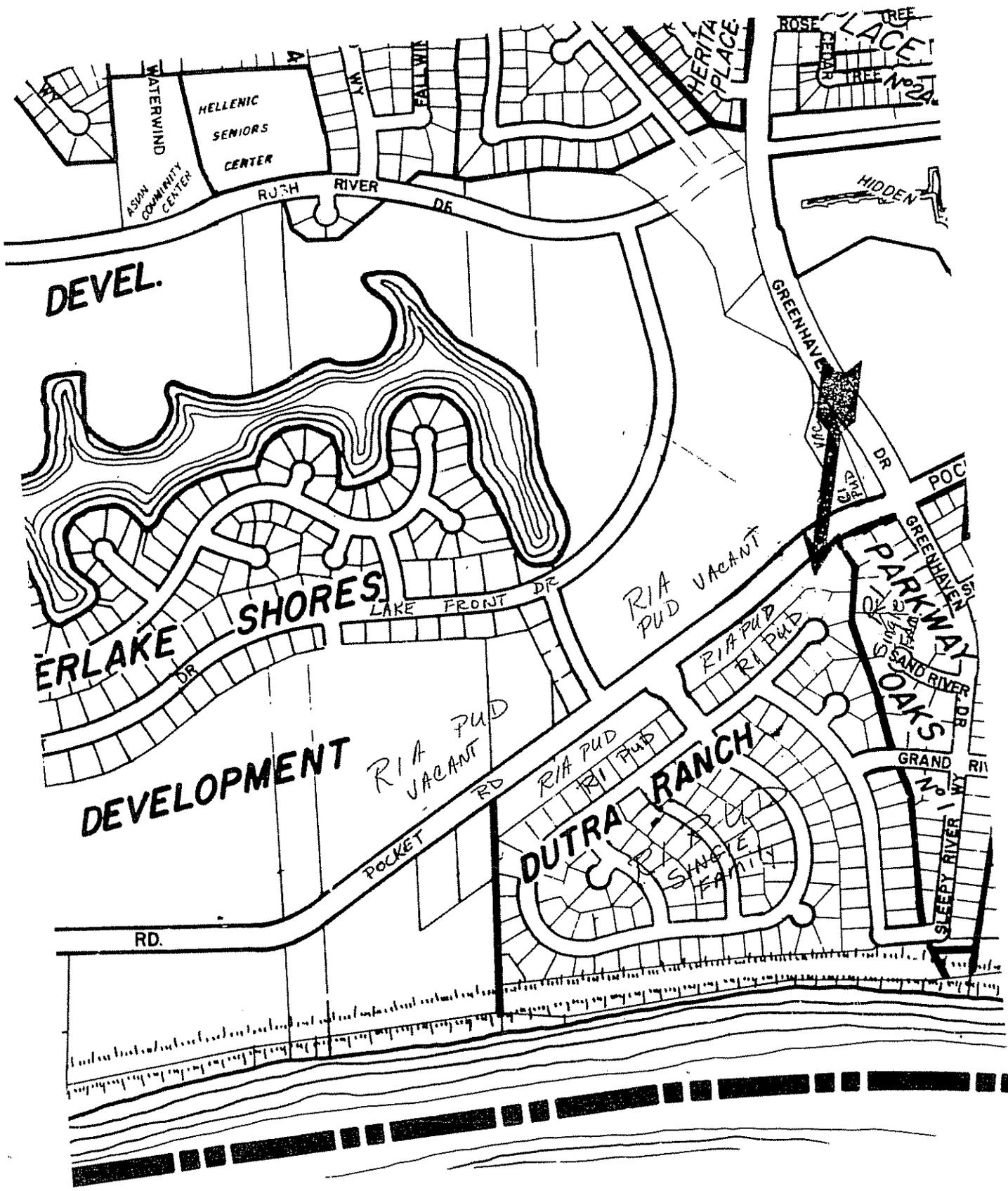
8/20/87  
Date

RECOMMENDATION APPROVED:

  
\_\_\_\_\_  
Marty Van Duyn, Planning Director

8/20/87  
Date

MVD:JC:rt



000735

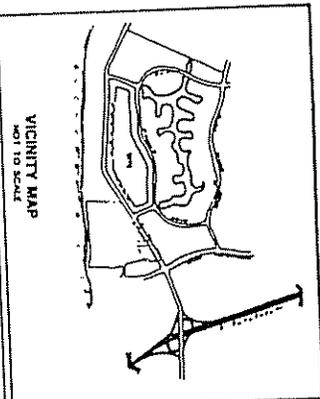
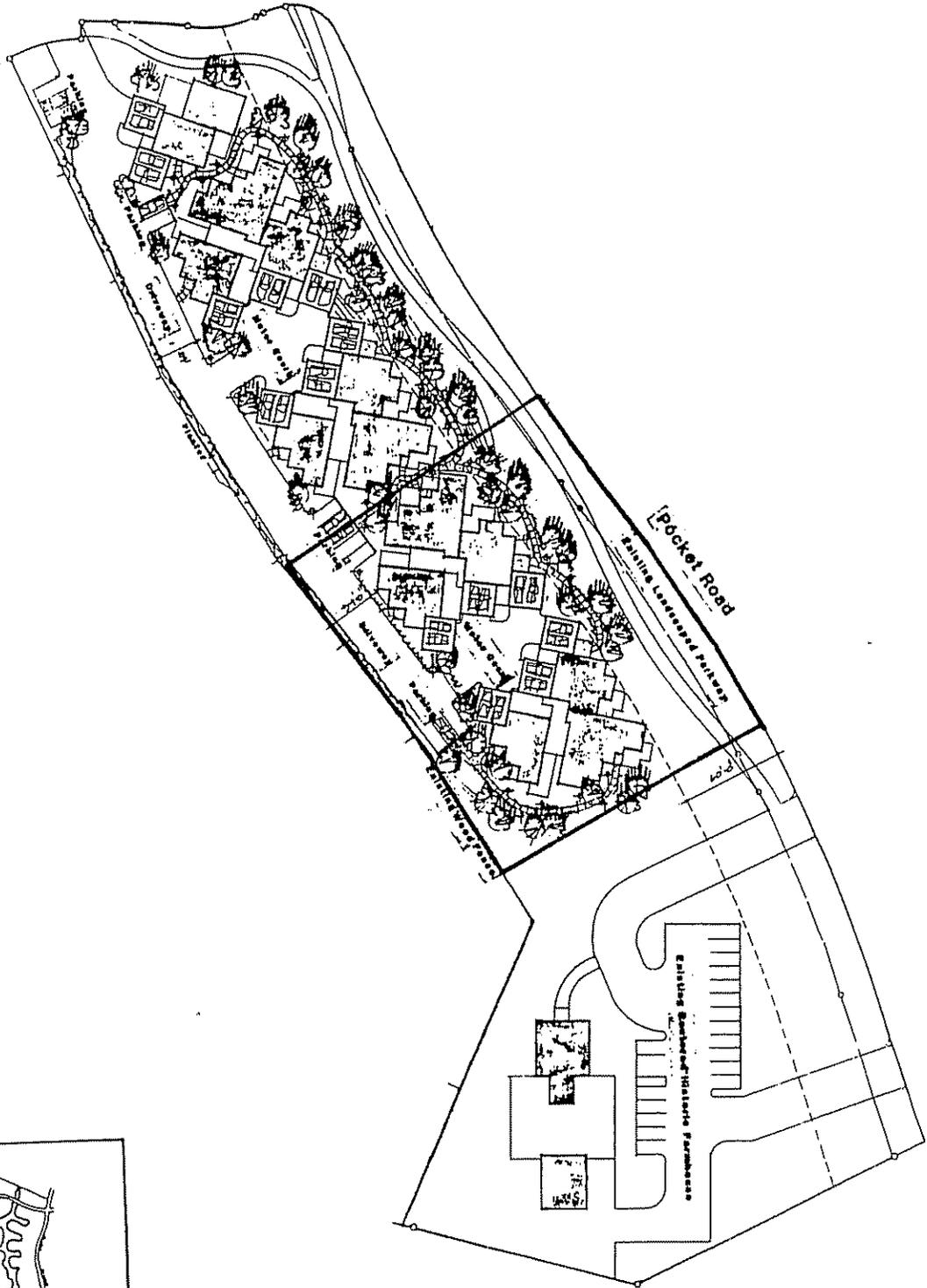
VICINITY - LAND USE - ZONING

981600

Dutra Ranch Drive



Partial Site Plan  
LOT 21 of Dutra Bend at Riverlake  
Scale 1"=30'



CITY PLANNING COMMISSION  
SACRAMENTO, CALIFORNIA  
MEMBERS IN SESSION:

RECEIVED  
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SYCAMORE ENVIRONMENTAL  
CONSULTANTS, INC.

ITEM # 3  
JANUARY 27, 1994  
PAGE 1

P93-089 - RIVERLAKE PARK HOMES

- REQUEST:
- A. Environmental Determination
  - B. Mitigation Monitoring Plan
  - C. Tentative Map to subdivide 21.6± vacant acres into 167 park home lots, 4 lots as a private street, 4 open space corridor lots, and 4 landscape lots
  - D. Special Permit to develop 167 townhouses (park homes)
  - E. Special Permit to develop 167 townhouses (park homes) within the L.P.P.T. PUD
  - F. Variance to allow parallel parking for 46 spaces

LOCATION: North side of Pocket Road in front of Bridgeview and Southshore  
South side of Pocket Road in front of Dutra Bend  
031-1300-048; 031-1030-031; 031-1030-015; 031-1210-003;  
031-1210-061  
Pocket Community Plan Area/L.P.P.T. PUD  
Sacramento City Unified School District  
Council District 7

APPLICANT:	L & P Land and Development, Roger Hanchen, 427-2936 8144 Pocket Road, Sacramento, CA 95831
OWNER:	L & P-Pacific Teichert 8144 Pocket Road, Sacramento, CA 95831
PLANS BY:	Graber/Rasmussen Architects, 923 20th Street, Sacramento
APPLICATION FILED:	May 7, 1993
STAFF CONTACT:	Cindy Gnos, 264-7636

**SUMMARY/RECOMMENDATION:** The applicant proposes to construct 167 park homes. The park homes consist of single family units attached in groups of three and four units. The total site contains 21.6 acres and is part of the L.P.P.T. Planned Unit Development.

Copy



# SACRAMENTO CITY PLANNING DIVISION

Application taken by/date: \_\_\_\_\_

Project Location N. side of Pocket Rd. in front of Bridgeview & Southshore, S  
side of Pocket Rd. in front of Dutra Bend

Assessor's Parcel No. 031-1300-048;031-1030-031;031-1030-015;031-1210-003; 031-1210-061

Owner L & P Pacific Teichert

Address 8144 Pocket Rd., Sacramento, CA 95831

Applicant L & P Land and Development

Address Same as above

### REQUESTED ENTITLEMENT(S):

Entitlements to allow the development of 167 townhouses (park homes) in the R 1A(PUD) zone:

- A. Environmental Determination
- B. Mitigation Monitoring Plan
- C. Tentative Map to subdivide 21.6± acres into 167 parkhome lots, 4 lots as private street, 4 open space corridor lots, and 4 landscape lots;
- D. Special Permit to develop 167 townhouses (park homes);
- E. Special Permit to develop 167 townhouses (park homes) within the L.P.P.T PUD; and
- F. Variance to allow parallel parking for 46 spaces.

On January 27, 1994 the Planning Commission took the following action: A. Ratified the Negative Declaration; B., C., E., F. Adopted Resolutions for Mitigation Monitoring Plan, Tentative Map, Special Permit and Variance; and D. Adopted Amended Resolution for Special Permit.

Sent to Applicant: 4/14/94  
Date

By: Suzanne Alimstad  
Secretary to Planning Commission

### EXPIRATION

**TENTATIVE MAP:** Failure to record a final map within two years of the date of approval or conditional approval of a tentative map shall terminate all proceedings.

**SPECIAL PERMIT:** A use for which a Special Permit is granted must be established within two years after such permit is issued. If such use is not so established, the Special Permit shall be deemed to have expired.

Original to Applicant - Copies to File & Permit Book

P93-089

Var: 2 years

02715

In order to meet the applicant's objectives, the project requires the discretionary planning entitlements described above. In evaluating the project, the basic issues are consistency with the PUD, compatibility of design and traffic circulation. **Staff recommends approval of the project.** This recommendation is based on its consistency with the policies of the Pocket Community Plan, and is consistent with the designation in the L.P.P.T. PUD.

PROJECT INFORMATION:

General Plan Designation:	Low Density Residential (4-15 du/na)
Community Plan Designation:	Low Density Residential (7-15 du/na)
Existing Land Use of Site:	Vacant
Existing Zoning of Site:	R-1A(PUD)

Surrounding Land Use and Zoning:

North:	Single Family Residential; R-1(PUD) and R-1A(PUD)
South:	Single & Multi Family Residential; R-1(PUD), R-1A(PUD), R-2B-R(PUD)
East:	Single Family Residential and Office; R-1(PUD), R-1A(PUD), OB(PUD)
West:	Single Family Residential; R-1(PUD) and R-1A(PUD)

Setbacks:	Required	Provided
Front:	To Be	40'
Side(St):	Deter-	25'
Side(Int):	mined	0'
Rear:	by CPC	30'

Property Dimensions:	Irregular
Property Area:	21.56± net acres
Density of Development:	7.7 dwelling units per net acre
Square Footage of Units:	1,100 to 1,500 square feet
Height of Building:	One and Two story
Exterior Building Materials:	Wood and Stucco
Roof Material:	Shake
Parking Provided:	491 spaces
Parking Required:	178 spaces
Topography:	Flat
Street Improvements:	Existing and To Be Provided
Utilities:	Existing and To Be Provided

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JANUARY 27, 1994

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Final Map	Public Works Department
Building Permit	Building Division

BACKGROUND INFORMATION: On August 27, 1985, the City Council approved (P85-165) 373 acres to be known as the L.P.P.T. PUD and adopted a Development Agreement between the City and L.P.P.T. Also included as part of the application was a rezone of the site from Agriculture to R-1A(PUD). On May 12, 1987, the City Council approved three separate applications which covered the subject site (P87-129, P87-130, P87-131). The applications included the development of 155 townhouse units, with Tentative Map and Special Permit entitlements. A one-year time extension was approved by the City Council on April 25, 1989. The Tentative Map was never recorded and the units never constructed. The applicant is now requesting a new Tentative Map which is very similar to the previously approved development, however increases the number of units by 12 to 167.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

The General Plan designates the site Low Density Residential (4-15 du/na). The Pocket Community Plan designates the site Low Density Residential (7-15 du/na). The L.P.P.T. PUD Schematic Plan designates the site for townhouses at an 8 unit per acre density. The applicant's proposal consists of an average 7.7 unit per acre density which is consistent with all the land use designations.

The development of the L.P.P.T. PUD consisted of four types of residential uses. These consist of single family, townhouse, garden apartment, and elderly housing/care facility. To this point, within the PUD there has been the development of single family, apartments, and elderly care facilities. The development of the townhouses has not occurred. The applicant's proposal completes the four housing types which were planned for the PUD. This variety of housing types is consistent with the goal of the South Pocket Community Plan to provide for a wide range of residential styles and densities which are compatible with each other and with this suburban community. It is also consistent with the General Plan goals to provide a mixture of housing types and styles throughout the city and to provide quality housing that is safe and attractive.

B. Tentative Map Design

The design of the Tentative Map includes access to the residential units via an alley (private street) at the rear property lines, with access from East Shore Drive, West Shore Drive, and Dutra Bend Drive. The original Tentative Map proposal in 1987 included the provision of access to the development from the ends of the cul-de-sacs within the Southshore and Bridgeview subdivisions. An application was filed for an extension of that Tentative Map. At the time of public hearing, the neighborhood raised serious objections to the access through the cul-de-sacs. The applicant has, therefore, submitted a new Tentative Map with the access from private streets in the rear, not through the existing subdivisions.

The Tentative Map subdivides the property into three and four unit clusters. Each home will be constructed on an individual lot held in fee title with an unsubdivided interest in the common areas which will include landscaping and private streets. As each of the six phases are developed, they will be annexed to the Riverlake Homeowner's Association which will be responsible for the maintenance of the common area facilities and landscaping. As residents of the Riverlake Community, owners in the development will have access to the lake itself in the same manner as residents of Southshore, Oakshore, Dutra Bend, and Northland.

The Tentative Map design provides for three additional access points on the north side of Pocket Road, and one to two additional access points on the south side of Pocket Road. There will be no additional breaks allowed in the median island in Pocket Road. The access points allow additional emergency access, as well as reduce the length each resident will have to drive on the private street, reducing the amount of traffic adjacent to the existing single family residential development.

The Tentative Map is proposed in six phases (Exhibit D-1). The first and second phase are on the south side of Pocket Road, in front of Dutra Bend. The third through sixth phases are on the north side of Pocket Road, beginning at East Shore Drive, working towards, and beyond, West Shore Drive.

Staff has no objection to the design of the Tentative Map, provided the conditions listed in the resolution be satisfied. The Subdivision Review Committee and staff recommend approval of the Tentative Map.

C. Site Plan Design/Zoning Requirements

1. Setbacks

The layout of the units is such that there exists approximately 40 feet of landscaping from the Pocket Road right-of-way and approximately 35 feet between the units and the adjacent single family development to the rear. There is approximately 30 feet between buildings. There must be a

minimum of 20 feet between buildings which have entrances facing each other. Staff has no objections to the applicant's site layout.

There currently exists a six foot high solid wood fence separating the single family residential development and the proposed park homes. The approval of the development in 1987 required a solid fence be provided separating the two uses. Staff finds the existing fence, in conjunction with the proposed five foot planter, adequate to satisfy the noise and safety concerns from the private street.

## 2. Parking/Circulation

The applicant's proposal consists of access to the site from a private street to the rear of the property. Each unit has a two car garage with access from this private street. There is also guest parking provided between buildings clusters, and parallel parking provided where the adjacent cul-de-sacs meet the property. This results in 334 parking spaces within enclosed garages and 137 guest spaces. This exceeds the minimum requirements of the Zoning Ordinance. Staff finds adequate parking has been provided to serve the development.

The parallel parking requires a Variance in order to develop. Staff also has no objection to this Variance provided adequate maneuvering is allowed as required by Traffic Engineering.

## 3. Landscaping

There currently exists landscaping with a meandering sidewalk along Pocket Road. The proposed development fits between the existing landscaping and the existing single family residential development. The landscape setback is approximately 40 feet from the Pocket Road right-of-way, while approximately 60 feet from the back of curb. The additional landscaping provided along Pocket Road should be consistent with the existing landscaping provided.

The applicant also proposes a five foot planter between the private street and the adjacent single family development. This planter area should consist of large screening shrubs. The applicant should submit a detailed landscape plan for review and approval of Planning Staff prior to the issuance of Building Permits.

## D. Building Design

The proposed development consists of buildings in three and four unit clusters. The applicant has developed three elevations for each three and four unit building.

The exterior materials will consist of wood and stucco, with shake roofs. Each cluster is designed to look as one large house, compatible with the adjacent Riverlake Development. One of the units within the cluster has a main entrance facing Pocket Road, with a sidewalk leading to Pocket Road. The other units have their entrances to the side and rear. This gives the illusion from Pocket Road that the clusters of three and four units are really one. Staff has no objection to the proposed design of the buildings.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The Environmental Services Manager has determined the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated mandatory mitigation measures into the project plans to avoid identified impacts or to mitigate such impacts to a point where clearly no significant impacts will occur. These mitigation measures address noise and cultural resources. The mitigation measures are listed in the attached Mitigation Monitoring Plan (Exhibit C-1).

B. Public/Neighborhood/Business Association Comments

The project has been routed to the South Pocket Homeowner's Association and the G-P Resident's for Neighborhood Schools. No comments have been received.

C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. The comments were primarily concerning the technical aspects of the tentative map and have been included as conditions of the map (Attachment D).

D. Subdivision Review Committee Recommendation

On August 1, 1993, the Subdivision Review Committee, by a vote of three ayes, voted to recommend approval of the proposed subdivision subject to the conditions in the attached Tentative Map Resolution (Attachment D).

PROJECT APPROVAL PROCESS: Of the entitlements below, Planning Commission has the authority to approve or deny the Tentative Map, Special Permits, and Variance. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

RECOMMENDATION: Staff recommends approval of the proposed development for the following reasons:

JANUARY 27, 1994

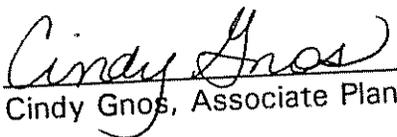
- o consistency with the land use designations of the General Plan and Pocket Community Plan;
- o consistency with the L.P.P.T. PUD Schematic Plan and Development Guidelines; and
- o consistency with housing policies regarding the provision of alternate housing types.

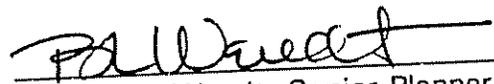
Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration.
- B. Adopt the attached Resolution approving the Mitigation Monitoring Plan.
- C. Adopt the attached Resolution approving the Tentative Map to subdivide 21.6± vacant acres into 167 park home lots, 4 lots as a private street, 4 open space corridor lots, and 4 landscape lots.
- D. Adopt the attached Resolution approving the Special Permit to develop 167 townhouses (park homes).
- E. Adopt the attached Resolution approving the Special Permit to develop 167 townhouses (park homes) within the L.P.P.T. PUD.
- F. Adopt the attached Resolution approving the Variance to allow parallel parking for 46 spaces.

Report Prepared By,

Report Reviewed By,

  
Cindy Gnos, Associate Planner

  
Barbara L. Wendt, Senior Planner

Attachments

- |              |   |
|--------------|---|
| Attachment A | Vicinity Map                                    |
| Attachment B | Land Use and Zoning Map                         |
| Attachment C | Resolution Approving Mitigation Monitoring Plan |
| Exhibit C-1  | Mitigation Monitoring Plan                      |
| Attachment D | Resolution Approving Tentative Map              |
| Exhibit D-1  | Phase Location Map                              |
| Exhibit D-2  | Tentative Map Phase 1                           |
| Exhibit D-3  | Tentative Map Phase 2                           |
| Exhibit D-4  | Tentative Map Phase 3                           |

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JANUARY 27, 1994

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Exhibit D-5	Tentative Map Phase 4
Exhibit D-6	Tentative Map Phase 5
Exhibit D-7	Tentative Map Phase 6
Exhibit D-8	Street Section
Attachment E	Resolution Approving Special Permit
Exhibit E-1	First Floor Plan, Unit 3
Exhibit E-2	Second Floor Plan, Unit 3
Exhibit E-3	First Floor Plan, Unit 4
Exhibit E-4	Second Floor Plan, Unit 4
Exhibit E-5	Elevations, Unit 3-A
Exhibit E-6	Elevations, Unit 3-B
Exhibit E-7	Elevations, Unit 3-C
Exhibit E-8	Elevations, Unit 4-A
Exhibit E-9	Elevations, Unit 4-B
Exhibit E-10	Elevations, Unit 4-C
Exhibit E-11	Rendering of Streetscape
Attachment F	Resolution Approving Variance

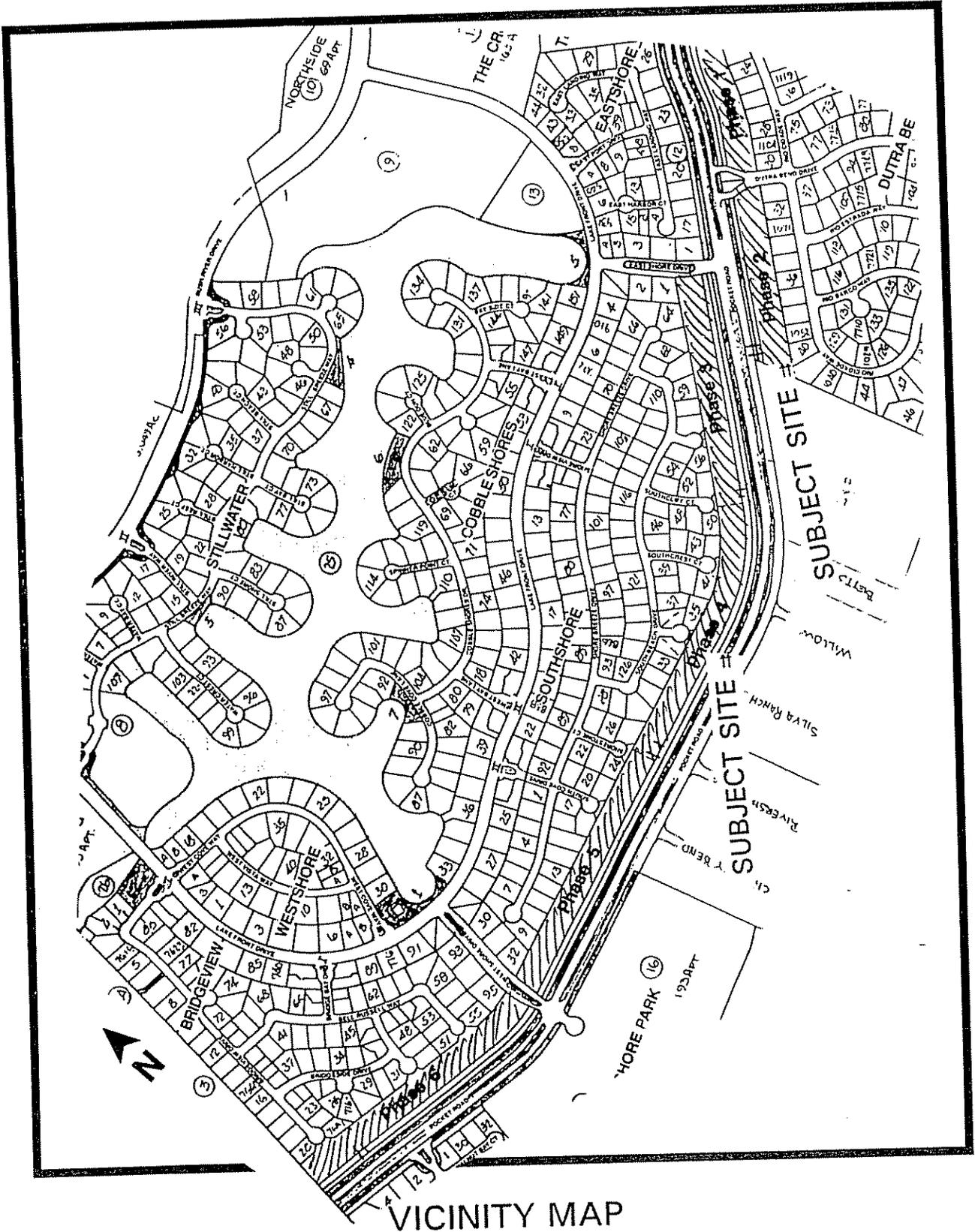
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ATTACHMENT A

JANUARY 27, 1993

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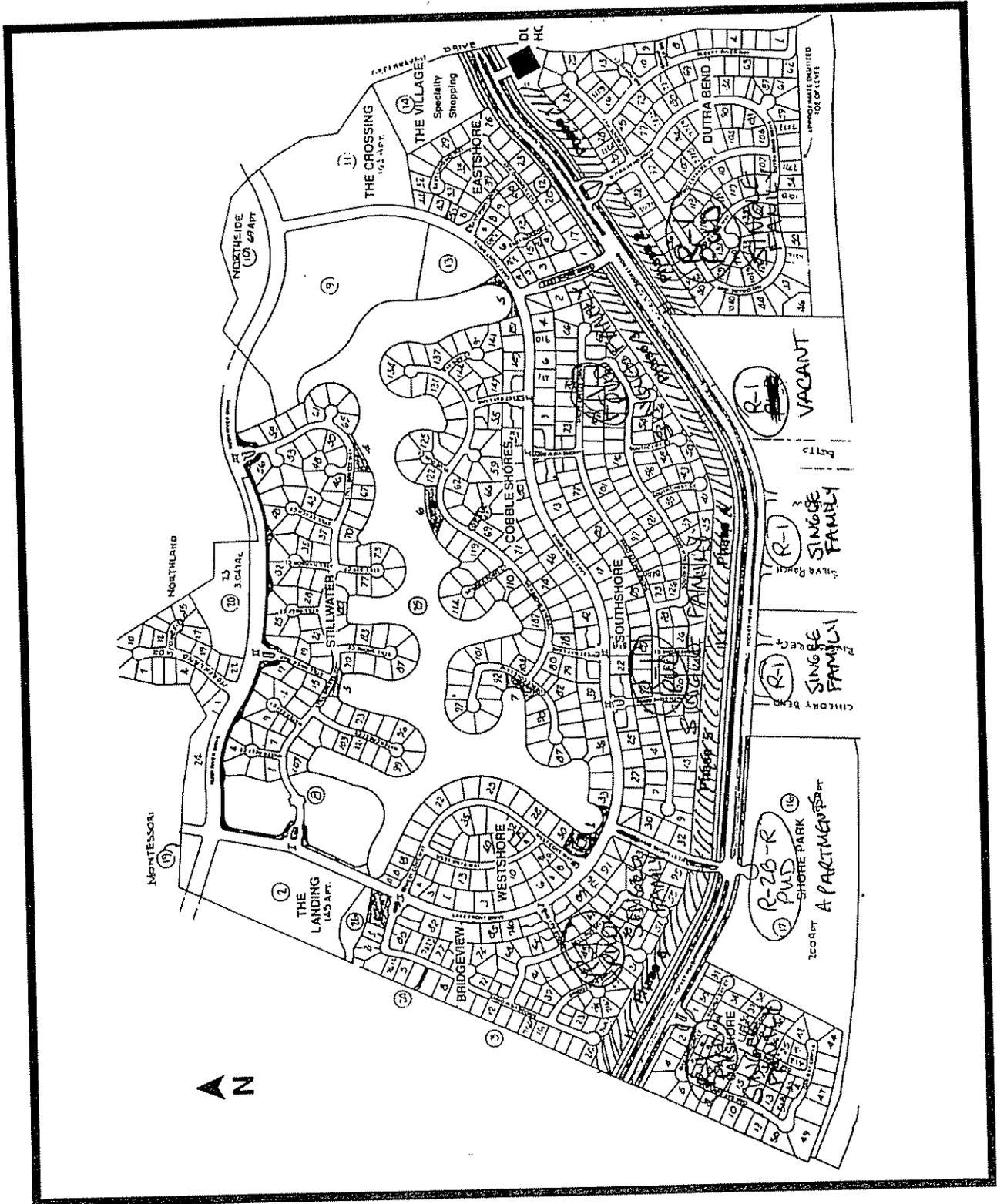


ATTACHMENT B

JANUARY 27, 1993

ITEM #3  
PAGE 10

P93-089



LAND USE AND ZONING MAP

P93-089

EXHIBIT C-1  
January 27, 1994

Mem# 3  
Page 13

Recording  
Not  
Required

-  
-  
-  
-  
-

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## MITIGATION MONITORING PLAN

FOR

RIVERLAKE PARK HOMES

P93-089

*Initial Study*

Prepared By:  
City of Sacramento, Planning Division  
July 28, 1993

Adopted By:

City of Sacramento, City Council

**Project No. P93-089**

## MITIGATION MONITORING PLAN

This Mitigation Monitoring Plan has been required and prepared by the Department of Planning and Development, Planning Division, 1231 I Street, Suite 300, Sacramento, CA 95814, (916)264-5381, pursuant to California Environmental Quality Act Guidelines Section 21081.

The intent of the Plan is to prescribe and enforce a means for properly and successfully implementing the mitigation measures as identified within the Negative Declaration for this project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this Plan shall be funded by the applicant.

### Legal Description See Exhibit A

The project site is also identified by Assessor Parcel Numbers 031-1300-048, 031-1030-031, 031-1030-015, 031-1210-003, and 031-1210-061.

### Project Description

The proposed project is requesting the approval of entitlements to allow for the development of 167 townhomes. The project site is located along Pocket Road and is located within the Pocket Community Plan area. The project site is designated as Low Density Residential (4-15 du/na) in the 1986-2006 Sacramento General Plan Update (SGPU), while the Pocket Community Plan designates the site as Low Density Residential (7-15 du/na). The applicants proposal is for 8 du/na. The project site is approximately 21.6± acres. The proposed project is subject to a statutory development agreement between the City of Sacramento and the developer (project number 85034). The project site is vacant. The applicants proposal is for 8 du/na.

### Project History:

In May of 1985 the City Council approved the L & P Pacific Teichert Planned Unit

Development (LPPT-PUD) for which the proposed project is located. Approval of the LPPT PUD and statutory development agreement required review under the California Environmental Quality Act (CEQA).

Site specific impacts resulting from the proposed project have been reviewed by the City's Planning and Development Department and was approved by the City Council on May 1, 1987. Time extensions were approved by Council on April 25, 1990. As part of the Planning Department's review, a Negative Declaration was prepared and mitigation with regard to noise impacts from Pocket Road was applied. The previously approved Tentative Map and Special Permits have expired. Also due to community concerns with the original tentative map, access to the subdivision has been redesigned (Verbal Comment Cindy Gnos 7/8/93). Therefore, the applicant is requesting new Tentative Map and Special Permit entitlements.

#### I. Noise Exposure

General: Required for townhomes closest to Pocket Road.

1. A. All penetrations of exterior walls shall include a 1/2 inch airspace around the perimeter. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non-hardening caulking or mastic.
- B. Window or through-the-wall ventilation and air conditioning units shall not be permitted.
- C. All sleeping spaces shall be provided with carpet and pad.
- D. There shall be no through-the-door or through-the-wall mail or paper chutes.
- E. Basic exterior wall construction shall include as a minimum the following or a combination of materials with equal or greater weight per square foot, e.g. stucco or lap siding:
  - a. 2'x4' wood studs
  - b. R-11 insulation in the cavities
  - c. 1/2" or 5/8 gypsum wallboard fastened to wood studs. Walls shall be fully taped and finished and also sealed around the perimeter with a resilient caulking.

January 27, 1994

- d. The exterior shall be finished with stucco or a minimum 5/8" wood paneling or siding plus either 1/2" insulation board or 3/8" structural; plyboard.
- F. Ceilings shall be finished with a minimum 1/2" gypsum board with minimum R-30 insulation in the ceiling.
- G. The roof shall be finished with a minimum 1/2" particle board or plyboard of equivalent weight, minimum 15 lb. felt paper and minimum 240 lb/square composition shingles or equivalent.
  - a. Skylights shall not be used unless they have an STC rating of 30 or better.
- H. Fireplaces shall contain fully operable damper that closes completely.
- I. Windows must have a minimum STC rating of 28.
  - a. Windows must be comprised of less than 20 percent of small bedroom floor area, 26% of master bedroom floor area and less than 22% of large living areas.
  - b. Windows shall have an air infiltration rate of less than or equal to 0.15 CFM/lin. ft. when tested with a 25 mile hour wind per ASTM standards.
  - c. The perimeter of window frames shall be sealed airtight to the exterior wall construction with a resilient, non-hardening caulking.
- J. All hinged exterior doors shall have a minimum STC rating of 28.
  - a. Exterior doors shall include full perimeter seals as required to achieve the STC rating.
- K. Sliding glass doors shall have a minimum STC rating of 29.
- L. A mechanical ventilation system shall be installed which will provide minimum air circulation and fresh air requirements. There shall be no need to open windows, doors or other exterior openings to provide adequate ventilation.
- M. Gravity vent openings in attic space shall not exceed code minimums in number and size.
- N. Alternative methods and materials may be used subject to approval of the Environmental Services Division.

2. 2nd Story Bedrooms Facing or with A View of Pocket Road
  - A. Small bedrooms ( $\pm 100$  sq. ft.)
    - a. The exterior wall must be constructed using either stucco or with a wood finish, using resilient channels beneath the interior gypsum board. The remainder of the exterior construction must meet the minimum standard.
  - B. Master Bedrooms ( $\pm 200$  sq. ft.)
    - a. The exterior wall must be constructed using either dense stucco or with a wood finish, using resilient channels beneath the interior gypsum board. The remainder of the exterior construction must meet the minimum standard.
3. Alternative methods and materials may be used subject to approval of the Environmental Services Division.

ENTITY RESPONSIBLE FOR ENSURING COMPLIANCE

Department of Planning and Development, City of Sacramento

MONITORING PROGRAM

Prior to issuance of any Building Permit the Building Division shall require that the approved construction plans incorporate all of the applicable noise attenuation measures. The Building Division shall also require that site inspections are included on the Special Conditions Attachment. Prior to issuance of any Final Building Permits, Certificate of Occupancy or Certificate of Compliance, the Building Division shall require full compliance and completion of the specified noise attenuation measures.

II. Cultural Resources

1. **If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.**

ENTITY RESPONSIBLE FOR ENSURING COMPLIANCE

Department of Planning and Development, City of Sacramento  
Department of Public Works, City of Sacramento

MONITORING PROGRAM

Both the subdivision improvement plans and the building permit plans shall include notes stating that if subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, all work within 50 meters of the affected area shall stop immediately. The construction plans for the project shall include the phone number of the City inspector to be contacted in the event of such a discovery. The plans shall note that a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted in the event that any archaeological materials are found.

Site inspections by the Building Division and the Department of Public Works shall watch for any potential archaeological resources during site visits. A Site Conditions Unit staff person/resident engineer in the Building Division/Public Works Department and a representative of the Environmental Services Division shall be notified in case of an archaeological discovery. The Building Division shall include this measure as a random inspection item on the Special Conditions Attachment.

If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, work within 50 meters of the affected area shall stop immediately. The developer shall contact a qualified archaeologist and a representative of the Native American Heritage Commission to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction within the affected area continues. The City department responsible for inspection and approval of the construction project shall verify the adequacy of the proposed mitigation measures by referring the mitigation plans to the Environmental Services Division for approval. A six foot high construction barrier shall be placed around the affected area until such mitigation measures have been implemented.

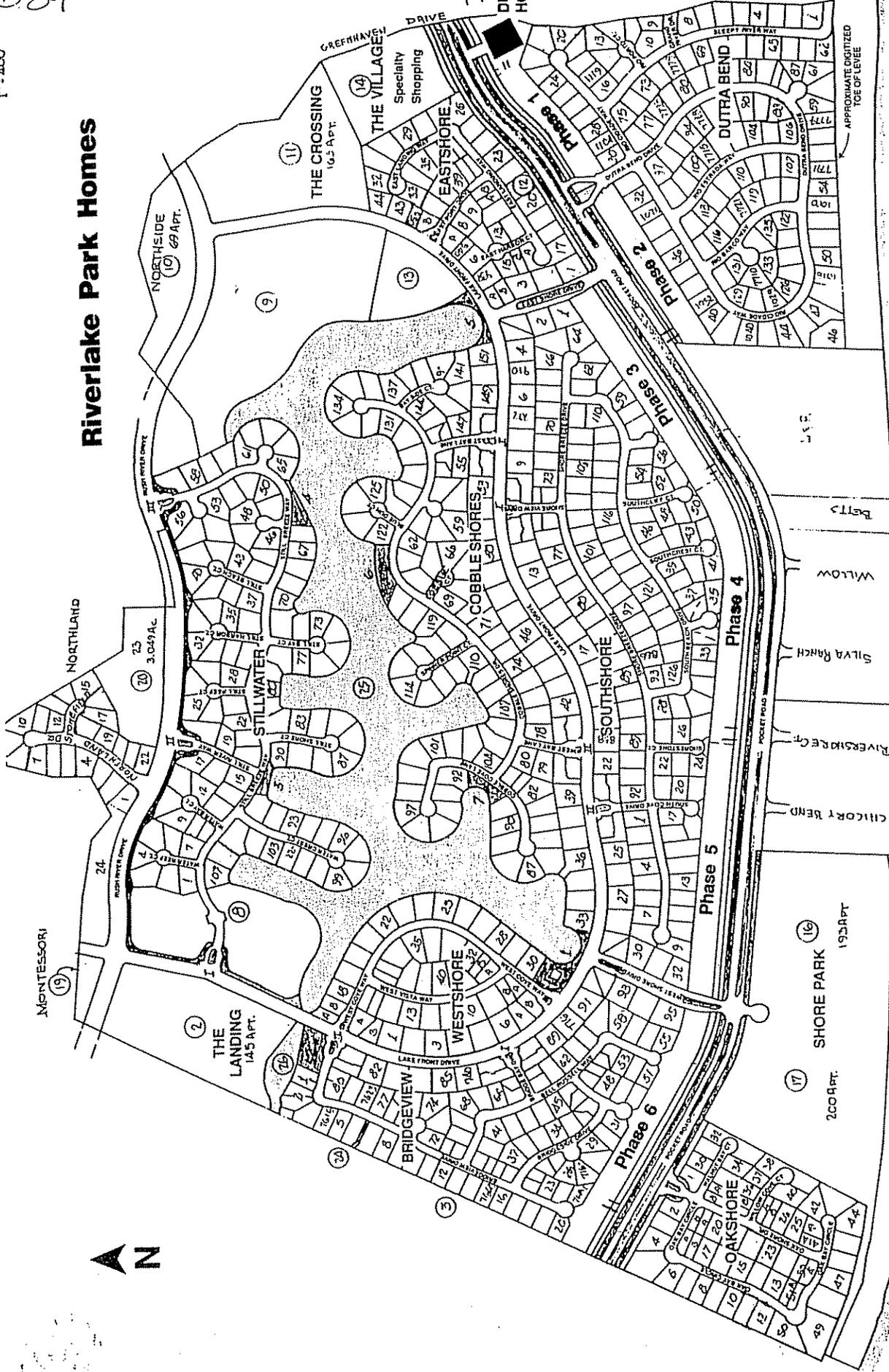
P93-089

January 27, 1994

THE DUTRA HOUSE

1" = 400'

# Riverlake Park Homes



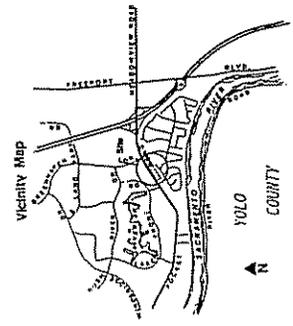
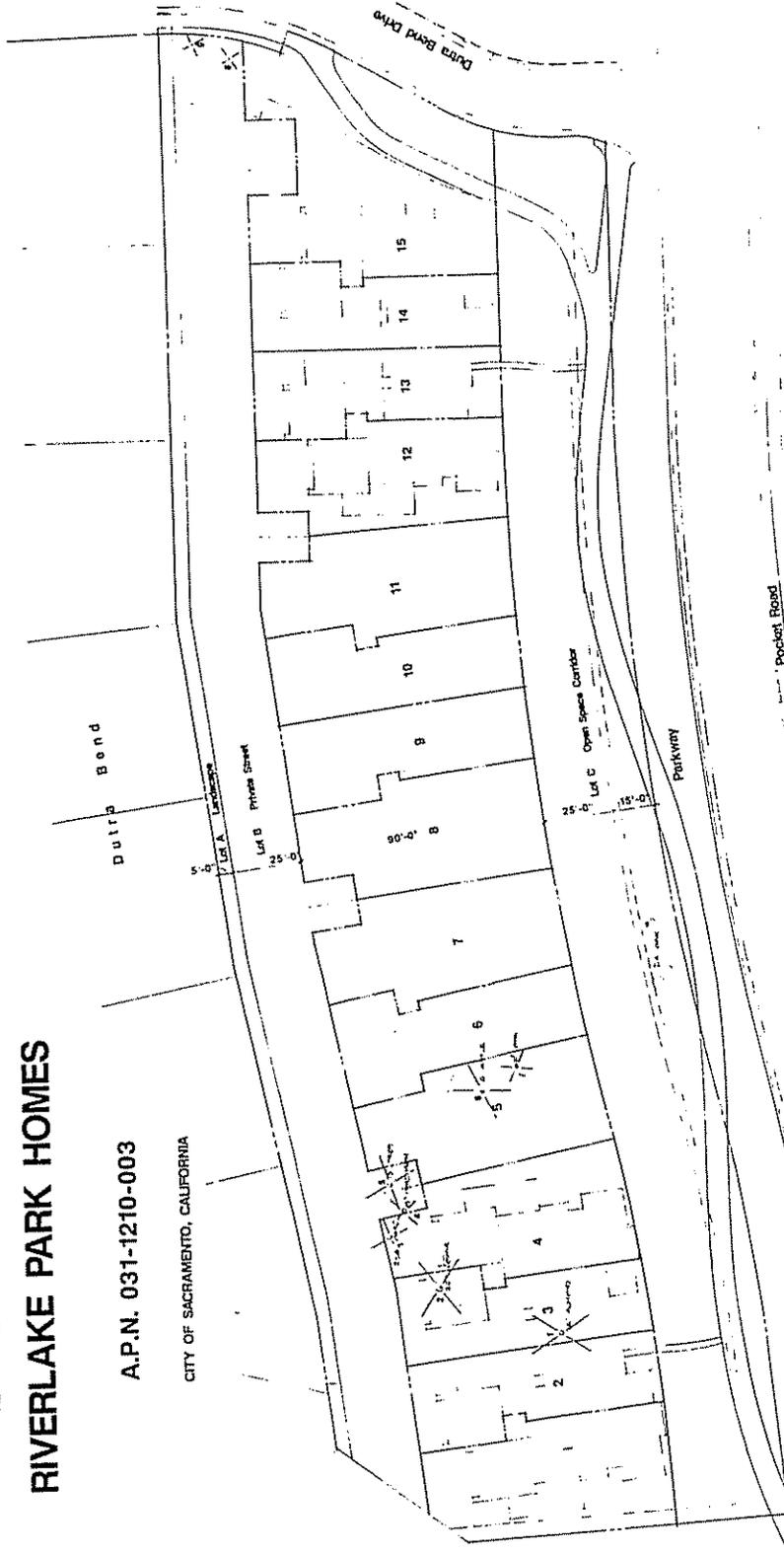
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EXHIBIT D-2  
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TENTATIVE SUBDIVISION MAP for  
**RIVERLAKE PARK HOMES**

A.P.N. 031-1210-003  
CITY OF SACRAMENTO, CALIFORNIA



- RECORDS:**  
2.84 ACRES (NET)  
1.14 UNITS PER ACRE
- UTILITIES:**  
CITY OF SACRAMENTO  
SAC. CO. WATER SUPPLY DIST.  
SAC. CO. SEWER DIST.  
CITY OF SACRAMENTO  
SAC. CO. GAS AND ELECTRIC  
PACIFIC BELL  
TELEPHONE  
SACRAMENTO CITY UTILITIES  
SACRAMENTO CITY UTILITIES  
PART OF SACRAMENTO

- REGISTERED LAND AND INTERESTS:** (11/83)  
1111 NORTH SACRAMENTO  
1111 NORTH SACRAMENTO  
SACRAMENTO, CA 95811
- RECORDS:**  
GRANDY/STANFORD ARCHITECTS  
1222 ARCHITECT, CA 95811  
LUCY/DAVID ARCHITECTS  
01-1111-41  
SACRAMENTO, CA 95811
- REGISTERED USE AND ZONING:**  
R-1.5 - PD  
R-1.5 - PD
- 13 PLANS ABOVE LOTS 1-15  
LOT 1 - 031-1210-003  
LOT 2 - 031-1210-003  
LOT 3 - 031-1210-003  
LOT 4 - 031-1210-003  
LOT 5 - 031-1210-003  
LOT 6 - 031-1210-003  
LOT 7 - 031-1210-003  
LOT 8 - 031-1210-003  
LOT 9 - 031-1210-003  
LOT 10 - 031-1210-003  
LOT 11 - 031-1210-003  
LOT 12 - 031-1210-003  
LOT 13 - 031-1210-003  
LOT 14 - 031-1210-003  
LOT 15 - 031-1210-003**

LOT	AREA	TYPE	DATE
1	15'	Open	11/83
2	15'	Open	11/83
3	15'	Open	11/83
4	15'	Open	11/83
5	15'	Open	11/83
6	15'	Open	11/83
7	15'	Open	11/83
8	15'	Open	11/83
9	15'	Open	11/83
10	15'	Open	11/83
11	15'	Open	11/83
12	15'	Open	11/83
13	15'	Open	11/83
14	15'	Open	11/83
15	15'	Open	11/83

Site Plan Phase 1  
0 20 40 80

Riverlake Park Homes



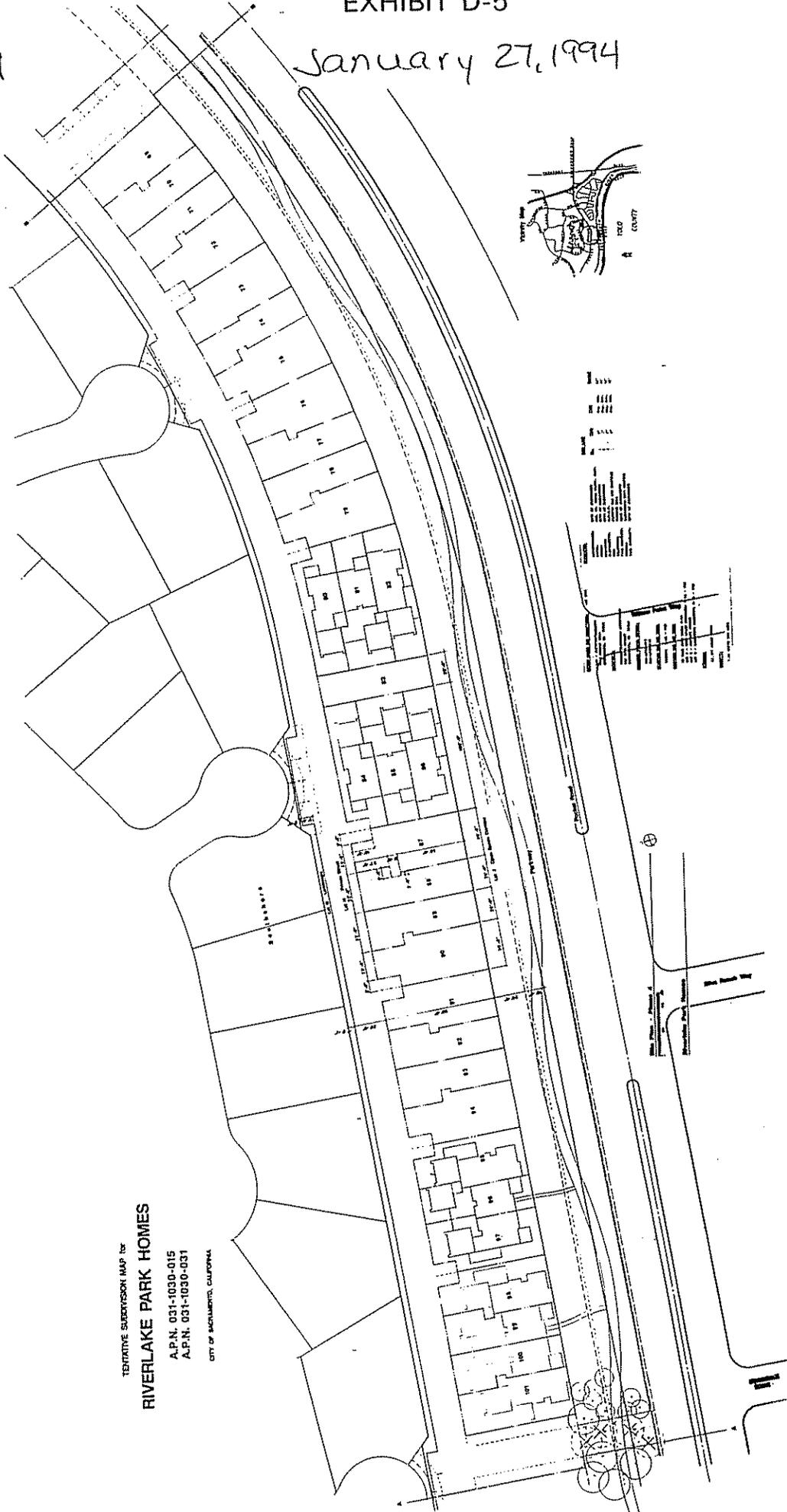


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EXHIBIT D-5

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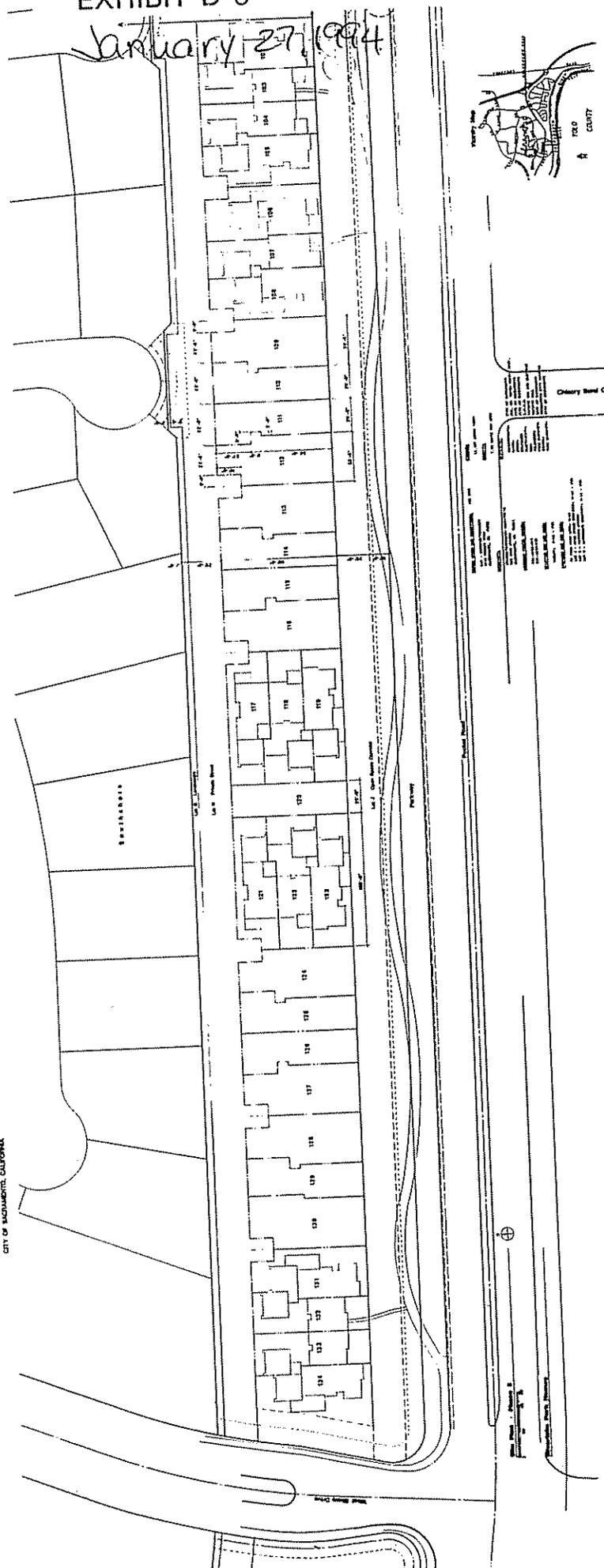
P93-089

EXHIBIT D-6

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TENTATIVE SUBDIVISION MAP for  
**RIVERLAKE PARK HOMES**  
A.P.N. 031-1030-015  
A.P.N. 031-1030-031  
CITY OF SACRAMENTO, CALIFORNIA



City and County

Lot No.	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
101	10,000	10,000	10,000
102	10,000	10,000	10,000
103	10,000	10,000	10,000
104	10,000	10,000	10,000
105	10,000	10,000	10,000
106	10,000	10,000	10,000
107	10,000	10,000	10,000
108	10,000	10,000	10,000
109	10,000	10,000	10,000
110	10,000	10,000	10,000
111	10,000	10,000	10,000
112	10,000	10,000	10,000
113	10,000	10,000	10,000
114	10,000	10,000	10,000
115	10,000	10,000	10,000
116	10,000	10,000	10,000
117	10,000	10,000	10,000
118	10,000	10,000	10,000
119	10,000	10,000	10,000
120	10,000	10,000	10,000
121	10,000	10,000	10,000
122	10,000	10,000	10,000
123	10,000	10,000	10,000
124	10,000	10,000	10,000
125	10,000	10,000	10,000
126	10,000	10,000	10,000
127	10,000	10,000	10,000
128	10,000	10,000	10,000



ATTACHMENT E

P93-089

JANUARY 27, 1994

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*See amended res.*

**RESOLUTION NO.**

ADOPTED BY THE SACRAMENTO PLANNING COMMISSION  
ON DATE OF JANUARY 27, 1994

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING SPECIAL PERMITS FOR PROPERTY LOCATED ON THE NORTH SIDE OF POCKET ROAD IN FRONT OF BRIDGEVIEW AND SOUTHSORE AND ON THE SOUTH SIDE OF POCKET ROAD IN FRONT OF DUTRA BEND

(P93-089) (APN: 031-1300-048; 031-1030-031; 031-1030-015; 031-1210-003; 031-1210-061)

WHEREAS, the City Planning Commission on January 27, 1994, held a public hearing on the request for approval of special permits to develop 167 park homes for property located at the above described location;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the Planning staff has submitted to the City Planning Commission its report and recommendations on the proposed development;

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SACRAMENTO THAT:

1. The Special Permits are hereby approved based upon the following findings of fact:
  - A. The project, as conditioned, is based upon sound principles of land use in that:
    - 1) the park homes incorporate a type of housing which is not currently provided in the area; and
    - 2) the design of the park homes is compatible with the surrounding single family development.
  - B. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that adequate circulation, parking and open space has been provided on the site.

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- C. The project is consistent with the General Plan and Pocket Community Plan which designate the site Low Density Residential (4-15 du/na) and Low Density Residential (7-15 du/na), respectively.
2. The Special Permits for the proposed 167 park homes (Exhibits D-1 through D-8 and E-1 through E-11) are hereby approved subject to the following conditions:
- A. There shall be a minimum of 20 feet between building clusters which have entrances facing each other.
- B. The parallel parking spaces shall have adequate maneuvering area as determined by the review and approval of Traffic Engineering.
- C. The applicant shall submit a detailed landscape plan for review and approval of Planning staff prior to the issuance of Building Permits. The landscape planter between the private street and the fence shall be a minimum of 5 feet and shall be planted with large screening shrubs and bushes.
- D. The development of the units shall be per the submitted elevations. Any modifications are subject to the review and approval of Planning staff.

  
CHAIRPERSON

ATTEST:

\_\_\_\_\_  
SECRETARY TO PLANNING COMMISSION

P93-089

00503

**AMENDED RESOLUTION NO.**

ADOPTED BY THE SACRAMENTO PLANNING COMMISSION

ON DATE OF JANUARY 27, 1994

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A SPECIAL PERMIT FOR PROPERTY LOCATED ON THE NORTH SIDE OF POCKET ROAD IN FRONT OF BRIDGEVIEW AND SOUTHSORE AND ON THE SOUTH SIDE OF POCKET ROAD IN FRONT OF DUTRA BEND

(P93-089) (APN: 031-1300-048; 031-1030-031; 031-1030-015; 031-1210-003; 031-1210-061)

WHEREAS, the City Planning Commission on January 27, 1994, held a public hearing on the request for approval of special permits to develop 167 park homes for property located at the above described location;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the Planning staff has submitted to the City Planning Commission its report and recommendations on the proposed development;

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSION OF THE CITY OF SACRAMENTO THAT:

1. The Special Permits are hereby approved based upon the following findings of fact:
  - A. The project, as conditioned, is based upon sound principles of land use in that:
    - 1) the park homes incorporate a type of housing which is not currently provided in the area; and
    - 2) the design of the park homes is compatible with the surrounding single family development.
  - B. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that adequate circulation, parking and open space has been provided on the site.

ATTACHMENT F

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JANUARY 27, 1994

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**RESOLUTION NO. 1535B**

ADOPTED BY THE SACRAMENTO PLANNING COMMISSION

ON DATE OF JANUARY 27 , 1994

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A VARIANCE FOR PROPERTY LOCATED ON THE NORTH SIDE OF POCKET ROAD IN FRONT OF BRIDGEVIEW AND SOUTHSORE AND ON THE SOUTH SIDE OF POCKET ROAD IN FRONT OF DUTRA BEND

(P93-089) (APN: 031-1300-048; 031-1030-031; 031-1030-015; 031-1210-003; 031-1210-061)

WHEREAS, the City Planning Commission on January 27, 1994, held a public hearing on the request for approval of a variance to allow parallel parking for property located at the above described location;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the Planning staff has submitted to the City Planning Commission its report and recommendations on the proposed development;

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SACRAMENTO THAT:

1. The variance to allow parallel parking is hereby approved based upon the following findings of fact:
  - A. Granting the variance does not constitute a special privilege extended to an individual property owner in that variances would be granted to other property owners facing similar circumstances.
  - B. Granting the variance would not be detrimental to the public welfare nor result in the creation of a public nuisance in that there is adequate space and maneuverability for the parallel parking.
  - C. Granting the variance does not constitute a use variance in that single family attached units and associated parking are allowed in the Single Family Alternative (Planned Unit Development) (R-1A[PUD]) zone.

- 
- D. The project is consistent with the General Plan and Pocket Community Plan which designate the site for Low Density Residential (4-15 du/na) and Low Density Residential (7-15 du/na), respectively.
  - 2. The variance for the proposed parallel parking (Exhibits D-2 through D-7) is hereby approved, subject to the following condition:
    - A. The parallel parking spaces shall have adequate maneuvering area as determined by the review and approval of the Traffic Engineer.

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CHAIRPERSON

ATTEST:

\_\_\_\_\_  
SECRETARY TO PLANNING COMMISSION

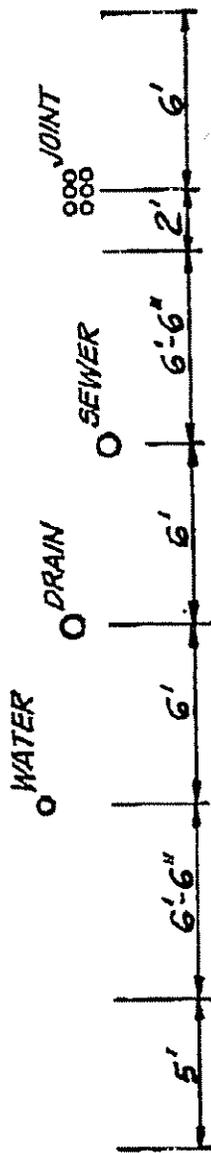
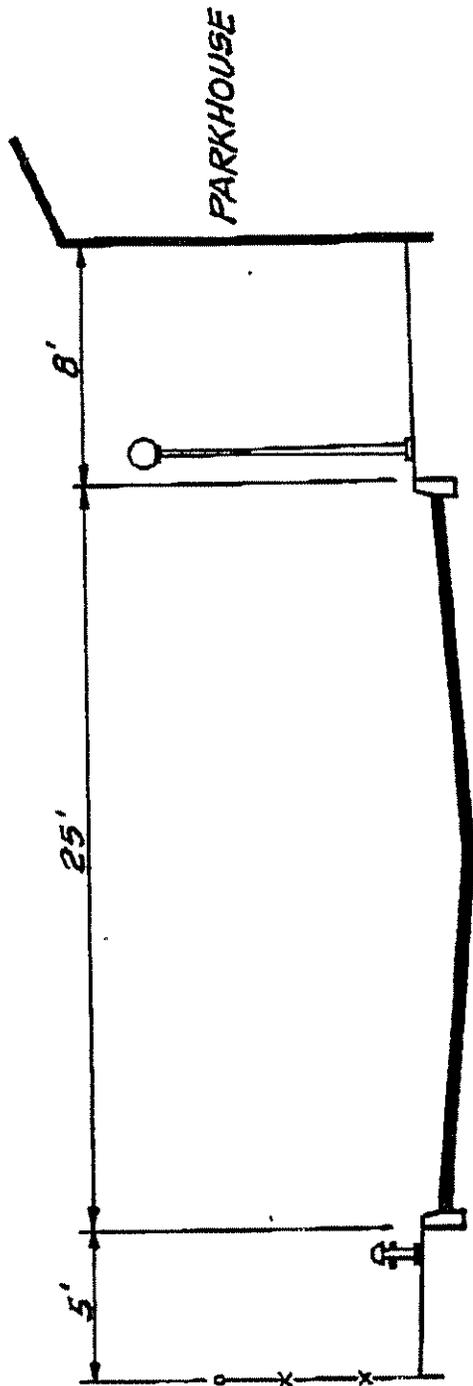
P93-089

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RA to RA

EXHIBIT  
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*Preliminary*

**RIVERLAKE PARKHOUSE  
UTILITY AND STREET SECTION**

P93 089

**AMENDED RESOLUTION NO.**

ADOPTED BY THE SACRAMENTO PLANNING COMMISSION

ON DATE OF JANUARY 27, 1994

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A SPECIAL PERMIT FOR PROPERTY LOCATED ON THE NORTH SIDE OF POCKET ROAD IN FRONT OF BRIDGEVIEW AND SOUTHSORE AND ON THE SOUTH SIDE OF POCKET ROAD IN FRONT OF DUTRA BEND

(P93-089) (APN: 031-1300-048; 031-1030-031; 031-1030-015; 031-1210-003; 031-1210-061)

WHEREAS, the City Planning Commission on January 27, 1994, held a public hearing on the request for approval of special permits to develop 167 park homes for property located at the above described location;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the Planning staff has submitted to the City Planning Commission its report and recommendations on the proposed development;

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSION OF THE CITY OF SACRAMENTO THAT:

1. The Special Permits are hereby approved based upon the following findings of fact:
  - A. The project, as conditioned, is based upon sound principles of land use in that:
    - 1) the park homes incorporate a type of housing which is not currently provided in the area; and
    - 2) the design of the park homes is compatible with the surrounding single family development.
  - B. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that adequate circulation, parking and open space has been provided on the site.

*All General  
in the form*

- C. The project is consistent with the General Plan and Pocket Community Plan which designate the site Low Density Residential (4-15 du/na) and Low Density Residential (7-15 du/na), respectively.
- 2. The Special Permits for the proposed 167 park homes (Exhibits D-1 through D-8 and E-1 through E-11) are hereby approved subject to the following conditions:
  - A. There shall be a minimum of 20 feet between building clusters which have entrances facing each other.
  - B. The parallel parking spaces shall have adequate maneuvering area as determined by the review and approval of Traffic Engineering.
  - C. The applicant shall submit a detailed landscape plan for review and approval of Planning staff prior to the issuance of Building Permits. The landscape planter between the private street and the fence shall be a minimum of 5 feet and shall be planted with large screening shrubs and bushes.
  - D. The development of the units shall be per the submitted elevations. Any modifications are subject to the review and approval of Planning staff.

\_\_\_\_\_  
CHAIRPERSON

ATTEST:

\_\_\_\_\_  
SECRETARY TO PLANNING COMMISSION

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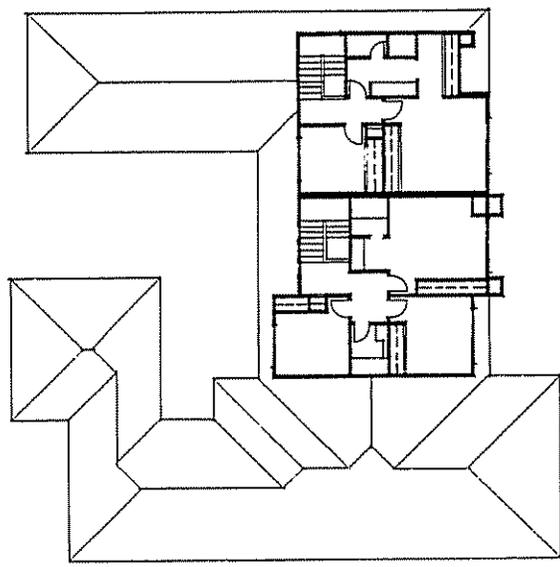
Project No. 93-089  
Date 1/27/94  
Scale 1/8" = 1'-0"

Riverdale Park  
Homes  
L.P. Pacific/Robert  
8144 Pocket Road  
Sacramento, CA

# EXHIBIT E-2 January 27, 1994

Check for  
interference  
with  
existing  
structure  
and  
equipment  
before  
construction  
of  
new  
structure

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Second Floor Plan Unit 3  
1/8" = 1'-0"

PA3-039

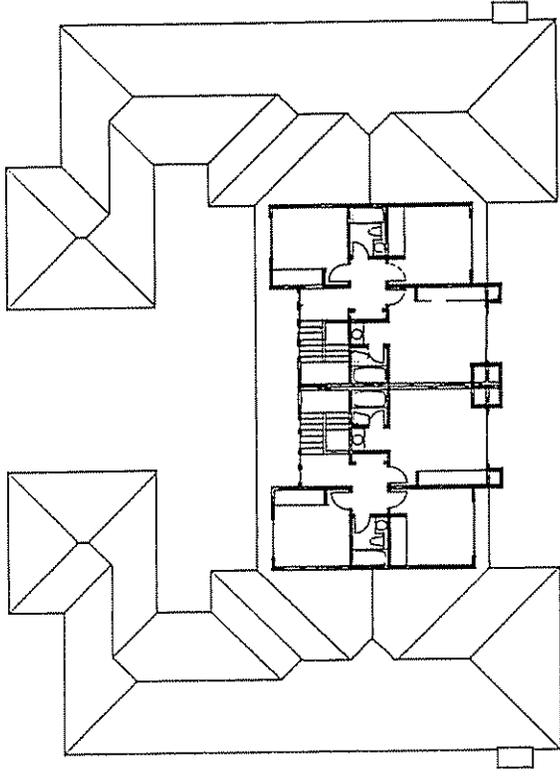
Blount Park  
Homes  
L&P Pacific/Eichert  
8144 Pocket Road  
Sacramento, CA

EXHIBIT E-4  
January 27, 1994

Blount Park  
Homes  
L&P Pacific/Eichert  
8144 Pocket Road  
Sacramento, CA

Blount Park  
Homes  
L&P Pacific/Eichert  
8144 Pocket Road  
Sacramento, CA

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Second Floor Plan - Unit 4  
1/27/94

993-089

EXHIBIT E-6

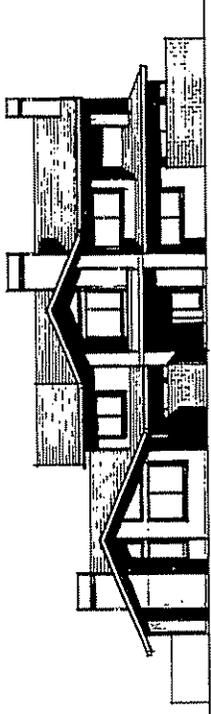
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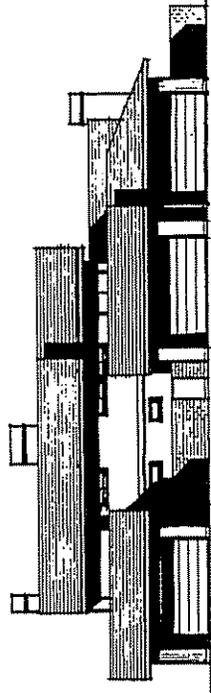
Project Name  
Address  
City  
State  
Zip

Riverlake Park  
Homes  
L&P Pacific/Robert  
8144 Pocket Road  
Sacramento, CA

Scale  
Date  
Drawn by  
Checked by  
Approved by

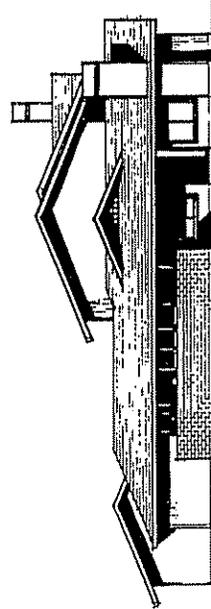


Front Elevation  
1/16" = 1'

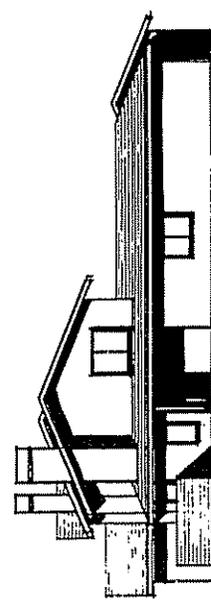


Rear Elevation

Unit 3-B



Left Side Elevation



Right Side Elevation

p93089

EXHIBIT E-8

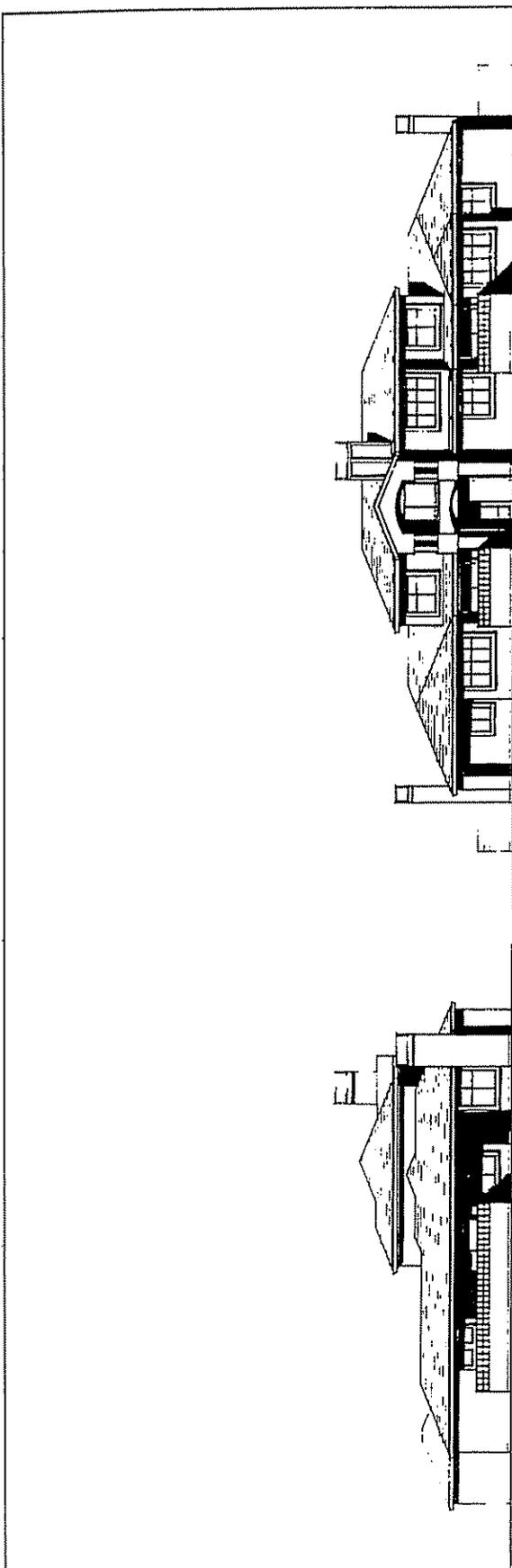
January 27, 1994

Mem# 3  
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Riverlake Park  
Homes  
L&P Pacific/Fechell  
8144 Pochina Road  
Sacramento CA

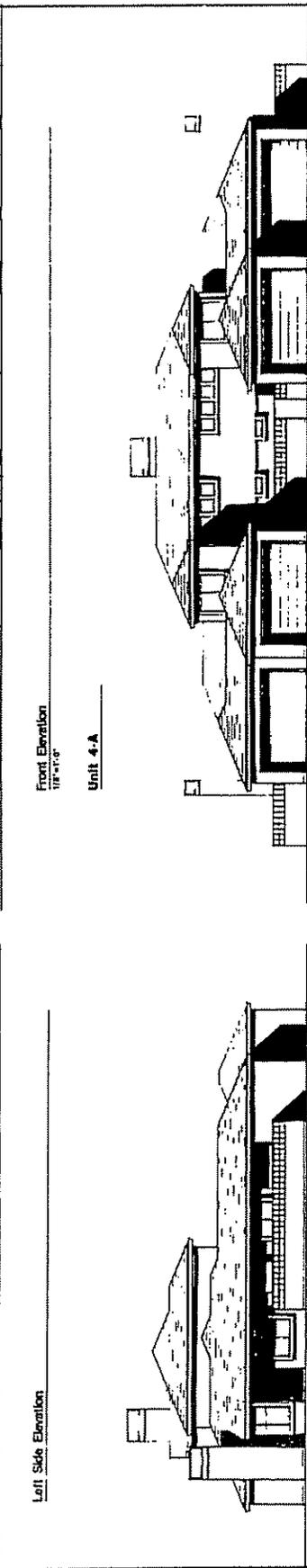
1. The drawings are to be used for the construction of the project.  
2. The drawings are to be used for the construction of the project.  
3. The drawings are to be used for the construction of the project.

1. The drawings are to be used for the construction of the project.  
2. The drawings are to be used for the construction of the project.  
3. The drawings are to be used for the construction of the project.



Left Side Elevation

Front Elevation



Right Side Elevation

Rear Elevation

Unit 4-A

993-089

EXHIBIT E-10

January 27, 1994

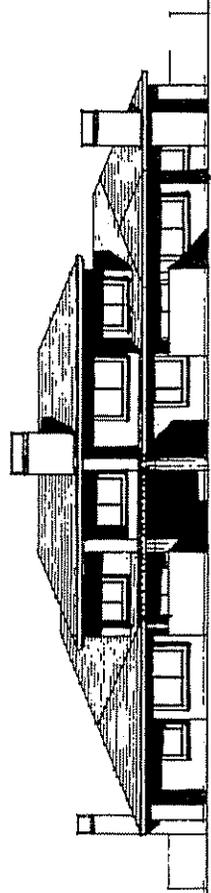
Item # 3  
Page 43

Project Name  
Address  
City  
State  
Zip

Riverlake Park  
Homes  
L&P Pacific/Weichert  
8144 Pocket Road  
Sacramento, CA

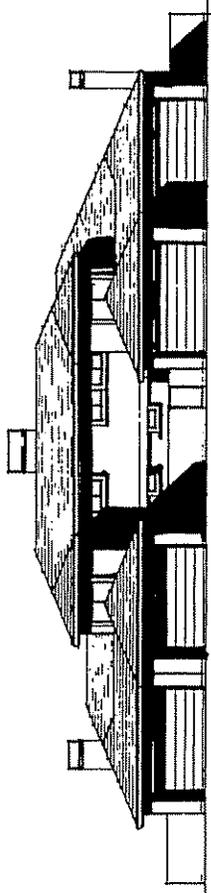
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Approved by

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Total Sheets

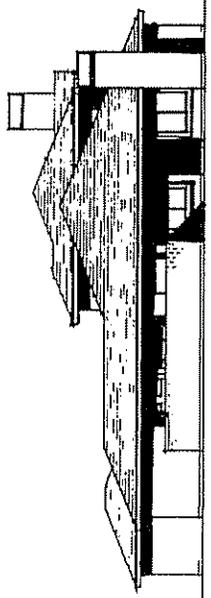


Front Elevation  
1/2" = 1'-0"

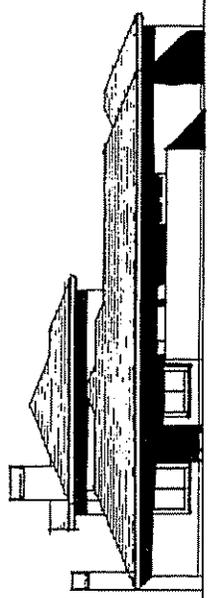
Sheet 4 of 4



Rear Elevation



Left Side Elevation



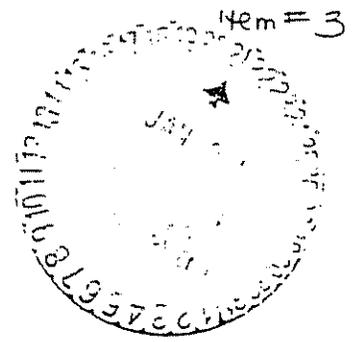
Right Side Elevation

P93-089

January 27, 1994

**John Bovee**

7664 Bridgeview Drive  
Sacramento, California 95831  
(916) 422-1324



January 20, 1994

William Parker, President  
L & P Land Development, Inc.  
8144 Pocket Road  
Sacramento, California 95831

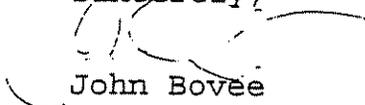
Dear Mr. Parker:

Thank you for your correspondence regarding the proposed Riverlake Park Homes. The development looks like it will be a beautiful addition to the Riverlake area and the Pocket community.

As you know, my only objection to the original plan was the access through the Bridgeview development. Now that you have resolved that issue, I am pleased to go on record as supporting the development.

Please let me know if there is anything I can do in support of the project.

Sincerely,

  
John Bovee

cc: Councilmember Kastanis

# CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Donald Joseph, Inc. - 2210 16th Street, Sacramento, CA 95818  
OWNER L & P - Pacific Teichert - 455 Riverside Blvd, Ste C, Sacramento 95831  
PLANS BY Donald Joseph, Inc. - 2210 16th Street, Sacramento, CA 95818  
FILING DATE 3-9-87 ENVIR. DET. Neg Dec. 3-30-87 REPORT BY JP  
ASSESSOR'S-PCL. NO. 031-103-015 & 031

APPLICATION: A. Negative Declaration

B. Tentative Map to divide 11.2+ net acres into 90 townhouse lots and one common lot

C. Special Permit for a 90 unit townhouse development

LOCATION: North side of Pocket Road between East Shore Drive and West Shore Drive

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 90 unit residential development adjacent to the linear parkway in the LPPT(PUD) (Site 22, LPPT Schematic Plan).

PROJECT INFORMATION:

1974 General Plan Designation: Residential  
1978 South Pocket Community  
Plan Designation: Low Density Residential - LPPT(PUD)  
LPPT(PUD) Schematic Plan  
Designation: Site 22 - Townhouse - 8 d.u./ac. maximum  
Existing Zoning of Site: R-1A(PUD)  
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Vacant; R-1(PUD)  
South: Single family, vacant; A, R-2B  
East: Vacant; R-1A(PUD)  
West: Vacant; R-1A(PUD)

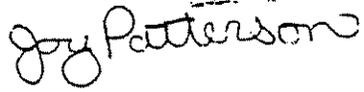
Parking Required: 141 spaces  
Parking Provided: 90 two-car garages (180 spaces); 79 guest spaces  
Property Dimensions: Irregular  
Property Area: 11.2+ acres  
Density of Development: 8 d.u. per acre  
Square Footage of Building: Unit 1 - 17,791 sq. ft.;  
Unit 2 - 1,408 sq. ft.;  
Unit 3 - 1,696 sq. ft.  
Topography: Flat  
Street Improvements: Existing  
Utilities: Existing  
Exterior Building Materials: Brick, stucco  
Exterior Building Colors: Earth tones, red brick

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On March 25, 1987, by a vote of five ayes, four absent, the Subdivision Review Committee voted to recommend approval of tentative map, subject to conditions.

JUNE 27, 1991

APPLC. NO. P87-129 MEETING DATE April 8, 1987 ITEM NO. 20

Respectfully submitted,



Joy Patterson  
Senior Planner

Report Prepared By:

Sandra L. Yope  
Junior Planner

107-129

9-26-91  
~~7-25-91~~  
6-27-91 -

ITEM 16  
7

City Planning Commission  
Sacramento, California

Members in Session:

- SUBJECT:
- A. Negative Declaration
  - B. Tentative Map Time Extension to subdivide 11.2± net vacant acres into 90 townhouse lots and one common lot in the Single Family Alternative, Planned Unit Development (R-1A)(PUD) zone.
  - C. Special Permit to allow for a 90 unit townhouse development.

LOCATION: North side of Pocket Road between East Shore Drive and West Shore Drive

APPLICANT/: L & P Pacific/Teichert, 6355 Riverside Blvd., Suite C, Sacramento, CA 95831  
OWNER

SUMMARY:

The applicant is requesting a two year time extension for a Tentative Map on 11.2± net vacant acres in the Single Family Alternative, Planned Unit Development (R-1A)(PUD) zone. The tentative map divides the 11.2± acres into 90 townhouse lots and one common lot. A Special Permit is required for townhouse development in the R-1A zone. The original Special Permit and the one year time extension for the permit has expired requiring the applicant to obtain a new Special Permit. The City Council will consider the request for the Tentative Map time extension at a later date. The Special Permit requires Planning Commission approval only.

BACKGROUND INFORMATION:

On May 12, 1987, the City Council approved a tentative map to establish a 90 unit townhouse development with one common lot in the R-1A(PUD) zone. On April 9, 1987, the City Planning Commission approved a special permit (P87-129) to develop 90 townhouse units. On April 25, 1989 the City Council granted a one year time extension for the previously approved tentative map. On April 13, 1989, the Planning Commission approved a one year time extension for the Special Permit to develop 90 town house units.

The applicant filed for an additional time extension for the map, but not for the Special Permit on February 22, 1990. The application for the Special Permit was resubmitted on April 29, 1991. No changes are proposed for the project.

STAFF EVALUATION:

Staff supports the resubmittal of the original Special Permit subject to the same conditions as previously stated. The proposed townhouse development is innovative, well-designed and provides an alternative housing type in this area. Staff supports the requested time extension for the tentative map subject to the previously approved conditions as stated in the staff report of April 13, 1989, (see attached) and restated below.

Staff has received comments from an adjacent property owner who indicated concern about the access for the townhouse development from the adjacent private streets to the north. Staff has conditioned the project so that the project driveway access to the single family development to the north does not

APPLC.NO. P87-129

MEETING DATE June 27, 1991

ITEM NO. 1695

July 25, 1991  
7-26-91

connect to Pocket Road.

ENVIRONMENTAL DETERMINATION:

The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact on the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated the following mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects will occur:

- A. The applicant agrees to incorporate the specific noise attenuation measures identified by the noise study attached to the revised Negative Declaration.
- B. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration.
- B. Recommend approval of the Tentative Map Time Extension to subdivide 11.2± net vacant acres into 90 townhouse lots and one common lot in the Single Family Alternative, Planned Unit Development (R-1A)(PUD) zone, subject to the following conditions, and forward to the City Council.
- C. Approve the Special Permit to allow for a 90 unit townhouse development subject to the conditions and based upon the findings of fact which follow.

Conditions - Tentative Map:

The Applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Prepare a sewer and drainage study for the review and approval of the City Engineer.
2. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
3. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.
4. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code.

5. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
6. Submit a soils test prepared by a registered engineer to be used in street design.
7. Street sections shall be designed to provide for stabilized subgrades and pavement under high ground water conditions.
8. Minimum lot pad grade = 4.0 feet; minimum gutter grade - 2.5 feet.
9. Show reciprocal access, sewer, water and drainage easements on final map.
10. Comply with provisions of development agreement between LPPT and City of Sacramento.
11. Driveway locations and entrances shall be to the satisfaction of the City Engineer.
12. Dedicate Lot A as a public utility easement, including underground electrical facilities and appurtenances excepting therefrom any building locations.
13. Pay Pocket bridge fees.
14. Cannot file map until Lot 4 is under construction and map is filed.
15. The applicant shall enter into an agreement with the Regional Transit District to provide a bus shelter on Pocket Road.

NOTE: According to the provisions of the Subdivision Map Act, this map will expire on May 12, 1992, and all extensions will have been exhausted.

Conditions - Special Permit:

1. A revised site plan indicating the following modifications shall be submitted for Planning Director review and approval prior to issuance of building permits.
  - a. All parking spaces, patios, patio walls and/or fences and walkways connecting the residential units with the public right-of-way shall be relocated outside of the linear parkway and any required landscape setback or eliminated from the site plan.
  - b. Driveways shall not connect Pocket Road with the adjacent single family subdivision to the north.
  - c. A minimum 25 foot landscaped setback shall be provided adjacent to East Shore Drive and West Shore Drive, and a minimum five foot landscaped setback shall be provided adjacent to the north property line.
  - d. A minimum 10 foot building setback shall be provided adjacent to the north property line.

- e. A minimum of 10 feet shall be provided between the one-story portion of the building clusters and a minimum of 20 feet between the main entrances to units across from one- another shall be provided as shown in Exhibit F.
2. Landscape and irrigation plans for the linear parkway required setback areas, and common areas shall be submitted for the review and approval of the Planning Director and Director of Community Services prior to issuance of building Permits.
  3. A six foot high solid fence shall be provided adjacent to the north property line.
  4. All parking spaces shall meet the width, depth, and maneuvering requirements of the City Zoning Ordinance.
  5. The project shall meet the access requirements of the City Fire and Police Departments.
  6. The project shall meet the driveway requirements of the City Traffic Engineering Divisions.
  7. Any proposed project identification signs shall be subject to Planning Director review and approval prior to issuance of sign permits.
  8. The project shall comply with all applicable regulations of the LPPT(PUD) Guidelines and LPPT(PUD) Development Agreement.
  9. Prior to approval of the final inspection of the project by City Building Division, the Planning Director shall inspect the project for compliance with all conditions of the Special Permit.

Findings of Fact:

1. The project, as conditioned, is based upon sound principles of land use in that the proposed cluster home/townhouse development is compatible with the proposed single family and multiple family development for the area.
2. The project, as conditioned, will not be detrimental to the public health, safety, or welfare or result in the creation of a nuisance in that adequate parking, landscaping, and building setbacks will be provided.
3. The proposed project is consistent with the 1988 General Plan and the 1988 Pocket Community Plan in that the subject site is designated residential and low density residential respectively.

PROJECT EVALUATION: Staff has the following comments regarding this proposal:

A. Land Use and Zoning

The subject site consists of two vacant lots totaling 11.2+ net acres located in the Townhouse (R-1A) zone and the LPPT(PUD). Surrounding land uses include vacant land approved for single family residences to the north (Lot 4 of Riverlake), vacant lands zoned R-1A(PUD) to the east and west, and farm land with single family residences zoned Agricultural (A) to the south. The site is designated for low density residential uses by the 1978 South Pocket Community Plan.

As noted, the site is located in the LPPT(PUD). The original PUD approval indicated that on sites 21,22 and 23 a 40 to 50 foot wide linear parkway would be created along Pocket Road in conjunction with future residential development (Exhibit A). An additional 20 feet of curb, gutter, meandering sidewalk and landscaping would occur within the public right-of-way adjacent to Pocket Road. Staff was supportive of this design concept as it would discourage on-street parking along Pocket Road, develop an attractive frontage along Pocket Road and eliminate the need for a buffer wall between the street and proposed residential uses. The linear parkway concept was approved, the three sites zoned R-1A(PUD), and landscaping with the public right-of-way has been completed.

The applicant is requesting a tentative map and special permit to develop 90 residential units allowing for individual ownership and one common lot on Site 22 of the LPPT(PUD) (Exhibits B-E). The proposed density is eight units per acre. This proposed land use is consistent with the community plan designation and the LPPT(PUD) schematic plan designation for the site.

B. Site Plan Design

The project is designed so that the residences are in three-unit clusters of one single-story unit and two two-story units. The three units are set at an angle to Pocket Road to diminish the "row effect" often associated with linear townhouse developments. The three unit clusters are designed to share a motor court cul-de-sac with another cluster. These motor courts are placed behind the residences. The intent of the applicant is to provide a view from Pocket Road which emphasizes the linear parkway, landscaped common areas and the residential units, and which screens the motor court areas from Pocket Road.

Overall, Planning staff finds the site plan to be innovative and well-designed. Staff recommends that a minimum five foot landscaped setback, 10 foot building setback, and six foot high solid fence be provided along the north property line to provide privacy to future residents of the adjacent single family subdivision. A minimum of 10 feet between the one-story portion of the building clusters shall be provided in order to provide adequate access to the units and prevent a canyon effect from occurring between clusters. Twenty feet between the main entrances to units across from one-another shall also be provided (Exhibit F).

The LPPT Development Agreement indicates that the developer is responsible for the development and maintenance of the linear park. The CC & R's for the

development will obligate the owners' association to provide for the maintenance of the linear park. Planning staff recommends that landscape plans for the linear park be reviewed by the Planning Director and Director of Community Services prior to issuance of building permits.

Several of the private patios for the residential units are indicated in the linear parkway (Exhibit C). These patio areas and any patio walls or fences must be located out of this required landscaped setback area.

Walkways are also indicated leading from residential units to the public right-of-way (East and West Shore Drives). Staff recommends that any private walkway crossing the linear parkway or a required landscaped setback and connecting a residential unit with the public right-of-way be prohibited as the walkway would encourage on-street parking.

C. Circulation and Parking

The applicant has indicated two forms of entrance to the development: six driveway entrances off of East Shore Drive (1), West Shore Drive (1) and Pocket Road (4); and entrances off of five cul-de-sacs in the Lot 4 of Riverlake subdivision. Planning staff was concerned that several of the private driveways in the proposed development connect Pocket Road with the single family subdivision to the north and that these driveways may be used as a short-cut by residents who will live in the subdivision. The applicant has indicated that the site plan will be revised so that the Pocket Road entrances and cul-de-sac entrances do not connect.

One-hundred-forty-one (141) parking spaces are required for the proposed development. The applicant is providing 90 two-car garages (180 spaces) and 79 guest parking spaces which exceed the minimum required. Sixteen of guest parking spaces are located in the linear parkway and two of the guest spaces do not meet City standards for maneuvering (Exhibit C). These 18 spaces will need to be relocated or removed.

D. Building Design

As noted above, the proposed residences are in three unit clusters of one single-story unit and two two-story units. All three units have one-story garages. The two-story/one-story mix provides a variety of movement to the elevations and the building cluster takes on a different appearance when viewed from one of its four sides (Exhibit D). Proposed building materials are wood brick and stucco and proposed colors are earth tones. Staff finds the proposed elevations to be unique and well-designed and has determined that the residential units will be compatible with the single family residences that will be constructed in the adjacent subdivision.

E. Other Agency Comments

The project site plan has been reviewed by the City Fire, Police, Engineering and Traffic Engineering Divisions. The following comments were received:

3 7  
~~April 9, 1987~~  
JUNE 17 1987

1. Fire Department

- All entrances to residences shall be within 150 feet of the street.
- Fire hydrant spacing shall be 300 feet apart.
- Plan must provide turn-around areas for fire trucks for driveways over 150 feet long. Turn-around needs a 35 foot inside radius.

2. Police Department

- Access to the site to be approved by Police and Fire Departments.

3. Engineering Division

- Comply with the requirements of the LPPT Development Agreement and follow the improvements for Lot 4 of Riverlake.

4. Traffic Engineering Division

- Provide a circulation plan for the cul-de-sac entrances.
- Driveway entrances to meet requirements of Traffic Engineering Division.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration, subject to the following mitigation measure:

The project is located in an area of potential archaeological sensitivity, consequently, the applicant shall comply with the following:

If unusual amounts of bone, shell, or artifacts are uncovered, work within 50 meters of the area will stop immediately and a qualified archaeologist will be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impacts to a less than significant level before construction continues.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratification of the negative declaration;
- B. Recommend approval of the tentative map, subject to conditions; and
- C. Approve the special permit for a 90 unit townhouse development, subject to conditions and based upon findings of fact which follow.

Conditions - Tentative Map - The Applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Prepare a sewer and drainage study for the review and approval of the City Engineer.
2. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
3. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.
4. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code.
5. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
6. Submit a soils test prepared by a registered engineer to be used in street design.
7. Street sections shall be designed to provide for stabilized subgrades and pavement under high ground water conditions.
8. Minimum lot pad grade - 4.0 feet; minimum gutter grade - 2.5 feet.
9. Show reciprocal access, sewer, water and drainage easements on final map.
10. Comply with provisions of development agreement between LPPT and City of Sacramento.
11. Driveway locations and entrances shall be to the satisfaction of the City Engineer.
12. Dedicate Lot A as a public utility easement, including underground electrical facilities and appurtenances excepting therefrom any building locations.
13. Pay Pocket Bridge fees.
14. Cannot file map until Lot 4 is under construction and map is filed.

15. The applicant shall enter into an agreement with the Regional Transit District to provide a bus shelter on Pocket Road.

Conditions - Special Permit

1. A revised site plan indicating the following modifications shall be submitted for Planning Director review and approval prior to issuance of building permits.
  - a. All parking spaces, patios, patio walls and/or fences and walkways connecting the residential units with the public right-of-way shall be relocated outside of the linear parkway and any required landscape setback or eliminated from the site plan.
  - b. Driveways shall not connect Pocket Road with the adjacent single family subdivision to the north.
  - c. A minimum 25 foot landscaped setback shall be provided adjacent to East Shore Drive and West Shore Drive, and a minimum five foot landscaped setback shall be provided adjacent to the north property line.
  - d. A minimum 10 foot building setback shall be provided adjacent to the north property line.
  - e. A minimum of 10 feet shall be provided between the one-story portion of the building clusters and a minimum of 20 feet between the main entrances to units across from one-another shall be provided as shown in Exhibit F.
2. Landscape and irrigation plans for the linear parkway, required setback areas, and common areas shall be submitted for the review and approval of the Planning Director and Director of Community Services prior to issuance of building permits.
3. A six foot high solid fence shall be provided adjacent to the north property line.
4. All parking spaces shall meet the width, depth and maneuvering requirements of the City Zoning Ordinance.
5. The project shall meet the access requirements of the City Fire and Police Departments.
6. The project shall meet the driveway requirements of the City Traffic Engineering Division.
7. Any proposed project identification signs shall be subject to Planning Director review and approval prior to issuance of sign permits.

8. The project shall comply with all applicable regulations of the LPPT(PUD) Guidelines and LPPT(PUD) Development Agreement.
9. Prior to approval of the final inspection of the project by the City Building Division, the Planning Director shall inspect the project for compliance with all conditions of the special permit.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the proposed cluster home/townhouse development is compatible with the proposed single family and multiple family development for the area.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that adequate parking, landscaping and building setbacks will be provided.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for low density residential use by the 1976 South Pocket Community Plan and the proposed cluster home/townhouse use conforms with the plan designation.

# SACRAMENTO CITY PLANNING DEPARTMENT

Application Information

Application taken by/date: \_\_\_\_\_

Project Location: North side of Pocket Road between East Shore Drive and West Shore Drive **P**  
 Assessor Parcel No. 031-103-15+31  
 Owners: LP/Pacific Trichert Phone No. 422-3512  
 Address: 6355 Riverside Blvd., Suite C, Sac., CA 95831  
 Applicant: Donald Joseph Inc. Phone No. 446-2845  
 Address: 2210 16th Street, Sacramento, CA 95818  
 Signature: \_\_\_\_\_ C.P.C. Mtg. Date: 4/9/87

**REQUESTED ENTITLEMENTS**

**ACTION ON ENTITLEMENTS**

Filing Fees

REQUESTED ENTITLEMENTS	Commission date	Council date	Filing Fees
<input checked="" type="checkbox"/> Environ. Determination <u>Neg. Dec.</u>	<u>4-9-87</u>	<u>5-12-87</u>	\$ _____
<input type="checkbox"/> General Plan Amend _____	_____	_____	\$ _____
<input type="checkbox"/> Community Plan Amend _____	_____	Res. _____	\$ _____
<input type="checkbox"/> Rezone _____	_____	Res. _____	\$ _____
<input checked="" type="checkbox"/> Tentative Map to subdivide 11.2+ ac. into 90 townhouse lots & 1 common lot in the R-1A(PUD) zone & LPPT(PUD)	<u>RAC</u>	<u>A</u>	\$ _____
<u>Tentative Map Extension</u>	_____	<u>A to 4-25-90</u> <u>Res 87-350</u>	\$ _____
<input checked="" type="checkbox"/> Special Permit to allow 90 unit townhouses on 11.2+ ac. in the R-1A(PUD) zone & LPPT(PUD)	<u>AC</u>	_____	\$ _____
<u>/Special Permit Extension</u>	<u>AA 4-13-89</u>	_____	\$ _____
<input type="checkbox"/> Variances _____	_____	_____	\$ _____
<input type="checkbox"/> Plan Review _____	_____	_____	\$ _____
<input type="checkbox"/> PUD _____	_____	_____	\$ _____
<input type="checkbox"/> Other _____	_____	_____	\$ _____

FEE TOTAL \$ \_\_\_\_\_  
 RECEIPT NO. \_\_\_\_\_  
 By/date \_\_\_\_\_

Sent to Applicant: December 8 1987 Date By: [Signature] Sec. to Planning Commission

**Key to Entitlement Actions**

- |                                    |   |  |
|------------------------------------|---|--|
| R - Ratified                       | D - Denied                                    | IAF - Intent to Approve based on Findings of Fact  |
| Cd - Continued                     | RD - Recommend Denial                         | AFF - Approved based on Findings of Fact           |
| A - Approved                       | RA - Recommend Approval                       | RPC - Return to Planning Commission                |
| AC - Approved W/conditions         | RAC - Recommend Approval W/conditions         | CSR - Condition Indicated on attached Staff Report |
| AA - Approved W/amended conditions | RMC - Recommend Approval W/amended conditions |  |

NOTE: There is a thirty (30) consecutive day appeal period from date of approval. Action authorized by this document shall not be conducted in such a manner as to constitute a public nuisance. Violation of any of the foregoing conditions will constitute grounds for revocation of this permit. Building permits are required in the event any building construction is planned. The County Assessor is notified of actions taken on rezonings, special permits and variances.

P87129



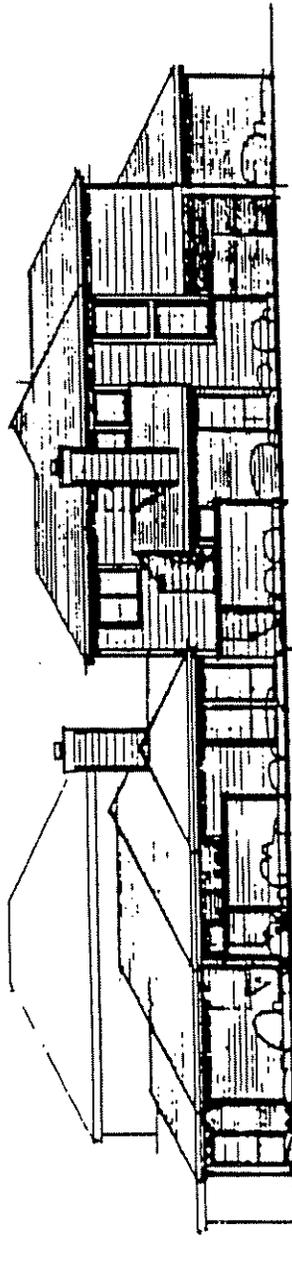
DONALD JOSEPH CO

as shown

ELEVATION UNIT 2 & 3

2

D-2



ELEVATION UNIT 2 & 3

see p. 10

9 26-91

7 25 91

13 9

11 2 27

5  
7  
2

DONALD JOSEPH CO

2210 15th St. Philadelphia, Pa.

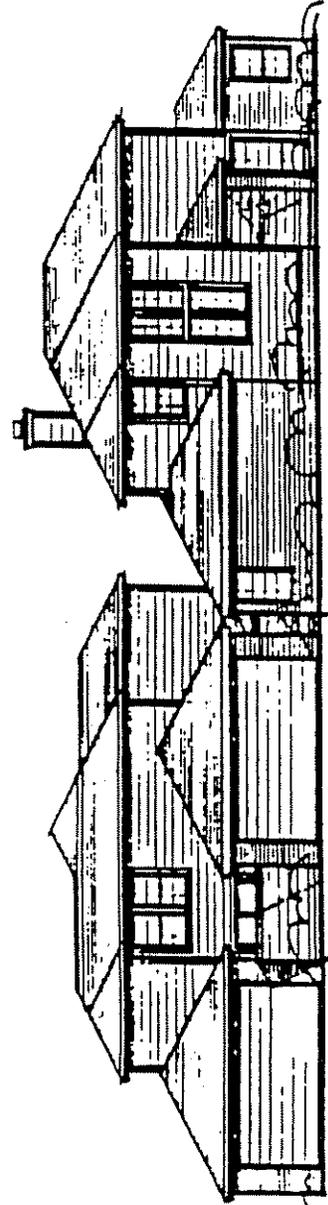
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DATE  
SCALE  
PROJECT

ELEVATION UNIT 3 & 1

3

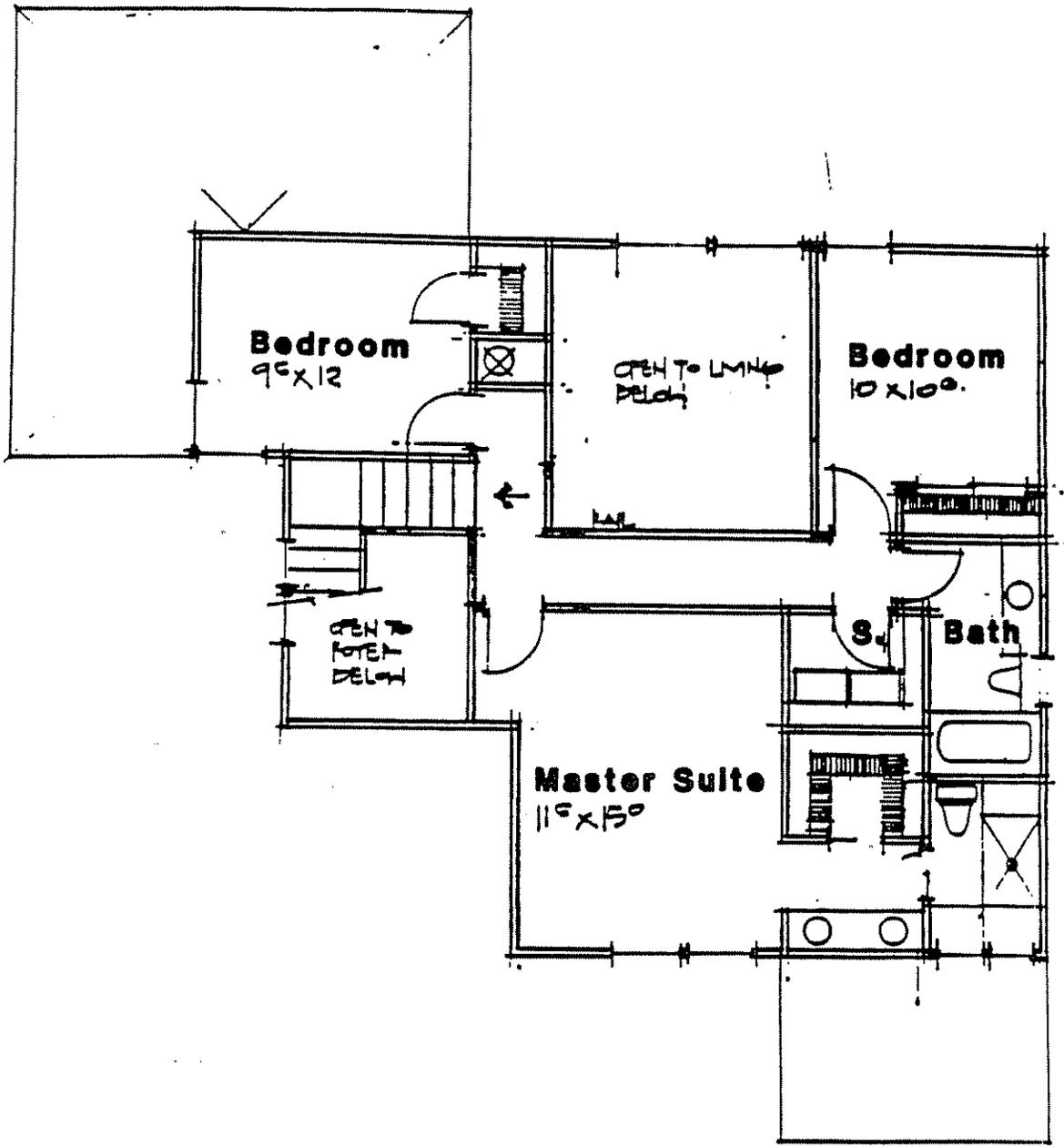
D-1



ELEVATION UNIT 3 & 1

9-26-91  
~~7-25-91~~  
12-6

5/1/98



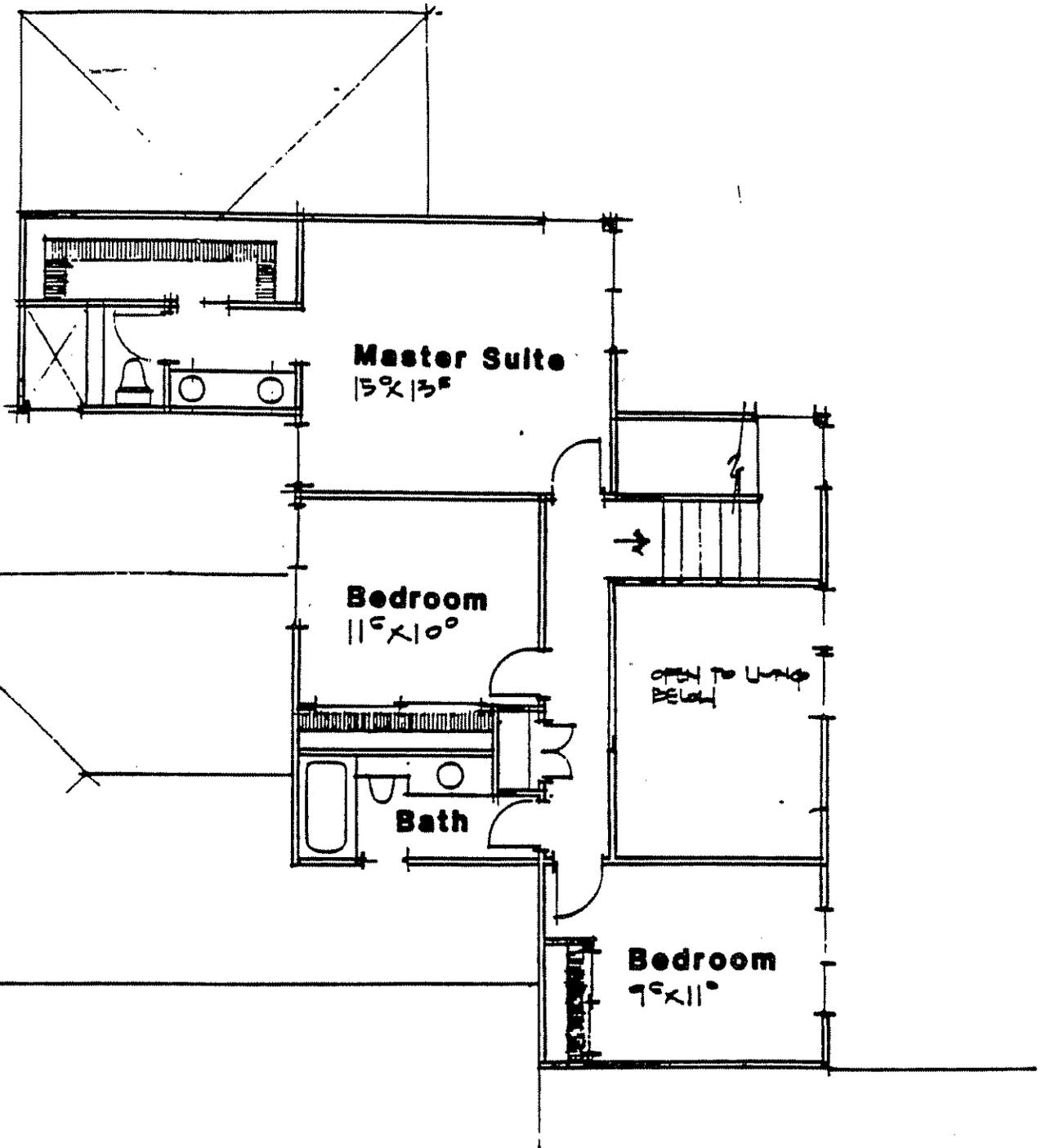
# SECOND FLOOR PLAN 1

SCALE: 1/8" = 1'-0"  
DWG: 1-20-67

P87-139

13-9  
4-9-87

10  
Item 2



# SECOND FLOOR PLAN

?

SCALE: 1/8" = 1'-0"  
DEL 1-20-67

H. G. R.

Items

# RESOLUTION No. 87-360

Adopted by The Sacramento City Council on date of

MAY 12 1987

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A TENTATIVE MAP FOR PROPERTY LOCATED ON THE NORTH SIDE OF POCKET ROAD BETWEEN EAST SHORE DRIVE AND WEST SHORE DRIVE

(P87-129) (APN: 031-1030-015,03)

WHEREAS, the City Council on May 12, 1987, held a public hearing on the request for approval of a tentative map for property located on the north side of Pocket Road between east Shore Drive and west Shore Drive;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the City Planning Commission has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.

CERTIFIED AS TRUE COPY  
of Resolution No. 87-360

MAY 12 1987

ASSISTANT CITY CLERK  
*James J. Mason*



3. The proposed subdivision, together with the provisions for its design and improvement, is consistent with Chapter 40 of the City Code, which is a Specific Plan of the City. The proposed is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for Townhouse in the 1976 S.P.C.P. and the proposed map conforms with the plan designation.
4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
  - a. Prepare a sewer and drainage study for the review and approval of the City Engineer.
  - b. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
  - c. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.
  - d. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with title 24 requirements of the Uniform Building Code.
  - e. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
  - f. Submit a soils test prepared by a registered engineer to be used in street design.



- g. Street sections shall be designed to provide for stabilized subgrades and pavement under high ground water conditions.
- h. ~~Minimum~~ lot pad grade = 4.0 feet; ~~minimum~~ gutter grade - 2.5 feet.
- i. Show reciprocal access, sewer, water and drainage easements on final map.
- j. Comply with provisions of development agreement between LPPT and City of Sacramento.
- k. Driveway locations and entrances shall be to the satisfaction of the City Engineer.
- l. Dedicate Lot A as a public utility easement, including underground electrical facilities and appurtenances excepting therefrom any building locations.
- m. Pay Pocket Bridge fees.
- n. Cannot file map until Lot 4 is under construction and map is filed.
- o. The applicant shall enter into an agreement with the Regional Transit District to provide a bus shelter on Pocket Road.

ANNE RUDIN

MAYOR

ATTEST:

LORRAINE MAGANA

CITY CLERK

P87-129





# CITY OF SACRAMENTO

## DEPARTMENT OF PLANNING AND DEVELOPMENT

1231 I Street

Sacramento Ca 95814

### PUBLIC NOTICE

#### Administration

Room 300 449-5571

#### Building Inspections

Room 200 449-5716

#### Planning

Room 200 449-5604

Date: June 7, 1991

Dear Property Owner:

The Planning Division is notifying all owners of property within 300' of the proposed project (described below) that the Sacramento City Planning Commission will consider this proposal at a public hearing scheduled to begin at 5:30 P.M. in room 102, first floor, 1231 I Street, Sacramento, California on June 27, 1991.

The proposed project is:

**P87-129** Tentative Map Extension to subdivide 11.2± net acres into 90 townhouse lots and one common lot in the Single Family Alternative (Planned Unit Development) (R-1A{PUD}) zone. Special Permit to allow a 90 unit townhouse development. Loc: N side of Pocket Rd. between East Shore Dr. & West Shore Dr. APN: 031-103-15,31

The City Environmental Coordinator has determined that the proposed project will not have a significant adverse impact on the environment and has prepared a negative declaration. A copy of the negative declaration may be reviewed or obtained at the Planning Division, 1231 I Street, room 300, Sacramento, California. Any appeal of the decision to prepare the negative declaration must be filed with the Sacramento City Planning Division before 5:00 P.M. on June 27, 1991.

If you challenge the above requested entitlements in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Planning Commission at or prior to the public hearing.

If you have any concerns, questions or objections, or need further information, please contact Sandra Yope at the City Planning Division, 449-5604, and please refer to the above 'P' or 'M' number.



CITY OF SACRAMENTO  
CITY PLANNING DIVISION

JUN 17 1991

RECEIVED  
RETURNED TO  
SENDER

APN 031-1240-32  
O. Lee  
6 Cedar River Court  
Sacramento, CA 95831

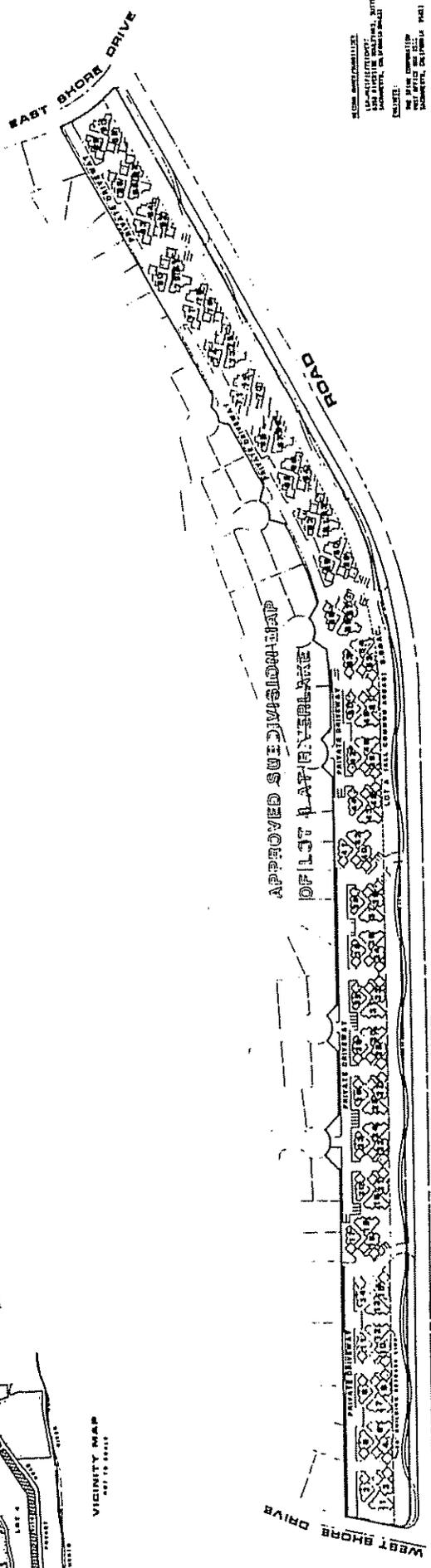
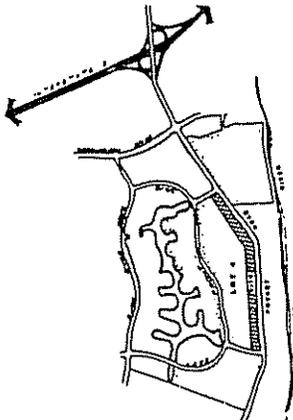
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  - Moved Forward Order Expired
  - Attempted Unknown
  - Insufficient Address
  - Vacant
- L.I.E. 3133 ~~CARRIER~~

PUBLIC NOTICE

TENTATIVE SUBDIVISION MAP  
 LOT 22 OF PARCEL 4  
 AT RIVERLAKE

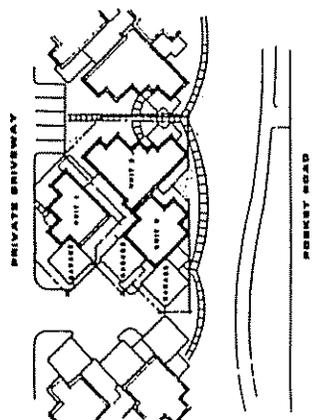
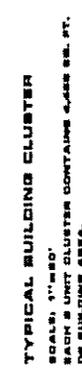
CITY OF SACRAMENTO, CALIFORNIA  
 MARCH, 1987



POCKET

R-87-129

- NOTES:
1. THE CITY ENGINEER HAS REVIEWED THE MAP AND HAS DETERMINED THAT THE LOTS, BUILDING FOOTPRINTS AND DRIVEWAYS SHOWN ON THIS MAP ARE IN ACCORDANCE WITH THE CITY ENGINEER'S OFFICE RECORDS AND THE CITY ENGINEER'S OFFICE RECORDS.
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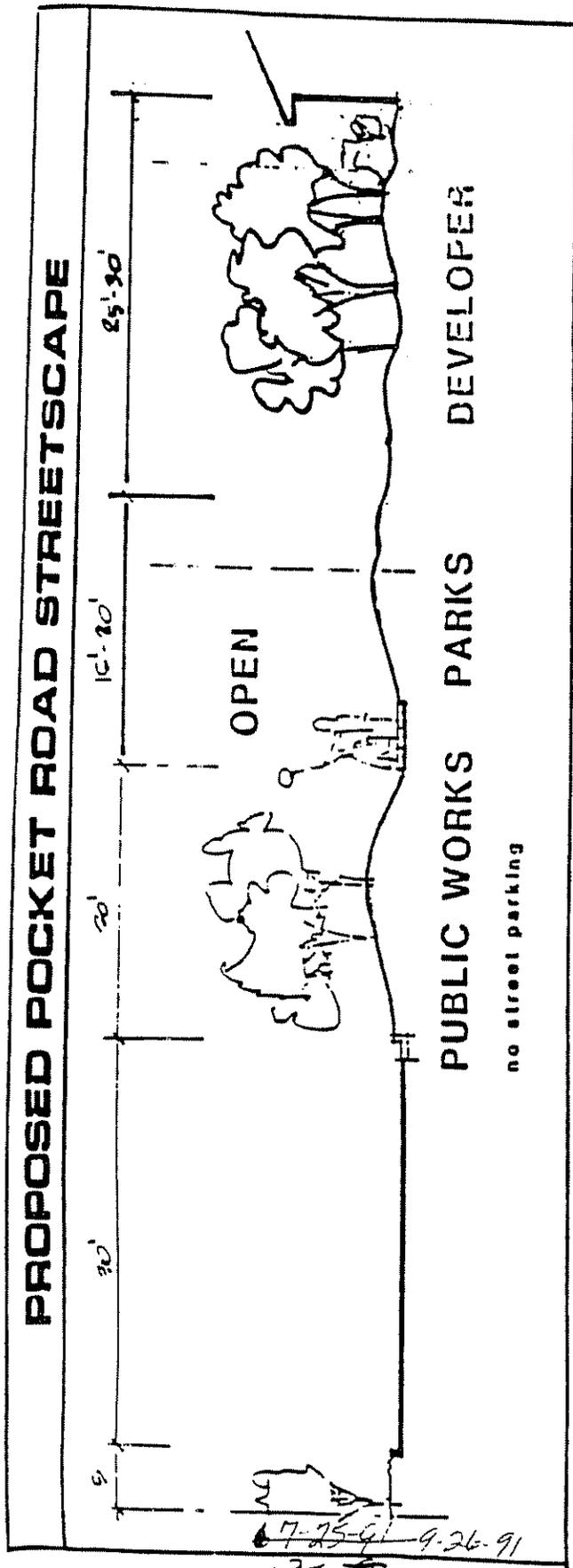


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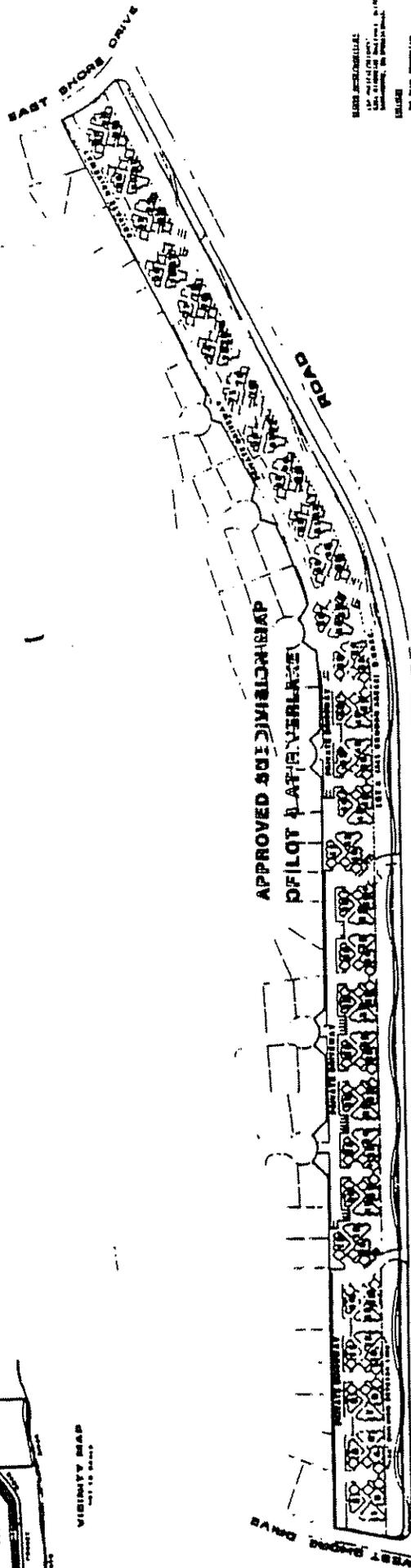




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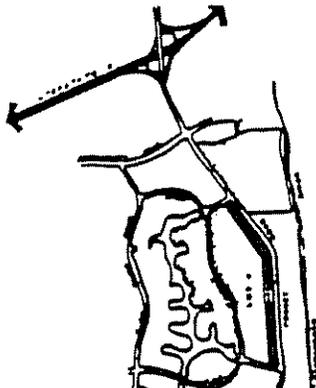
**TENTATIVE SUBDIVISION MAP  
LOT 22 OF PARCEL 4  
AT RIVERLAKE**

**CITY OF SACRAMENTO, CALIFORNIA  
MARCH, 1987**



- 1. ALL LOTS SHALL BE 1/2 ACRES OR MORE.
- 2. ALL LOTS SHALL BE 1/4 ACRES OR MORE.
- 3. ALL LOTS SHALL BE 1/8 ACRES OR MORE.
- 4. ALL LOTS SHALL BE 1/16 ACRES OR MORE.
- 5. ALL LOTS SHALL BE 1/32 ACRES OR MORE.
- 6. ALL LOTS SHALL BE 1/64 ACRES OR MORE.
- 7. ALL LOTS SHALL BE 1/128 ACRES OR MORE.
- 8. ALL LOTS SHALL BE 1/256 ACRES OR MORE.
- 9. ALL LOTS SHALL BE 1/512 ACRES OR MORE.
- 10. ALL LOTS SHALL BE 1/1024 ACRES OR MORE.
- 11. ALL LOTS SHALL BE 1/2048 ACRES OR MORE.
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- 177. ALL LOTS SHALL BE 1/1915619426823018085540288988162773111012864 ACRES OR MORE.
- 178. ALL LOTS SHALL BE 1/383123885364603617108057797632554622202528 ACRES OR MORE.
- 179. ALL LOTS SHALL BE 1/766247770729207234216115595265109244405056 ACRES OR MORE.
- 180. ALL LOTS SHALL BE 1/1532495541458414468432231190530218488810112 ACRES OR MORE.
- 181. ALL LOTS SHALL BE 1/3064991082916828936864462381060436977620224 ACRES OR MORE.
- 182. ALL LOTS SHALL BE 1/6129982165833657873728924762120873955240448 ACRES OR MORE.
- 183. ALL LOTS SHALL BE 1/122599643316673157474578495242417519104896 ACRES OR MORE.
- 184. ALL LOTS SHALL BE 1/245199286633346314949156990484835038209792 ACRES OR MORE.
- 185. ALL LOTS SHALL BE 1/490398573266692629898313980969670076419584 ACRES OR MORE.
- 186. ALL LOTS SHALL BE 1/980797146533385259796627961939340152839168 ACRES OR MORE.
- 187. ALL LOTS SHALL BE 1/1961594293066770519593255923878683057683328 ACRES OR MORE.
- 188. ALL LOTS SHALL BE 1/3923188586133541039186511847757366115536656 ACRES OR MORE.
- 189. ALL LOTS SHALL BE 1/784637717226708207837302369551473223073132 ACRES OR MORE.
- 190. ALL LOTS SHALL BE 1/1569275434453416415674604739102946446146256 ACRES OR MORE.
- 191. ALL LOTS SHALL BE 1/3138550868906832831349209478205892892292512 ACRES OR MORE.
- 192. ALL LOTS SHALL BE 1/6277101737813665662698418956411785784585024 ACRES OR MORE.
- 193. ALL LOTS SHALL BE 1/12554203476227331325388378112823771689170048 ACRES OR MORE.
- 194. ALL LOTS SHALL BE 1/25108406952454662650776756225647543378340096 ACRES OR MORE.
- 195. ALL LOTS SHALL BE 1/50216813904909325301553512451295086756680192 ACRES OR MORE.
- 196. ALL LOTS SHALL BE 1/100433627809818650603110724802590735133760384 ACRES OR MORE.
- 197. ALL LOTS SHALL BE 1/200867255619637301206221449605181846227520768 ACRES OR MORE.
- 198. ALL LOTS SHALL BE 1/401734511239274602412442880103763692455041536 ACRES OR MORE.
- 199. ALL LOTS SHALL BE 1/80346902247854920482488576020752738491008704 ACRES OR MORE.
- 200. ALL LOTS SHALL BE 1/160693804495709609744977150441504676982014112 ACRES OR MORE.

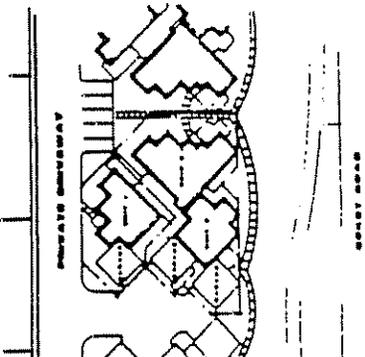
**EXHIBIT B**



VIGNETTE MAP  
MAY 1986

**TYPICAL BUILDING CLUSTER**

SCALE: 1"=50'  
SCALE'S SHOWN FOR CLUSTER ONLY AND SCALE 1/8"=1' FOR BUILDING AREA.



PRIVATE DRIVEWAY

EAST ROAD



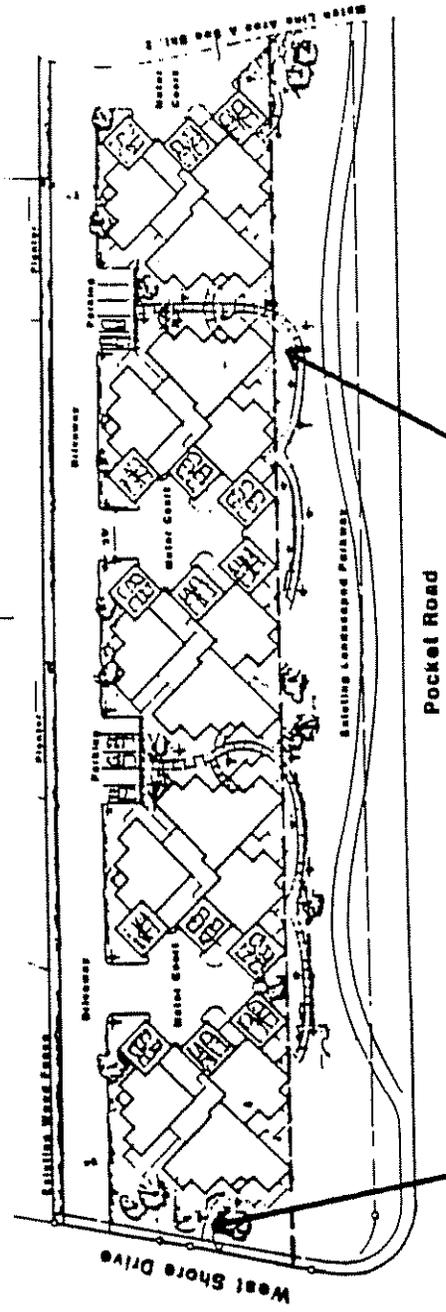
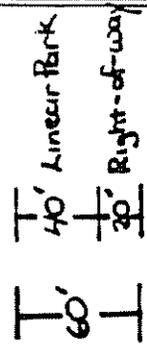
DATE: 3/1/87  
BY: [Signature]  
CHECKED: [Signature]  
APPROVED: [Signature]





# EXHIBIT C

C-1



Remove all patio areas  
from linear parkway  
(example)

Remove all private walks  
leading to public right-  
of-way from landscaped  
setback  
(example)

Partial Site Plan  
LOT 22 of Parcel 4 at Rivertlake  
Scale 1/8" = 1'-0"

6-27-97  
16-524  
16-936

1/5  
45

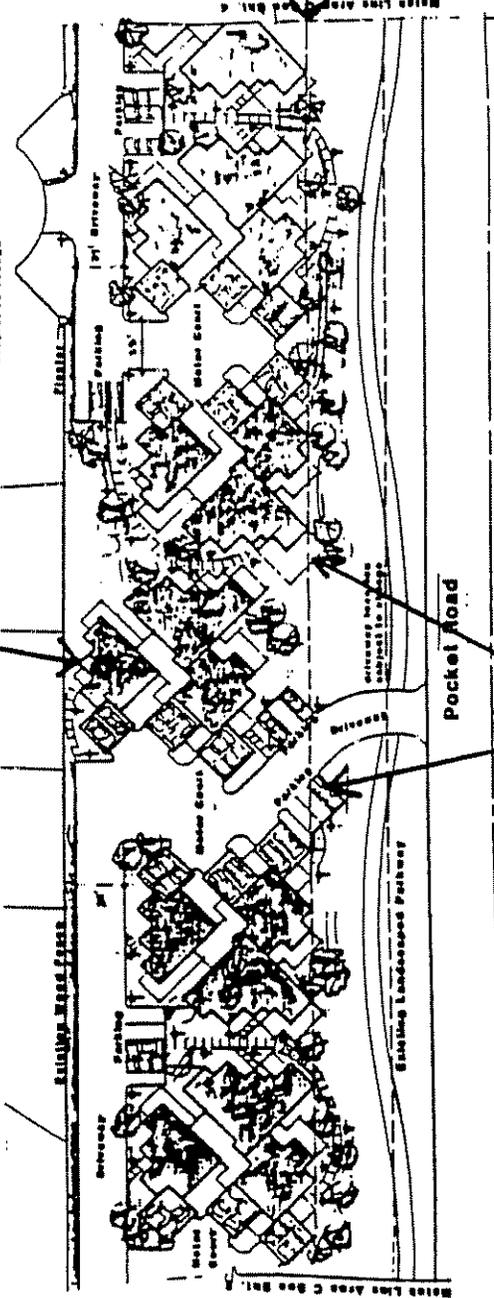


C-3

Provide minimum 10' building setback from north property line

60' setback line

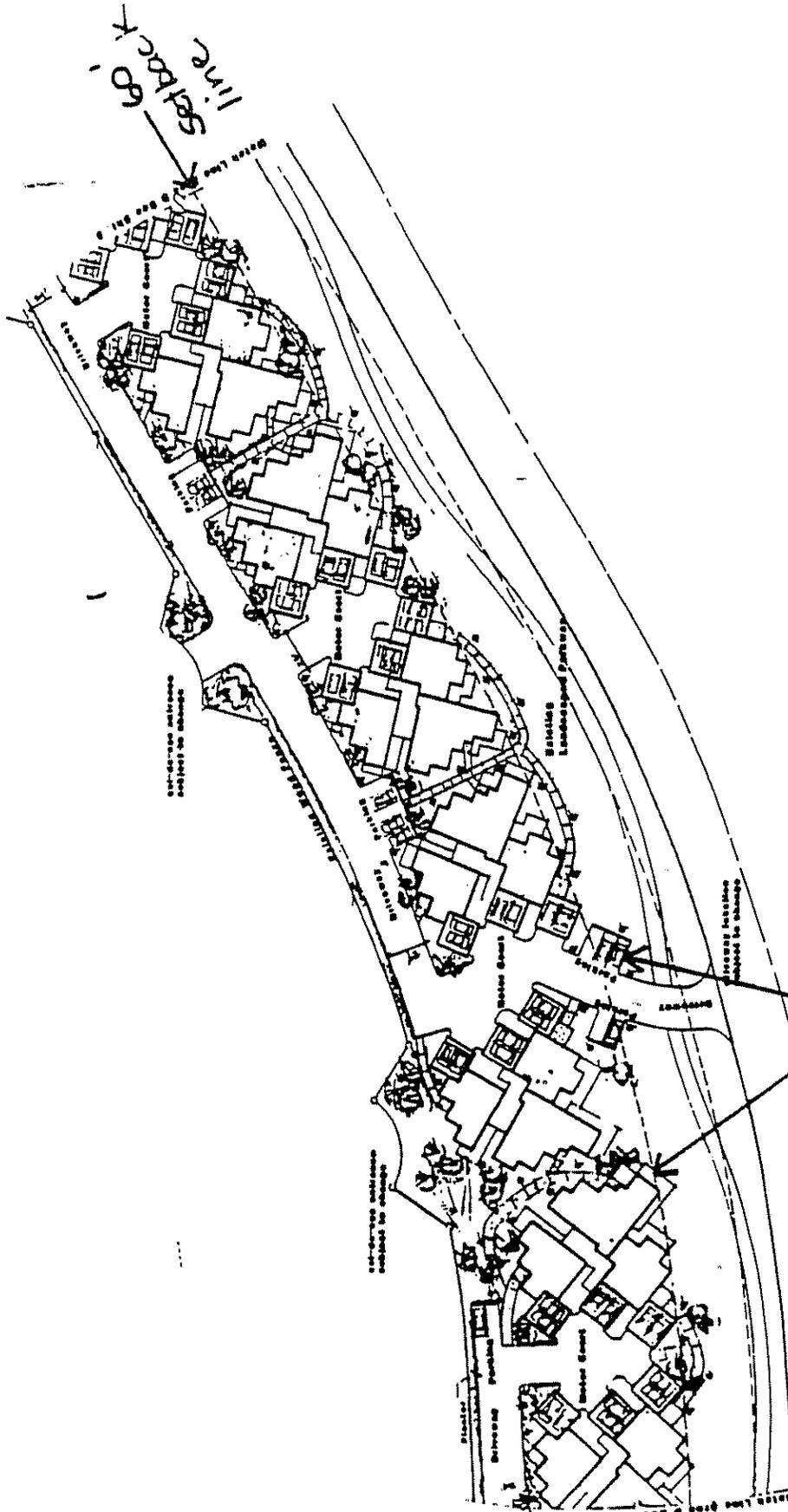
Remove all parking and patio areas from linear parkway (example)



9-26-91  
72597

16.405

C-4



Remove all parking and  
patio areas from  
linear parkway  
(example)

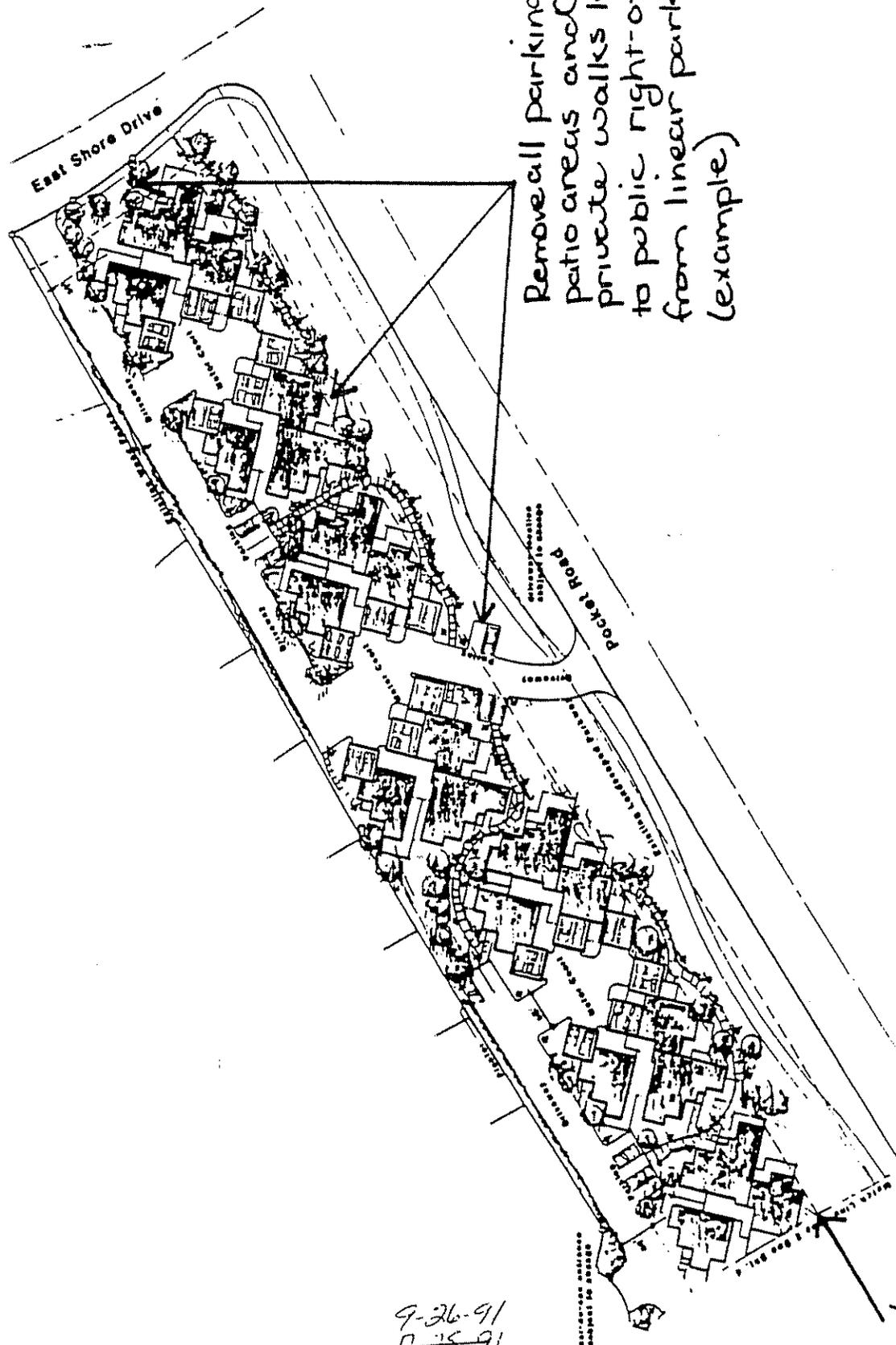
Partial Site Plan  
LOT 22 of Parcel 4 at Riverlake  
Scale 1"=30'

14-26-94  
15-25-94

[Signature]

C-5

Remove all parking, patio areas and private walks leading to public right-of-way from linear parkway (example)



Partial Site Plan  
LOT 22 of Parcel 4 at Riverlake  
DATE 11-28

9-26-91  
7-25-91

60' setback line  
Item 24

DONALD JOSEPH CO

or design studio

2210 1811 11 1982 212

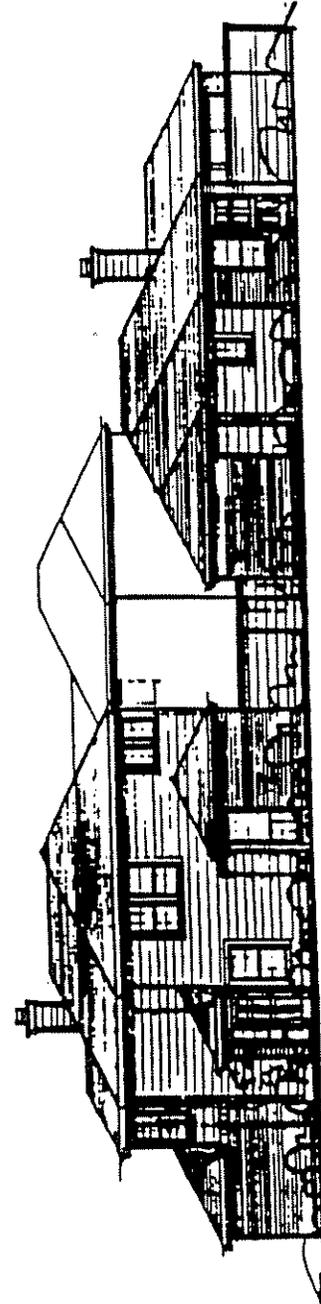
CONSTRUCTION  
SCHEDULE  
DATE  
NO.

ELEVATION UNIT 1 & 2

1

EXHIBIT D

D-1



ELEVATION UNIT 1 & 2

DATE: 9-26-91

9-26-91  
72591  
13-9

not  
to  
be  
used

DONALD JOSEPH CO

as shown on drawings

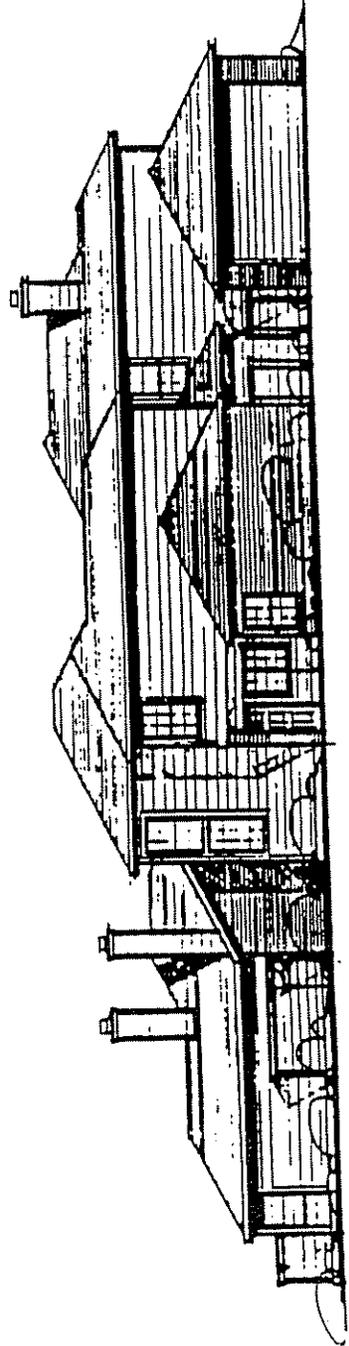
3110 1911 1912 1913 1914 1915 1916 1917 1918 1919 1920 1921 1922 1923 1924 1925 1926 1927 1928 1929 1930 1931 1932 1933 1934 1935 1936 1937 1938 1939 1940 1941 1942 1943 1944 1945 1946 1947 1948 1949 1950 1951 1952 1953 1954 1955 1956 1957 1958 1959 1960 1961 1962 1963 1964 1965 1966 1967 1968 1969 1970 1971 1972 1973 1974 1975 1976 1977 1978 1979 1980 1981 1982 1983 1984 1985 1986 1987 1988 1989 1990 1991 1992 1993 1994 1995 1996 1997 1998 1999 2000

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.....  
.....  
.....  
.....

ELEVATION UNIT  
2, 3 & 1

4

D-4



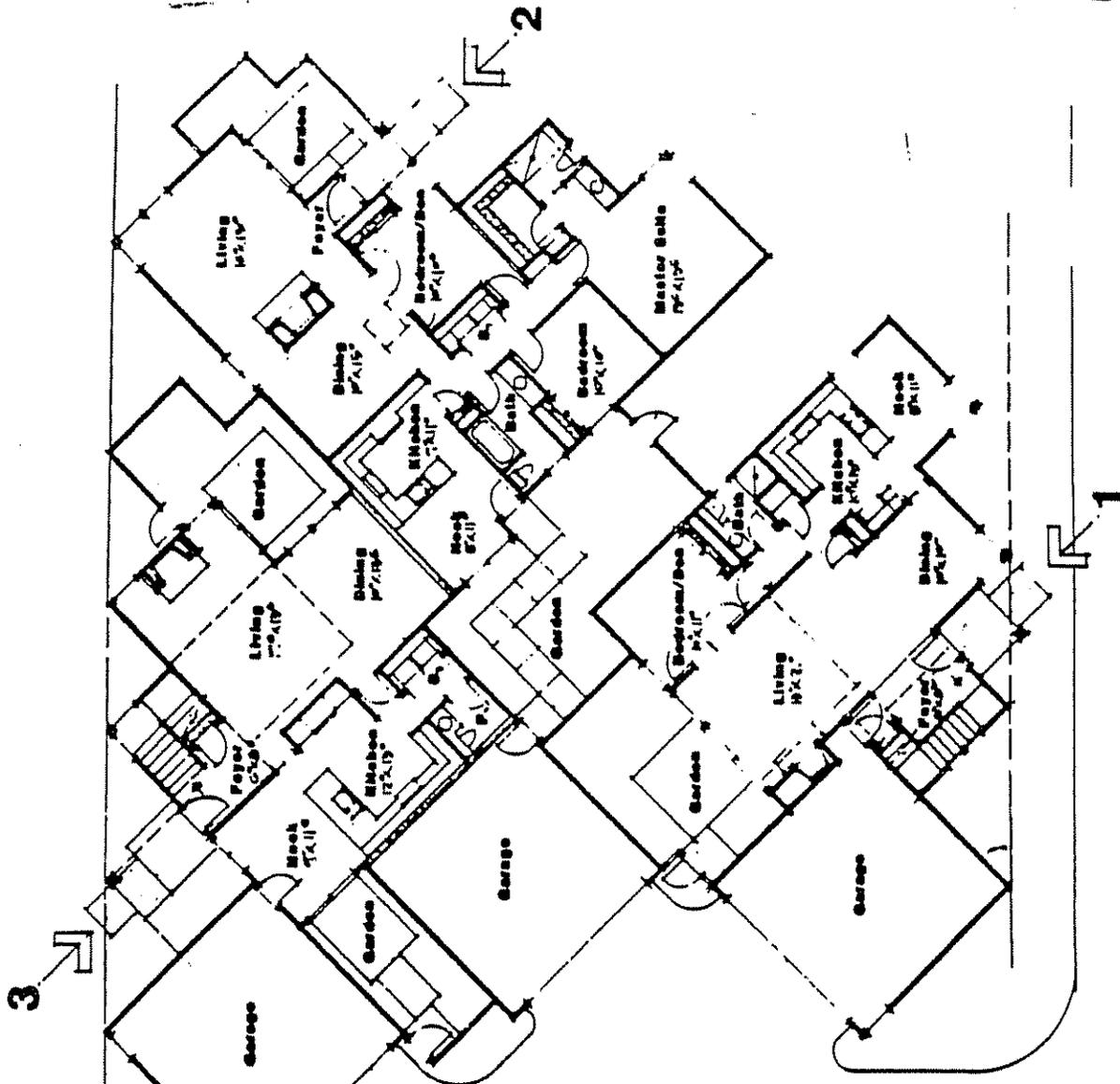
ELEVATION UNIT 2, 3 & 1  
5/10/01

13-9  
4-9-87

5  
Item 20

EXHIBIT E

E-1



- Unit 1 1791 s.f.  
4 Bedroom  
3 Bath
- Unit 2 1408 s.f.  
3 Bedroom  
2 Bath
- Unit 3 1686 s.f.  
3 Bedroom  
2.5 Bath

GROUND FLOOR PLAN

Scale: 1/4" = 1'-0"  
Date: 12-17-60

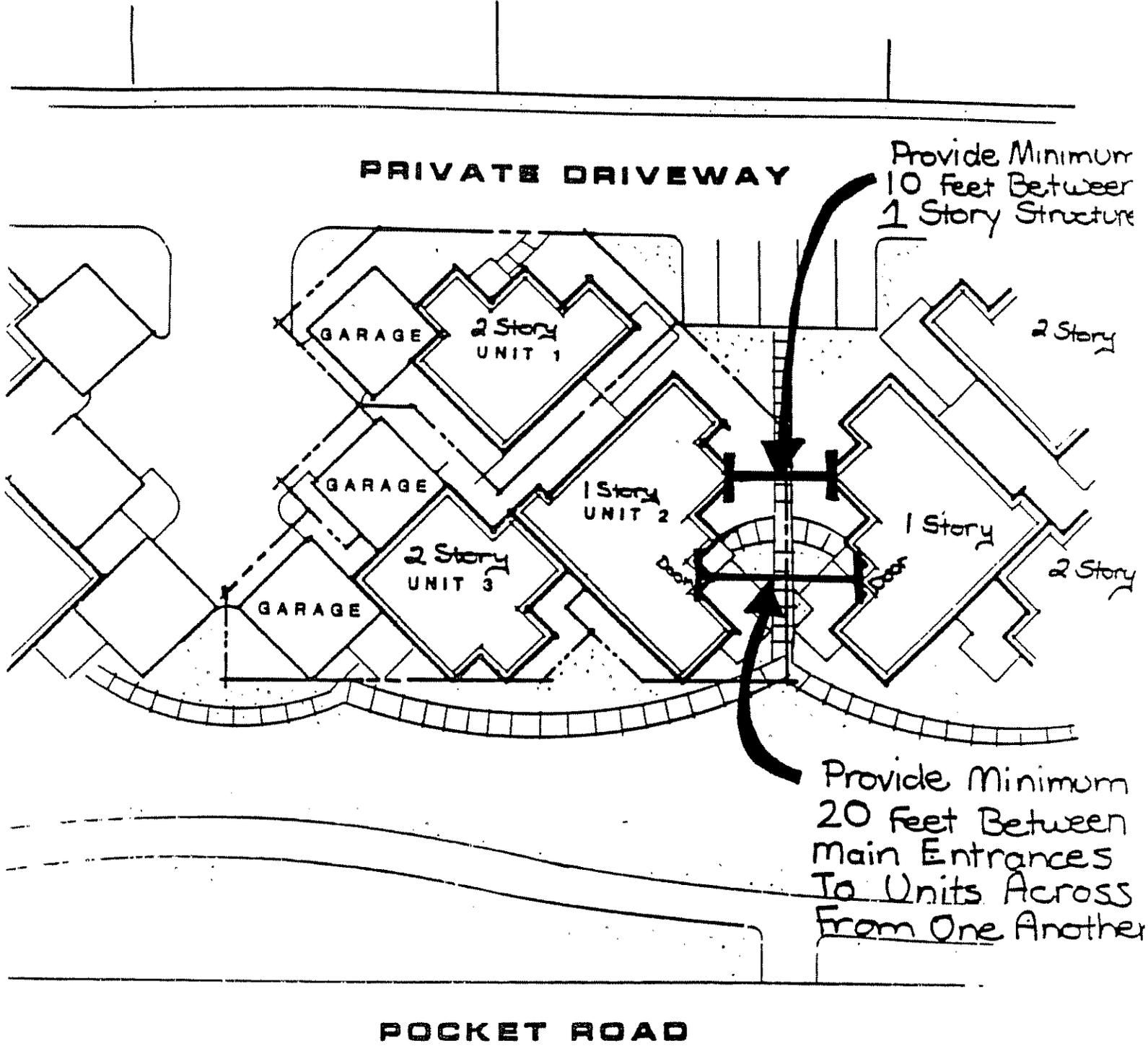
P87-129

Item #

# TYPICAL BUILDING CLUSTER

SCALE: 1" = 30'

EACH 3 UNIT CLUSTER CONTAINS 4,488 SQ. FT. OF BUILDING AREA.



POCKET ROAD

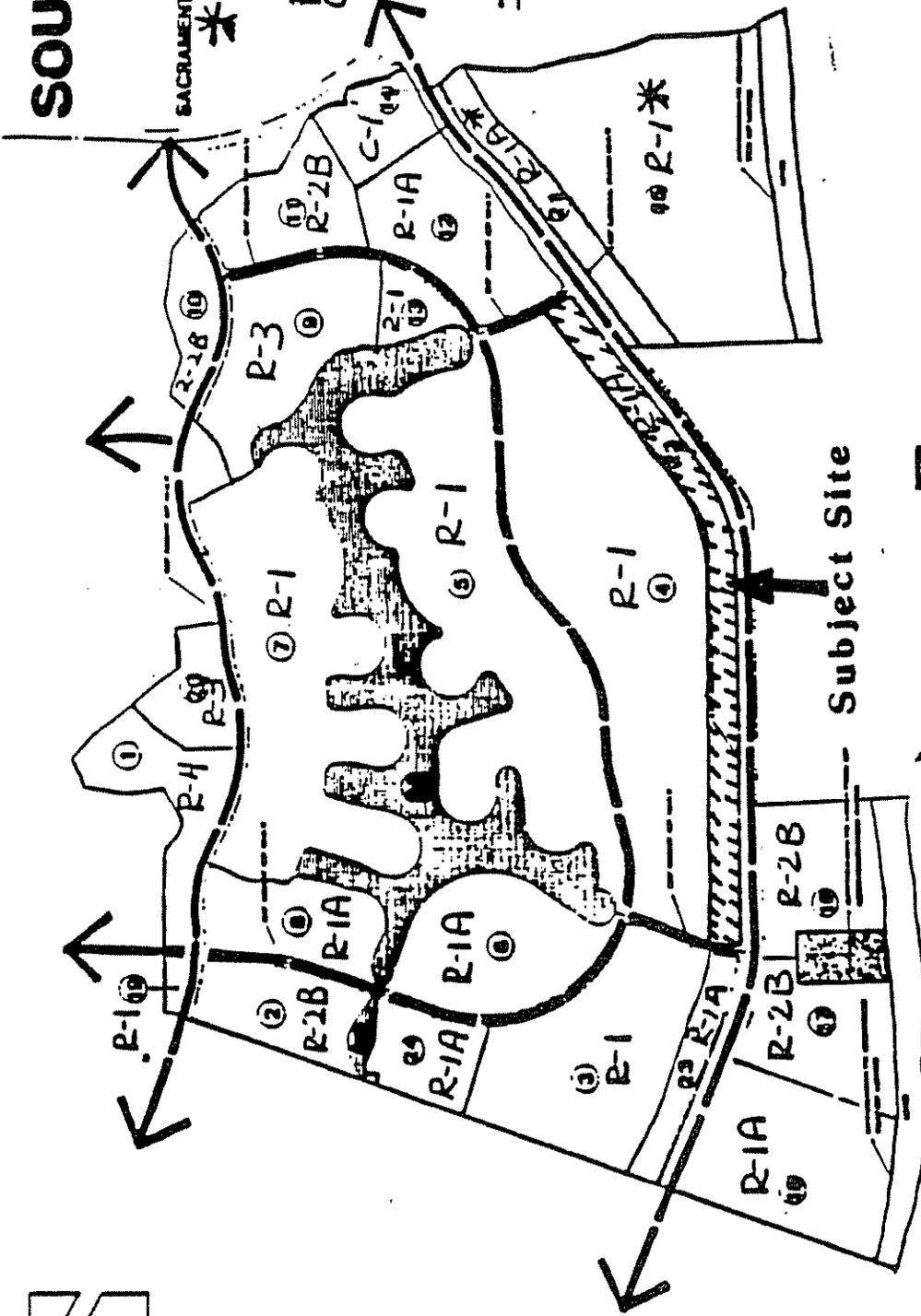


# SOUTH POCKET

## L.P.P.T.

SACRAMENTO CALIFORNIA

\*Zoning for sites 15 and 21 have previously been approved under P85-164 (Dutra Ranch)



SCHEMATIC PLAN

# LAND USE

# EXHIBIT

### SITE INFORMATION

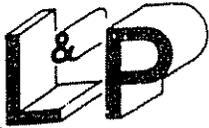
Site No.	Area (Acres)	Use	Notes
1		R-1	
2		R-1A	
3		R-2B	
4		R-1	
5		R-1	
6		R-1A	
7		R-1	
8		R-1A	
9		R-1A	
10		R-2B	
11		R-2B	
12		R-1A	
13		R-1A	
14		C-1	
15		R-1	
16		R-1A	
17		R-2B	
18		R-1A	
19		R-2B	
20		R-1A	
21		R-1	
22		R-1A	
23		R-2B	
24		R-1A	
25		R-2B	
26		R-1A	
27		R-2B	
28		R-1A	
29		R-2B	
30		R-1A	
31		R-2B	
32		R-1A	
33		R-2B	
34		R-1A	
35		R-2B	
36		R-1A	
37		R-2B	
38		R-1A	
39		R-2B	
40		R-1A	
41		R-2B	
42		R-1A	
43		R-2B	
44		R-1A	
45		R-2B	
46		R-1A	
47		R-2B	
48		R-1A	
49		R-2B	
50		R-1A	
51		R-2B	
52		R-1A	
53		R-2B	
54		R-1A	
55		R-2B	
56		R-1A	
57		R-2B	
58		R-1A	
59		R-2B	
60		R-1A	
61		R-2B	
62		R-1A	
63		R-2B	
64		R-1A	
65		R-2B	
66		R-1A	
67		R-2B	
68		R-1A	
69		R-2B	
70		R-1A	
71		R-2B	
72		R-1A	
73		R-2B	
74		R-1A	
75		R-2B	
76		R-1A	
77		R-2B	
78		R-1A	
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80		R-1A	
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88		R-1A	
89		R-2B	
90		R-1A	
91		R-2B	
92		R-1A	
93		R-2B	
94		R-1A	
95		R-2B	
96		R-1A	
97		R-2B	
98		R-1A	
99		R-2B	
100		R-1A	

APPROVED BY: [Signature]

DATE: [Date]

LAND PLANNING  
ANTHONY M. BULZANO  
AND ASSOCIATES INC.

THE SPINNEY CORPORATION



LAND & DEVELOPMENT INC.

March 10, 1989

City of Sacramento  
Planning Department  
1231 I Street  
Sacramento, CA 95814

ATTN: Will Weitman  
Senior Planner

RE: P87-129  
Parcel 22 at Riverlake

Dear Mr. Weitman:

It is my understanding the tentative map for Parcel 22 at Riverlake, resolution number 87-360, expires May 12, 1989 and the special permit to allow 90 townhouses in the R-1A zone expires April 9, 1989. I would like to obtain a one year extension on the tentative map and the special permit.

I have enclosed a 300' radius map, mailing labels for current property owners within 300 feet of the property, a copy of the resolution for the tentative map, and a check for filing fees in the amount of \$1070.00.

Please give this matter your immediate attention to avoid expiration of the tentative map on May 12, 1989. If you have any questions, please contact our office.

Sincerely,

*Florence Tanner*

Florence Tanner  
Developer's Assistant

FMT

Enclosures

P 87129

P-87-129  
Item 18

CITY OF SACRAMENTO  
CITY PLANNING DIVISION  
APR 12 1989

RECEIVED

April 10, 1989

Mr. Dan Hendricks  
City Planning Division  
City Of Sacramento  
1231 I Street  
Sacramento, California 95814-2998

Re: Request For Extension Notification  
APN 031 103 15 31

Dear Mr. Hendricks,

I am writing this letter to express my firm opposition to Mr. Parker's application for an extension to build a 90 unit townhouse complex in the Dutra subdivision of Sacramento.

It is my understanding that at the present time, there is an approximate 80% vacancy factor in rental/lease units already built within this subdivision.

An additional 90 unit townhouse complex will have a substantial negative impact on property values of single family homes already built in this area.

We homeowners in the Dutra subdivision have invested substantial sums of money to build quality homes in this area. We have a further commitment to the area in the support our neighborhood schools.

Please do not jeopardize our excellent neighborhood.

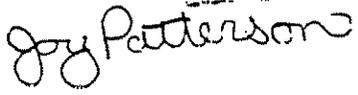
Thank you for your consideration.

Sincerely,



Patricia A. Simpson  
Owner of Lot 40  
1048 Rio Cidade Way

Respectfully submitted,



Joy Patterson  
Senior Planner

Report Prepared By:

Sandra L. Yope  
Junior Planner

9-26-91  
~~7-25-91~~

2/7  
ITEM 16



CITY PLANNING DIVISION

MAY 20 1987

RECEIVED

OFFICE OF THE  
CITY CLERK

CITY OF SACRAMENTO  
CALIFORNIA

CITY HALL  
ROOM 203  
915 I STREET  
SACRAMENTO, CA  
95814-2671

916-449-5426

May 18, 1987

Donald Joseph, Inc.  
2210 6th Street  
Sacramento CA 95818

Dear Sirs:

On May 12, 1987, the Sacramento City Council took the following action(s) for property located at the north side of Pocket Road between East Shore Drive and West Shore Drive:

Adopted a Resolution adopting Findings of Fact and approving a Tentative Map to subdivide 11.2± acres into 90 townhouse lots and one common lot in the R-1A (PUD) zone and LPPT (PUD). (P-87129) (D8)

Enclosed, for your records, is a fully certified copy of above-referenced resolution.

Sincerely,

Lorraine Magana  
City Clerk

LM/lmh/#30

Enclosure

cc: ✓ Planning Department  
L & P - Pacific Teichert, 2355 Riverside Boulevard, Suite C, Sacramento,  
CA, 95831

# SACRAMENTO CITY PLANNING DEPARTMENT

Application Information

Application taken by/date: \_\_\_\_\_

Project Location N. side of Pocket Rd between East Shore Dr. P 87-129  
and West Shore Dr.

Assessor Parcel No. 031-103-15 and 31

Owners LP / Pacific Teichert Phone No. 422-3512

Address 6355 Riverside Blvd Suite C Sac 95831

Applicant Donald Joseph Inc. Phone No. 446-2845

Address 2210 16th St Sac 95818

Signature \_\_\_\_\_ C.P.C. Mtg. Date \_\_\_\_\_

## REQUESTED ENTITLEMENTS

## ACTION ON ENTITLEMENTS

	Commission date	Council date	Filing Fees
<input checked="" type="checkbox"/> Environ. Determination <u>ND SAE 3.13.87 ND w/PHS on Extension 3-24-89</u>			\$ _____
<input type="checkbox"/> General Plan Amend <u>w/mm</u>			\$ _____
_____		Res _____	
<input type="checkbox"/> Community Plan Amend _____			\$ _____
( ) _____		Res _____	
<input type="checkbox"/> Rezone _____			\$ _____
_____		Ord _____	
<input checked="" type="checkbox"/> Tentative Map <u>to divide 11.2± net acres into 90 Townhouse lots and 1 common lot in the townhouse (R-1A-PUD) zone and LPPT PUD</u>		Res _____	\$ _____
<input checked="" type="checkbox"/> Special Permit to <u>construct a 90 unit townhouse development on 11.2± net vac. acres in the Townhouse (R-1A-PUD) zone</u>			\$ _____
<input type="checkbox"/> Variances <u>and LPPT-PUD.</u>			\$ _____
_____			\$ _____
<input type="checkbox"/> Plan Review _____			\$ _____
_____			\$ _____
<input type="checkbox"/> PUD _____			\$ _____
_____			\$ _____
<input type="checkbox"/> Other _____			\$ _____

FEE TOTAL \$ \_\_\_\_\_

RECEIPT NO \_\_\_\_\_

Sent to Applicant: \_\_\_\_\_ Date \_\_\_\_\_

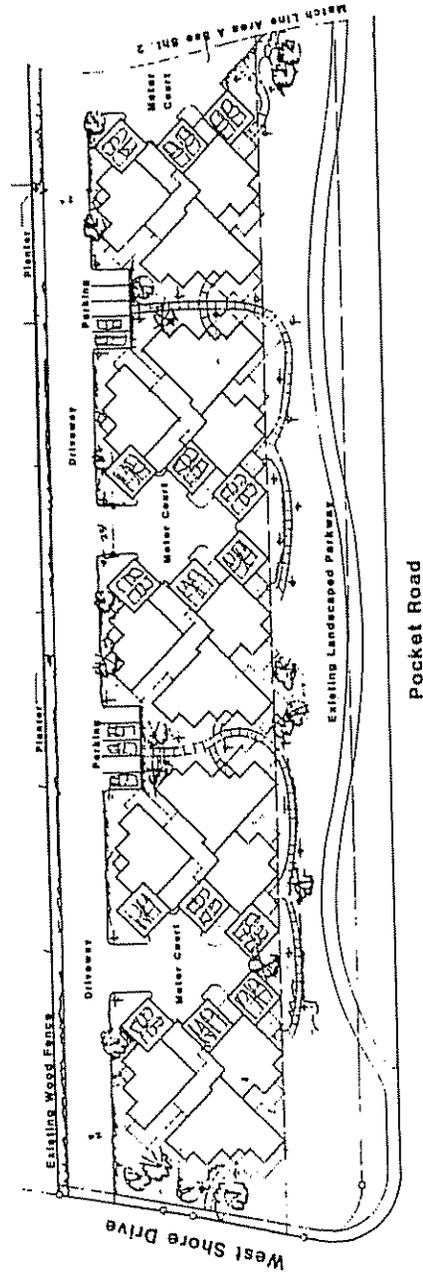
By: \_\_\_\_\_ Sec. to Planning Commission

By/date \_\_\_\_\_

### Key to Entitlement Actions

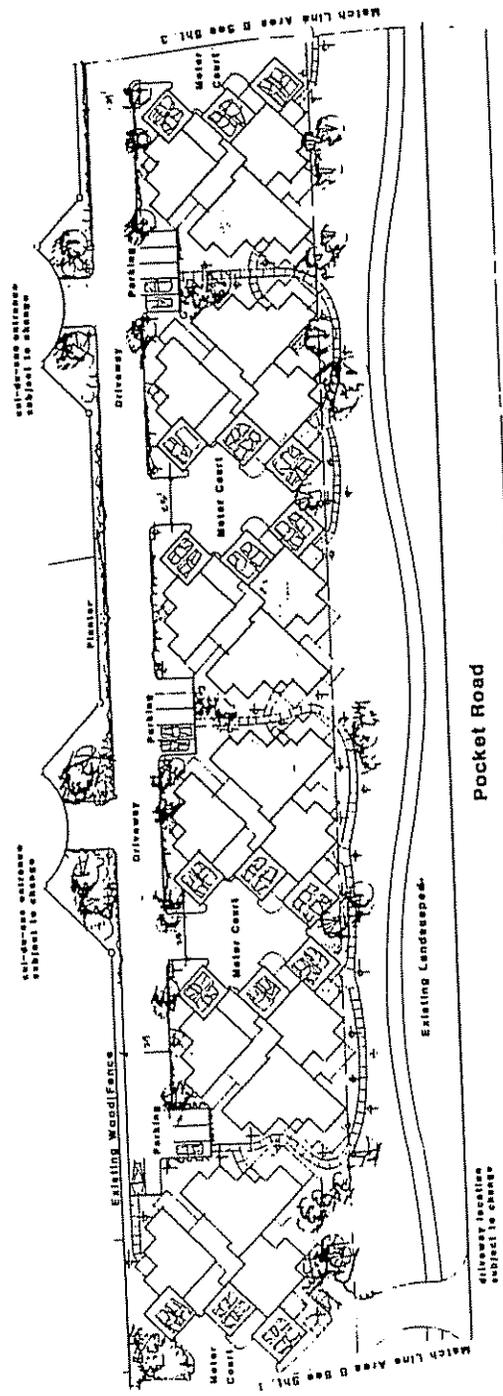
- |                                    |   |  |
|------------------------------------|---|--|
| R - Ratified                       | D - Denied                                    | IAF - Intent to Approve based on Findings of Fact  |
| Cd - Continued                     | RD - Recommend Denial                         | AFF - Approved based on Findings of Fact           |
| A - Approved                       | RA - Recommend Approval                       | RPC - Return to Planning Commission                |
| AC - Approved W/conditions         | RAC - Recommend Approval W/conditions         | CSR - Condition Indicated on attached Staff Report |
| AA - Approved W/amended conditions | RMC - Recommend Approval W/amended conditions |  |

NOTE: There is a thirty (30) consecutive day appeal period from date of approval. Action authorized by this document shall not be conducted in such a manner as to constitute a public nuisance. Violation of any of the foregoing conditions will constitute grounds for revocation of this permit. Building permits are required in the event any building construction is planned. The County Assessor is notified of actions.



Partial Site Plan  
**LOT 22 of Parcel 4 at Riverlake:**  
 Scale 1"=30'

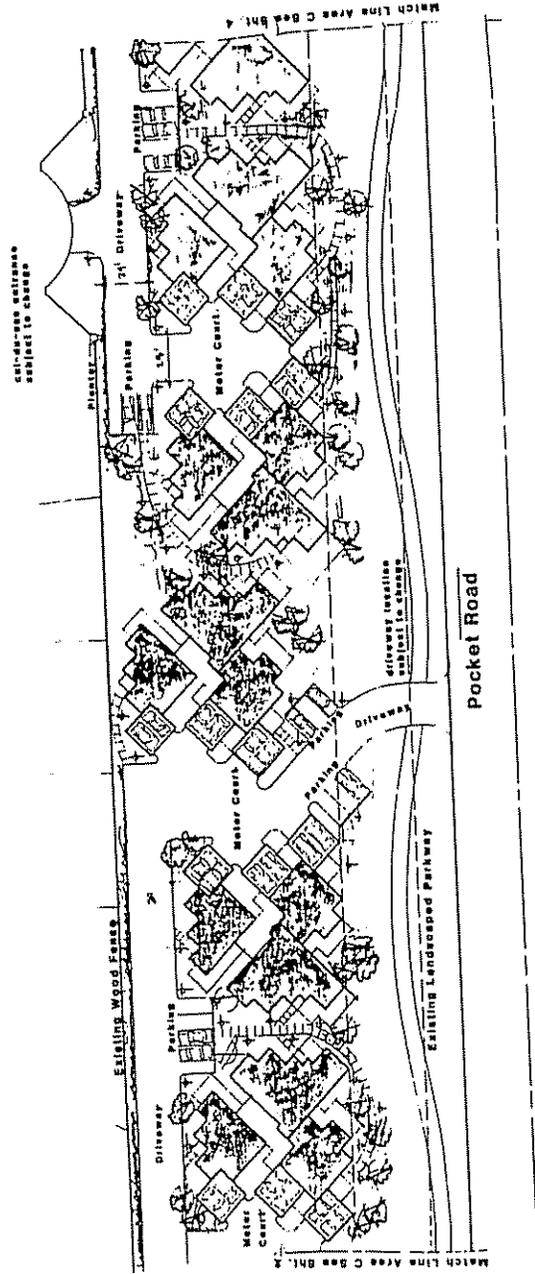
NO.	DATE	AREA	REVISIONS:



Partial Site Plan  
**LOT 22 of Parcel 4 at Riverlake**  
 Scale 1"=30'

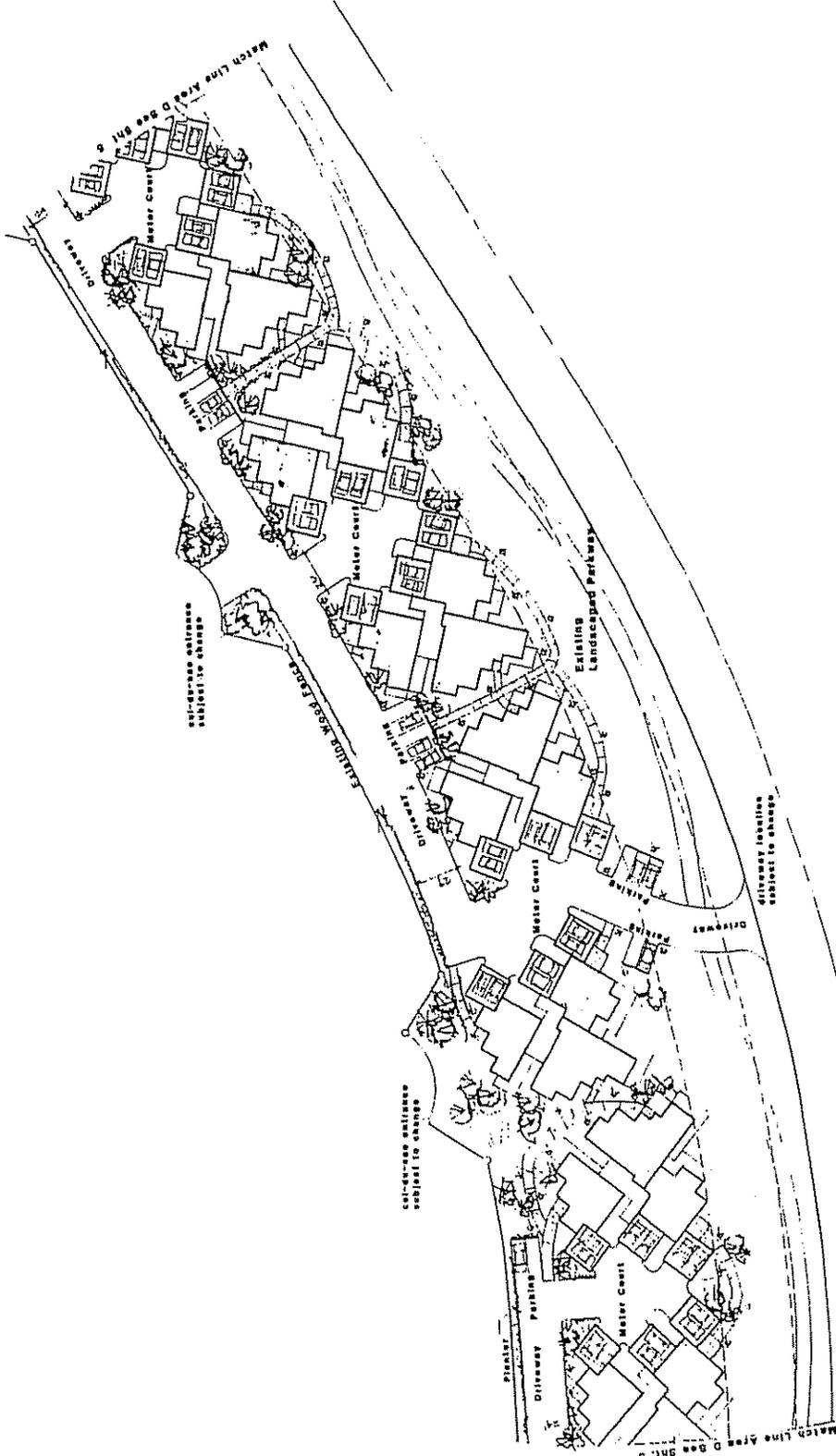


DATE	1/10
SCALE	AS SHOWN
PROJECT	LOT 22 OF PARCEL 4 AT RIVERLAKE
DESIGNER	DONALD JOSEPH CO

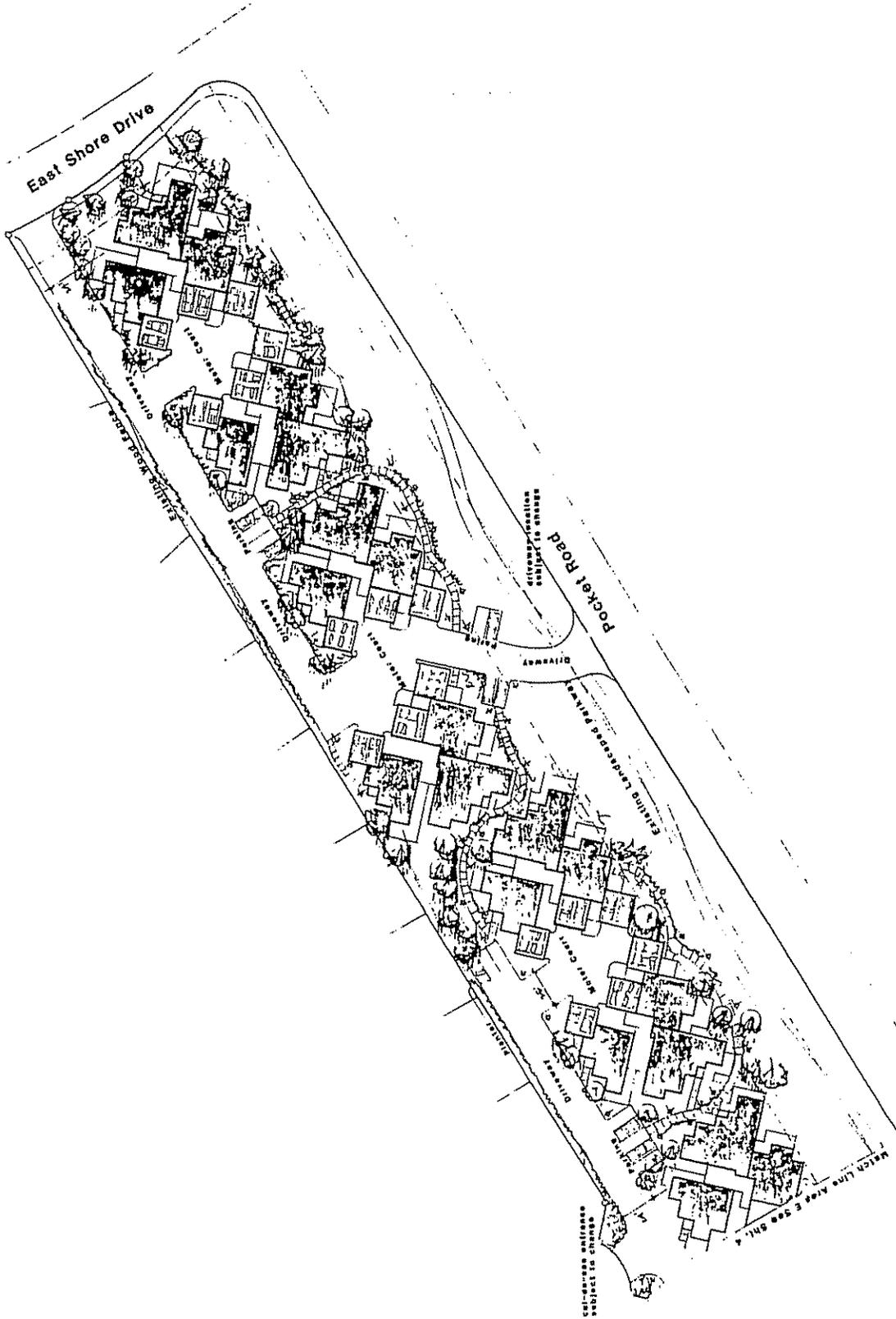


Partial Site Plan  
**LOT 22 of Parcel 4 at Riverlake**  
 Scale: 1"=30'



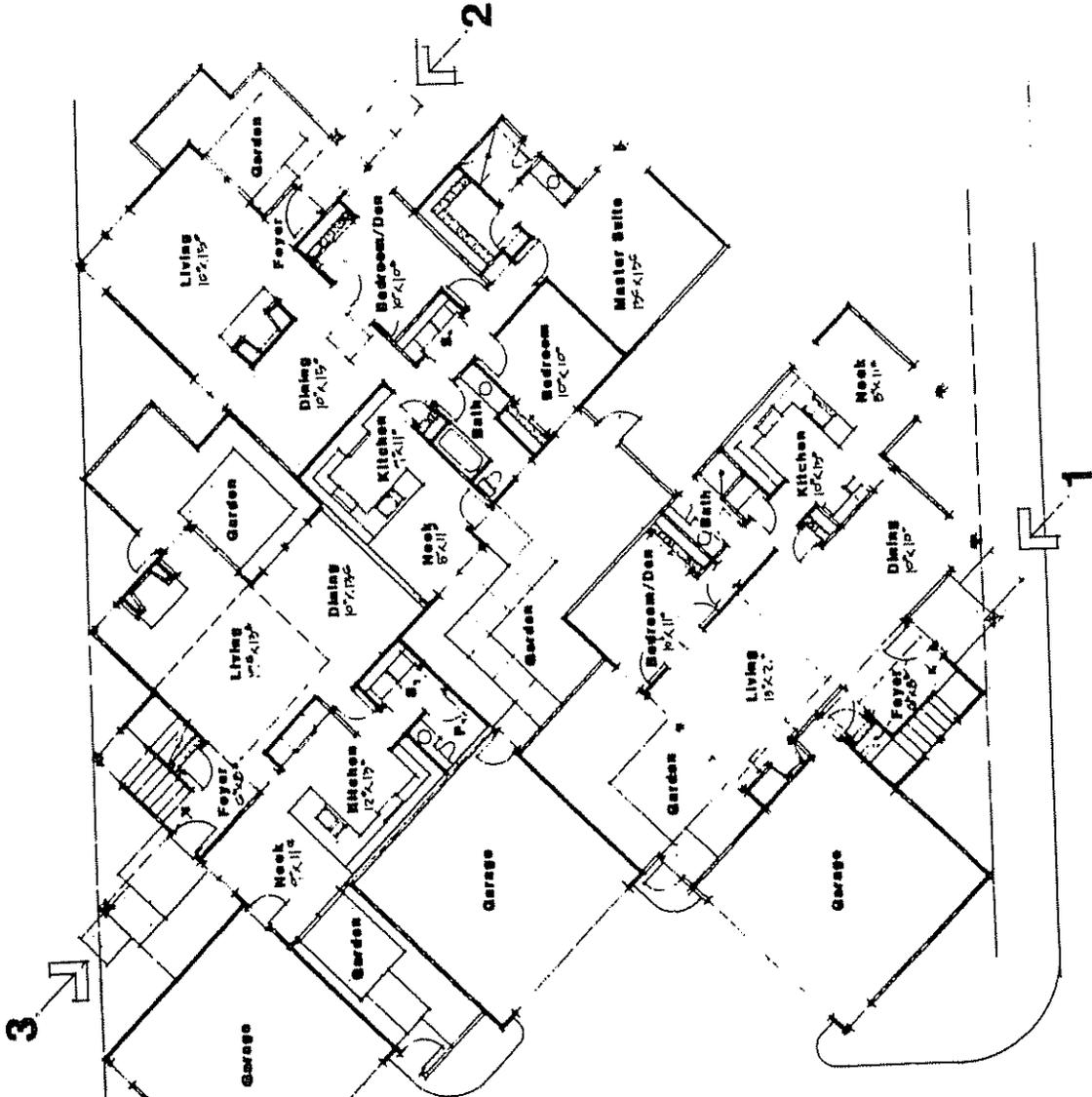



 Partial Site Plan  
**LOT 22** of Parcel 4 at Riverlake  
 Scale 1"=30'



Partial Site Plan  
**LOT 22** of Parcel 4 at Riverlake.  
 Scale 1"=30'



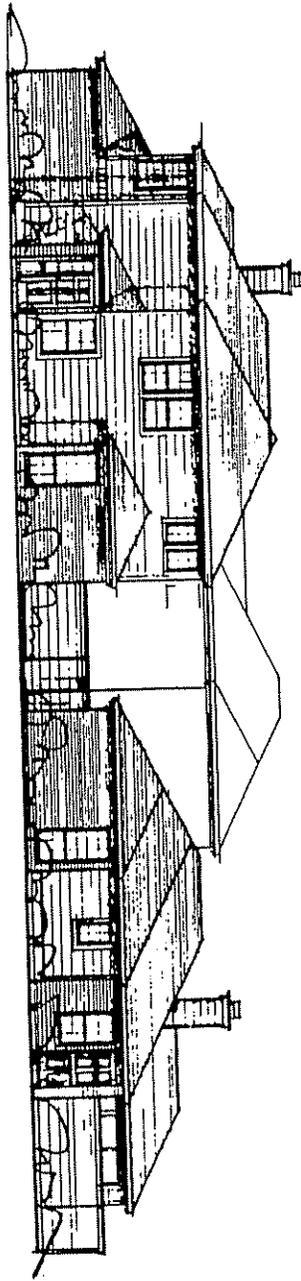


- Unit 1 1791 s.f.  
 4 Bedroom  
 3 Bath
- Unit 2 1408 s.f.  
 3 Bedroom  
 2 Bath
- Unit 3 1696 s.f.  
 3 Bedroom  
 2.5 Bath

**GROUND FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
 DATE: 12-17-80

*BONEBLY & ASSOCIATES*  
**ELEVATION UNIT 1 & 2**



**1**

**ELEVATION UNIT 1 & 2**

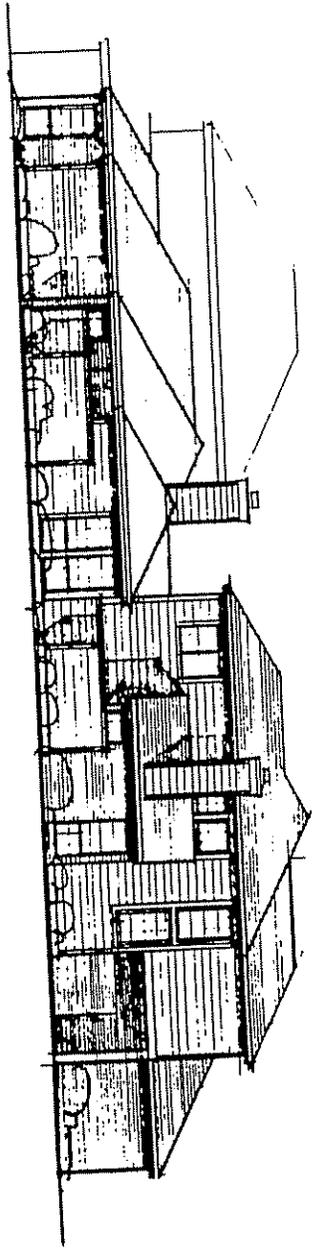
job  
date  
drawn  
revisions

**DONALD JOSEPH CO**

*a design studio*

418 2845  
2210 16th St. SACRAMENTO, CA

**ELEVATION UNIT 2 & 3**  
*Scale: 1/4" = 1'-0"*



2.

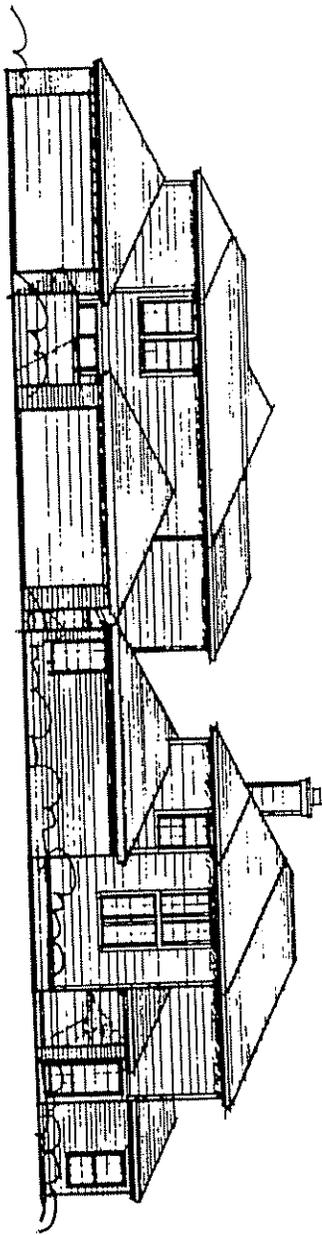
**ELEVATION UNIT 2 & 3**

DATE  
 DRAWN  
 CHECKED

**DONALD JOSEPH CO**

*an design studio*

2210 16th St. SACRAMENTO, CA 95811



ELEVATION UNIT 3 & 1  
SCALE: 1/8" = 1'-0"

3

ELEVATION UNIT 3 & 1

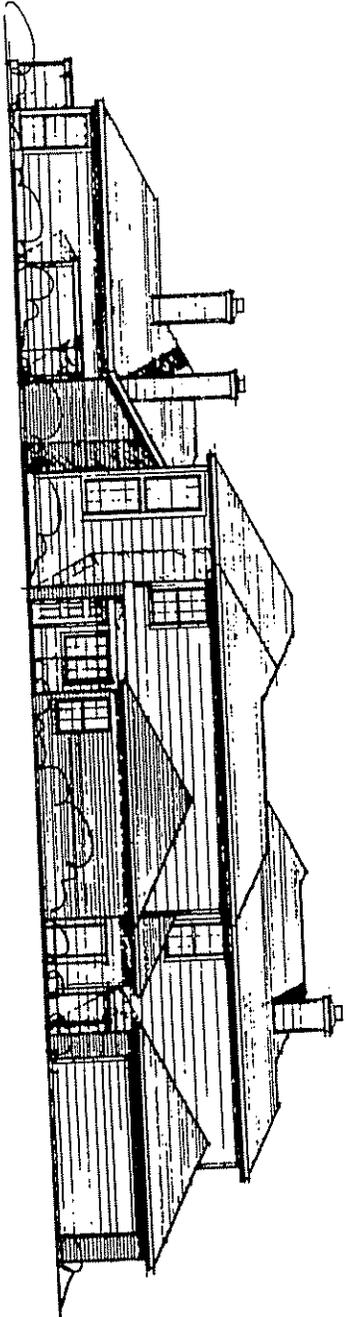
JOB \_\_\_\_\_  
DATE \_\_\_\_\_  
DRAWN \_\_\_\_\_  
REVISIONS \_\_\_\_\_

DONALD JOSEPH CO

*a design studio*

448-2848  
2810 18TH ST. SACRAMENTO, CA

*DATE: 10-1-01*  
**ELEVATION UNIT 2, 3 & 1**



4

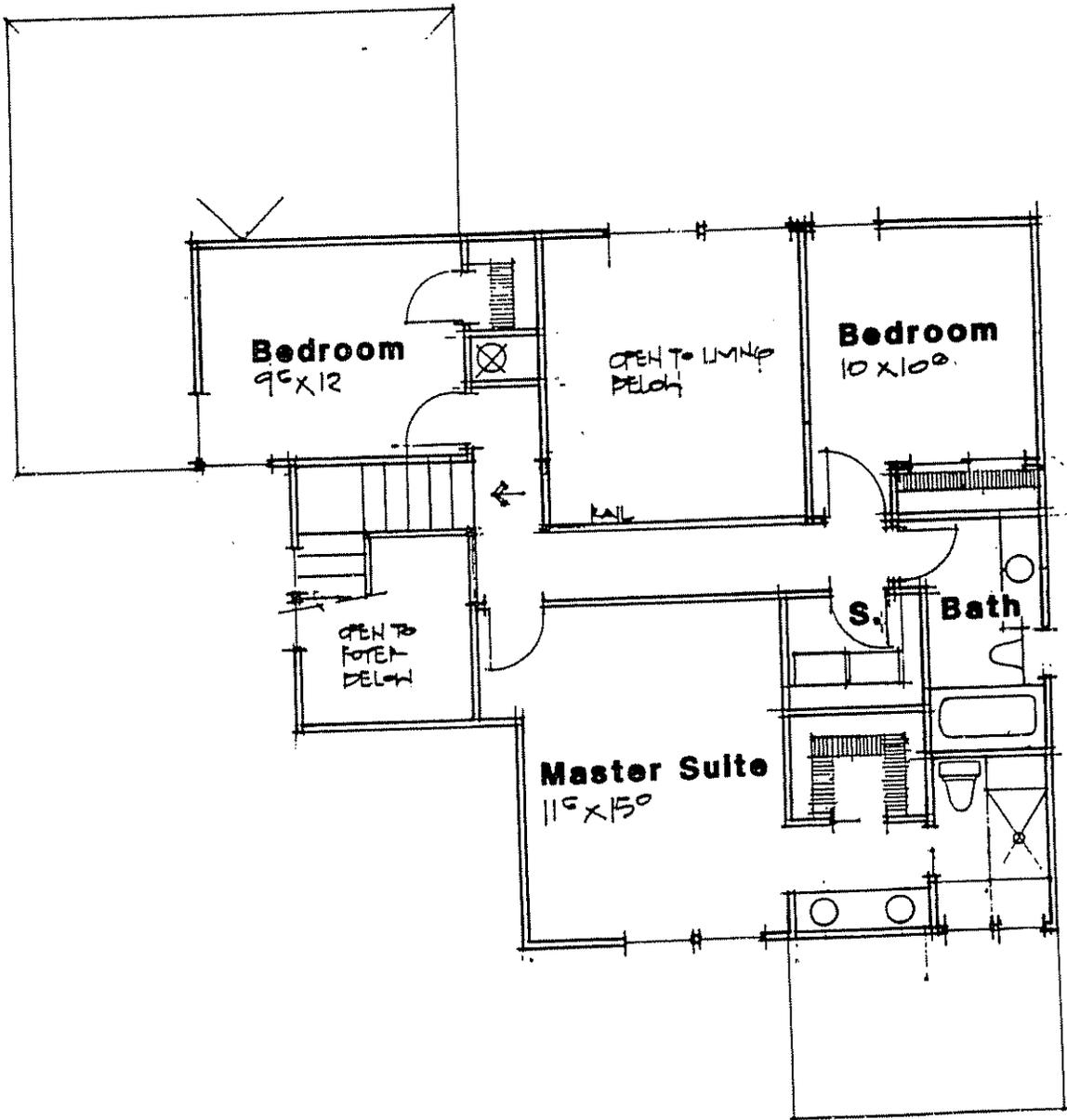
**ELEVATION UNIT  
2, 3 & 1**

JOB \_\_\_\_\_  
DATE \_\_\_\_\_  
DRAWN \_\_\_\_\_  
REVISIONS \_\_\_\_\_

**DONALD JOSEPH CO**

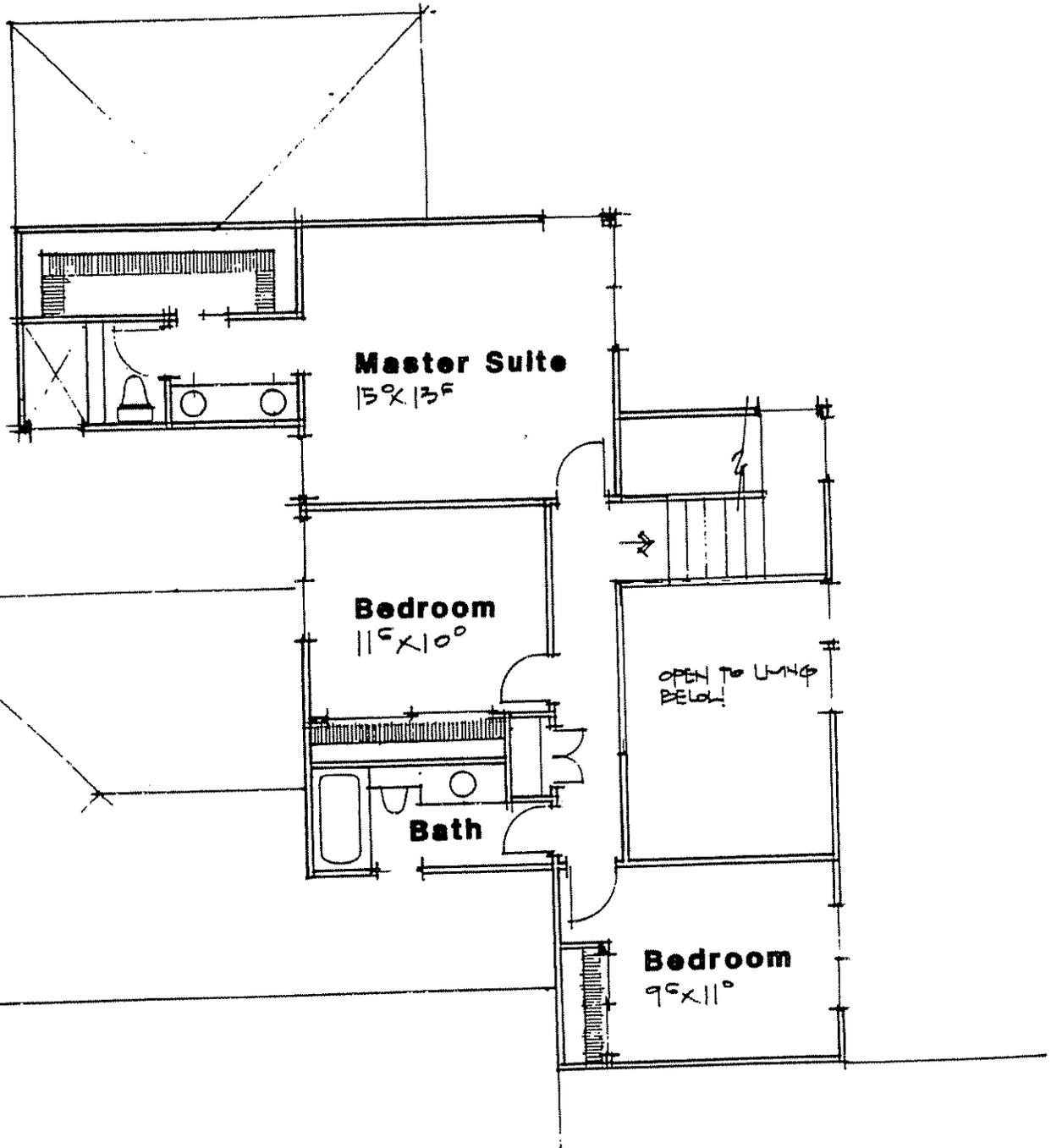
*a design studio*

2210 18th St. SACRAMENTO, CA 95811  
408-2848



# SECOND FLOOR PLAN 1

SCALE: 1/8" = 1'-0"  
DF-1 | 20167

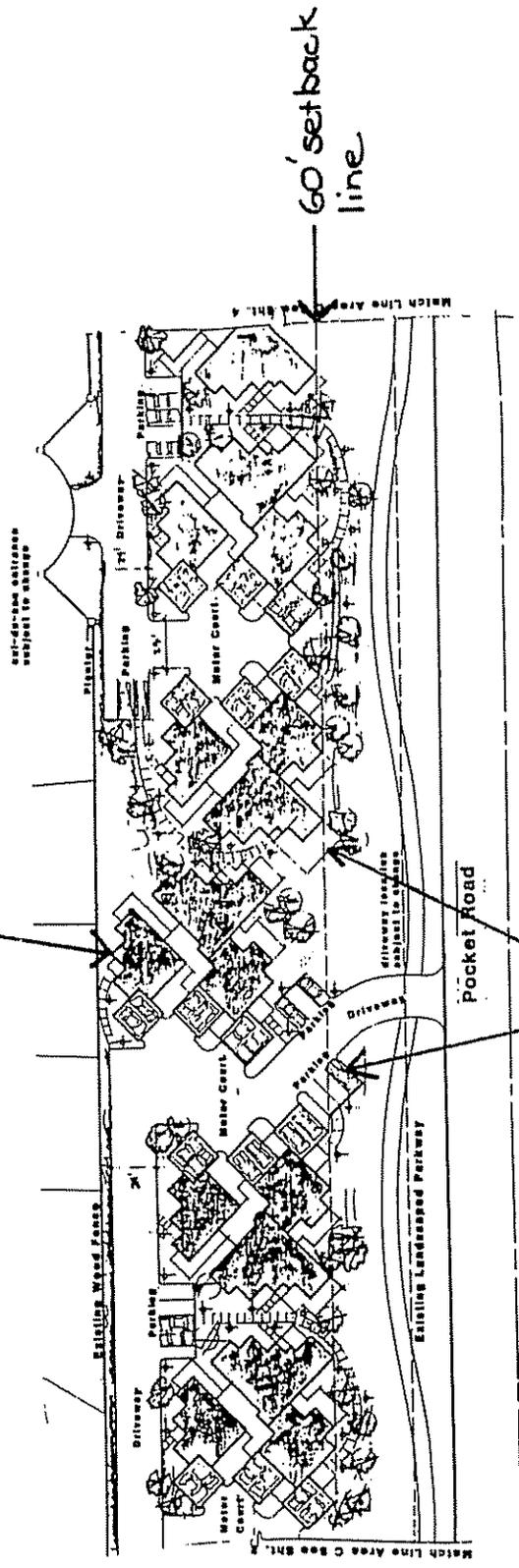


# SECOND FLOOR PLAN

3

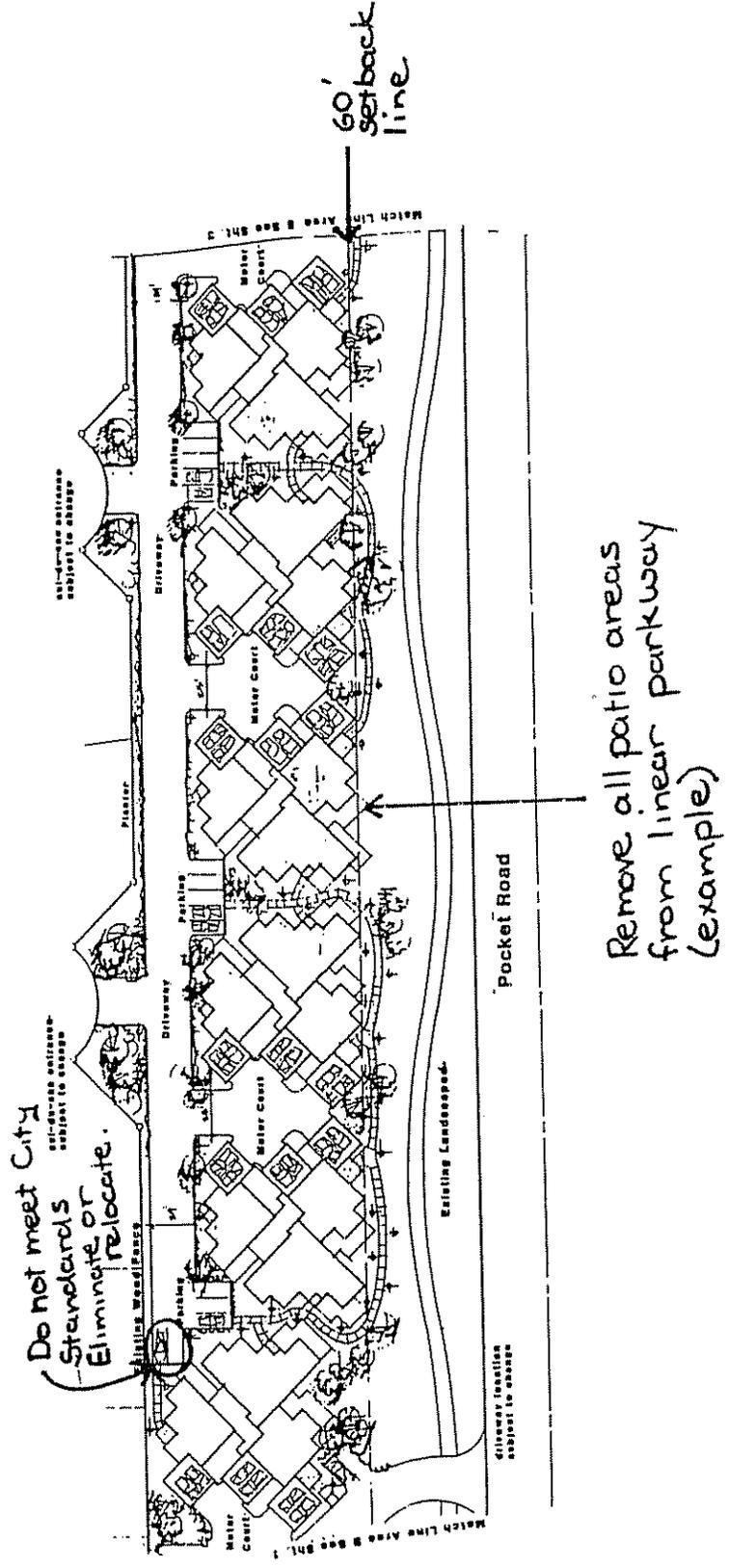
SCALE: 1/8" = 1'-0"  
DFL 1-20-87

Provide minimum 10' building setback from north property line



Remove all parking and patio areas from linear parkway (example)

3



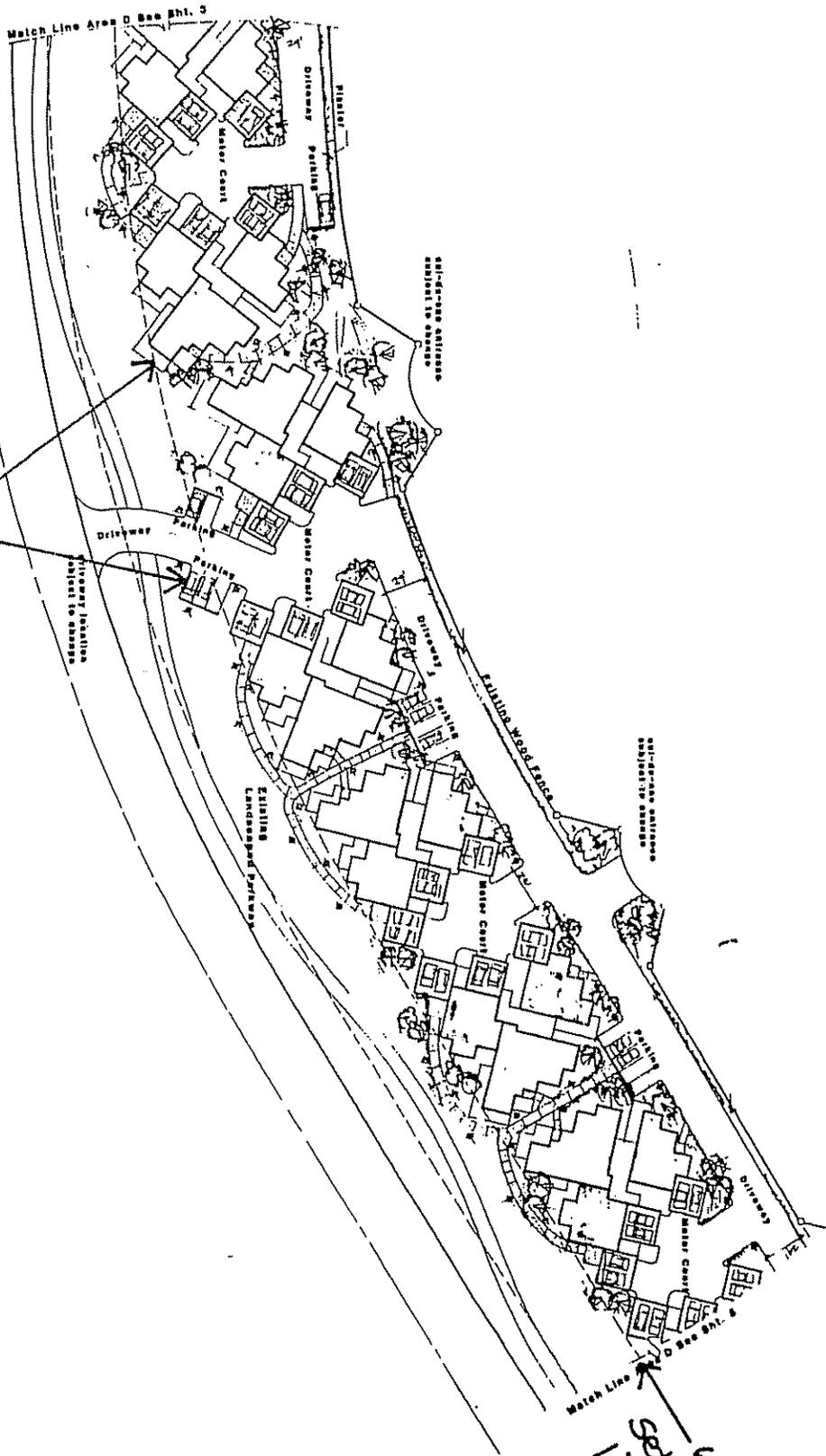
C-2

Partial Site Plan:  
**LOT 22** of Parcel 4 at Riverlake  
Scale 1"=30'



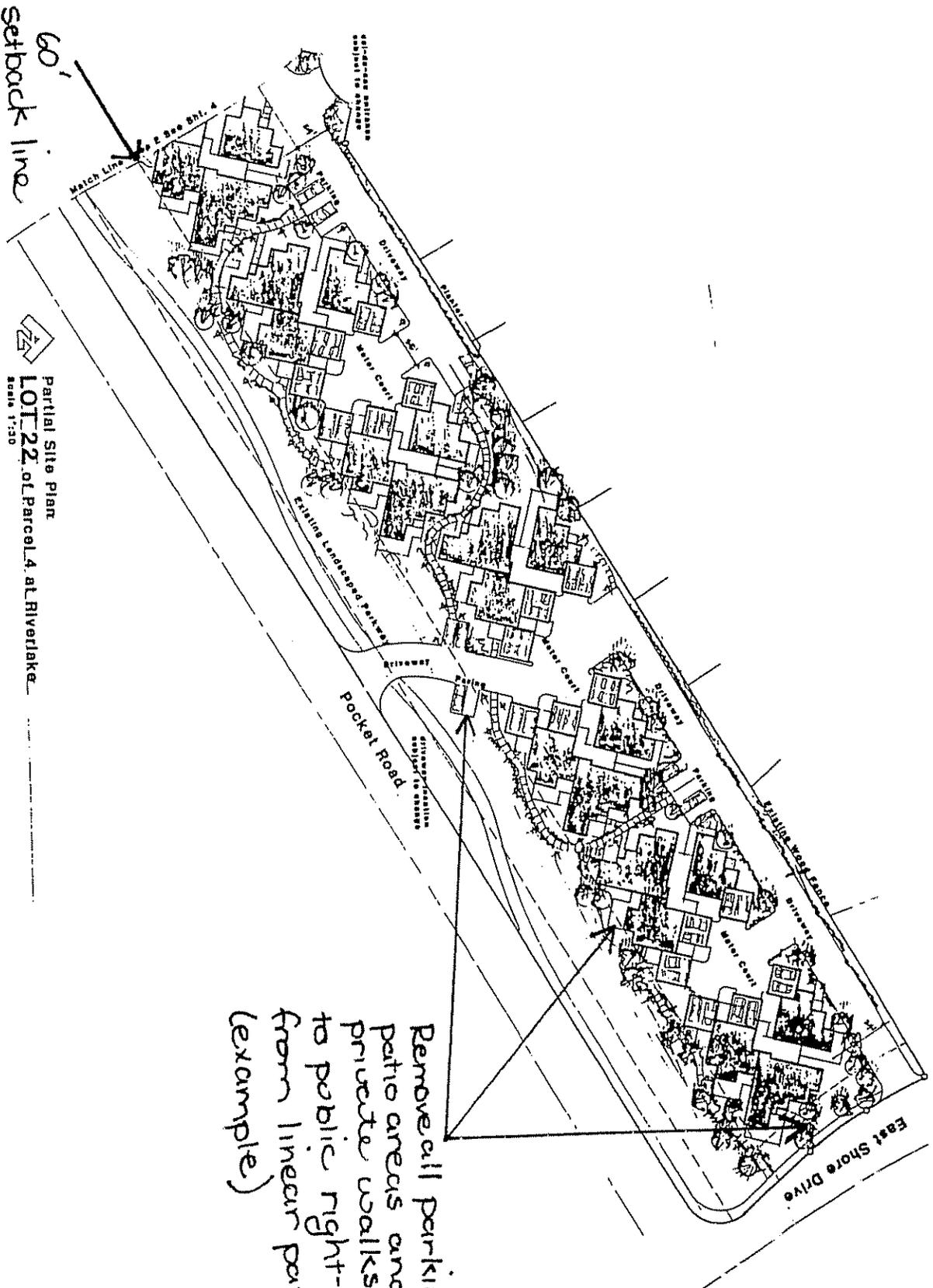


Partial Site Plan  
LOT 22 of Parcel 4 at Riverlake  
Scale 1"=30'



Remove all parking and  
patio areas from  
linear parkway  
(example)

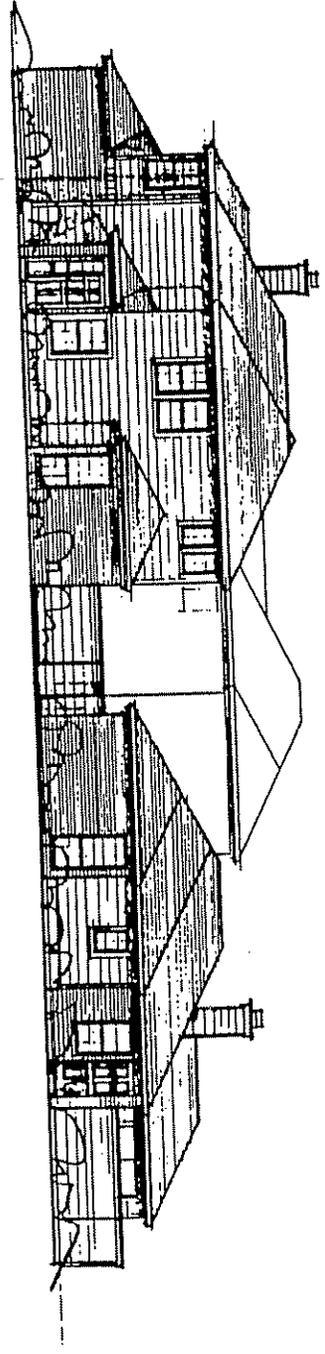
C-4



Partial Site Plan  
 LOT 22 of Parcel 4 at Riverlake  
 Scale 1"=50'

Remove all parking,  
 patio areas and  
 private walks leading  
 to public right-of-way  
 from linear parkway  
 (example)

5

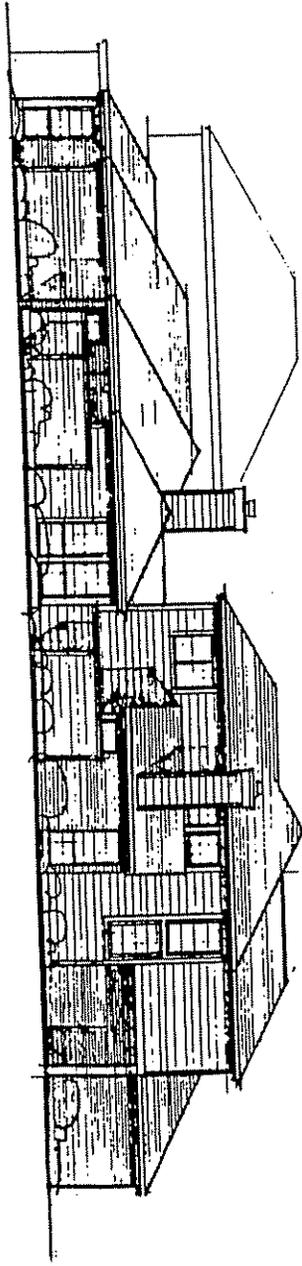


ELEVATION UNIT 1 & 2

D1

EXHIBIT D

1	ELEVATION UNIT 1 & 2	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100	<p><b>DONALD JOSEPH CO</b></p> <p><i>an design studio</i></p> <p>2210 16th St. 416 2845 Sacramento, ca</p>
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**ELEVATION UNIT 2 & 3**  
 SCALE: 1/4" = 1'-0"

D-2

**ELEVATION UNIT 2 & 3**

**2.**

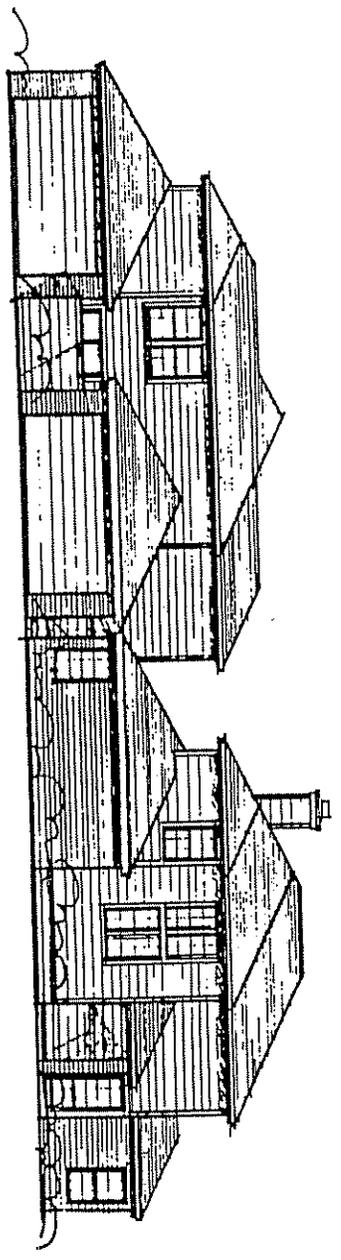
NO  
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**DONALD JOSEPH CO**

*an interior studio*

440-2840  
 2210 16th St. SACRAMENTO, CA

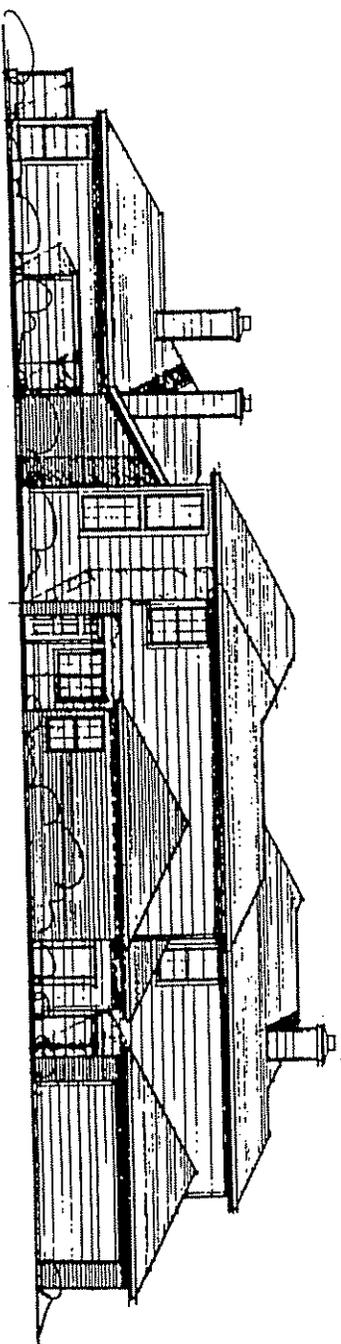
ELEVATION UNIT 3 & 1



D-3

3	ELEVATION UNIT 3 & 1	JOB _____ DATE _____ DRAWN BY _____ REVISIONS _____	<p><b>DONALD JOSEPH CO</b></p> <p><i>an interior studio</i></p> <p>448-2848          2210 18TH ST. SACRAMENTO, CA</p>
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ELEVATION UNIT 2, 3 & 1  
SCALE 1/8" = 1'-0"



D-4

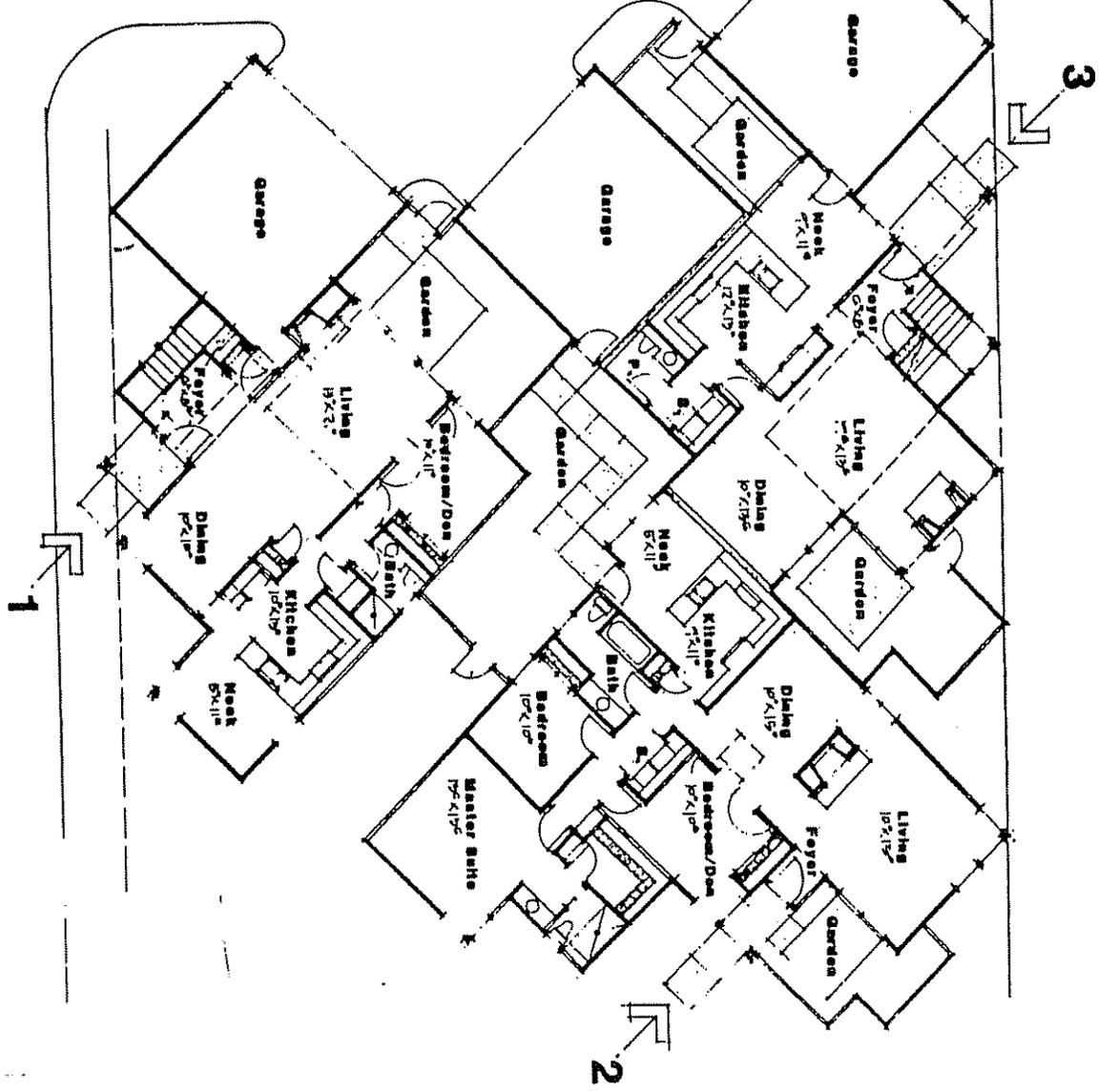
4	ELEVATION UNIT 2, 3 & 1	DATE SCALE PROJECT	<b>DONALD JOSEPH CO</b> <i>an interior studio</i> 448-2048 2210 16th St. Sacramento, ca
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P87-129

4-9-87

Item 20

- Unit 1 1791 s.f.  
4 Bedroom  
2 Bath
- Unit 2 1408 s.f.  
3 Bedroom  
2 Bath
- Unit 3 1696 s.f.  
3 Bedroom  
2 Bath



# GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

DATE: 8-87

EXHIBIT E  
E-1

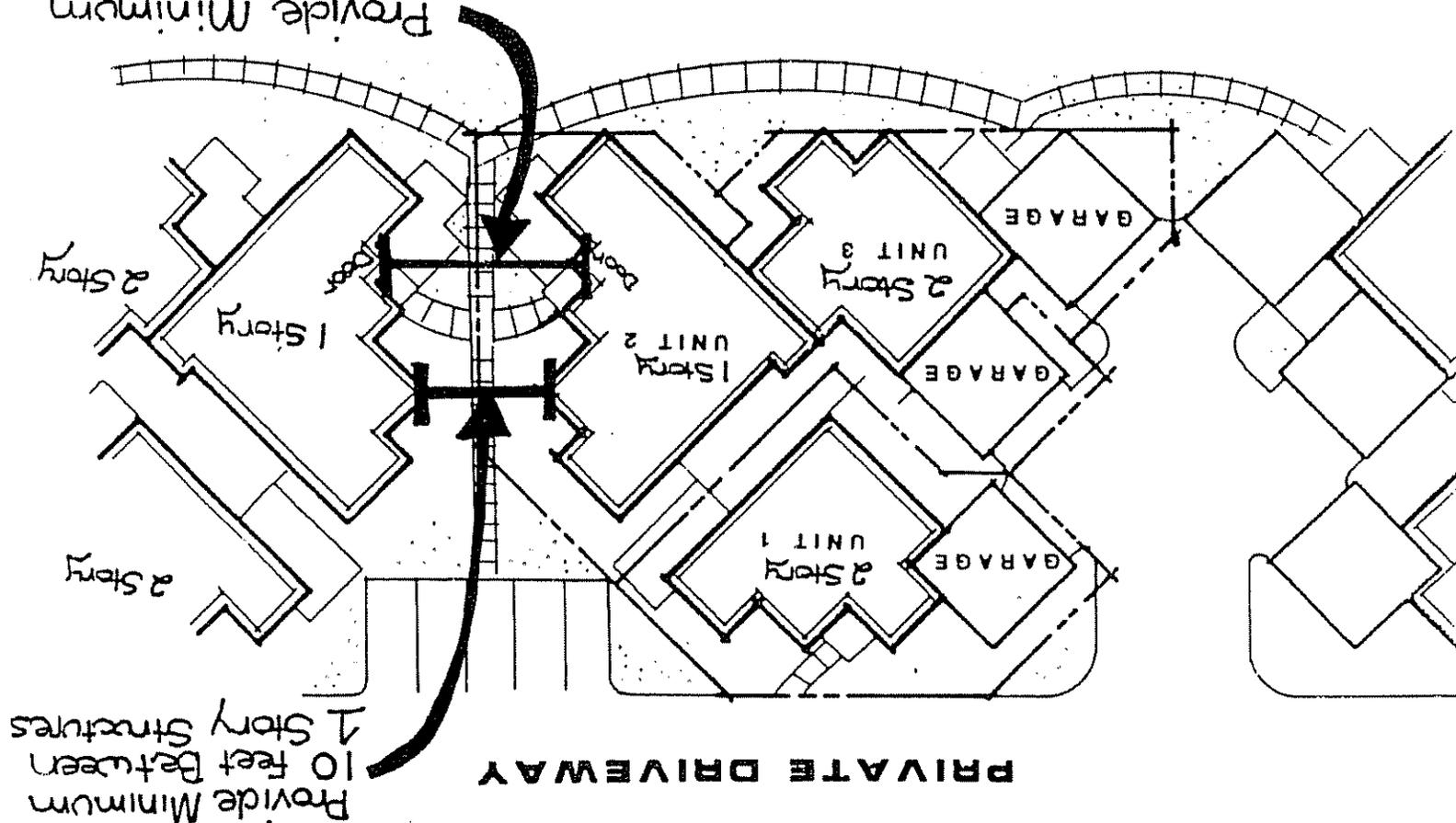
Pocket Road Manor Houses  
Sacramento, California

DONALD JOSEPH CO

1100 S. MARKET ST. SACRAMENTO, CALIF. 95811  
916-441-1100

POCKET ROAD

Provide Minimum  
20 feet Between  
Main Entrances  
To Units Across  
from One Another



PRIVATE DRIVEWAY

Provide Minimum  
10 feet Between  
1 Story Structures

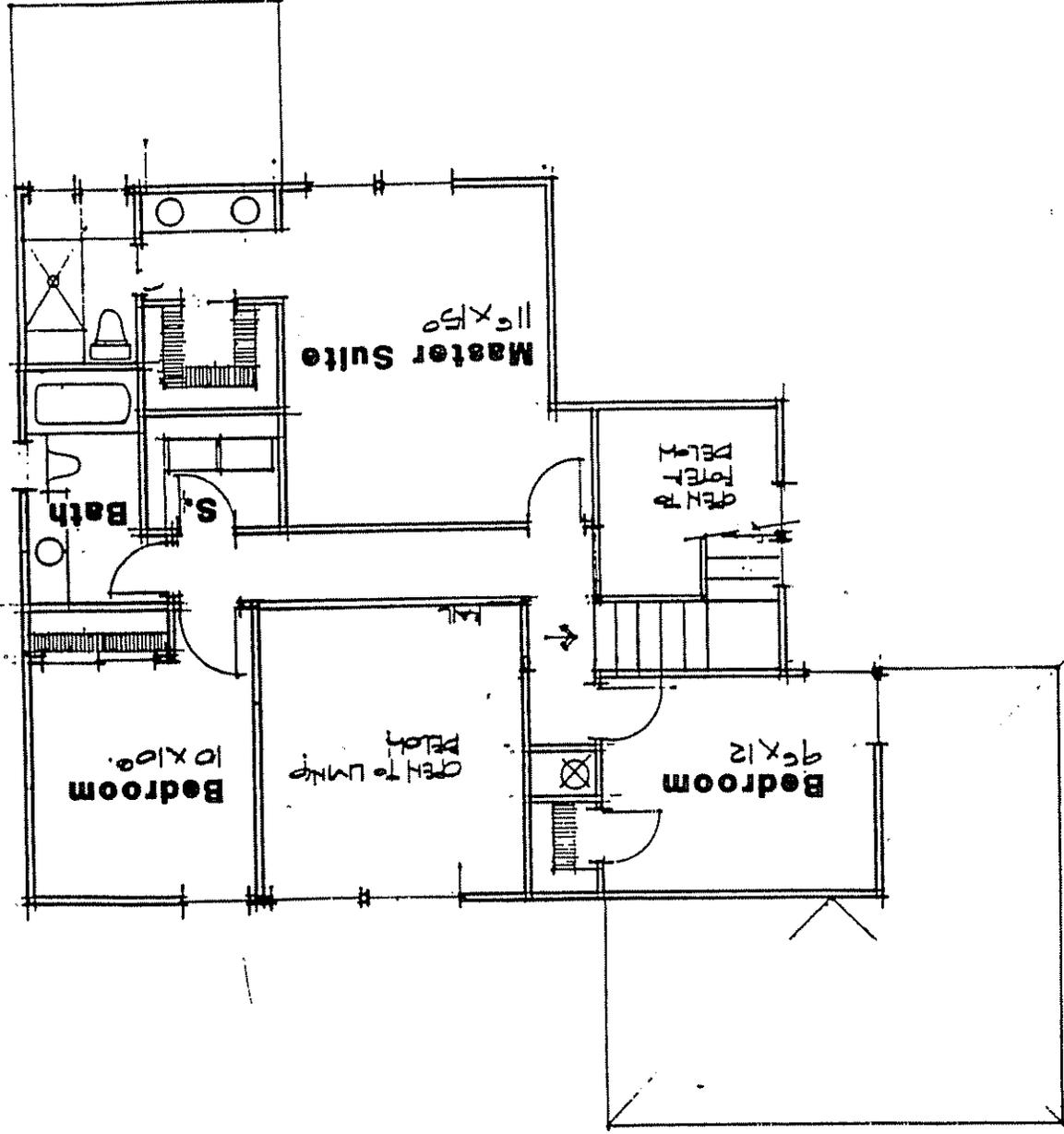
SCALE: 1"=30'  
EACH 3 UNIT CLUSTER CONTAINS 4,488 SQ. FT.  
OF BUILDING AREA.

TYPICAL BUILDING CLUSTER

# SECOND FLOOR PLAN 1

4-9-87

SCALE: 1/8" = 1'-0"  
DATE: 1-20-87  
P87-129



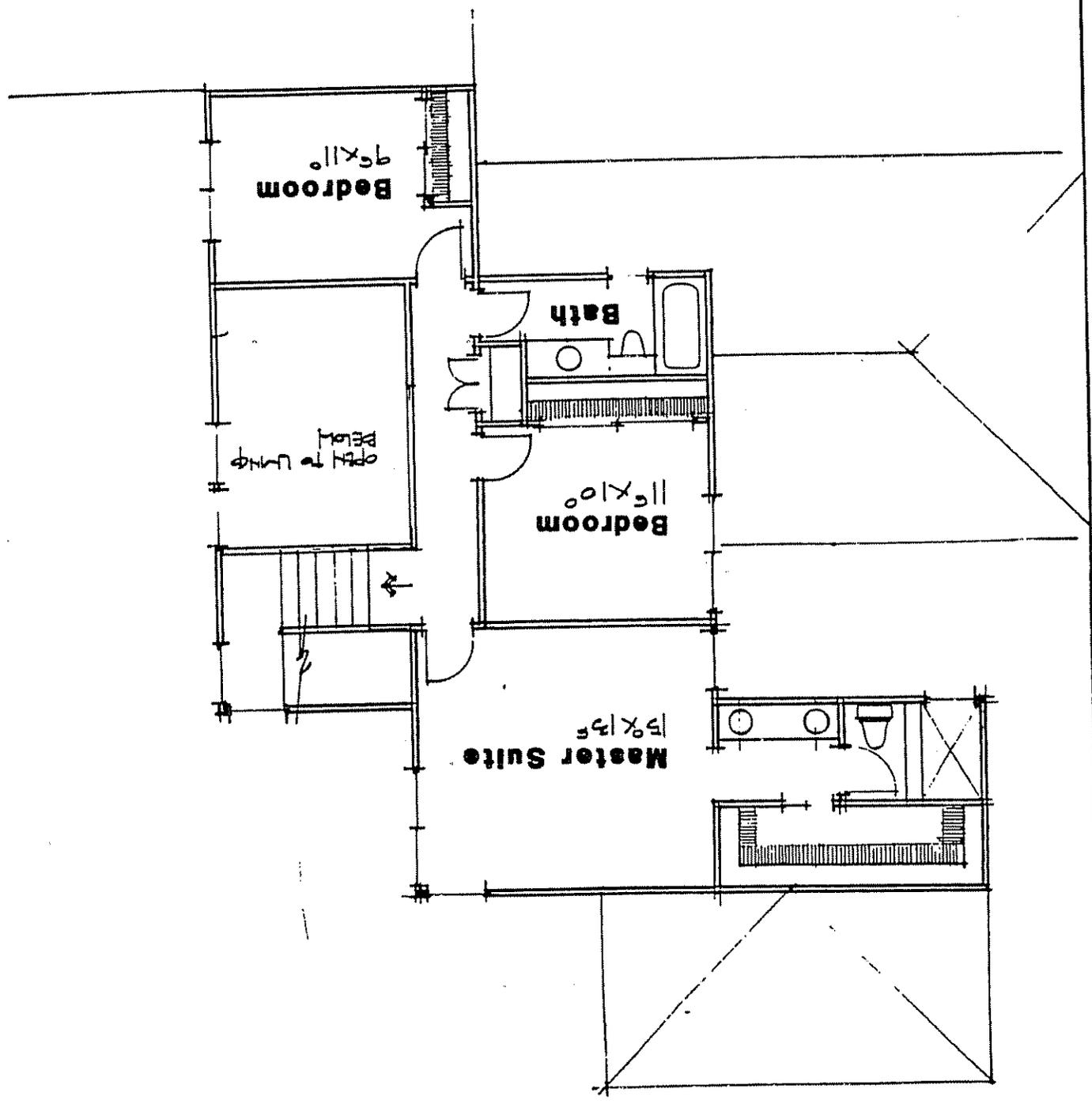
Item 20

Item 20

4-9-87

P87-129  
DEF  
SCALE: 1/8" = 1'-0"  
1-20-87

# SECOND FLOOR PLAN 3



E-3

# CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Donald Joseph, Inc. - 2210 16th Street, Sacramento, CA 95818  
OWNER L & P - Pacific Teichert - 6355 Riverside Blvd., Ste. C, Sacramento 95831  
PLANS BY Donald Joseph, Inc. & Spink Coporation - P.O. Box 1311, Sacramento  
FILING DATE 3-9-87 ENVIR. DET. Req. Dec. 3-30-87 REPORT BY JP:sg  
ASSESSOR'S-PCL. NO. 031-1210-002 and 003; 031-1200-039

APPLICATION: A. Negative Declaration

B. Tentative Map to divide 4.3+ net acres into 34 townhouse lots, 2 common lots and one remainder lot

C. Special Permit for a 34 unit townhouse development

LOCATION: South side of Pocket Road, east and west sides of Dutra Bend Drive

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 34 unit residential development adjacent to the near parkway in the LPPT(PUD) (Site 21 LPPT(PUD) Schematic Plan).

## PROJECT INFORMATION:

1974 General Plan Designation: Residential

1976 South Pocket Community Plan Designation:

Low Density Residential - LPPT(PUD)

LPPT PUD Schematic Plan Designation:

Site 21 - Townhouse - 8 d.u./ac. maximum

Existing Zoning of Site:

R-1A(PUD)

Existing Land Use of Site:

Vacant and remodeled farmhouse

## Surrounding Land Use and Zoning:

North: Vacant; C-1(PUD), R-1A(PUD)

South: Vacant, single family; R-1(PUD)

East: Single family; R-1

West: Vacant, single family; A

Parking Required: 54 spaces

Parking Provided: 34 two-car garages (68 spaces); 29 guest spaces

Property Dimensions: Irregular

Property Area: 4.3+ acres

Density of Development: 8 d.u. per acre

Square Footage of Building: Unit 1 - 1,791 sq. ft.

Unit 2 - 1,408 sq. ft.

Unit 3 - 1,696 sq. ft.

Height of Building: 28 ft.

Topography: Flat

Street Improvements: Existing

Utilities: Existing

Exterior Building Materials: Wood, brick, stucco

Exterior Building Colors: Earth tones, red brick

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On March 25, 1987, by a vote of five ayes, four absent, the Subdivision Review Committee voted to recommend approval of the tentative map subject conditions.

APPLIC. NO. P87-130

MEETING DATE April 9, 1987

ITEM NO 21

PROJECT EVALUATION: Staff has the following comments regarding this proposal:

A. Land Use and Zoning

The subject site consists of three lots totaling 4.3+ net acres located in the Townhouse (R-1A) zone and the LPPT(PUD). Two of the lots located, on the west side of Dutra Bend Drive, are vacant except for the recently restored Dutra farmhouse. The farmhouse structure is currently used as a subdivision sales office.

Surrounding land uses are: vacant lands zoned R-1A(PUD) and C-1(PUD) to the north; the Dutra Bend single family subdivision, currently under development and zoned R-1(PUD), to the south; single family residential zoned R-1 to the east; and farm land with single family residences zoned Agricultural (A) to the west. The site is designated for low density residential uses by the 1976 South Pocket Community Plan.

As noted, the site is located in the LPPT(PUD). The original PUD approval indicated that on sites 21, 22 and 23 a 40 to 50 foot wide linear parkway would be created along Pocket Road in conjunction with future residential development (Exhibit A). An additional 20 feet of curb, gutter, meandering sidewalk and landscaping would occur within the public right-of-way adjacent to Pocket Road. Staff was supportive of this design concept as it would discourage on-street parking along Pocket Road, develop and attractive frontage along Pocket Road and eliminate the need for a buffer wall between the street and proposed residential uses. The linear parkway concept was approved, the three sites zoned R-1A(PUD) and landscaping within the public right-of-way has been completed.

The applicant is requesting a tentative map and special permit to develop 34 residential units allowing for individual ownership, one common lot and one remainder lot for the Dutra farmhouse on Site 21 of the LPPT(PUD) (Exhibits B-E). The proposed density is eight units per acre. This proposed land use is consistent with the community plan designation and the LPPT(PUD) schematic plan designation for the site.

B. Site Plan Design

The project is designed so that the residences are in three-unit clusters of one single story unit and two two-story units. The three units are set at an angle to Pocket Road to diminish the "row effect" often associated with linear townhouse developments. The three-unit clusters are designed to share a motor court cul-de-sac with another cluster. These motor courts are placed behind the residences. The intent of the applicant is to provide a view from Pocket Road which emphasizes the linear parkway, landscaped common areas and the residential units and which screens the motor court areas from Pocket Road.

Planning staff finds the site plan to be innovative, well-designed and sensitive to the needs of the Dutra farmhouse and adjacent single family subdivision. Staff recommends that a minimum five foot landscaped setback and 10 foot building setback be provided along the south property line to provide privacy to future residents of the adjacent single family subdivision. (The developer has already constructed a six foot high solid fence along the south

property line to separate the subject site from the adjacent single family subdivision ) A minimum of 10 feet between the one-story portion of the building clusters should also be provided in order to provide adequate access to the units and prevent a canyon effect from occurring between clusters. Twenty feet between the main entrances to units across from one another should also be provided (Exhibit F).

The applicant has also indicated on the site plan two two-unit clusters in order to allow the maximum number of units to be constructed on the site. Plans for these units have not been finalized. Staff recommends that plans for the two-unit clusters be subject to Planning Director review and approval prior to issuance of building permits to insure design compatibility with the remainder of the site.

The LPPT Development Agreement indicates that the developer is responsible for the development and maintenance of the linear park. The CC & R's for the development will obligate the owners' association to provide for the maintenance of the linear park. Planning staff recommends that landscape plans for the linear park be reviewed by the Planning Director and Director of Community Services prior to issuance of building permits.

C. Circulation and Parking

For the eastern portion of the site the applicant has indicated one driveway off of Dutra Bend Drive. A driveway off of Pocket Road and one off of Dutra Bend Drive are provided for the western portion of the site. The traffic Engineering Division recommends that the Pocket Road driveway approach the street at a 90 degree angle. The Fire Department requires that the project provide adequate vehicle turn-around area for emergency vehicles.

Fifty-four (54) parking spaces are required for the proposed development. The applicant is providing 34 two-car garages (68 spaces) and 29 guest parking spaces which exceeds the minimum required.

D. Building Design

As noted above, with the exception of four of the units, the proposed residences are in three-unit clusters consisting of one single-story unit and two two-story units. All three units have one-story garages. The two-story/one-story mix provides a variety of movement to the elevations and each building cluster takes on a different appearance when viewed from one of its four sides (Exhibit D). Proposed building materials are wood, brick and stucco and proposed colors are earth tones. Staff finds the proposed elevations to be unique and well-designed and has determined that the residential units will be compatible with the single family residences that will be constructed in the adjacent subdivision.

E. Other Agency Comments

The project site plan has been reviewed by the City Fire, Police, Engineering and Traffic Engineering Divisions. The following comments were received:

1. Fire Department

- All entrances to residences shall be within 150 feet of the street.
- Fire hydrant spacing shall be 300 feet apart.
- Motor courts must provide 35 foot inside radius for emergency vehicle turn-around.

2. Police Department

Any modification of access locations to be approved by Police and Fire.

3. Engineering Division

Developer to comply with the LPPT(PUD) Development Agreement.

4. Traffic Engineering Division

All driveways will meet City standards and be located to the satisfaction of the City Traffic Engineer.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration, subject to the following mitigation measure:

The project is located in an area of potential archaeological sensitivity, consequently, the applicant shall comply with the following:

- If unusual amounts of bone, shell, or artifacts are uncovered, work within 50 meters of the area will stop immediately and a qualified archaeologist will be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impacts to a less than significant level before construction continues.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratification of the negative declaration;
- B. Recommend approval of the tentative map, subject to conditions; and
- C. Approve the special permit for a 34 unit townhouse development, subject to conditions and based upon findings of fact which follow.

Conditions - Tentative Map - The Applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- 1 Prepare a sewer and drainage study for the review and approval of the City Engineer

2. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
3. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.
4. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code.
5. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
6. Minimum lot pad grade = 4.0 feet; minimum gutter grade - 2.5 feet.
7. Show reciprocal access, sewer, water and drainage easements on final map.
8. Comply with provisions of development agreement between LPPT and City of Sacramento.
9. Driveway locations and entrances shall be to the satisfaction of the City Engineer.
10. Dedicate Lot A as a public utility easement, including underground electrical facilities and appurtenances excepting therefrom any building locations.
11. Pay Pocket Bridge fees.

Conditions - Special Permit

1. A revised site plan indicating a minimum 10 foot building setback from the south property line shall be submitted for Planning Director review and approval prior to issuance of building permits.
2. Site plan, floor plans and elevations for the two-unit building clusters shall be submitted for Planning Director review and approval prior to issuance of building permits. Any two-unit cluster shall be a minimum of 10 feet from any other cluster.
3. A minimum of 10 feet shall be provided between the one-story portion of the building clusters and a minimum of 20 feet between the main

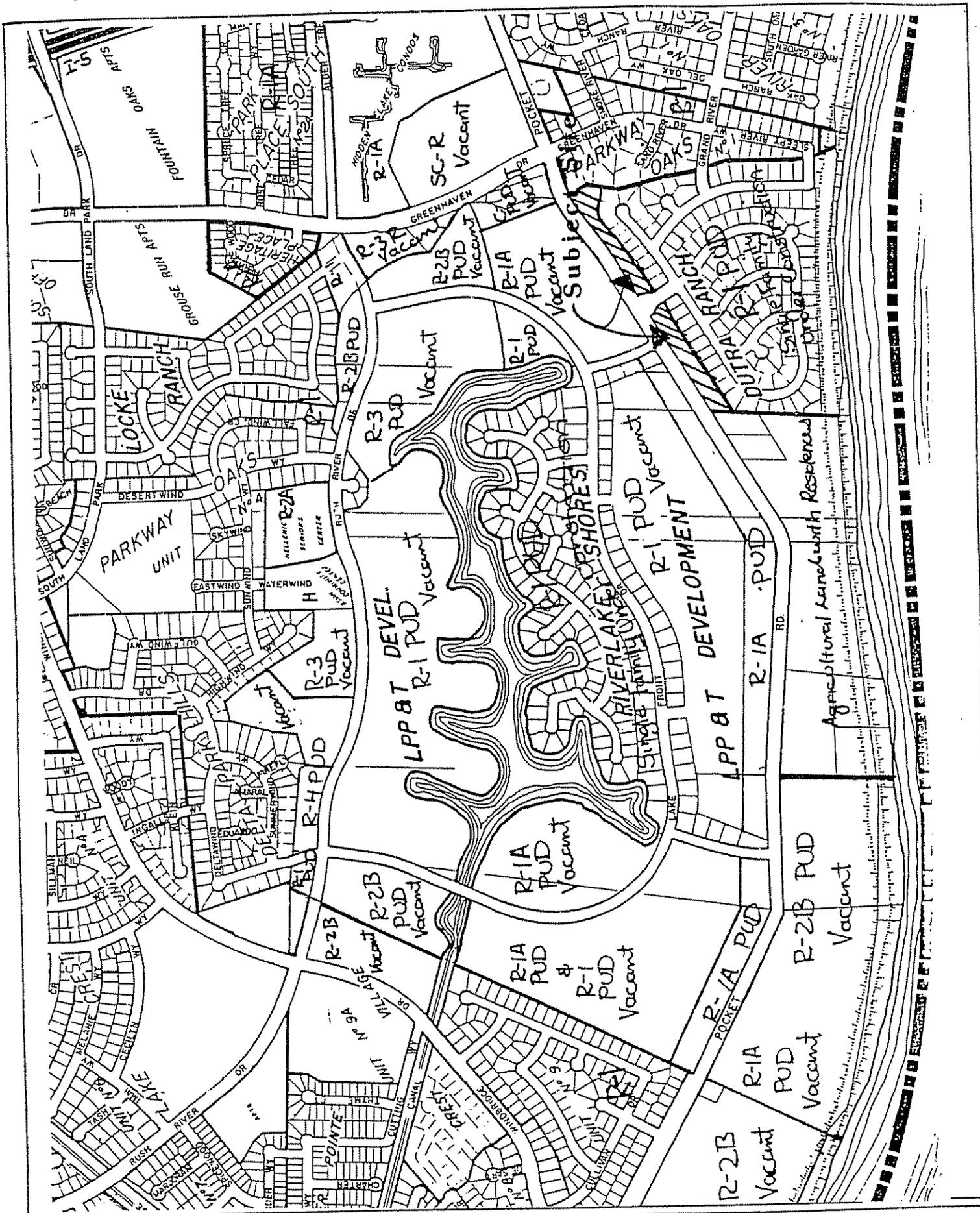
entrances to units across from one another shall be provided as shown in Exhibit F.

4. Landscape and irrigation plans for the linear parkway, required setback areas and common areas shall be submitted for the review and approval of the Planning Director and the Director of Community Services prior to issuance of building permits.
  - a. Landscape plans shall indicate a minimum 25 foot landscaped setback along the east and west sides of Dutra Bend Drive and a minimum five foot landscaped setback along the south property line.
  - b. No parking spaces, patios, patio walls or fences, residential units or walkways connecting residential units with the public right-of-way are permitted in the linear parkway or any required landscaped setback.
5. All parking spaces shall meet the width, depth and maneuvering requirements of the City Zoning Ordinance.
6. The project shall meet the access requirements of the City Fire and Police Departments.
7. The project shall meet the driveway requirements of the City Traffic Engineering Divisions.
8. Any proposed project identification signs shall be subject to Planning Director review and approval prior to issuance of sign permits.
9. The project shall comply with all applicable regulations of the LPPT(PUD) Guidelines and LPPT(PUD) Development Agreement.
10. Prior to approval of the final inspection of the project by the City Building Division, the Planning Director shall inspect the project for compliance with all conditions of the special permit.

#### Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the proposed cluster home/townhouse development is compatible with the proposed single family and multiple family development for the area.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that adequate parking, landscaping and building setbacks will be provided.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for low

density residential use by the 1976 South Pocket Community Plan and the proposed cluster home/townhouse use conforms with the plan designation.

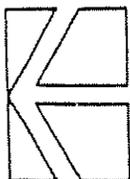


**SOUTH POCKET**

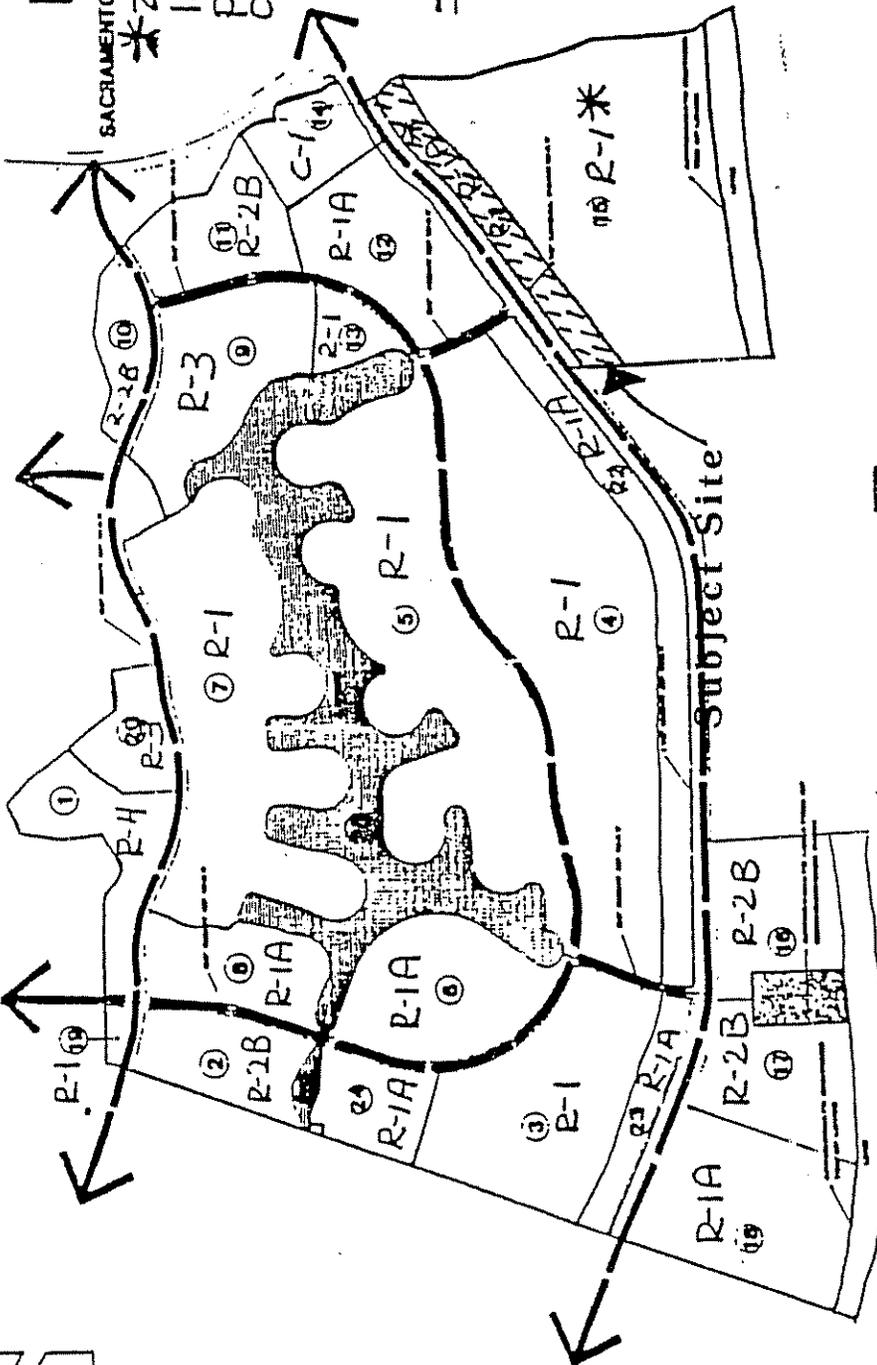
**L.P.P.T.**

SACRAMENTO CALIFORNIA

\*Zoning for sites 15 and 21 have previously been approved under P85-164 (Dutra Ranch)



P87-130



**MILE INFORMATION**

ROUTE	START	END	MILES
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**SUBJECT SITE**

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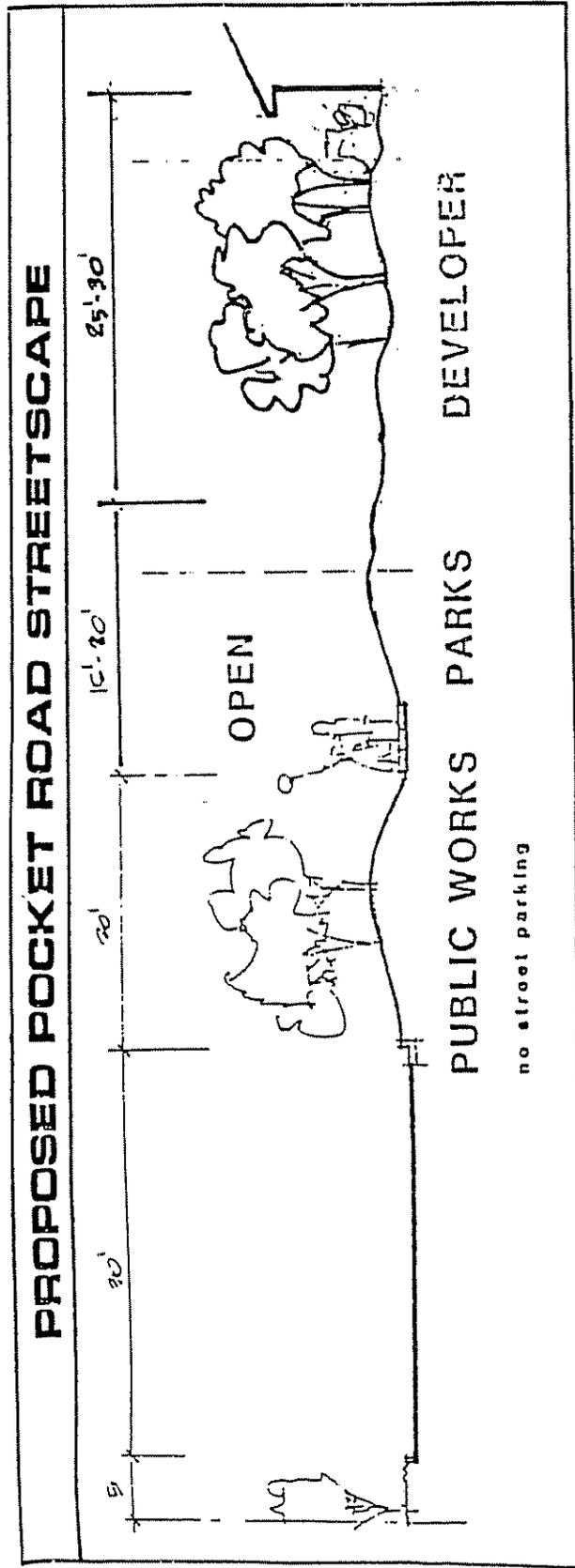
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 SACRAMENTO  
 PUBLIC WORKS DEPARTMENT  
 1000 J STREET  
 SACRAMENTO, CALIFORNIA 95833

LAND PLANNER  
 ANTHONY M. BLIZZARDI  
 AND ASSOCIATES INC.



4-9-87

Item 21





DONALD JOSEPH CO

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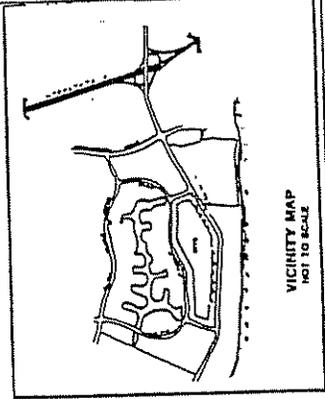
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PROJECT

Lot 21 of Dutra Bend at Riverlake

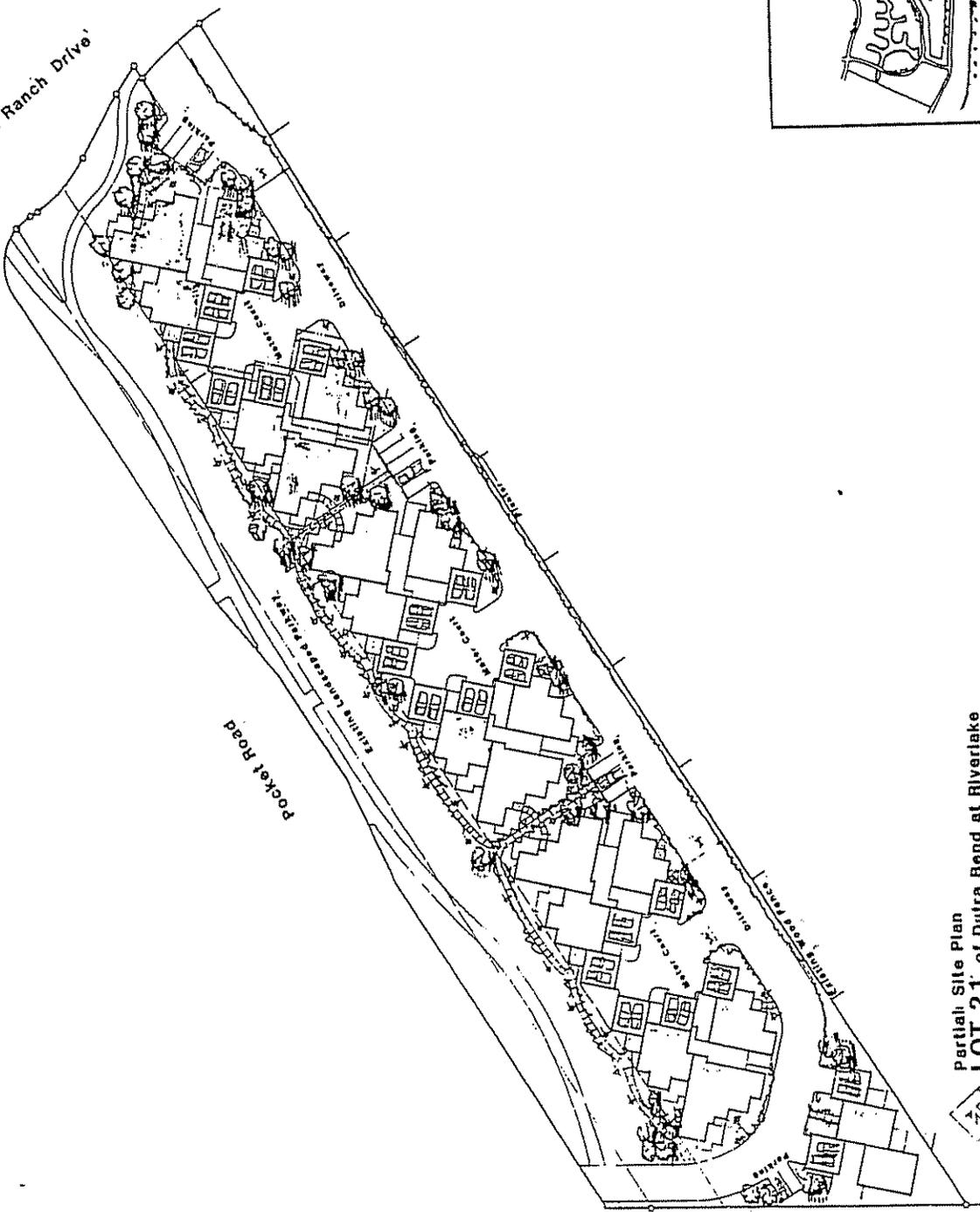
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# EXHIBIT C

## C-1



Dutra Ranch Drive



Partial Site Plan  
**LOT 21** of Dutra Bend at Riverlake  
 Scale 1"=20'

P87-130

4-9-87

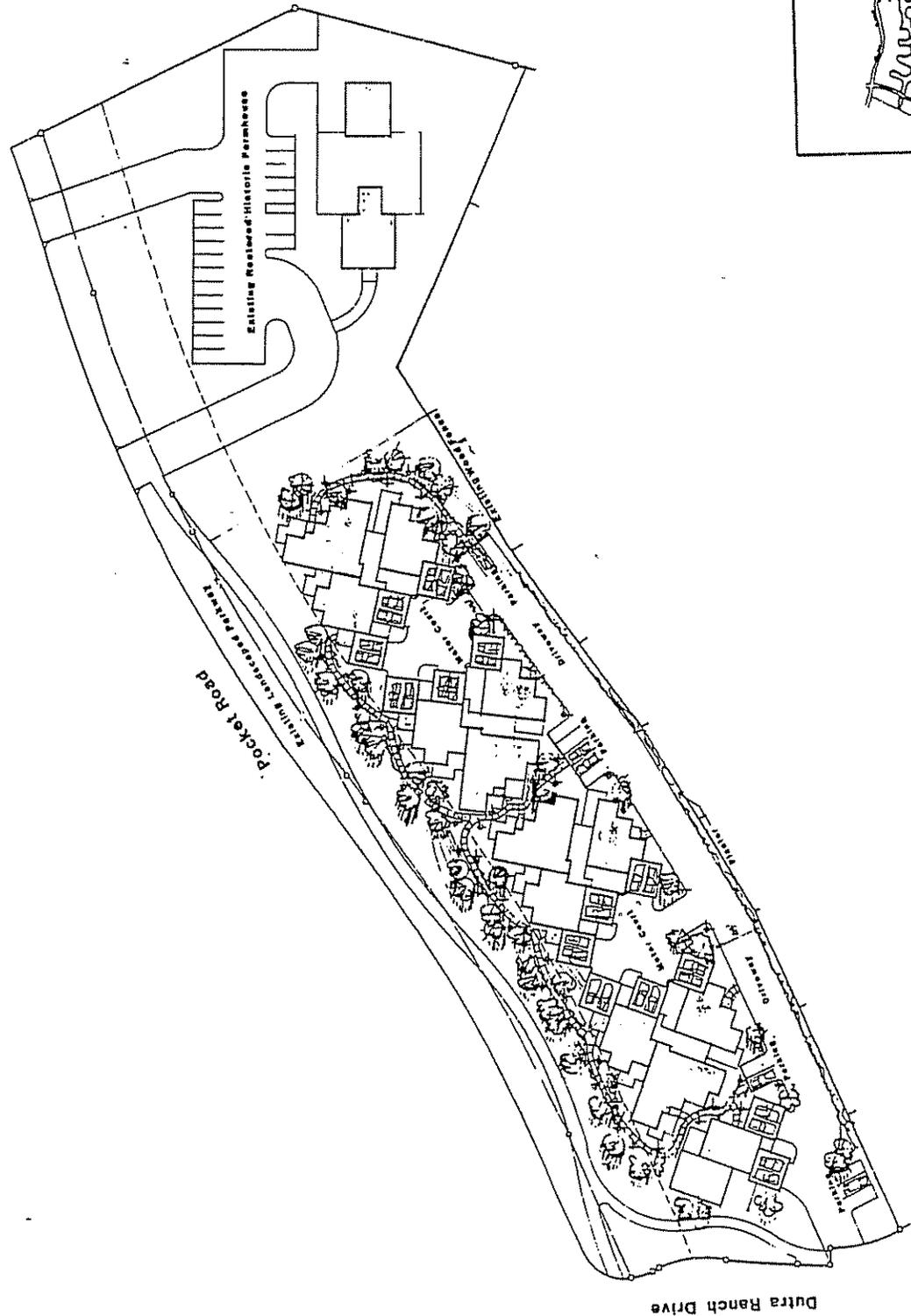
Item 21

DONALD JOSEPH CO  
 1000 10th St., Northampton, MA  
 or other locations

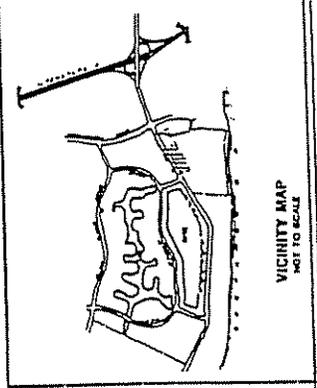
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Lot 21 of Dutra Bend at Riverlake

2



C-2



Partial Site Plan  
 LOT 21 of Dutra Bend at Riverlake  
 Scale 1"=30'



P87-130

4-9-87

Item 21

2710 10TH ST. SACRAMENTO, CA  
418 2842 817

*in design studio*

DONALD JOSEPH CO

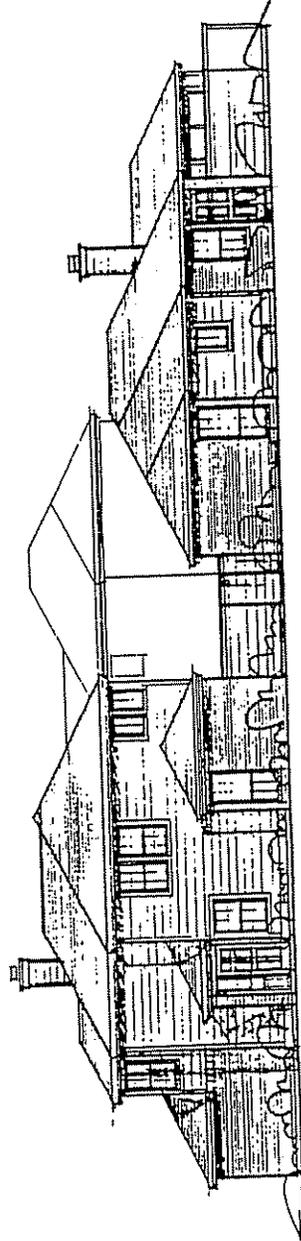
TOU  
DATE  
DRAWN  
REVISIONS

ELEVATION UNIT 1 & 2

1

EXHIBIT D

D-1



ELEVATION UNIT 1 & 2

*Scale: 1/8" = 1'-0"*

P87-130

4-9-87

Item 21

DONALD JOSEPH CO

*in design studio*

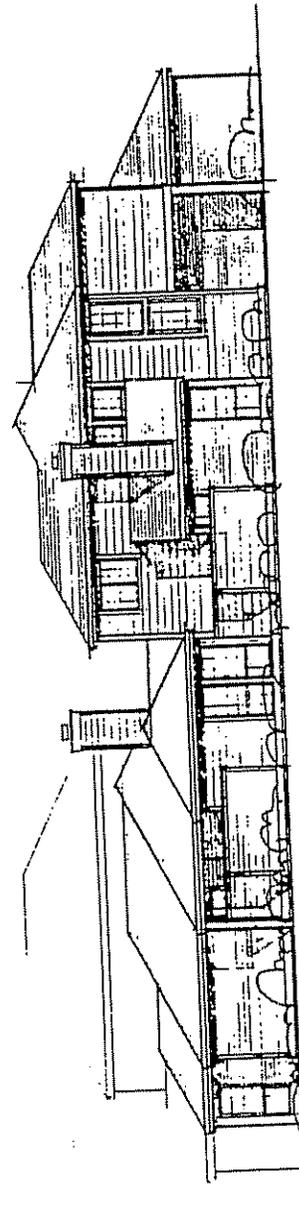
448 2045  
2210 16th St. Sacramento, CA

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date \_\_\_\_\_  
drawn \_\_\_\_\_  
revision \_\_\_\_\_

ELEVATION UNIT 2 & 3

2.

D-2



ELEVATION UNIT 2 & 3

*scale 1/8" = 1'-0"*

P87-130

4-9-87

Item 21

2210 1814 ST. BOSTON, MA 02116  
445 2342 2342

*in design studio*

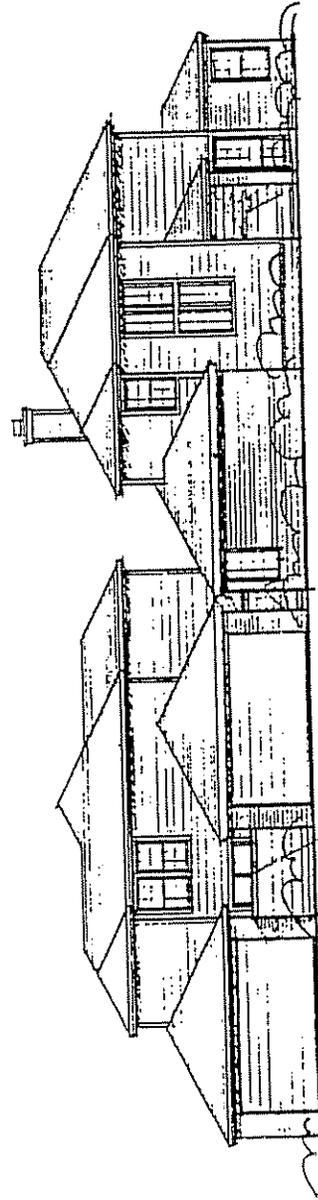
DONALD JOSEPH CO

job :  
date :  
drawn :  
revisions :

ELEVATION UNIT 3 & 1

3

D-3



ELEVATION UNIT 3 & 1

SCALE: 1/8" = 1'-0"

P87-130

4-9-87

Item 21

DONALD JOSEPH CO

*in design studio*

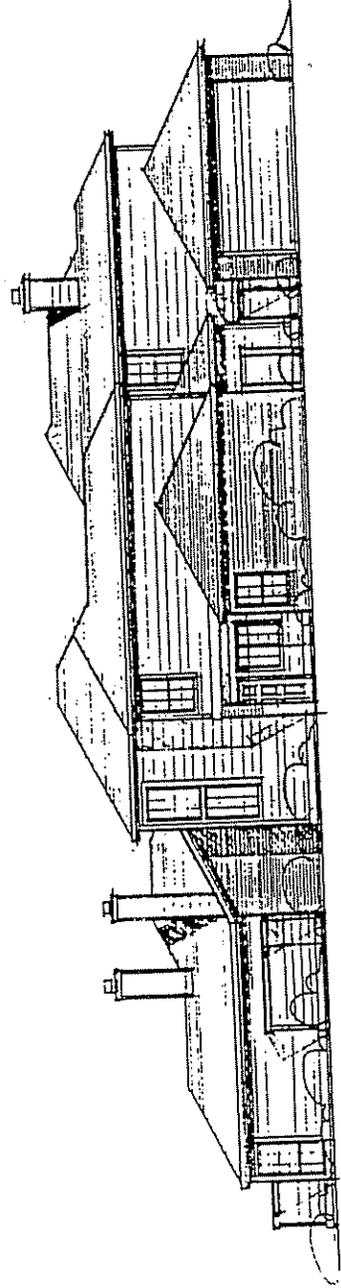
448 2044  
2310 1818 ST. ROCKFORD, IL

NO. DATE DRAWN REVISIONS

ELEVATION UNIT  
2, 3 & 1

4

D-4



ELEVATION UNIT 2, 3 & 1

*2/25/87*

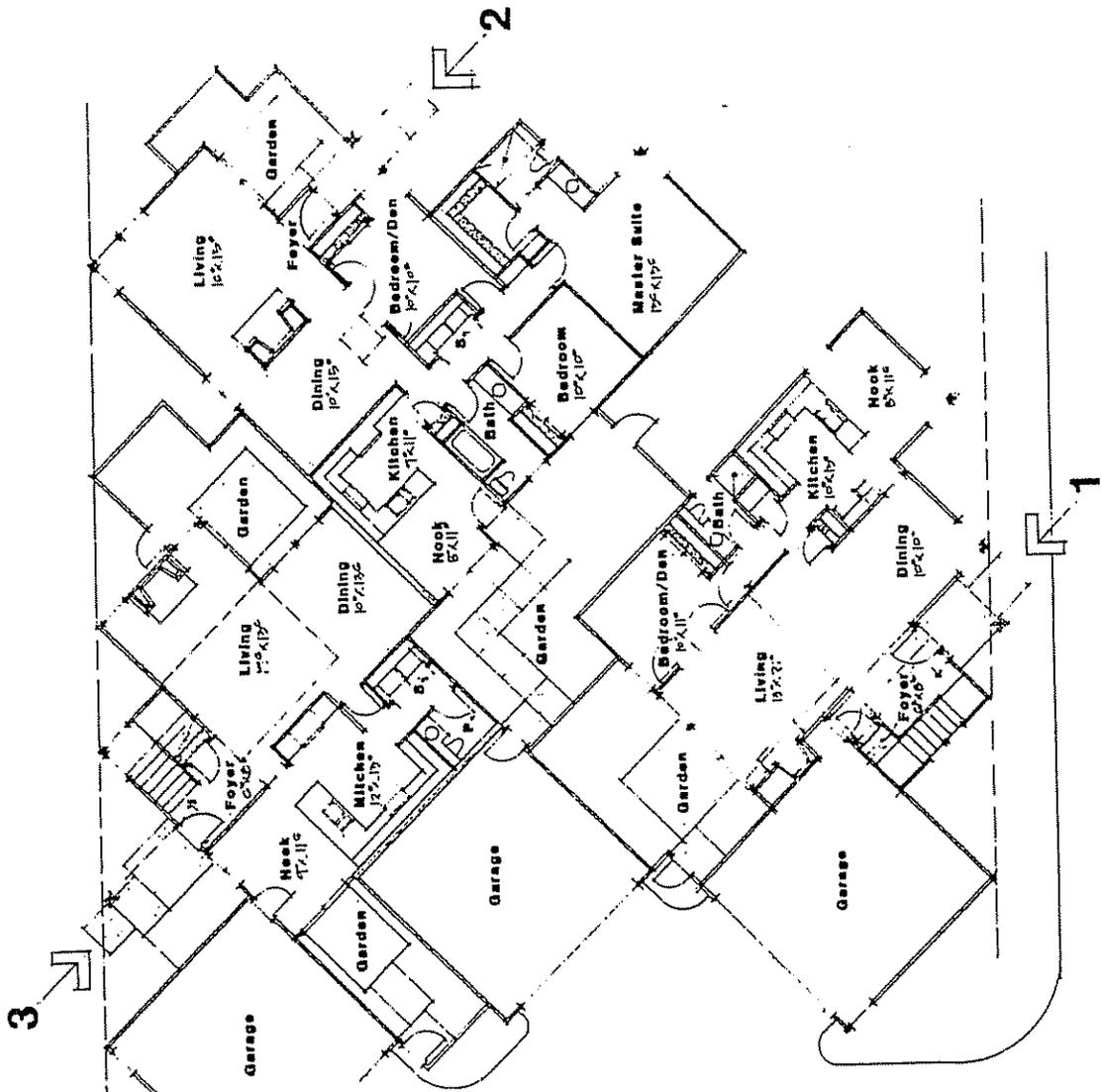
P87-130

4-9-87

Item 21

EXHIBIT E

E-1



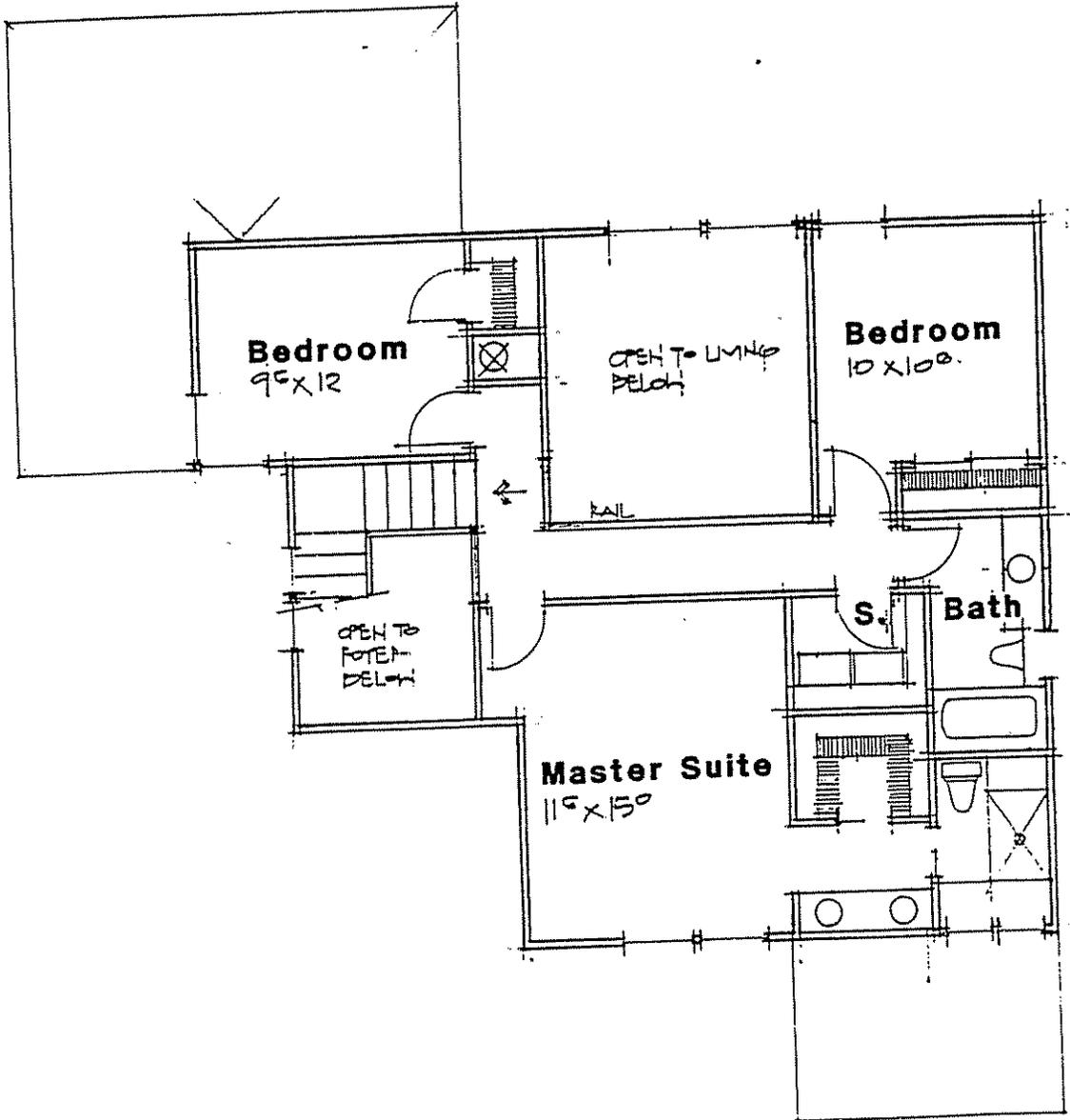
- Unit 1 1791 s.f.  
4 Bedroom  
3 Bath
- Unit 2 1408 s.f.  
3 Bedroom  
2 Bath
- Unit 3 1696 s.f.  
3 Bedroom  
2.5 Bath

**GROUND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 11/20/87 JG

P87-130

4-9-87

Item 21

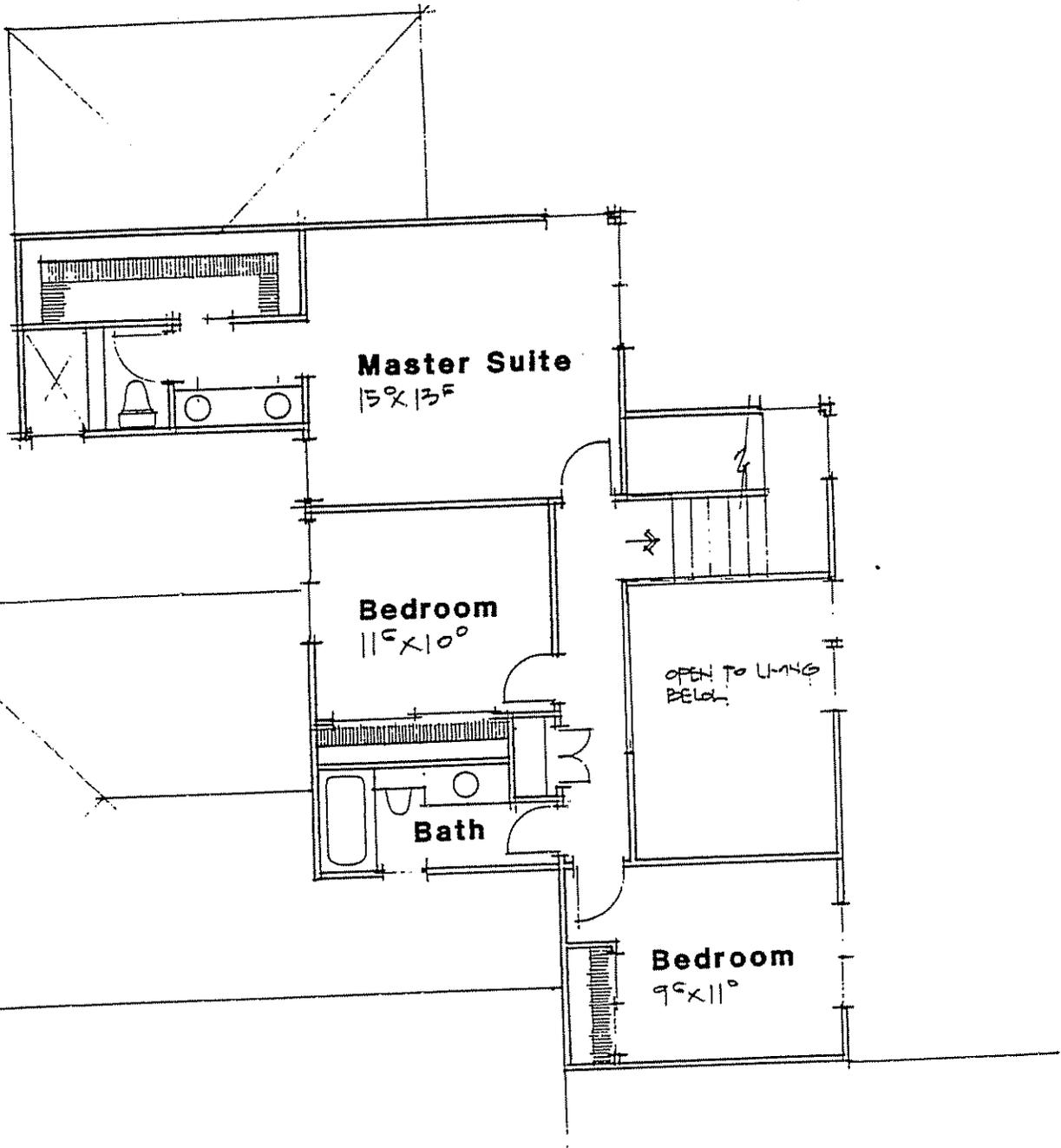


# SECOND FLOOR PLAN 1

SCALE: 1/8" = 1'-0"  
DPL 1-20-87  
P87-130

4-9-87

Item 21



# SECOND FLOOR PLAN 3

SCALE: 1/8" = 1'-0"  
DEL 1-20-87  
P87-130

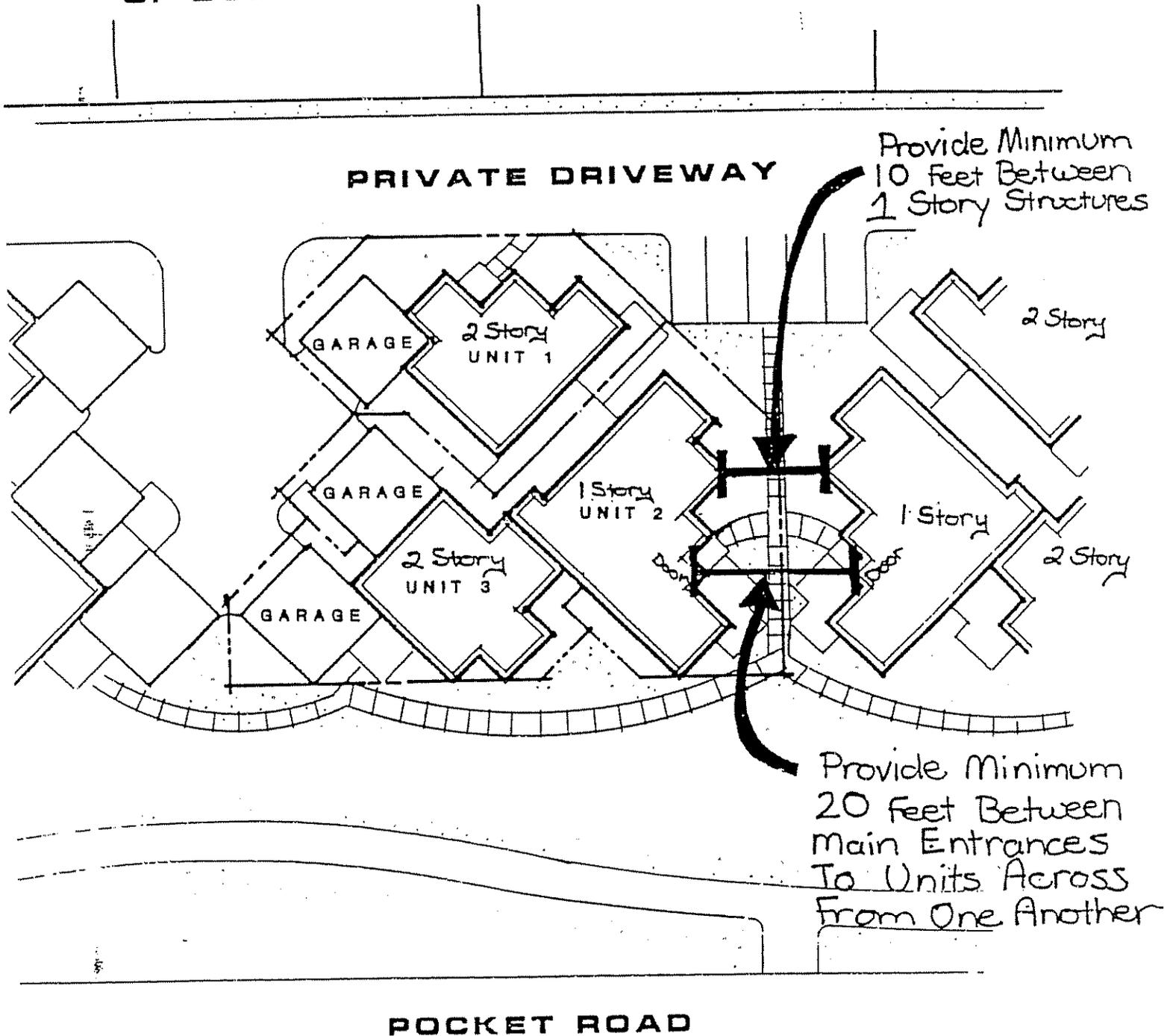
4-9-87

Item 21

# TYPICAL BUILDING CLUSTER

SCALE: 1" = 30'

EACH 3 UNIT CLUSTER CONTAINS 4,488 SQ. FT. OF BUILDING AREA.





#32



# CITY OF SACRAMENTO

DEPARTMENT OF PLANNING AND DEVELOPMENT  
1231 "I" Street Sacramento, Ca 95814

Administration  
Room 300 449-5571  
Building Inspections  
Room 200 449-5716  
Planning  
Room 200 449-5604

May 7, 1987

APPROVED BY CITY  
COUNCIL 5-12-87

City Council  
Sacramento, California

Honorable Members in Session:

- SUBJECT:
1. Environmental Determination
  2. Tentative Map (P87-131)

Location: Northwest corner of Pocket Road and West Shore Drive

### SUMMARY

This is a request to subdivide 3.9± vacant acres into 31 townhouse units and one common lot located in the Townhouse (R-1-A) zone. The Planning Commission and staff recommend approval of the Tentative Map subject to conditions.

### BACKGROUND INFORMATION

The subject site is a portion of C.P.P.T. PUD. The site is located between the linear parkway along Pocket road and the standard single family development known as Bridgeview at Riverlake. The site is designated for townhouse development in the Community Plan and the L.P.P.T. PUD Schematic Plan. The schematic plan limits density to 8 units per acre.

The applicant has submitted plans for 31 units located in three unit clusters, one and two stories in height. The clusters are set at an angle along Pocket Road to diminish the row effect often associated with linear townhouse development. Each unit has a two car garage and there are 79 additional guest parking spaces. The common lot will be landscaped and maintained by the L.P.P.T. homeowners association. A more detailed review of the project is contained in the attached Planning Commission report.

### VOTE OF THE PLANNING COMMISSION

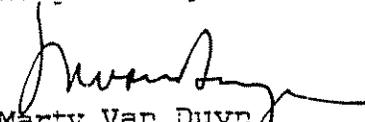
On April 9, 1987, the Planning Commission voted 5 ayes, 4 absent to recommend approval of the project subject to the attached conditions. On that date, the Planning Commission also approved a Special Permit for townhouse development.

RECOMMENDATION

The Planning Commission and staff recommends the following actions by the City Council:

1. Ratify the Negative Declaration
2. Adopt the attached Resolution adopting Findings of Fact and approving the Tentative Map subject to the attached conditions

Respectfully submitted,



Marty Van Duyn  
Planning Director

FOR CITY COUNCIL INFORMATION  
WALTER J. SLIPE  
CITY MANAGER

MVD:SD:rt  
attachments

May 12, 1987  
District No. 8

P87-131

## RESOLUTION No.

Adopted by The Sacramento City Council on date of

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A TENTATIVE MAP FOR PROPERTY LOCATED ON THE NORTHWEST CORNER OF POCKET ROAD AND WEST SHORE DRIVE

(P87-129) (APN: 031-1030-036)

WHEREAS, the City Council on May 12, 1987, held a public hearing on the request for approval of a tentative map for property located on the northwest corner of Pocket Road and West Shore Drive;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the City Planning Commission has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.

3. The proposed subdivision, together with the provisions for its design and improvement, is consistent with Chapter 40 of the City Code, which is a Specific Plan of the City. The proposed is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for Townhouse in the 1976 South Pocket Community Plan and the proposed map conforms with the plan designation.
4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
  - a. Prepare a sewer and drainage study for the review and approval of the City Engineer.
  - b. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
  - c. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.
  - d. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code.
  - e. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvements plans referencing this condition.

- f. All driveways and entrances shall be to the satisfaction of the City Traffic Engineer.
- g. Minimum lot pad grade = 4.0 feet; minimum gutter grade - 2.5 feet.
- h. Show reciprocal access, sewer, water and drainage easements on final map.
- i. Cannot file final map until Bridgeview Subdivision is under construction and filed.
- j. Pay Pocket Bridge fees.
- k. Comply with provisions of development agreement between LPPT and City of Sacramento.
- l. Dedicate Lot A as a PUE including underground electrical facilities and appurtenances excepting therefrom any building pads.
- m. The applicant shall enter into an agreement with the Regional Transit District to provide a bus shelter on Pocket Road.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK

P87-131



# Sacramento City Planning Commission VOTING RECORD

MEETING DATE  
April 9, 1987

ITEM NUMBER  
22B

PERMIT NUMBER  
P 87-131

## ENTITLEMENTS

- |   |   |
|---|---|
| <input type="checkbox"/> GENERAL PLAN AMENDMENT   | <input checked="" type="checkbox"/> TENTATIVE MAP |
| <input type="checkbox"/> COMMUNITY PLAN AMENDMENT | <input type="checkbox"/> SUBDIVISION MODIFICATION |
| <input type="checkbox"/> REZONING                 | <input type="checkbox"/> LOT LINE ADJUSTMENT      |
| <input type="checkbox"/> SPECIAL PERMIT           | <input type="checkbox"/> ENVIRONMENTAL DET.       |
| <input type="checkbox"/> VARIANCE                 | <input type="checkbox"/> OTHER _____              |

STAFF RECOMENDATION  
 Favorable  Unfavorable  
*with conditions*  
 Correspondence  
 Petition

LOCATION  
Northwest corner of Pocket Road + West Chase Drive

P  
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S

NAME	ADDRESS

O  
P  
P  
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N  
E  
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NAME	ADDRESS

### MOTION#

	MOTION#		MOTION SECOND
	YES	NO	
Chinn	✓		
Ferris	<i>absent</i>		
Goodin	✓		✓
Hollick	<i>absent</i>		
Holloway	<i>absent</i>		
Ishmael	✓		
Otto	✓		✓
Walton	<i>absent</i>		
Ramirez	✓		

### MOTION

- |   |   |
|---|---|
| <input type="checkbox"/> TO APPROVE   | <input type="checkbox"/> TO RECOMMEND APPROVAL & FORWARD TO CITY COUNCIL                            |
| <input type="checkbox"/> TO DENY  | <input checked="" type="checkbox"/> TO RECOMMEND APPROVAL SUBJECT TO COND & FORWARD TO CITY COUNCIL |
| <input type="checkbox"/> TO APPROVE SUBJECT TO COND & BASED ON FINDINGS OF FACT IN STAFF REPORT | <input type="checkbox"/> TO RATIFY NEGATIVE DECLARATION   |
| <input type="checkbox"/> TO APPROVE/DENY BASED ON FINDINGS OF FACT IN STAFF REPORT              | <input type="checkbox"/> TO CONTINUE TO _____ MEETING   |
| <input type="checkbox"/> INTENT TO APPROVE/DENY SUBJECT TO COND & BASED ON FIND OF FACT DUE     | <input type="checkbox"/> OTHER _____  |

# CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Donald Joseph, Inc., 2210 16th Street, Sacramento, CA 95818  
OWNER L&P Pacific Teichert, 6355 Riverside Blvd., Suite C, Sacramento, CA 95831  
PLANS BY Donald Joseph, Inc., and Spink Corporation, P.O. Box 1311, Sacramento, CA  
FILING DATE 3/9/87 ENVIR. DET Neg. Dec. 3/30/87 REPORT BY JP:kh  
ASSESSOR'S-PCL. NO. 031-1u30-036

- APPLICATION:
- A. Negative Declaration
  - B. Tentative Map to divide 3.9± net acres into 31 townhouse lots and one common lot
  - C. Special Permit for a 31 unit townhouse development

LOCATION: Northwest corner of Pocket Road and West Shore Drive

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 31 unit residential development adjacent to the linear parkway in the LPPT-PUD (Site 23 LPPT Schematic Plan)

PROJECT EVALUATION:

1974 General Plan Designation:	Residential
1976 South Pocket Community Plan Designation:	Low-Density Residential LPPT-PUD
LPPT-PUD Schematic Plan Designation:	Site 23 - Townhouse - 8 du/ac maximum
Existing Zoning of Site:	R-1A PUD
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:

North: Vacant; R-1 PUD  
South: Vacant; Single Family; A  
East: Vacant; R-1A PUD  
West: Single Family; R-1

Parking Required:	50 spaces
Parking Provided:	31 2-car garage (62 spaces); 26 guest spaces
Property Dimensions:	Irregular
Property Area:	3.9± acres
Density of Development:	8 du per acre
Square Footage of Building:	Unit 1: 1,791 sq. ft.; Unit 2: 1,408 sq. ft. Unit 3: 1,696 sq. ft.
Height of Building:	28'
Exterior Building Materials:	Wood, brick, stucco
Exterior Building Colors:	Earth tones, red brick

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On March 25, 1987, by a vote of five ayes, four absent, the Subdivision Review Committee voted to recommend approval of the tentative map subject to conditions.

PROJECT EVALUATION: Staff has the following comments regarding this proposal:

A. Land Use and Zoning:

The subject site consists of a vacant parcel totaling 3.9+ net acres located in the Townhouse (R-1A) zone and LPPT-PUD. Surrounding land uses include: vacant land approved for single-family residences to the north (Bridgeview at Riverlake); farm land with single-family residences zoned Agricultural (A) to the south; vacant land zoned R-1A-PUD to the east; and single-family residences under construction to the west. The site is designated for Low-Density Residential uses by the 1976 South Pocket Community Plan.

As noted, the site is located in the LPPT-PUD. The original PUD approval indicated that on Sites 21, 22 and 23, a 40- to 50-foot wide linear parkway would be created along Pocket Road in conjunction with future residential development (Exhibit A). An additional 20 feet of curb, gutter, meandering sidewalk and landscaping would occur within the public right-of-way adjacent to Pocket Road. Staff was supportive of this design concept as it would discourage on-street parking along Pocket Road, develop an attractive frontage along Pocket Road and eliminate the need for a buffer wall between the street and proposed residential uses. The linear parkway concept was approved, the three sites zoned R-1A PUD, and landscaping within the public right-of-way has been completed.

The applicant is requesting a tentative map and special permit to develop 31 residential units allowing for individual ownership and one common lot on Site 23 of the LPPT-PUD (Exhibits B-E). The proposed density is eight units per acre. This proposed land use is consistent with the community plan designation and the LPPT-PUD schematic plan designation for the site.

B. Site Plan Design

The project is designed so that the residences are in three-unit clusters of one single-story unit and two two-story units. The three units are set at an angle to Pocket Road to diminish the "row effect" often associated with linear townhouse developments. The three-unit clusters are designed to share a motor court cul-de-sac with another cluster. These motor courts are placed behind the residences. The intent of the applicant is to provide a view from Pocket Road which emphasizes the linear parkway, landscaped common areas and the residential units, and which screens the motor court areas from Pocket Road.

Overall, planning staff finds the site plan to be innovative and well-designed. Staff recommends that a minimum five-foot landscape setback, 10-foot building setback and six-foot high solid fence be provided along the north property line to provide privacy to future residents of the adjacent single-family subdivision. A minimum of 10 feet between the one-story portion of the building clusters should be provided in order to provide adequate access to the units and prevent a canyon effect from occurring between clusters. Twenty feet between the main entrances to units across from one another should also be provided (Exhibit F).

The applicant has also indicated one detached unit that is not a part of a building cluster on the western portion of the site in order to allow the maximum number of units to be constructed on the site. Plans for this unit have not been finalized. Staff recommends that the plans for this unit be subject to Planning Director's review and approval prior to issuance of building permits to insure design compatibility with the remainder of the site.

The LPPT Development Agreement indicates that the developer is responsible for the development and maintenance of the linear park. The CC&Rs for the development will obligate the owners' association to provide for the maintenance of the linear park. Planning staff recommends that landscape plans for the linear park be reviewed by the Planning Director and Director of Community Services prior to issuance of building permits.

Several of the private patios for the residential units are indicated in the linear parkway (Exhibit C). These patio areas and any patio walls or fences must be located out of this required landscaped setback area.

A walkway is also indicated leading from a residential unit to the public right-of-way (West Shore Drive). Staff recommends that any private walkway crossing the linear parkway or a required landscaped setback and connecting a residential unit with the public right-of-way, be prohibited as the walkway would encourage on-street parking.

#### C. Circulation and Parking

The applicant has indicated two forms of entrance to the development: three driveway entrances off of Pocket Road; and entrances off of three cul-de-sacs in the Bridgeview at Riverlake subdivision. Planning staff was concerned that all of the Pocket Road driveways connected this major street with the single-family subdivision to the north and that these driveways may be used as a short-cut by residents who live in the subdivision. The applicant has indicated that the site plan will be revised so that the Pocket Road entrances and cul-de-sac entrances to the development do not connect.

Fifty (50) parking spaces are required for the proposed development. The applicant is providing 31 two-car garages (62 spaces) and 26 guest parking spaces. This number exceeds the minimum amount of parking required. Eight of the guest parking spaces are located in the linear parkway (Exhibit C). These spaces will need to be relocated out of the parkway or removed.

#### D. Building Design

As noted above, with the exception of one unit, the proposed residences are in three-unit clusters consisting of one single-story unit and two two-story units. All three units have one-story garages. The two story/one story mix provides a variety of movement to the elevations and each building cluster takes on a different appearance when viewed from one of its four sides (Exhibit D). Proposed building materials are wood, brick and stucco, and proposed colors are earth tones. Staff finds the proposed elevations to be unique and well-designed and has determined that the residential units will be compatible with the single-family residences that will be constructed in the adjacent subdivision.

#### E. Other Agency Comments

The project site plan has been reviewed by the City Fire, Police, Engineering and Traffic Engineering Divisions. The following comments were received:

1. Fire Department - All entrances to residences shall be within 150 feet of the street; and fire hydrant spacing shall be 300 feet apart.

2. Police Department - Access to the site to be approved by Police and Fire Departments.
3. Engineering Division - Comply with the requirements of the LPPT Development Agreement and follow the improvements for Bridgeview at Riverlake.
4. Traffic Engineering Division - Provide a circulation plan for the cul-de-sac entrances; and driveway entrances to meet City standards and be located to the satisfaction of the City Traffic Engineer.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration subject to the following mitigation measure:

The project is located in an area of potential archaeological sensitivity, consequently, the applicant shall comply with the following:

if unusual amounts of bone, shell, or artifacts are uncovered, work within 50 meters of the area will stop immediately and a qualified archaeologist will be consulted to develop if necessary further mitigation measures to reduce any archaeological impacts to a less than significant level, before construction continues.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratification of the negative declaration;
- B. Recommend approval of the tentative map subject to conditions; and
- C. Approve the special permit for a 31-unit townhouse development subject to conditions and based upon findings of fact which follow.

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Prepare a sewer and drainage study for the review and approval of the City Engineer.
2. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
3. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.
4. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80 percent south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code.

5. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
6. All driveways and entrances shall be to the satisfaction of the City Traffic Engineer.
7. Minimum lot pad grade = 4.0 feet; Minimum gutter grade = 2.5 feet.
8. Show reciprocal access, sewer, water and drainage easements on final map.
9. Cannot file final map until Bridgeview Subdivision is under construction and filed.
10. Pay Pocket Bridge fees.
11. Comply with provisions of development agreement between LPPT and City of Sacramento.
12. Driveways and entrances shall be to the satisfaction of the City Traffic Engineer.
13. Dedicate Lot A as a PUE including underground electrical facilities and appurtenances excepting therefrom any building pads.
14. The applicant shall enter into an agreement with the Regional Transit District to provide a bus shelter on Pocket Road.

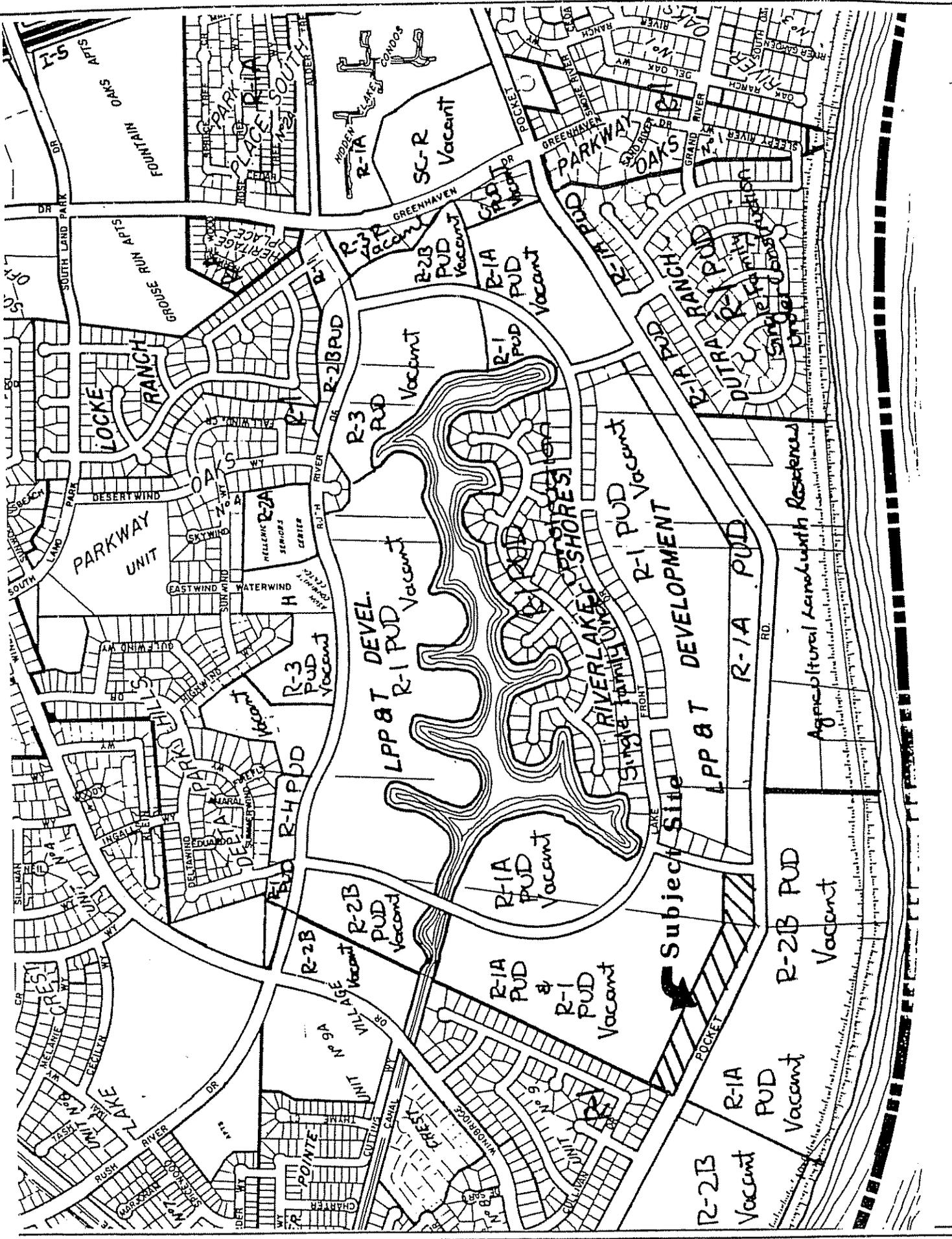
Conditions - Special Permit

1. A revised site plan indicating the following modifications shall be submitted for Planning Director review and approval prior to issuance of building permits:
  - a. All parking spaces, patios, patio walls and/or fences and walkways connecting residential units with the public right-of-way shall be relocated outside of the linear parkway and any required landscape setback or eliminated from the site plan.
  - b. Driveways shall not connect Pocket Road with the adjacent single-family subdivision to the north.
  - c. A minimum 25-foot landscaped setback shall be provided adjacent to West Shore Drive and a minimum five-foot landscaped setback shall be provided adjacent to the north property line.
  - d. A minimum of 10-foot building setback shall be provided adjacent to the north property line.
  - e. A minimum of 10 feet shall be provided between the one-story portion of the building clusters and a minimum of 20 feet between the main entrances to units across from one another, shall be provided as shown in Exhibit F.

2. Site plan, floor plans and elevations for the one-unit structure on the western portion of the site shall be submitted for Planning Director's review and approval prior to issuance of building permits. The unit shall be a minimum of 10 feet from the north and west property lines and from the adjacent three-unit cluster.
3. Landscape and irrigation plans for the linear parkway, required setback areas and common areas shall be submitted for the review and approval of the Planning Director and Director of Community Services prior to issuance of building permits.
4. A six-foot high solid fence shall be provided adjacent to the north property line.
5. All parking spaces shall meet the width, depth and maneuvering requirements of the City Zoning Ordinance.
6. The project shall meet the access requirements of the City Fire and Police Departments.
7. The project shall meet the driveway requirements of the City Traffic Engineering Division.
8. Any proposed project identification signs shall be subject to Planning Director review and approval prior to issuance of sign permits.
9. The project shall comply with all applicable regulations of the LPPT-PUD Guidelines and LPPT-PUD Development Agreement.
10. Prior to approval of the final inspection of the project by the City Building Division, the Planning Director shall inspect the project for compliance with all conditions of the special permit.

#### Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the proposed cluster home/townhouse development is compatible with ~~the~~ proposed single family and multiple family development for the area.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare or result in the creation of a nuisance in that adequate parking, landscaping and building setbacks will be provided.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for Low-Density Residential Use by the 1976 South Pocket Community Plan and the proposed cluster home/townhouse use conforms with the plan designation.



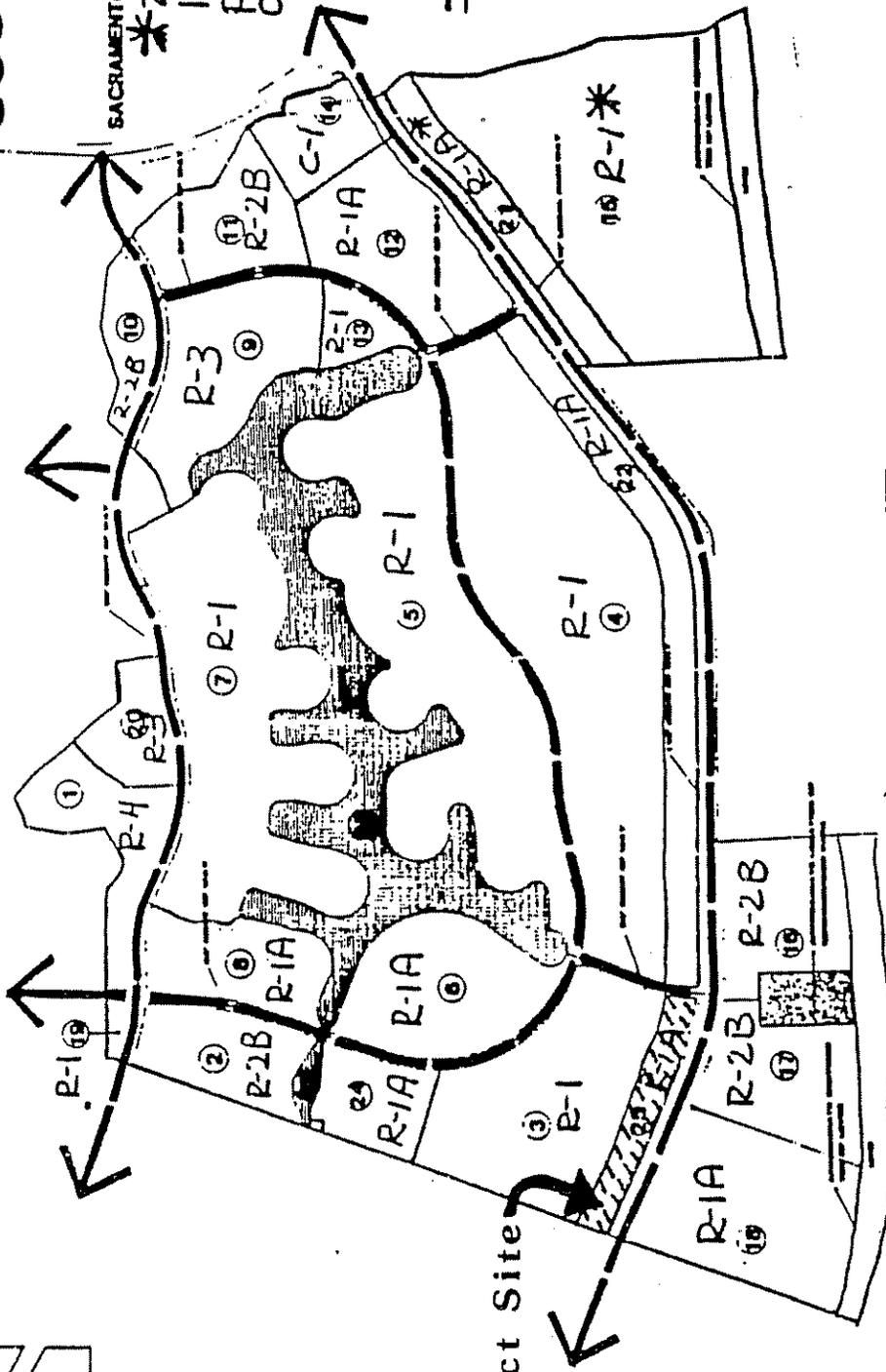
VICINITY - LAND USE - ZONING Item 27

**SOUTH POCKET**

**L.P.P.T.**

SACRAMENTO CALIFORNIA

\*Zoning for sites 15 and 21 have previously been approved under P85-164 (Dutra Ranch)



Subject Site

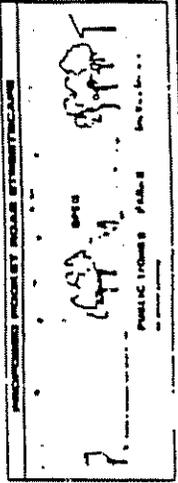
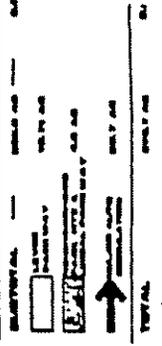
SCHEMATIC PLAN

**LAND USE**

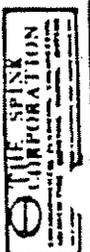
**EXHIBIT**

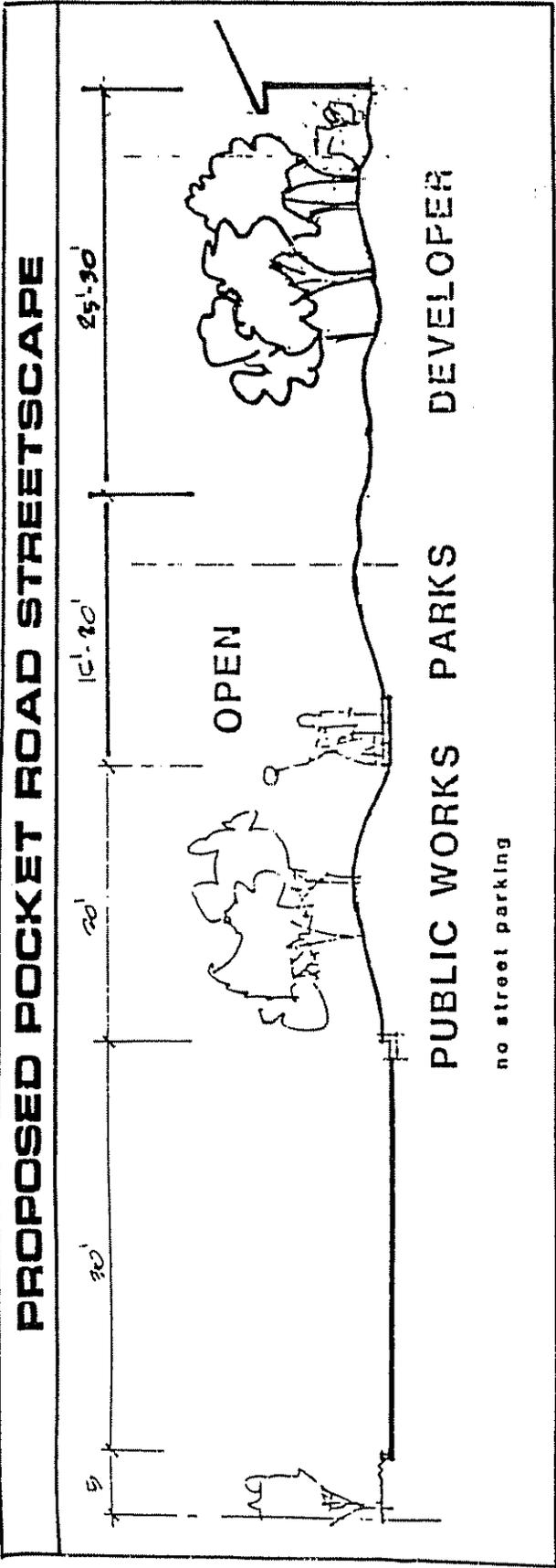
**DETAILED INFORMATION**

NO.	DESCRIPTION	AREA (AC)	PERCENT
1	...	...	...
2	...	...	...
3	...	...	...
4	...	...	...
5	...	...	...
6	...	...	...
7	...	...	...
8	...	...	...
9	...	...	...
10	...	...	...
11	...	...	...
12	...	...	...
13	...	...	...
14	...	...	...
15	...	...	...
16	...	...	...
17	...	...	...
18	...	...	...
19	...	...	...
TOTAL	...	...	...



LAND PLANNING  
ANTHONY M. SULLIVAN  
AND ASSOCIATES INC.

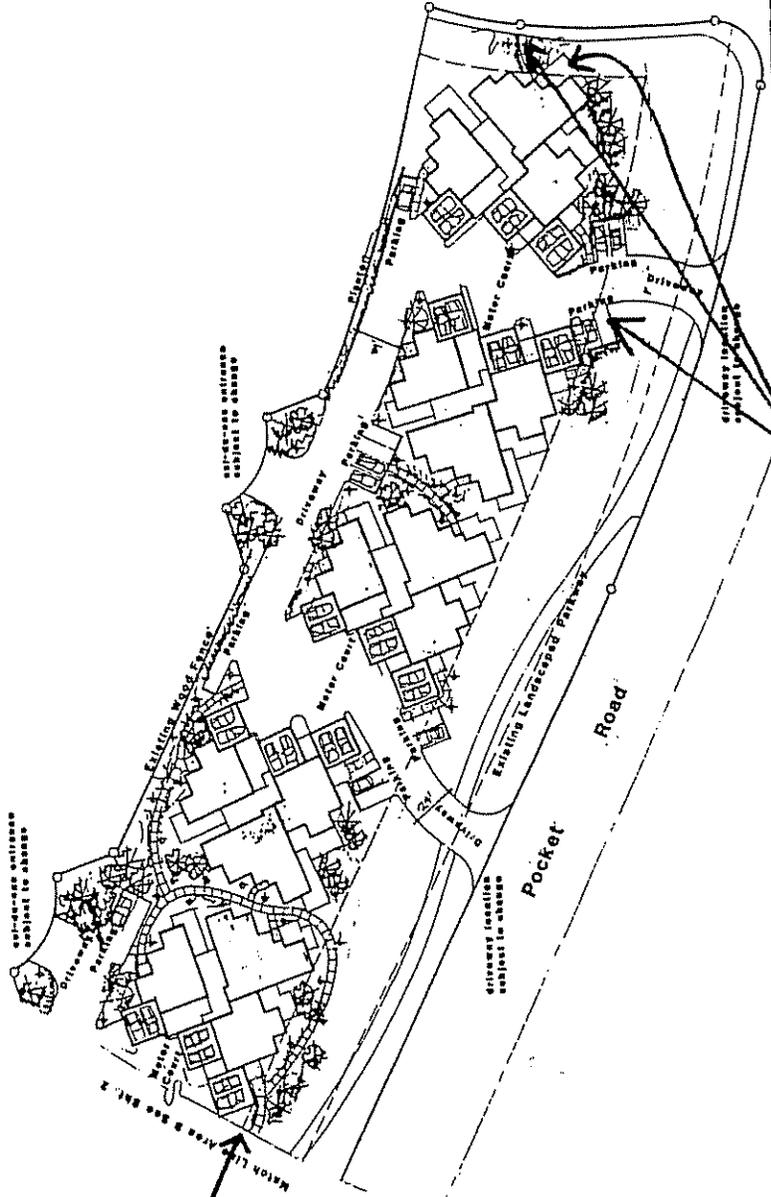




# EXHIBIT C

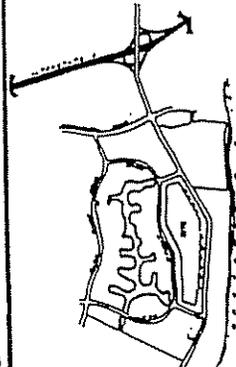
## C-1

West Shore Drive



60' Setback Line

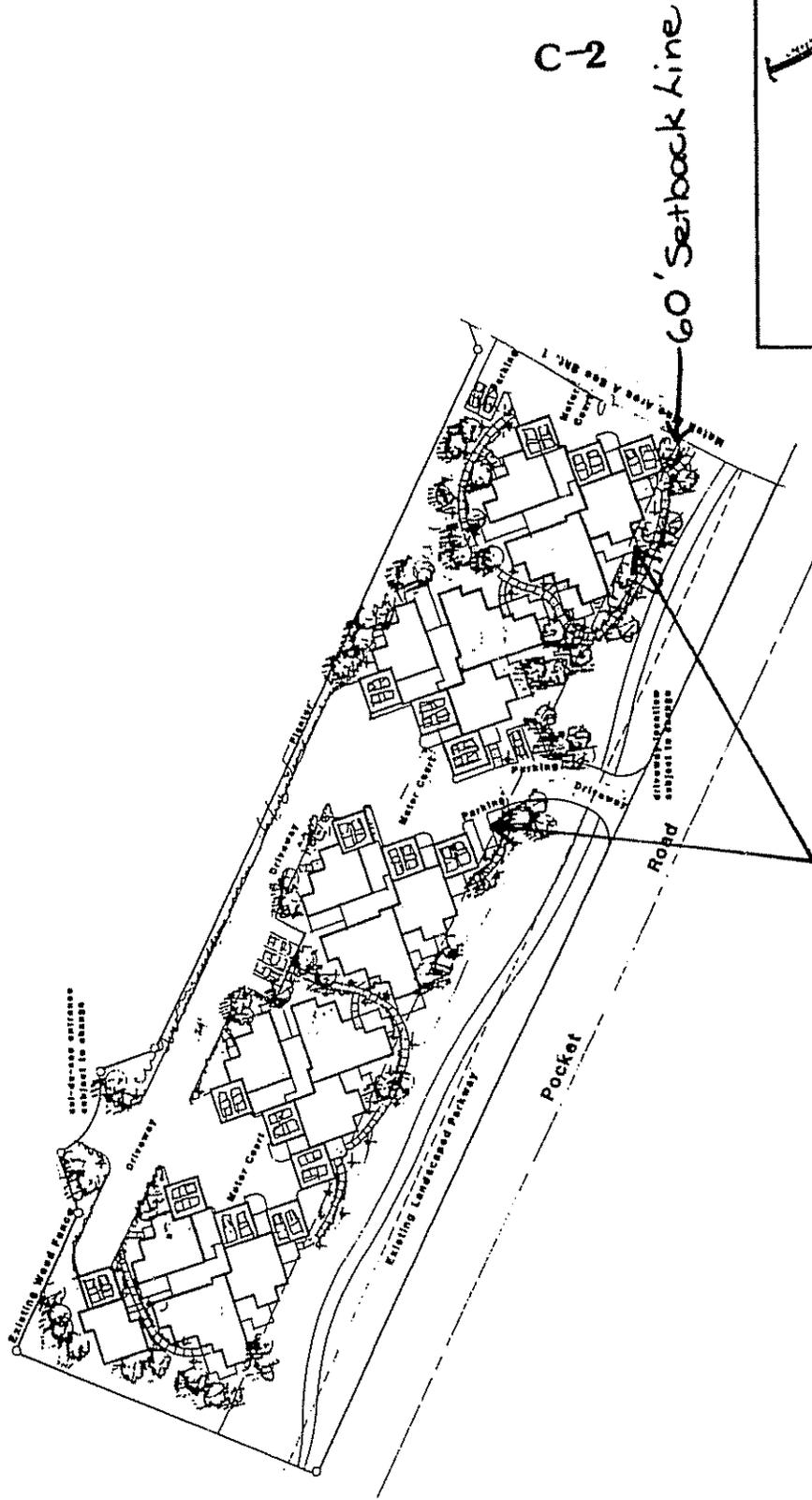
Remove all parking, patio areas and private walks leading to public right-of-way from linear parkway and landscaped setbacks (example)



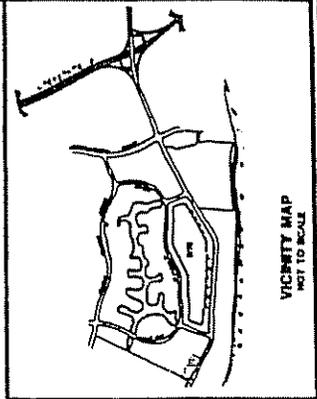
VICINITY MAP NOT TO SCALE

Partial Site Plan:  
 LOT 23 of Bridgeview at Riverlake:  
 DATE: 4-9-87





Remove all parking and patio areas from linear parkway (example)



Partial Site Plan  
LOT 23 of Bridgeview at Riverlake  
Scale 1"=50'



410 2805  
2210 18TH ST. BOSTON, MA

*in design studio*

DONALD JOSEPH CO

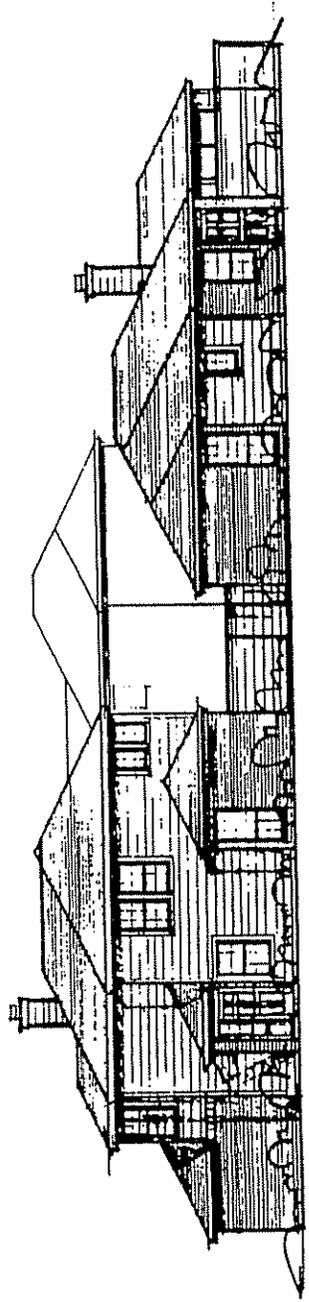
CONVISIONS  
DESIGN  
SCALE  
DATE  
JOB

ELEVATION UNIT 1 & 2

1

EXHIBIT D

D-1



ELEVATION UNIT 1 & 2

DONALD JOSEPH CO

as shown on drawings

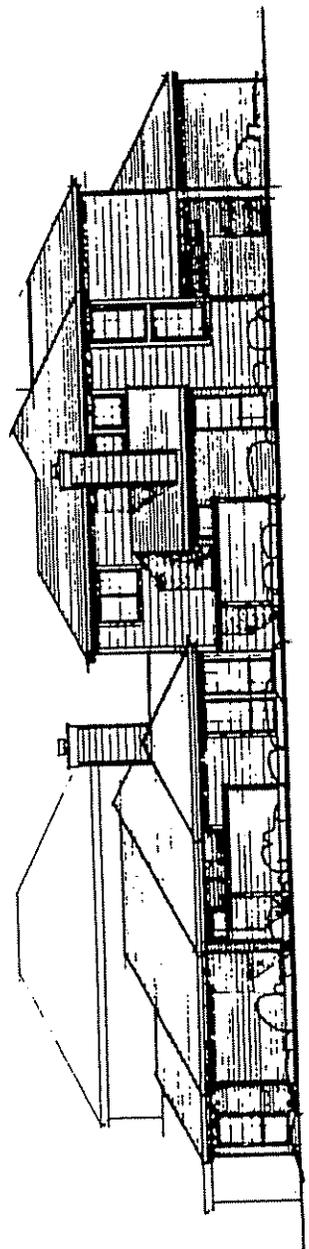
440 - 2841  
2210 18th St. Sacramento, CA

DATE  
DRAWN  
REVISIONS

ELEVATION UNIT 2 & 3

2.

D-2



ELEVATION UNIT 2 & 3

Scale: 1/4" = 1'-0"

DONALD JOSEPH CO

or other in hand

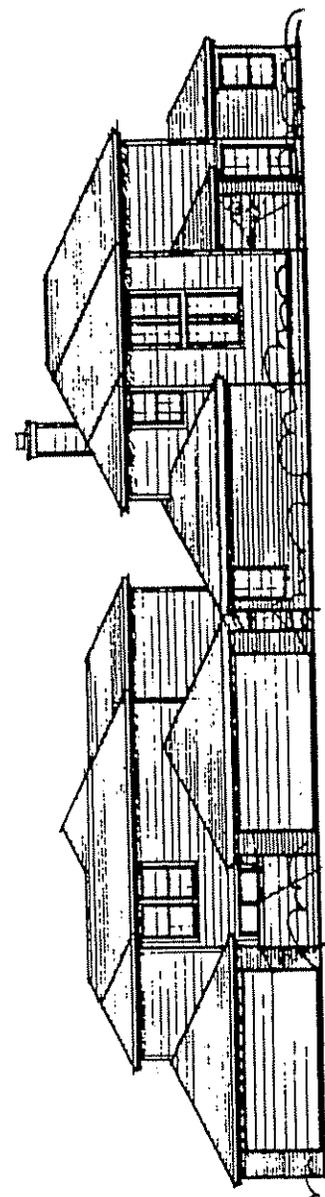
448 2848  
2810 1818 ST. BIRMINGHAM, AL

NO. DATE DRAWN REVISIONS

ELEVATION UNIT 3 & 1

3

D-3



ELEVATION UNIT 3 & 1

DATE: 10/11/87

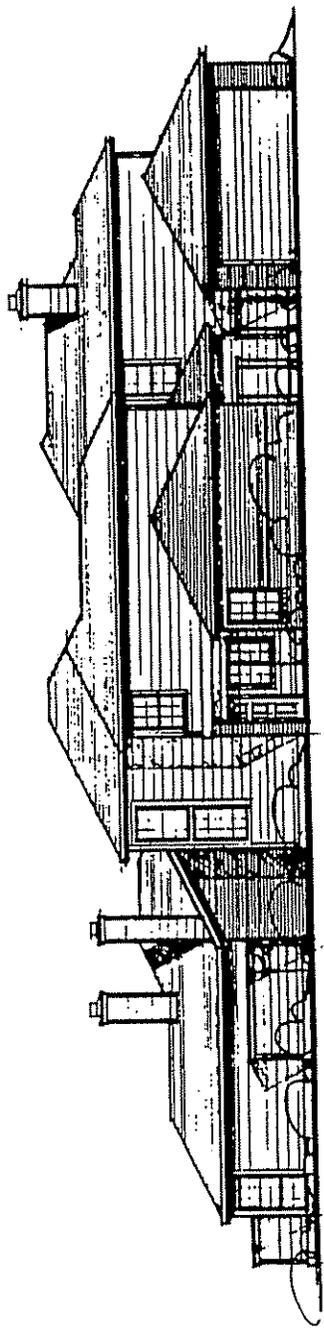
DONALD JOSEPH CO  
in design studio  
448 2222 2210 1818 2210 1818 2210 1818

REVISIONS  
DATE  
BY

ELEVATION UNIT  
2, 3 & 1

4

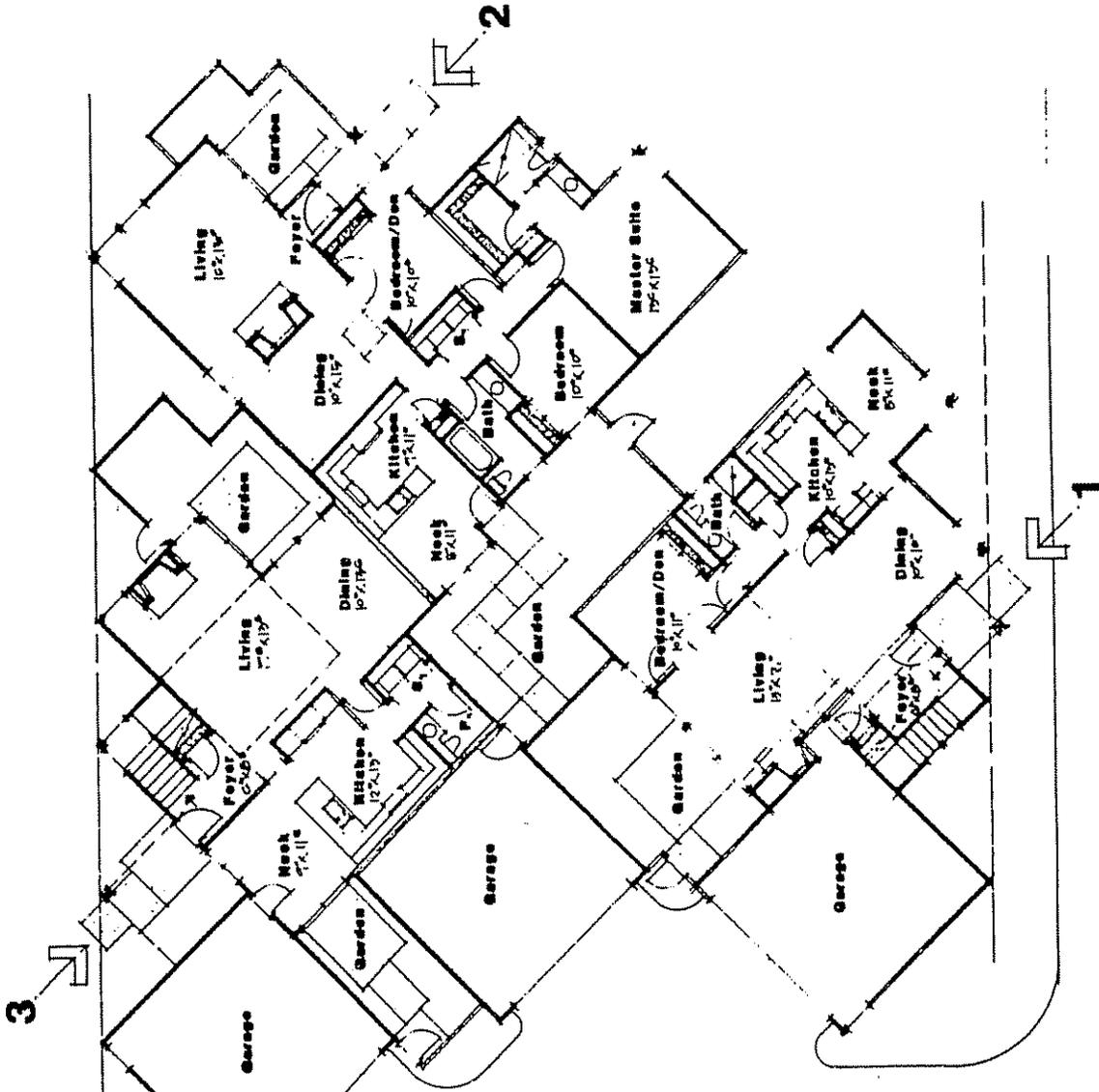
D-4



ELEVATION UNIT 2, 3 & 1  
DATE: 10/1/01

EXHIBIT E

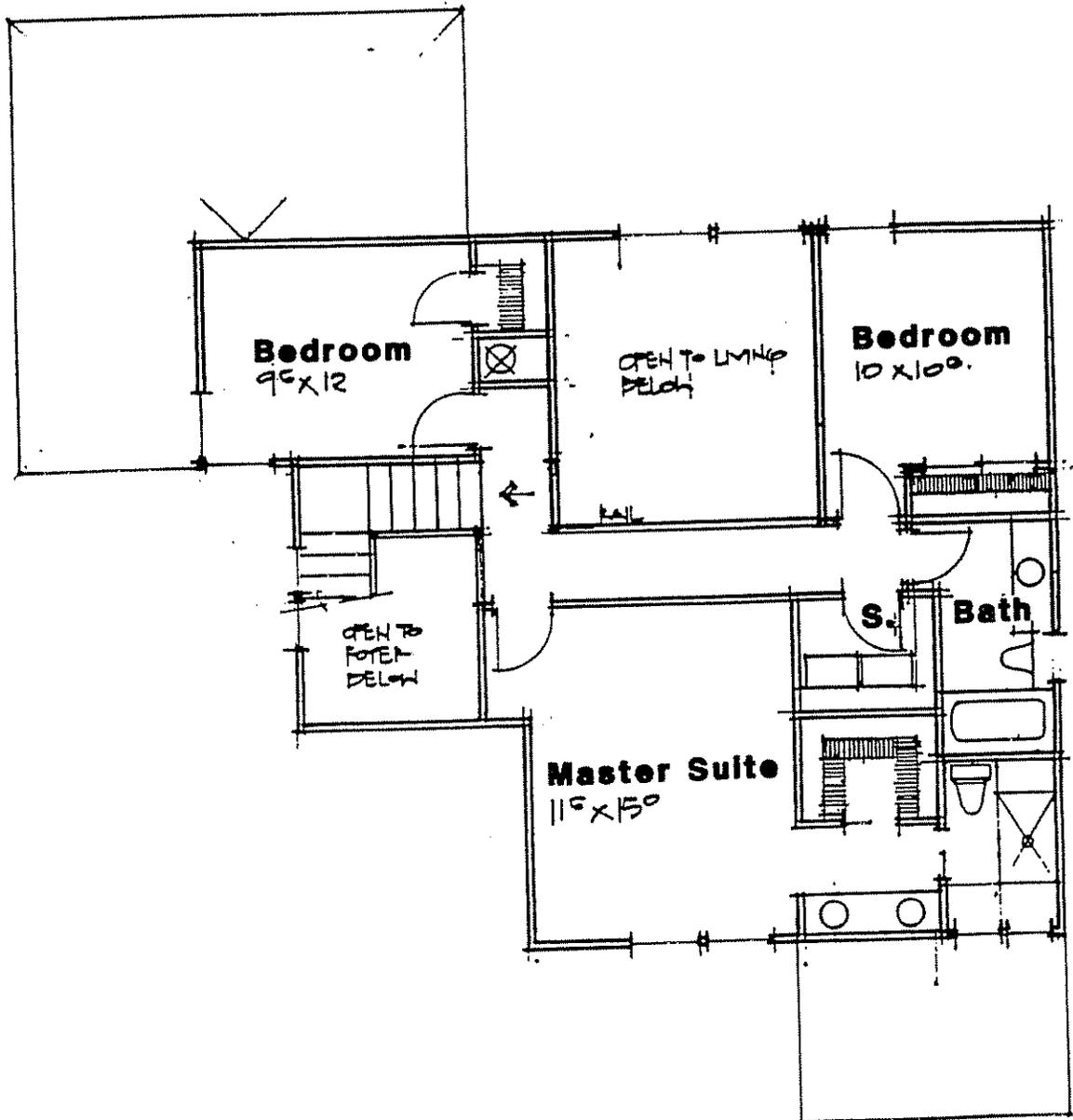
E-1



- Unit 1 1791 s.f.  
 4 Bedroom  
 3 Bath
- Unit 2 1408 s.f.  
 2 Bedroom  
 2 Bath
- Unit 3 1696 s.f.  
 3 Bedroom  
 2.5 Bath

GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"  
 DATE: 11-11-87



# SECOND FLOOR PLAN 1

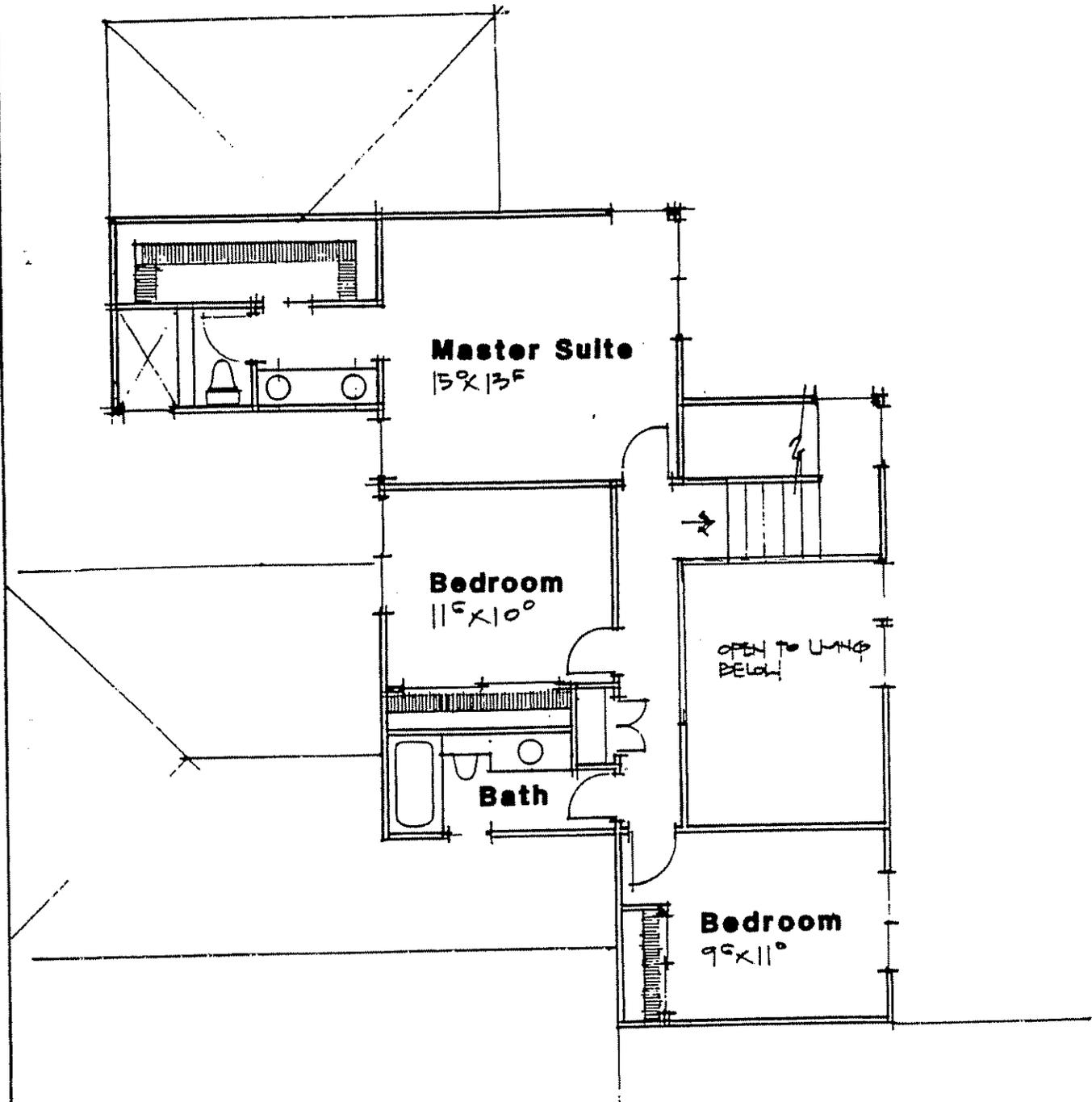
SCALE: 1/8" = 1'-0"  
DPL 1-20-87

4-9-87

Item 2

P87-131

E-3



# SECOND FLOOR PLAN 3

SCALE: 1/8" = 1'-0"  
DEL 1-20-87

P87-131

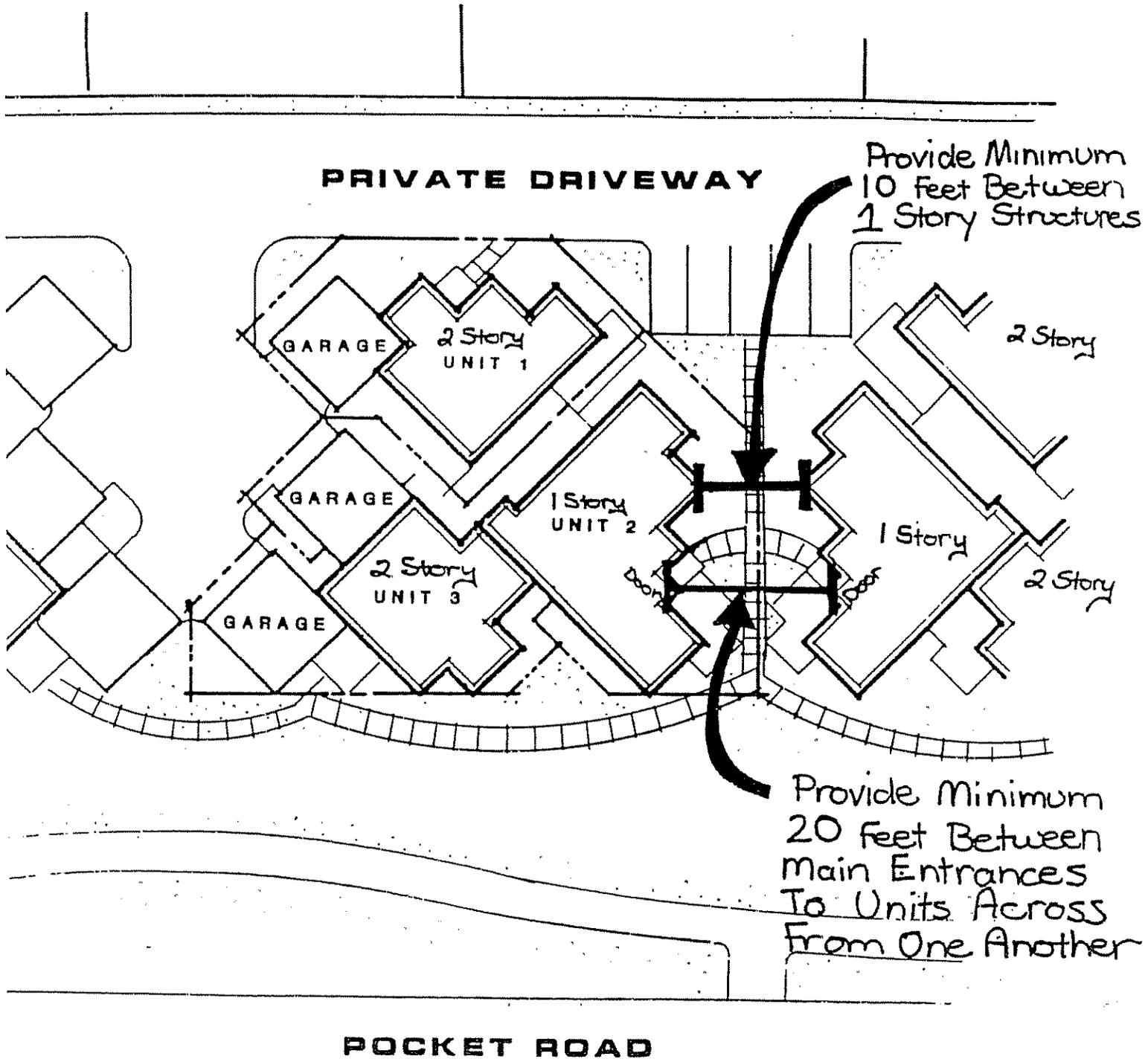
4-9-87

Item 22

# TYPICAL BUILDING CLUSTER

SCALE: 1" = 30'

EACH 3 UNIT CLUSTER CONTAINS 4,488 SQ. FT. OF BUILDING AREA.



# Riverlake Community Association

January 6, 2005

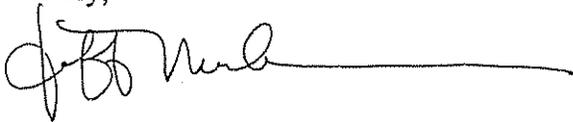
City Council Members  
City of Sacramento  
915 I Street  
Sacramento, California 95814

RE: Islands at Riverlake

Dear Council Members:

The attached Resolution dated August 17, 2005, reflects the current position of the Board of Directors of the Riverlake Community Association regarding the proposed Islands at Riverlake development.

Sincerely,

A handwritten signature in black ink, appearing to read "Jeff Marschner", followed by a long horizontal line extending to the right.

Jeff Marschner  
President

attachment

## **RESOLUTION No. RCA 05-001**

### **OF THE BOARD OF DIRECTORS OF THE RIVERLAKE COMMUNITY ASSOCIATION**

#### **Re: Islands at Riverlake Project**

**Whereas**, the Islands at Riverlake project by Regis Homes of Northern California, Inc has been proposed for a 20+ acre parcel along Pocket Road and in fact construction has begun; and

**Whereas**, the Board is aware that there are persons in the Riverlake community who support the project and those who oppose the project; and,

**Whereas**, the Board's resolution in this matter represents the positions of individual Board members voting to promote the overall best interests of the Association; and,

**Whereas**, subsequent to the Board's last stated position on the project, that construction substantially began, resulting in changed circumstances affecting the Board's position, as reflected below; and,

**Whereas**, the Islands at Riverlake property is in a state of physical and visual disarray due to a suspension of construction activities by order of the Appellate Court, and now presents a visual blight to those traveling along Pocket Road. Unfinished construction activities have resulted in weeds, piles of dirt, exposed pipe, temporary asphalt sidewalks and orange construction fencing throughout the project; and,

**Whereas**, failure to proceed with the Islands at Riverlake project will likely cause an indefinite continuance of this condition, to the detriment of Riverlake area residents; and,

**Whereas**, the Board has met with the developer and area residents over a period of several years in its role of evaluating the project for the conceptual approval by the Association. In this role, the Board has influenced several project changes that were beneficial to the project and the community; and,

**Whereas**, while the Board has stated objections to certain details of the project, it finds that overall it does not constitute an aesthetic detriment to the community; and,

**Whereas**, the Islands at Riverlake project has tentatively been approved for annexation by a 96% vote of RCA members voting, evidencing a strong sentiment by members for RCA controls of this substantial addition to the Riverlake community; further that any future project will not necessarily request annexation to Riverlake; and,

**Whereas**, annexation of the project will provide income to the Association to defray any additional administrative costs and will reduce the current amount of payment by current Association members for maintenance of the Pocket Road greenbelt; and,

**Whereas**, the developer of the Islands at Riverlake project has cooperated in submitting construction details for review by the Riverlake Architectural Control Committee to promote architectural consistency with the community; further that any future project may choose not to cooperate in such a manner; and,

**Whereas**, the density level of 139 residential units on the project is possible only because of a development agreement that existed between LPPT and the city, under which Regis commenced this project before its expiration, a future project would not have the benefit of this development agreement and would likely have a higher density of 164 or more; and,

**Whereas**, there are no assurances that any future new project by the current developer or any other developer would receive greater support from the community at large, or be of a quality equal to this project;

**Now Therefore**, the Board hereby adopts the following resolutions:

- 1) That the Islands at Riverlake project will not be an aesthetic detriment to the community at large;
- 2) That completion of the proposed Islands at Riverlake project as proposed should be accomplished as expeditiously as possible.
- 3) That completion of the proposed Islands at Riverlake project is in the overall best interests of the Association and its members.
- 4) The Secretary is directed to send a copy of this Resolution to city officials who may be reviewing the project.

This resolution is adopted and made a part of the minutes of the special meeting of the RCA Board of the Riverlake Community Association on August 17, 2005.

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Terry Eagan, Secretary



PARKER DEVELOPMENT  
C O M P A N Y

November 8, 2005

Councilmember Sandy Sheedy  
City of Sacramento  
915 I Street, 5<sup>th</sup> Floor  
Sacramento, CA 95814

Councilmember Kevin McCarty  
City of Sacramento  
915 I Street, 5<sup>th</sup> Floor  
Sacramento, CA 95814

Councilmember Bonnie Pannell  
City of Sacramento  
915 I Street, 5<sup>th</sup> Floor  
Sacramento, CA 95814

RE: Islands at Riverlake  
P05-0004

Dear Councilmember:

I am sorry that our schedules were such that we were unable to meet in person; however, I want to make sure you are aware of a number of factors regarding the Islands at Riverlake.

On November 15, 2005 you will be conducting a public hearing regarding entitlements on the proposed project, File #P05-004. I am the President of Parker Development Company (PDC). PDC is the developer of Riverlake, Greenhaven and various other portions of the Pocket.

- 1) The recent letter from the Riverlake Community Association (RCA) to the Planning Commission is clearly the result of frustration. A copy of that RCA letter and my response to that letter are enclosed. Should you want to understand the relationship between Regis, the RCA and Parker Development Company, a review of these letters will be helpful.

November 8, 2005

Page 2

- 2) The Pocket Protectors' opposition to the project is not a "Nimby" issue. They are supporting single-loaded concepts consistent with development plans approved for this property in the past. Those plans had higher density, smaller square footages and the opportunity to be lower priced than the Regis proposal. The dimensions of the existing parcels were designed specifically for a single-loaded housing concept called "Manor Homes". An example of this housing type can be found in Gold River where several hundred were built by Bob Powell on similar major streets. If possible you should visit that development. I have enclosed a few photos if you are unable to take the time.
- 3) The prior City Council approval was a split vote. The Planning Commission, the RCA and The Pocket Protectors all recommended denial.
- 4) While staff supports the project, it's clear by the significant number of variances that the project is not really appropriate for the site. The alternative analysis in the EIR summarily dismisses the prior approved projects, yet the staff reports prepared in conjunction with the approvals of those projects strongly supported the single-loaded attached concept. Copies of those staff reports are enclosed.
- 5) Because of the dramatic increase in real estate values, Regis' total cost (including land, entitlements, interest carry and existing underground construction) is roughly 50% of the current land value of comparably zoned property. Therefore, Regis could remove the existing improvements and process and build a Manor Home project that would be economically feasible. If Regis chooses not to build attached housing, they could simply sell the site for approximately a ten million dollar profit. An analysis of that existing cost and market value is enclosed.
- 6) A single-loaded attached project, as previously approved, would provide more open space, be higher density (an increase of 25 units, approximately one per acre), be less intrusive to the neighbors and because of the higher density could be more affordable. In addition, a Manor Home development would be much less damage to the beautiful existing streetscape that is an entryway not only to Riverlake, but to the entire Pocket area.

November 8, 2005

Page 3

The increased density should result in approximately \$5 million of additional net revenue to Regis. This could offset the cost of improvements and delays even if increases in values had not already provided such an offset.

I urge you to support a project consistent with the site's intended use.

Sincerely,

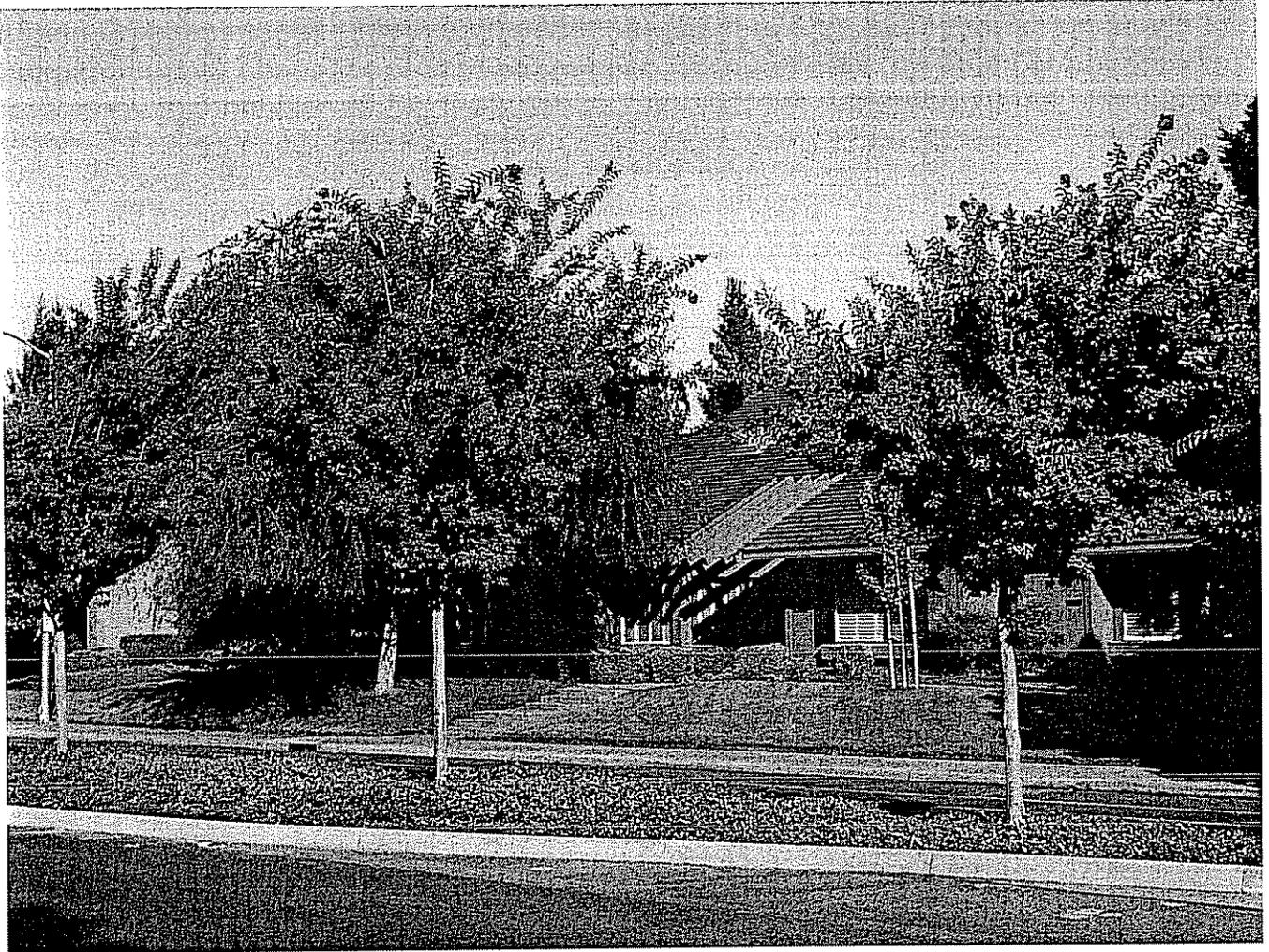
A handwritten signature in black ink, appearing to read 'W. Parker', with a long horizontal flourish extending to the right.

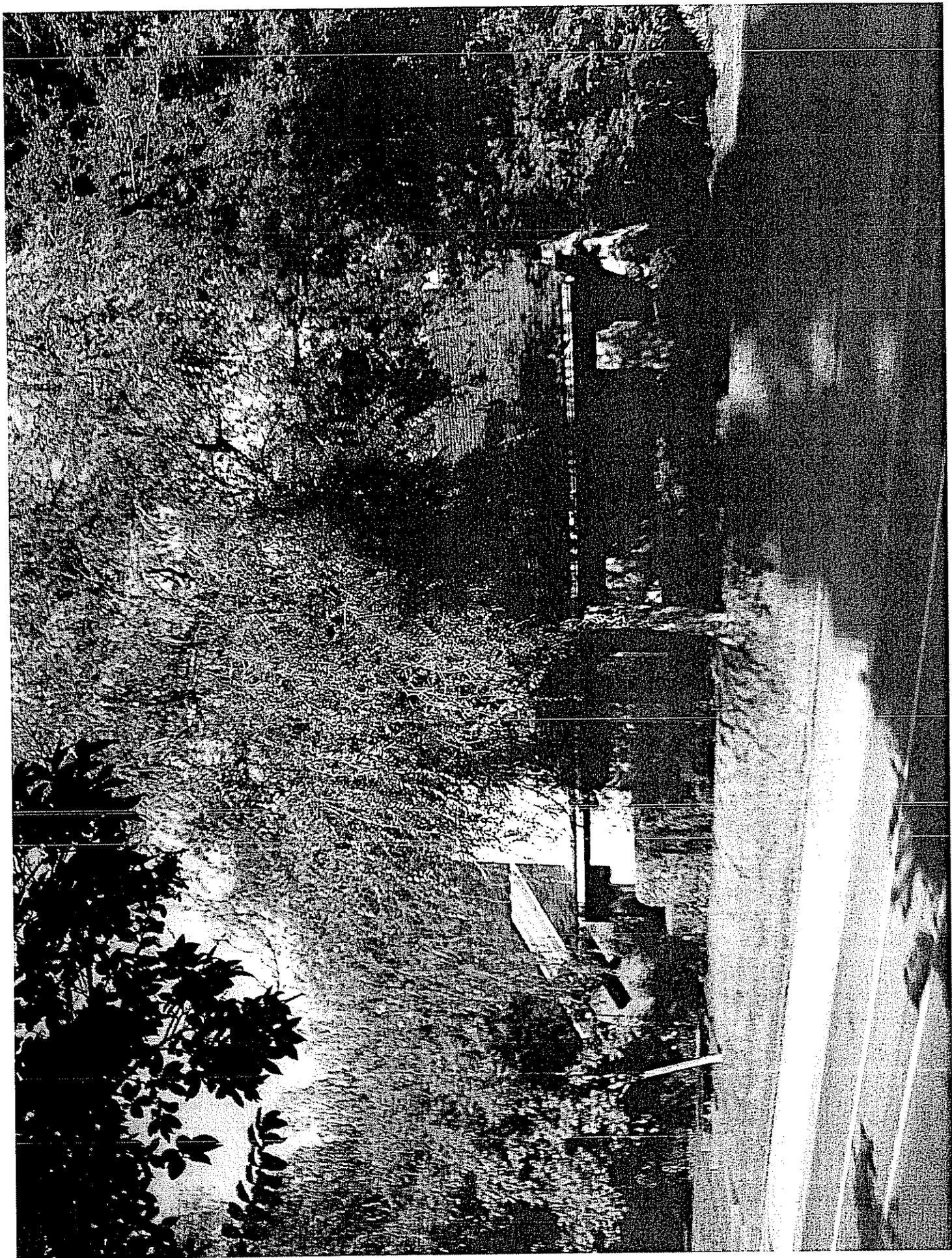
William R. Parker  
President

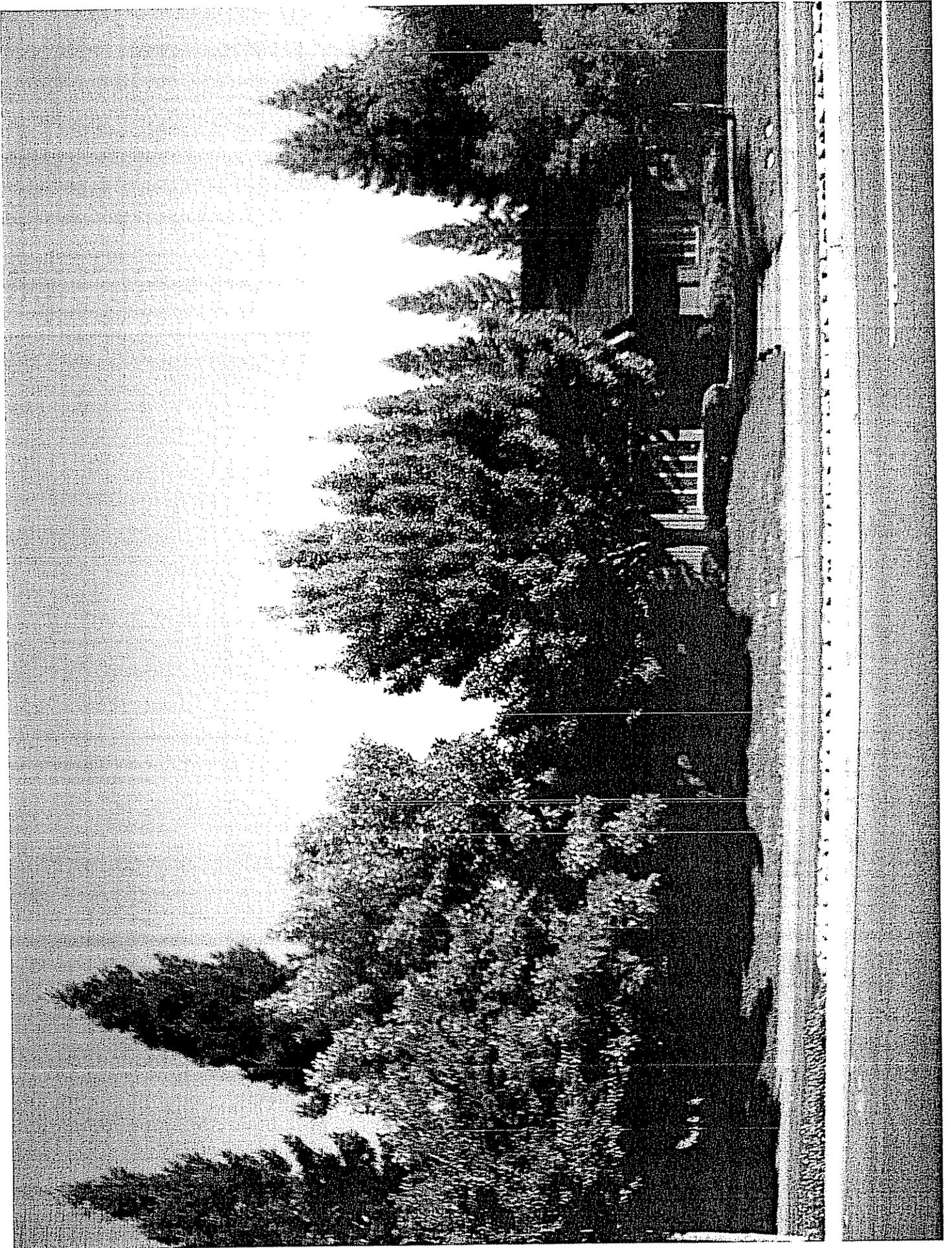
WRP:ft

Enclosures

cc: Riverlake Community Association Board of Directors  
The Pocket Protectors, Attn: Gary Hartwick  
Susan Brandt-Hawley, attorney for The Pocket Protectors  
Vernice Brooks  
Roger and Martha McCardle  
Robbie Waters, Councilmember











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