

RESOLUTION NO. 2006-096

Adopted by the Sacramento City Council

January 31, 2006

ADOPTING THE NOTICE OF DECISION AND FINDINGS OF FACT DENYING THE THIRD PARTY APPEAL BY THE POCKET PROTECTORS AND APPROVING THE APPLICANT'S APPEAL OF ISLANDS AT RIVERLAKE PROJECT AND APPROVING THE TENTATIVE MAP, SPECIAL PERMIT AND SUBDIVISION MODIFICATION, LOCATED IN THE L & P - PACIFIC TEICHERT (LPPT) PLANNED UNIT DEVELOPMENT, ALONG THE NORTH AND SOUTH SIDES OF POCKET ROAD PRIMARILY BETWEEN EAST AND WEST SHORE DRIVES IN SACRAMENTO, CALIFORNIA. (P05-004) (ASSESSOR'S PARCEL NUMBERS (APNS): 031-1210-003; 031-1200-073; 031-1210-061; 031-1030-015; 031-1030-031; AND 031-1300-048.

BACKGROUND

- A. On September 15, 2005, the City Planning Commission certified the environmental impact report (EIR), approved the mitigation monitoring plan (MMP), approved the tentative subdivision map and subdivision modification, and denied the special permit for the Islands at Riverlake Project (P05-004); and
- B. On September 16, 2005 the decision of the City Planning Commission denying the special permit was appealed by the Applicant; and
- C. On September 23, 2005, the decision of the City Planning Commission certifying the EIR, approving the MMP, approving the tentative subdivision map, and approving the subdivision modification was appealed by the Pocket Protectors; and,
- D. On January 31, 2006, the City Council heard and considered evidence in the above-mentioned matter.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

- Section 1. At the regular meeting of January 31, 2006, the City Council heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the City Council takes the following actions for the location listed above:
 - A. Denies the Pocket Protector's appeal of the certification of the EIR and approval of the MMP;

- B. Denies the Pocket Protector's appeal and approves the tentative subdivision map to subdivide 21.4± vacant acres into 166 lots;
- C. Denies the Pocket Protector's appeal and approves the subdivision modification to reduce the standard 53 foot right-of-way for a private street; and
- D. Grants the applicant's appeal and approves the special permit to develop 139 detached alternative single-family homes and 27 common lots in the Alternative Single-family Planned Unit Development (R-1A PUD) zone;

These actions are made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. Environmental Impact Report: The EIR for the Islands at Riverlake Project (P05-004) has been certified based on findings of fact relating to compliance with the both the substantive and procedural requirements of the California Environmental Quality Act and relating to each identified potential environmental impact of the Project, and a MMP for the Project has been approved, all as set forth in Sacramento City Council Resolution No. 2006-093, which certification, findings, and approval are incorporated by reference as if fully set forth herein.
- B. Special Permit: The Special Permit to develop detached single family dwellings within the LPPT PUD is approved based on the following Findings of Fact and subject to the Conditions of Approval:
 - 1. The project is based upon sound principles of land use in that the proposed project is consistent with the General Plan, the Pocket Area Community Plan, the LPPT PUD, the Single-Family Residential Design Principles, and the underlying Single-family Alternative (R-1A) zoning;
 - 2. The proposed use will not adversely affect the public health, safety or general welfare of the surrounding residential neighborhood in that:
 - a. The project is designated for single-family alternative residential development;
 - b. The project proposes to apply design compatible with the surrounding area, will use quality construction materials, and has implemented numerous design components consistent with the Single-Family Residential Design Principles, and;
 - c. The proposed project is within the Zoning Ordinance's requirements for allowable setbacks within the Single-family Alternative (R-1A) zone.

3. The proposed project is consistent with the General Plan and the Pocket Area Community Plan land use designations and density requirements of Low Density Residential (4 – 15 du/na) and Residential (7-15 du/na), respectively;
4. The proposed project is within the LPPT PUD Guidelines and Schematic Plan maximum density allowed for the parcels-164 units are allowed-139 units are proposed; and,
5. The project complies with the SGPU Housing Element that encourages the promotion of a variety of housing types within neighborhoods to encourage economic diversity and housing choice (SGPU, 3.10-13).

C. Tentative Map. The Tentative Map subdividing ±21.4 vacant acres into 166 lots in the R-1A PUD zone is approved based on the following Findings of Fact and subject to the conditions of approval:

1. None of the conditions described in Government Code Section 66474, subsection (a) through (g), inclusive, exist with respect to the proposed subdivision.
2. The proposed subdivision, together with the provisions for its design and improvement is consistent with the Sacramento General Plan Update, the Pocket Area Community Plan, and subdivision Ordinance Chapter 16.12.020 of the Sacramento City Code. The Sacramento General Plan Update designates the site for Low Density Residential (4-15 du/na) and the Pocket Community Plan designates the site for Residential 7-15 du/na.
3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Control Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

D. Subdivision Modification. The Subdivision Modification to reduce the standard 53' right-of-way width for a private street is approved based on the following Findings of Fact and subject to the Conditions of Approval:

1. The property to be divided is of such size or shape, or is affected by such topographic conditions, or there are such special circumstances or conditions affecting the property that it is impossible, impractical, or undesirable in this particular case to conform to the strict application of these regulations. The narrow width of the project site requires that in order to develop the site as proposed the lot widths be shallower than the City standard and that the roadway be a narrower width than standard in order to provide the project's two tiers of shallow lots access;

2. The cost to the subdivider, of strict or literal compliance with the regulation, is not the sole reason for granting the modification;
3. The modification will not be detrimental to the public health, safety or welfare or be injurious to other properties in the vicinity in that the Development Services Department-Development Engineering and Finance Division, the Department of Utilities, the Department of General Services-Solid Waste Division, and the Fire Department reviewed the project and the private drive for safe ingress and egress, adequate room for utility placement, and sufficient room for emergency and solid waste, recycling, and green waste vehicle access. Each department has approved the project as proposed, subject to the attached conditions;
4. Granting the modification is in accord with the intent and the purposes of these regulations and is consistent with the General Plan and with all other applicable specific plans of the City. The Single-family Alternative (R-1A) zoning is consistent with the General Plan and Community Plan land use designations of Low Density Residential (4-15 du/na) and Residential 7-15, respectively.

CONDITIONS OF APPROVAL

E. The **Special Permit** to develop detached single-family dwellings within the LPPT PUD is hereby approved subject to the following conditions of approval (the applicant shall satisfy each of the following conditions prior to obtaining any building permits unless a different time for compliance is specifically stated in these conditions):

Planning Division

- E1. The applicant shall obtain all necessary building permits prior to commencing construction;
- E1a. Applicant shall construct the project in compliance with applicable state and federal accessibility standards;
- E2. Any modification to the Special Permit, as approved, shall require the approval of a Special Permit Modification;
- E3. Prior to occupancy of any residential unit other than the model homes, the applicant shall either form his own Homeowner's Association (HOA) or annex into the existing Riverlake Community Association (RCA) for maintenance of all common areas within the Islands at Riverlake development;
- E4. Construction of the passive open space/mini-parks shall coincide with the completion of construction of adjacent lots. The passive open space/mini-park amenities shall include, but are not limited to: a meandering sidewalk, seating, shade structure(s), and landscaping, which shall include large, deciduous shade tree(s) as approved by the City Arborist;

- E5. Construction of the pedestrian access walkways shall coincide with the construction of the private drive, the individual connectors shall be constructed as each individual house nears completion, but prior to the issuance of the certificate of occupancy. Installation of the specially stamped and colored asphalt crossing the private drive at each pedestrian access pathway shall coincide with construction of the private drive; Construction of the 4' wide sidewalks on one side of the private drive shall coincide with the construction of the private drive;
- E6. The HOA shall be responsible for the maintenance of all common areas, including the private drives, parking spaces and parking slots between houses, the landscaping and fountains in the traffic islands, pedestrian access paths and their fair share of the 25-foot wide landscape easement (a portion of the 40-foot linear parkway) and the passive mini-park/open space areas;
- E7. The HOA will be responsible for maintaining the front yard landscaping for all houses within the Islands at Riverlake. For the houses facing the private drive, the association shall maintain from the back of sidewalk to the wing fences. For the houses facing Pocket Road, the association shall maintain the front yards from the wing fence to the property line, plus the landscaping at the rear of the house along the private drive that lies outside the "private yards". The "private yards" are designated on the typical plot plans as being enclosed by a picket fence that may be modified with the approval of planning staff. Each individual homeowner shall be responsible under the CC& R's to maintain their private yards to a standard as established and specified by the HOA;
- E8. Lots R, S, T, U, V and W shall be maintained by the HOA until such time as these parcels are transferred or sold to the adjacent property owner's of the existing houses at the ends of the three cul-de-sacs within Riverlake;
- E9. The design and construction materials of the single-family residences shall be consistent with the attached elevations. Any modifications or substitutions will require additional planning review and approval prior to the issuance of building permits;
- E10. Prior to issuance of building permits, proof that the dedication and recordation of a "No Build" easement along the entirety of the project facing Pocket Road shall be presented to the satisfaction of building staff;
- E11. Provide individual plot plans (with setback dimensions) for all lots immediately adjacent to existing residences and on lots where trees may be impacted for planning staff review and approval;
- E12. Only Plans 7110 and 7120 will be allowed adjacent to residences existing at the time of the approval of this plan except for those lots designated as "2-story bldg." on the Tentative Map dated January 2005;

- E13. Construction of Plans 5710, 5713, 5720 and 5730 are limited to lots fronting Pocket Road and those lots designated as "2-story bldg." on the Tentative Map dated January 2005;
- E14. No side-by-side or cross-private drive duplication of a house elevation is allowed;
- E15. Comply with requirements included in the Mitigation Monitoring Plan developed by and kept on file in the Planning Division office. No grading may occur within the drip line of any heritage tree designated for preservation **except with approval of the City Arborist**. Refer to the Mitigation Monitoring Plan for specific tree identification numbers and appropriate mitigation for trimming or replacement value for removal. For any numbered tree, identified on the Tentative Map, that is removed, the applicant shall replace that tree with a 24" box tree of a variety as approved by the City Arborist;
- E16. Automatic front yard sprinklers and landscaping with a minimum of two and one-half shade trees shall be provided, as feasible, (five trees for every two lots from a list approved by the City Arborist) within the front yard of each residence at the time of construction;
- E17. Provide for planning staff review plans and elevations to scale and dimensioned for a typical proposed mini-park/open space area. Include for planning staff review and approval an overall dimensioned site plan of the recreation area with details on landscaping, walkways, and any structures to be installed;
- E18. Provide plans and elevations-to scale and dimensioned for the proposed fountains and attached project signage for planning staff review and approval. All proposed signage shall comply with the City's Sign Ordinance;
- E19. A total of 55 parking spaces are proposed; no less than 50 spaces may be constructed. The spaces shall be distributed evenly throughout the subdivision within the mini-parks, slot parking spaces between homes and off project entrances, "quasi-roundabouts", and hammerhead turnarounds, as appropriate. Any spaces exceeding the maximum number of spaces, 55, will require additional entitlement approval;
- E20. Garages must be used for parking. Storage within the garage area shall be limited so as to not interfere with the parking of 2 cars in each garage;
- E21. Comply with the fifty percent shading requirement for all parking areas, (Section 17.64.030(H) of the Zoning Ordinance). All planters must be fully automatically irrigated and enclosed with 6" concrete curbing on all sides adjacent to a parking space. The overall landscape mix shall include at least three different (minimum 15-gallon size) tree types (genera) throughout the required shading area. All planter soil surfaces shall be covered with living groundcover within two years of installation. Landscaping plans shall be submitted to the Building Division – Site Conditions Unit for review and approval by the Site Conditions Unit and the

Landscape Architecture Section. The scope of the review shall include plant species selection, landscape materials, irrigation system, and calculation to ensure that the 50% shading requirement is met;

- E22. All common parking spaces and parking slots shall be increased in depth to 21 feet, including the 4' walk or 17' on the walkless side of the private drive to ensure adequate depth so no vehicular encroachment into the private drive occurs. All parking areas shall have decorative "stop blocks". Prior to the construction of any parking area, the developer shall submit for review and approval by planning staff, details of the proposed "stop blocks";
- E23. Lighting for the development shall be coordinated with the landscaping plan so there is minimal interference between the light standards and required illumination and the trees and required shading. All light fixtures are to be vandal-resistant. The private drive lighting shall be shielded from adjacent parcels.
- E24. The developer shall divert construction waste. Cardboard, wood waste, scrap metal, brick, concrete, asphalt, and dry wall for recovery. The developer shall submit the following information to the Solid Waste Division: Method of recovery; hauler information; Disposal Facility; Diversion percentage; Weigh tickets documenting disposal and diversion. Contact Michael Root at 916-808-4935 with any questions regarding this condition.
- E25. All structures on Lot 14 shall be set back ten (10) feet from the south property line. The applicant shall consult with the City Arborist and request he inspect the affected trees and follow his advice with respect to mitigation including, but not limited to, tree pruning and permeable driveway pavement.

F. The **Tentative Map** subdividing ±21.4 vacant acres into 166 parcels in the Single-family Alternative Planned Unit Development (R-1A PUD) zone is hereby approved subject to the following conditions of approval:

NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map or any contradictory provisions in the PUD guidelines approved for this project (P05-004). The design of any improvement not covered by these conditions or the PUD Guidelines shall be to City standard.

The applicant shall satisfy each of the following conditions prior to filing the Final Map unless a different time for compliance is specifically stated in these conditions:

GENERAL: All Projects

1. Construct standard subdivision improvements as noted in these conditions pursuant to section 16.48.110 of the City Code. All improvements shall be designed and constructed to the satisfaction of Development Engineering and Finance. Improvements required for each phase shall be determined by the City prior to recording that phase. Any public improvement not specifically noted in these conditions or on the Tentative Map shall be designed and constructed to City standards;
2. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;
3. Pursuant to City Code Section 16.40.190, indicate easements on the Final Map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval by Development Engineering and Finance after consultation with the U.S. Postal Service;
4. Comply with requirements included in the Mitigation Monitoring Plan developed by, and kept on file in, the Planning Division Office (P05-004);
5. Meet all conditions of the existing LPPT PUD unless the condition is superseded by a Tentative Map condition;
6. Show all continuing and proposed/required easements on the Final Map;
7. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition;

Development Engineering: Streets

8. Repair or replace/reconstruct any existing deteriorated curb, gutter and sidewalk fronting the property on Pocket Road, Dutra Bend, East Shore Drive and West Shore Drive per City standards and to the satisfaction of Development Engineering and Finance;
9. Submit a Geotechnical Analysis prepared by a registered engineer to be used in street design. The analysis shall identify and recommend solutions for groundwater related problems that may occur within both the subdivision lots and public right-of-way. Construct appropriate facilities to alleviate those problems. As a result of the analysis street sections shall be designed to

provide for stabilized subgrades and pavement sections under high groundwater conditions;

10. The design and placement of walls, fences, signs and landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited to 3.5' in height. The area of exclusion shall be determined by Development Engineering and Finance;
11. Design and construct a traffic signal at Pocket Road and West Shore Drive.
12. Signal design and construction shall be to the satisfaction of Development Engineering and Finance. The City shall reimburse the applicant for 50% of the hard construction costs associated with the signal construction. The 50% reimbursement amount shall be determined based on the lowest of three competitive bids from qualified contractors; otherwise, the reimbursement amount will be at the City's sole discretion. The applicant shall provide all on-site easements and right-of-way needed for turn lanes, signal facilities and related appurtenances;
13. The applicant shall submit a signal design concept report to Development Engineering and Finance for review and approval prior to the submittal of any improvement plans involving traffic signal work;
14. All proposed hammerheads and emergency accesses shall be constructed to City standards and to the satisfaction of Development Services and Fire. The hammerhead shall be constructed with a gate equipped with a Knox box to the satisfaction of the Fire Department. All hammerheads shall be constructed with a street structural section consisting of 4" AC over 16" AB to accommodate the turnaround for solid waste and emergency vehicles to the satisfaction of Development Engineering and Finance;
15. Construct standard driveways at the entrance to the private streets along Pocket Road and West Shore Drive to the satisfaction of Development Engineering and Finance. Turning movements at all driveways along Pocket Road and West Shore Drive shall be right-in/right-out only with the exception at Coleman Ranch Way and Silva Ranch way where full turning movements are allowed. The homeowners association shall maintain the landscaped medians at these driveways. Driveways along Pocket Road shall be designed to accommodate a Su-30 design vehicle and to accommodate the landscaped medians at those locations;
16. Repair or reconstruct any non-ADA compliant handicapped ramps (if needed) at the following locations as part of the frontage improvements:

- a. On both sides of Dutra Bend along the walkway. That includes the ramps on either side of the median island.
- b. The northwest corner of East Shore Drive.
- c. The entire intersection of West shore Drive and Pocket Road as part of the signal design and construction.
- d. At all new driveway cuts.

The construction of said ramps shall be to the satisfaction of Development Engineering and Finance.

Development Engineering: Private Streets

- 17. Designate private streets as Public Utility Easements;
- 18. Construct the private street identified on the Tentative Map as Lots A, B, C, A-A, P-P and Q-Q with a 22-foot right-of-way. The private street shall be constructed to the standards of a public street, specifically regarding structural section and drainage, except for the rolled curb and gutter on these streets shall be 2 feet in width. The private street shall have a minimum of 20 foot f/c to f/c clear driving area. Private street entrances must be designed to provide adequate stopping site distance. The private street shall be maintained by the Homeowner's Association in perpetuity or through an alternate financing mechanism acceptable to the City;
- 19. Secure gated entries in a manner approved by the Fire and Police Departments;
- 20. Street lighting facilities shall be designed to City standards. The City shall review and approve street lighting plans for private streets by the same process as that used for public streets;
- 21. Provide appropriate easements for street light maintenance. These easements must be in place prior to commencement of City maintenance of street lighting facilities;
- 22. CC&Rs recorded for the subdivision must provide for City maintenance of the street lighting facilities;
- 23. The private streets shall be signed and striped for NO PARKING at all times to the satisfaction of Development Engineering and Finance. The Homeowner's Association shall be responsible for enforcing the No Parking along private streets;
- 24. All proposed traffic circles/fountains along the private drive shall be designed and constructed with a mountable curb to facilitate the maneuvering of emergency vehicles to the satisfaction of the departments of Development Services and Fire;

PUBLIC/PRIVATE UTILITIES

25. Dedicate a standard 12.5 foot public utility easement (PUE) for underground facilities and appurtenances adjacent to all public street right-of-ways;
26. Dedicate any private drive, ingress and egress easement, or Irrevocable Offer of Dedication and 5 feet and 10 feet where transformers shall be located (location to be determined by SMUD's Subdivision Coordinator prior to recordation of all maps) adjacent thereto as a public utility easement for underground facilities and appurtenances;
27. Dedicate Lots P and C-C (the mini-park lots) as a public utility easement for underground facilities and appurtenances;

CITY UTILITIES

28. Provide standard subdivision improvements per Section 16.48.110 of the City Code.
29. The Policy for Private Streets requires that all streets within the subdivision that are to be private shall have the full width of the private streets dedicated as a public utility easement for the water distribution system. An additional 3 feet adjacent to all the streets shall also be dedicated as an easement for water distribution system appurtenances such as hydrants and water meters. The easement shall include language assuring Department of Utilities' personnel and maintenance vehicles unrestricted and unlimited access to any private streets and easements at all times.
30. All water, sewer and drainage facilities within the subdivision shall be constructed to City standards and approved by the Department of Utilities prior to acceptance of maintenance responsibilities.
31. Abandon excess sewer, drain and water easements within lots 65, Lot C-C, 66, 75, Lot E-E, 76, 85, 86, 87, 92 and Lot G-G.
32. Prior to or concurrent with the submittal of improvement plans, a project specific water study shall be approved by the Department of Utilities. The water distribution system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch and (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. Contact the Department of Utilities for the pressure boundary conditions to be used in the water study. The method

and calculations for the design of the water distribution system shall be reviewed and approved by the Department of Utilities prior to improvement plan approval. The water distribution system shall be connected to the water mains that were previously stubbed to the property from the north wherever possible, to the satisfaction of the Department of Utilities. Any excess stubs and easements shall be properly abandoned.

33. Only one domestic water service will be allowed per parcel. Any new domestic water service shall be metered.
34. Water mains will be permitted under fountains placed in the streets if encased within the limits of the island. Gate valves shall be placed at each side of the island. No trees will be permitted in the island if it is used as a planter.
35. A sanitary sewer study described in Section 9.9 of the City Design and Procedures Manual is required. This study and shed map shall be approved by the Department of Utilities. All sewer mains shall be a minimum of 8-inch diameter. All sewer pipes and MHs shall be installed to prevent groundwater infiltration to the sanitary sewer system. No mains will be permitted under fountains or tree wells placed in the streets. Sewer mains shall be aligned to the satisfaction of the Department of Utilities.
36. A drainage study and shed map as described in Section 11.7 of the City Design and Procedures Manual is required. This study and shed map shall be approved by the Department of Utilities. The 10-year and 100-year HGL's shall be shown on the improvement plans. The 10-year HGL shall be no higher than 6 inches below the lowest DI. Finished lot pad elevations shall be a minimum of 1.00 feet above the 100-year HGL and approved by the Department of Utilities. The drainage study shall identify all existing off-site flows that are blocked by the proposed project and shall propose City maintained drainage facilities to convey these flows. Sufficient off-site and on-site spot elevations shall be provided in the drainage study to determine the direction of storm water runoff. The drainage study shall include an overland flow release map for the proposed project. Finished floor elevations shall be a minimum of 1.5 feet above the controlling overland flow release elevation. Drainage mains will not be permitted under fountains or tree wells placed in the streets. Drainage pipes shall be aligned to the satisfaction of the Department of Utilities.
37. A seepage study will be required and shall be prepared by a registered engineer. The study shall identify and recommend solutions to groundwater related problems that may occur within both the subdivision lots and the private streets. Appropriate facilities shall be constructed to alleviate those problems.
38. If the applicant wants the City to maintain and operate the on-site storm drainage facilities, a written request must be filed with the Department of

Utilities (per the Policy for Private Streets in Residential Area).

39. All new groundwater discharges to the Combined or Separated Sewers must be regulated and monitored by the Department of Utilities (City Council Resolution #92-439). Groundwater discharges to the City's sewer system are defined as follows:
- A. Construction dewatering discharges
 - B. Treated or untreated contaminated groundwater cleanup discharges
 - C. Uncontaminated groundwater discharges

Groundwater discharges may contain toxic and/or explosive chemicals that could be harmful to the environment and to service workers working in the City's sewer system. Groundwater discharges to the sewer system go beyond the original design of the City's system, thus removing existing sewer capacity from other system users and potentially causing overflows or restricting development. The additional water from groundwater discharges must be conveyed and pumped by the City's existing facilities. The additional volume of water increases the City's operations and maintenance costs through increased capacity, power, and maintenance costs.

Currently, two types of groundwater discharges are recognized by the Department of Utilities; limited discharges and long-term discharges. These types of discharges are described as follows:

- A. "Limited discharges" are short groundwater discharges of 7-days duration or less. Limited discharges must be approved through the Department of Utilities by acceptance letter.
- B. "Long-term discharges" are groundwater discharges of greater duration than 7 days. Long-term discharge must be approved through the Department of Utilities and the City Manager through a Memorandum of Understanding (MOU) process. The Groundwater MOU has a term of one year and requires the discharger to:
 - a. Provide a description of the groundwater discharge,
 - b. Obtain a Regional Sanitation District permit,
 - c. Obtain approval from the Regional Water Quality Control Board if discharge is part of groundwater cleanup or contains contaminants above MCLs,
 - d. Pay fees based on flow amounts when a fee schedule is established by ordinance,
 - e. Comply with any new pertinent laws,
 - f. Assess and repair sewer lines if the discharge exceeds MCLs,
 - g. Suspend discharges during storm events or at City request,
 - h. Provide shut-off switches accessible to the City,
 - i. Indemnify the City against all claims related to the MOU.

40. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the subdivision improvement plans. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
41. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.
42. Post-construction, storm water quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Only source control measures are required. This will not affect site design. Refer to the "Guidance Manual for On-Site Storm water Quality Control Measures" dated January 2000 for appropriate source control measures.
43. This project is greater than 1 acre (21.4 ± acres); therefore the project is required to comply with the State" NPDES General Permit for Storm water Discharges Associated with Construction Activity" (State Permit). To comply with the State Permit, the applicant will need to file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Storm water Pollution Prevention Plan (SWPPP) prior to construction. A copy of the State Permit and NOI may be obtained from the Department of Utilities by calling 808-1400.
44. Show all existing and proposed easements on the final map. Provide public easements for any public water, sewer, or drainage mains that cross private property to the satisfaction of the Department of Utilities (e.g. Lot L-L, etc.).

Parks

45. The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project to an existing parks maintenance district prior to recording a Final Map. The applicant shall pay all City fees for formation of or annexation to special districts. The purpose of the district is to equitably spread the cost of neighborhood park maintenance on the basis of special benefit, in the case of an assessment district. In the case of a special tax district, the costs will be spread based upon the hearing report which specifies the tax rate and method of apportionment.

MISCELLANEOUS

46. Title to any property required to be dedicated to the City in fee shall be conveyed free and clear of all rights, restrictions, easements, impediments, encumbrances, liens, taxes, assessments or other security interests of any kind (hereafter collectively referred to as "Encumbrances"), except as provided herein. The applicant shall take all actions necessary to remove any and all Encumbrances prior to approval of the Final Map and acceptance of the dedication by City, except that the applicant shall not be required to remove Encumbrances of record, including but not limited to easements or rights-of-way for public roads or public utilities, which, in the sole and exclusive judgment of the City, cannot be removed and/or would not interfere with the City's future use of the property. The applicant shall provide title insurance with the City as the named beneficiary assuring the conveyance of such title to City;
47. An existing street lighting system exists in the project area. Improvements to the right-of-way may require modifications to the existing system;
48. Form a Homeowner's Association with CC&Rs or annex to the existing Riverlake Association for the purpose of contributing to the cost of maintaining the landscaped strip (40 foot Parkway) along Pocket Road and maintaining the landscaped medians along Pocket Road;
49. Form a Homeowner's Association with CC&Rs or annex into the existing Riverlake Association for the maintenance of all lettered lots within this subdivision as shown on the Tentative Map. CC&Rs shall be recorded assuring maintenance of all private streets, lights, sewer services, drop inlets, drain leads, landscaping, irrigation and noise barriers. Lettered lots R, S, T, U, V and W may be transferred to an existing Riverlake Association or transferred to the adjacent single family lots within the Bridgeview at Riverlake community;
50. Pay Pocket Bridge fees;

ADVISORY NOTES:

The following advisory notes are informational in nature and are not a requirement of this Tentative Map:

51. The Quimby requirement for this project was satisfied with the dedication under the Riverlake Master plans.
52. Prior to the issuance of any building permits, provide the City with a copy of the certificate of payment of any school fees for the applicable school district(s).
53. This subdivision is located within a "Rescue Zone". This project shall comply with the policies set forth in the City of Sacramento Comprehensive Flood Management Plan, dated February, 1996. New

residential subdivisions greater than 2 acres shall either identify public refuge locations, or have a minimum of 50% of the residential units with the entire roof having a maximum roof pitch of 4:12, or have a floor level at least one foot above the rescue flood elevation (elev. 14.4').

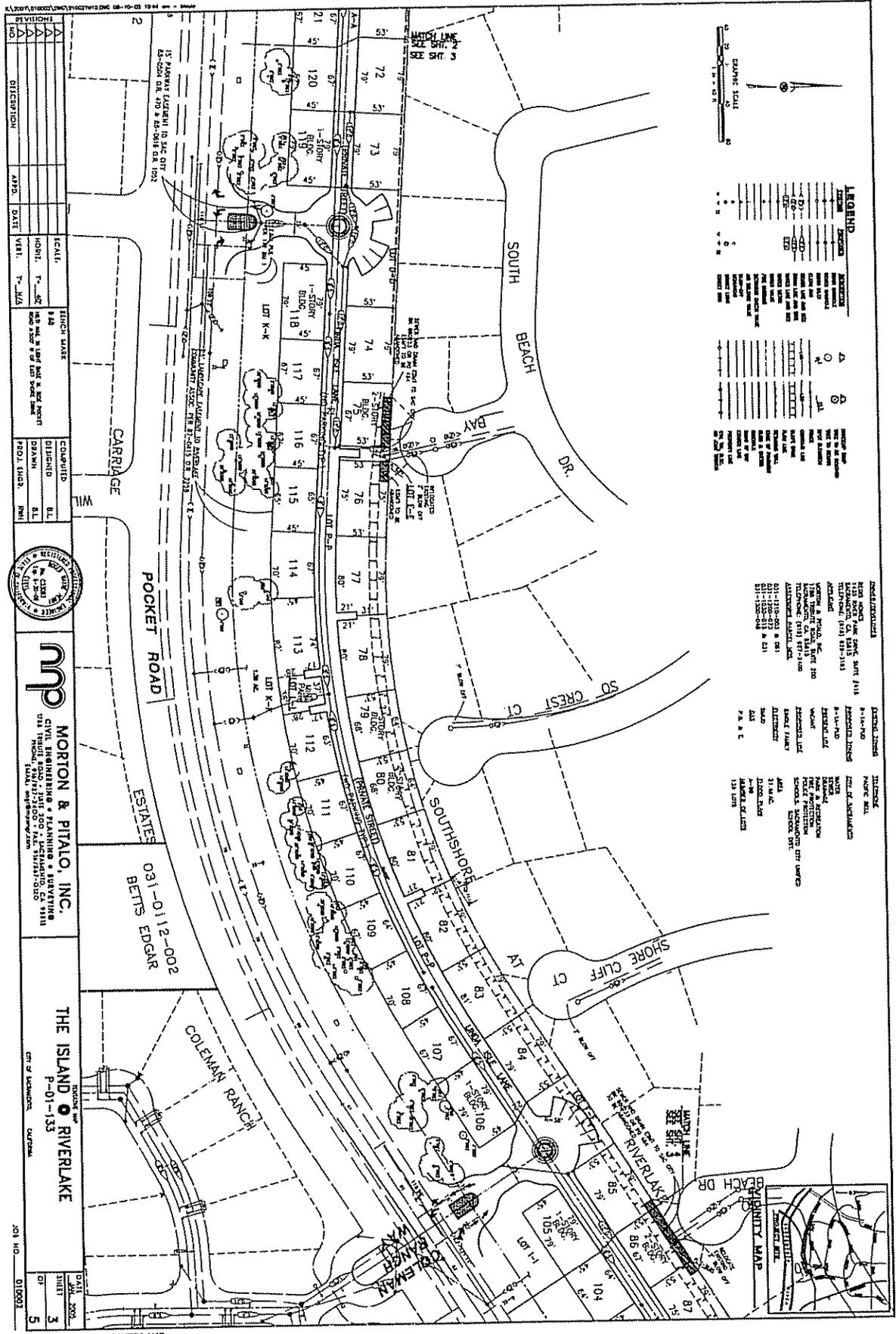
54. The proposed project is located in the Flood zone designated as an A99 zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) that have been revised by a Letter of Map Revision effective February 18, 2005. Within the A99 zone, there are no requirements to elevate or flood proof.
55. All new residential development, excepting single-family residential infill areas will be required to be constructed with the lowest floor, including basement, at or above elevation 10.3 feet, or 3 feet above the highest adjacent grade, whichever is lower. However, this subdivision is determined to be in a residential infill area and therefore, not subjected to the regulations pertaining to Morrison Creek 100-year flood plain.
56. Fire apparatus access. Plans for fire department access roads shall be submitted to the Fire Department for review and shall be approved prior to the start of construction. CFC 901.2.2.1
57. Fire hydrant systems. Plans and specifications for fire hydrant systems shall be submitted to the Fire Department for review and shall be approved prior to start of construction. CFC 901.2.2.2
58. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction. CFC 901.3
59. Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. CFC 902.2.2.1
60. Surface. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a roadbed consisting of material unaffected by the introduction of water based upon fire flow or rain based on 25 year storm and a surface consisting of a minimum of a single layer of asphalt. CFC 902.2.2.2
61. Turning radius. All turning radius for fire access shall be designed as 45' inside and 55' outside. Cul-de-sac shall be 45' radius or city standard hammerhead. CFC 902.2.2.3
62. Key Boxes. When access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life saving or firefighting purposes, or where the building is

served by a fire alarm system which is monitored by a central station, the chief is authorized to require approved key switches, key boxes or padlocks to be installed in approved accessible locations or areas in order to permit immediate fire department access. CFC 902.4

63. Gates and barriers. Plans shall be submitted for review and approval prior to the installation of gates, barriers, and access control devices which are to be constructed on or within fire department apparatus access roadways. CFC 902.2.4.3
64. Required installations. The location, number and type of fire hydrants connected to a water supply capable of delivering the required fire flow shall be provided on the public street or the site of the premises or both to be protected as required and approved by the chief. CFC 903.4.2 See also Appendix III-B, Section 5, Distribution of Fire Hydrants.
65. Gated system. Shall be reviewed by fire, a single gate 20' clear width, dual gate 16' each side.
66. RT currently operates bus route 3 along Pocket Road. Route 3 provides peak hour service, Monday through Friday, between the Pocket area and Downtown Sacramento and does not operate on weekends or holidays. Any possible impacts on existing bus stops/benches, and obstruction to RT transit operations, short or long term, must be coordinated with Lynn Cain (bus stops) in Facilities Management at 321-3830 and Deidre Brown (Operations) in RT's Transportation Department at 321-2894.
67. All trash and recycle receptacles shall be placed on the same side of the private drive on pick-up day. Receptacles shall be placed along the side of the private drive that does not include the sidewalk. Trash containers shall be marked with resident addresses. The developer shall incorporate such a rule into the CC&Rs subject to coordination and approval of language with the General Services Department -Solid Waste Division. If at some time in the future, the Solid Waste Division modifies collection of green waste to a containerized service, this requirement may be modified subject to approval by the General Services Department -Solid Waste Division.

Table of Contents:

- Exhibit A – Tentative Subdivision Map-5 pgs.
- Exhibit B – Private Street Details-1 pg.
- Exhibit C – Landscape Exhibits-12 pgs.
- Exhibit D – Typical Site Plan-1 pg.
- Exhibit E – Linear Parkway Pedestrian Access Plan-1 pg.
- Exhibit F - Special Plot Plan-Lot 14-1 pg.
- Exhibit G - Special Plot Plan-Lot 29-1 pg.
- Exhibit H - Special Plot Plan-Lot 139-1 pg.
- Exhibit I – House Plans-84 pgs.



LEGEND

SYMBOL	DESCRIPTION
○	PROPOSED LOT
□	EXISTING LOT
△	PROPOSED BUILDING FOOTPRINT
○	EXISTING BUILDING FOOTPRINT
—	PROPOSED DRIVEWAY
—	EXISTING DRIVEWAY
—	PROPOSED SIDEWALK
—	EXISTING SIDEWALK
—	PROPOSED UTILITY LINE
—	EXISTING UTILITY LINE
—	PROPOSED FENCE
—	EXISTING FENCE
—	PROPOSED LANDSCAPE
—	EXISTING LANDSCAPE
—	PROPOSED PAVEMENT
—	EXISTING PAVEMENT
—	PROPOSED CURB
—	EXISTING CURB
—	PROPOSED EROSION CONTROL
—	EXISTING EROSION CONTROL

NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE DRIVEWAY.
3. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE SIDEWALK.
4. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE UTILITY LINE.
5. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE FENCE.
6. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE LANDSCAPE.
7. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE PAVEMENT.
8. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE CURB.
9. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE EROSION CONTROL.

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	11-15-01	J.M.
2	REVISED	11-15-01	J.M.
3	REVISED	11-15-01	J.M.
4	REVISED	11-15-01	J.M.
5	REVISED	11-15-01	J.M.



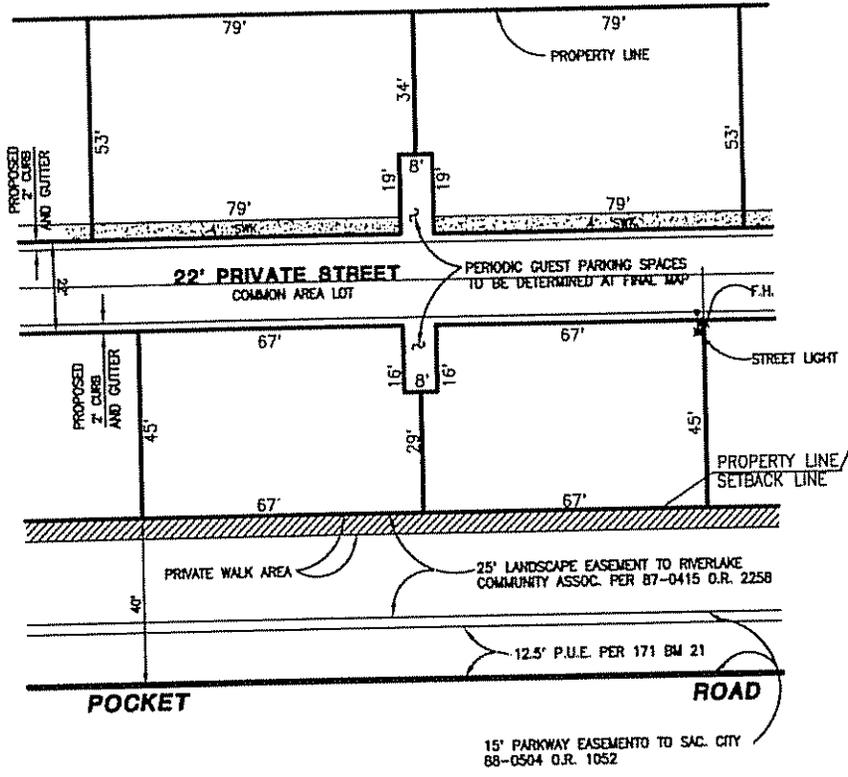
mnp
MORTON & PITALO, INC.
 CIVIL ENGINEERING & PLANNING
 1015 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 Phone: (954) 581-1111
 Fax: (954) 581-1112

THE ISLAND at RIVERLAKE
 P-01-133
 CIVIL ENGINEERING & PLANNING
 1015 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 Phone: (954) 581-1111
 Fax: (954) 581-1112

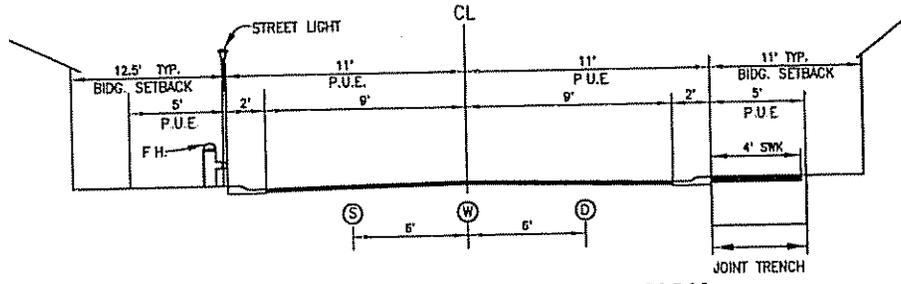
DATE	SHEET	OF
11-15-01	3	5

Exhibit B – Private Street Details

X:\2001\010002\DWG\PRIVATE-ST-EX-1.DWG 01-12-05 3:41 pm - blouie



TYPICAL LOT
NOT TO SCALE



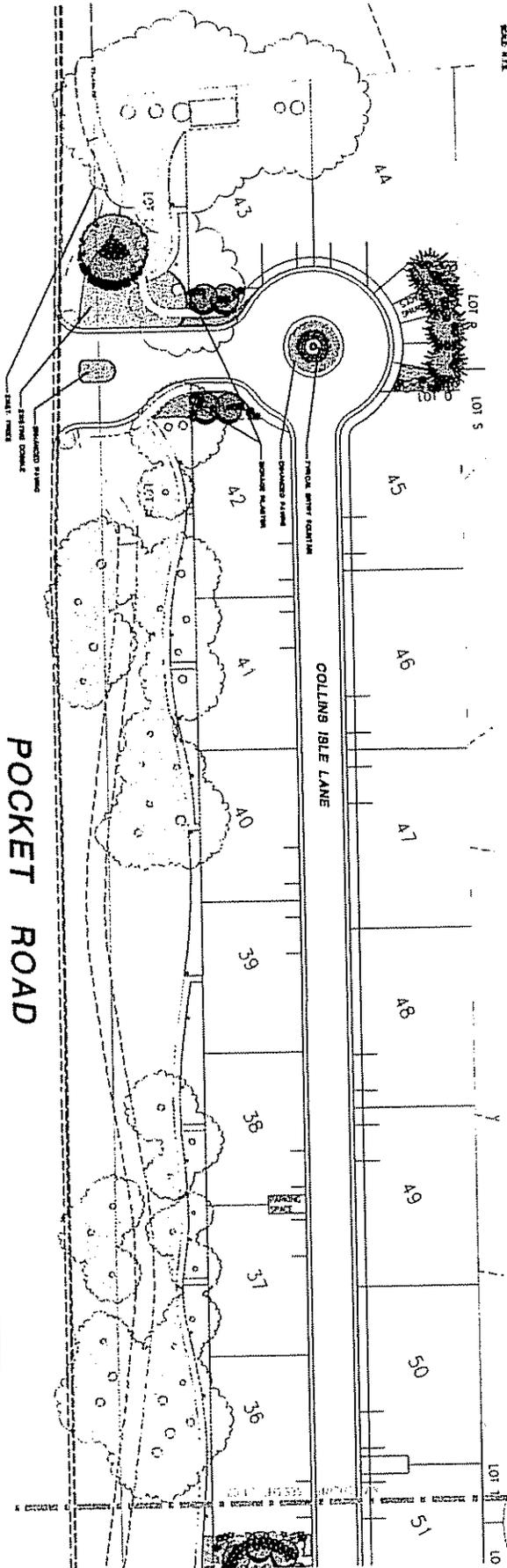
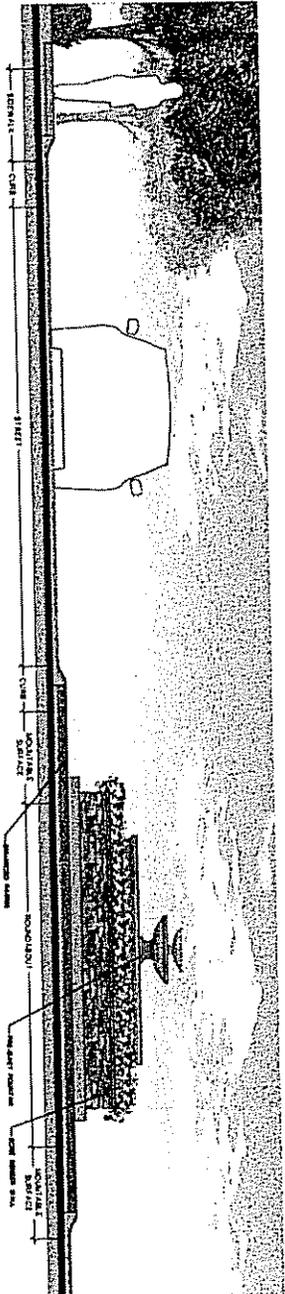
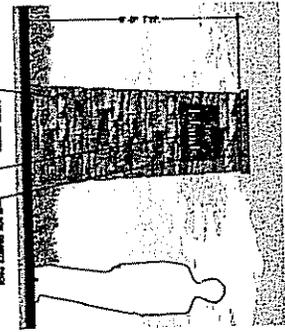
PRIVATE ST. CROSS SECTION
NOT TO SCALE

		MORTON & PITALO, INC. CIVIL ENGINEERING • PLANNING • SURVEYING 1788 TRIBUTE ROAD • SUITE 200 • SACRAMENTO, CA 95815 PHONE: 916/927-2400 • FAX: 916/567-0120	
DRAWN:	B.L.	JOB NO:	010002
CHECKED:		DATE:	APRIL 2003
SCALE:	NOT TO SCALE	SHEET:	1 of 2

EXHIBIT MAP

22' PRIVATE STREET

CITY OF SACTO., CALIFORNIA



PLANTING NOTE
 ALL PLANTING SHALL BE AS SHOWN ON SHEETS 1.18 THROUGH 1.22.

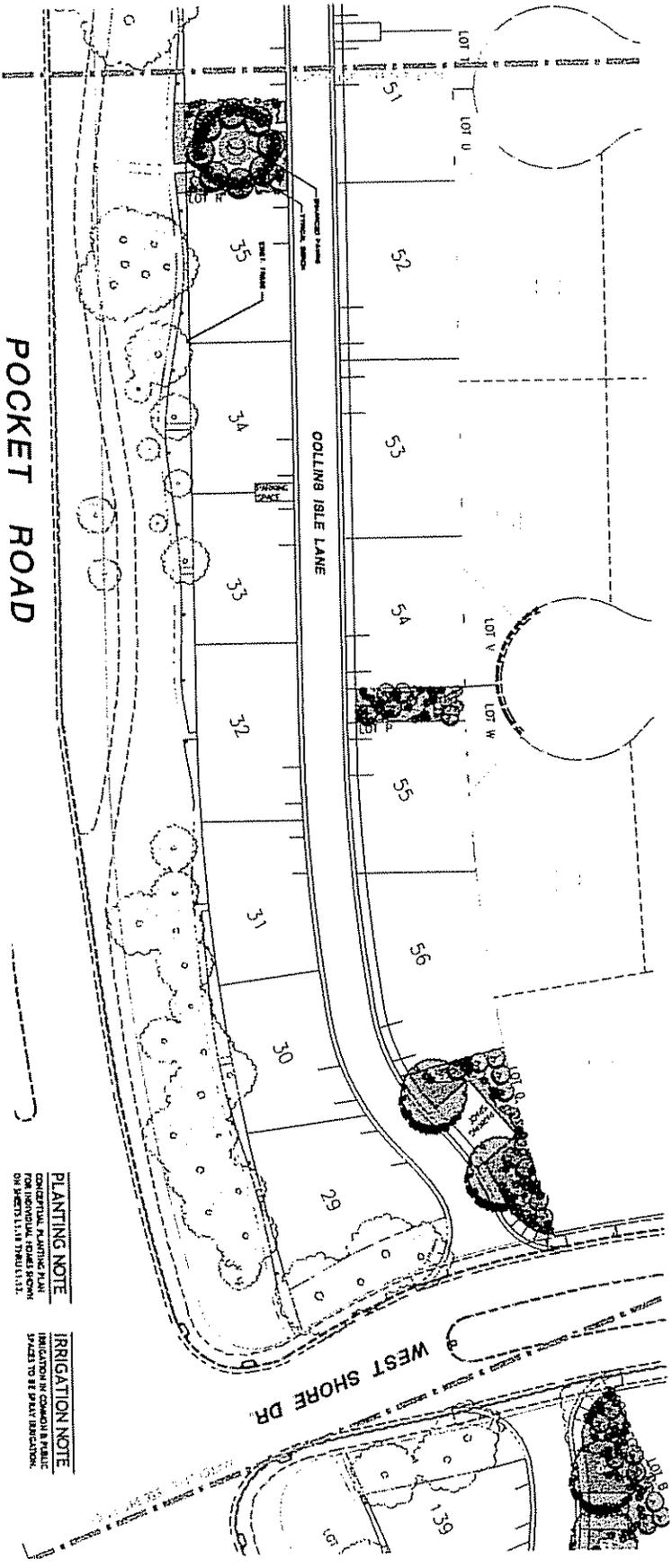
IRRIGATION NOTE
 IRRIGATION IN EXPOSED & PUBLIC SPACES TO BE SPRAY APPLICATION.

Conceptual Design

PREPARED FOR REGIS HOMES, JANUARY 2003

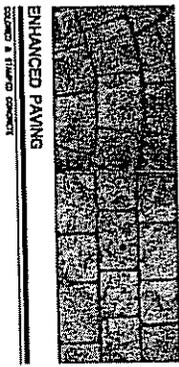


Conceptual Design
 PREPARED FOR REGIS HOMES JANUARY 2005

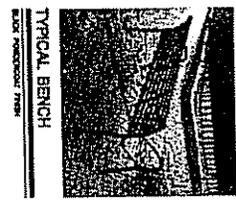


PLANTING NOTE
 CONCEPTUAL PLANTING PLAN
 FOR INFORMATIONAL PURPOSES ONLY
 ON A PRELIMINARY BASIS

IRRIGATION NOTE
 IRRIGATION PLAN TO BE PREPARED
 BY THE ARCHITECT



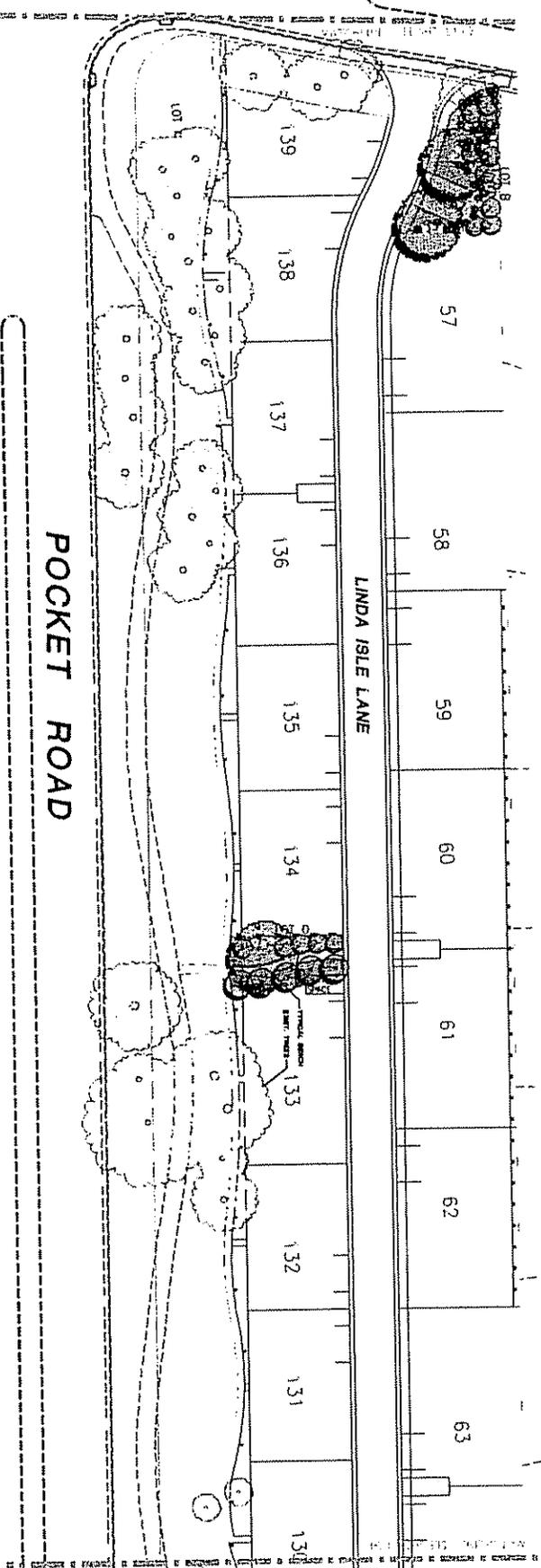
ENHANCED PAVING
 SEE SCHEDULE 'A'



TYPICAL BENCH
 SEE SCHEDULE 'A'



TYPICAL BENCH
SEE FOOTCOURT PLAN



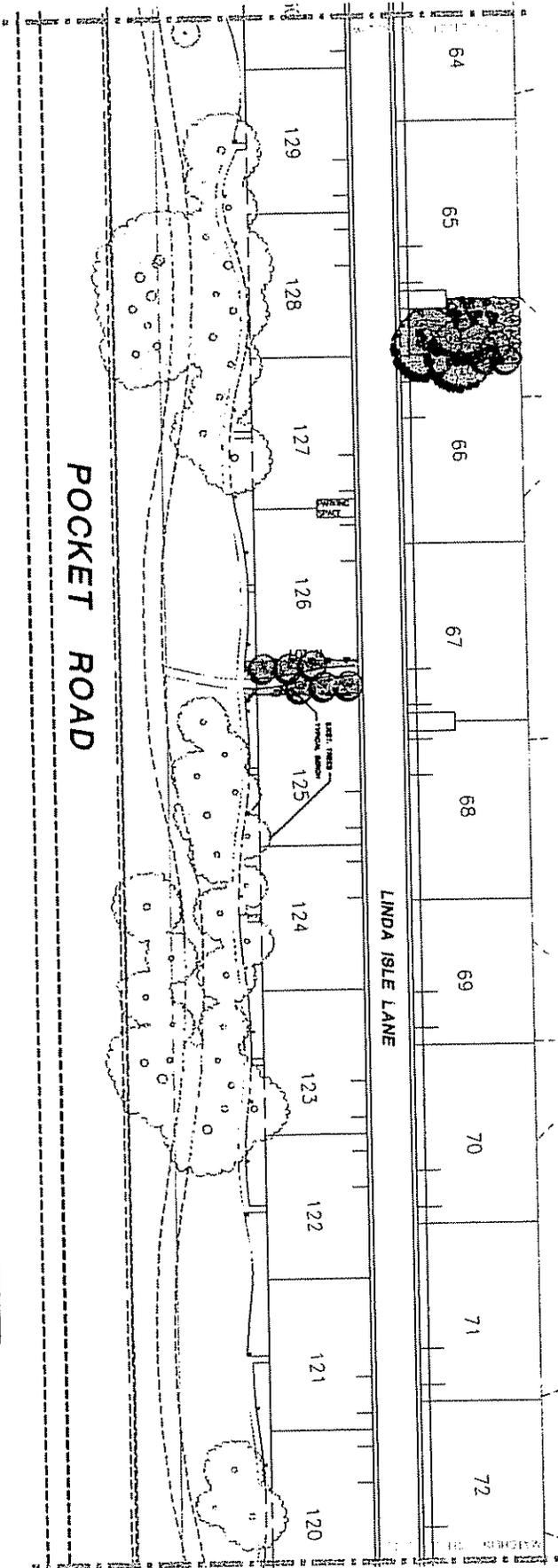
PLANTING NOTE
CONCEPTUAL PLANTING PLAN
FOR INFORMATION ONLY
ON REVISIONS TO THE PLAN SET

IRRIGATION NOTE
INDICATION OF CONCEPT & SCALE
BASED ON THE PLAN SET


 Conceptual Design
 PREPARED FOR PEGIS HOMES - JANUARY 2005



TYPICAL BENCH
SCALE: AS SHOWN



PLANTING NOTE
CONCEPTUAL PLANTING PLAN
FOR INDIVIDUAL HOME SITES
ON SHEETS 1118 THROUGH 1122.

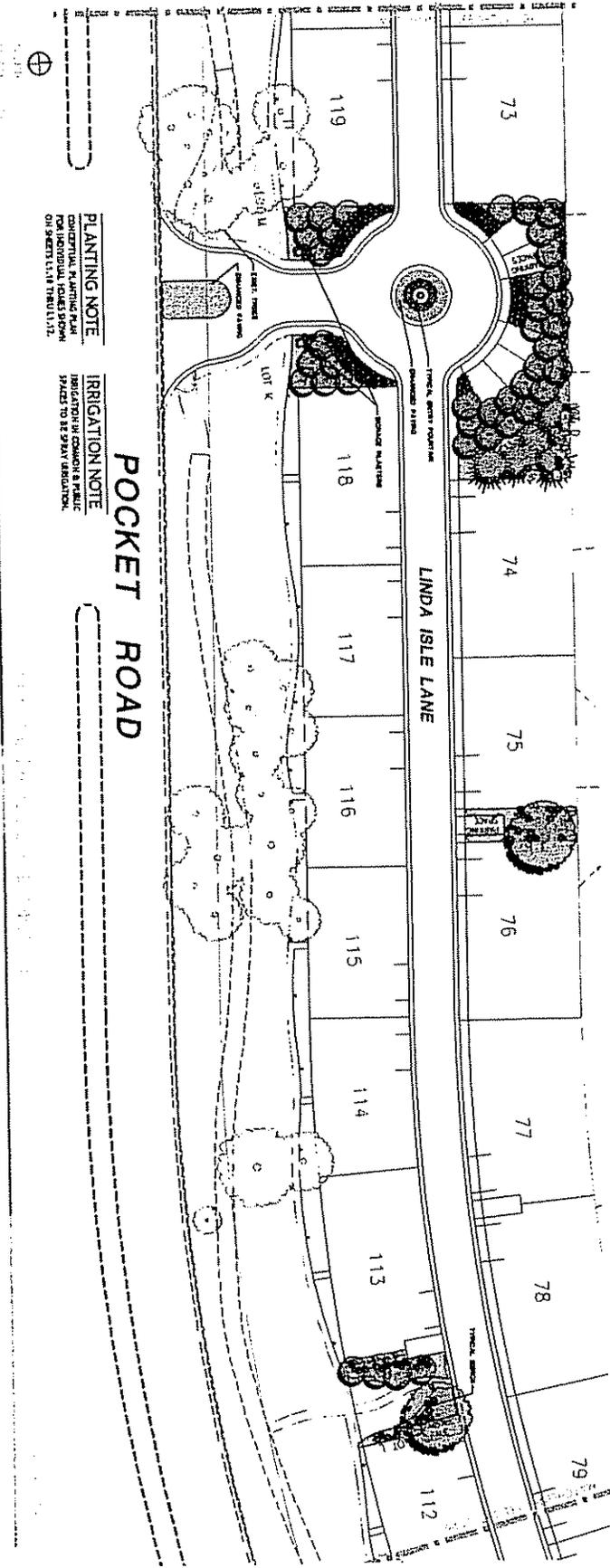
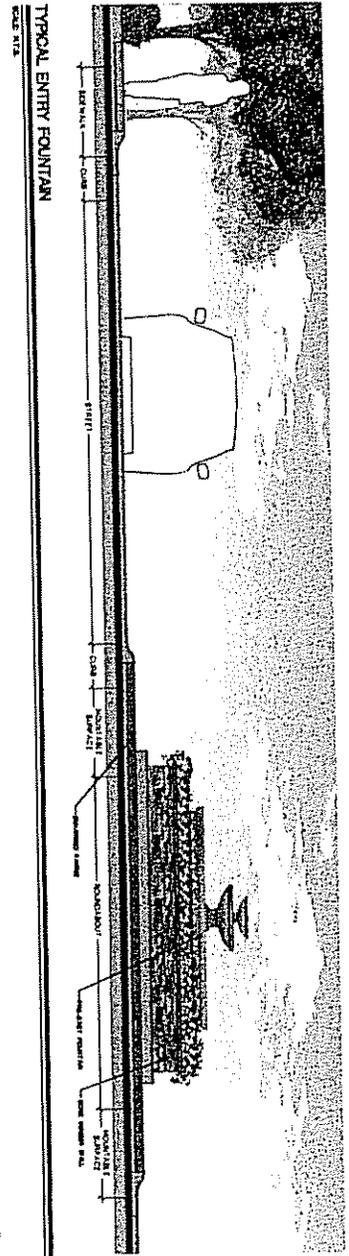
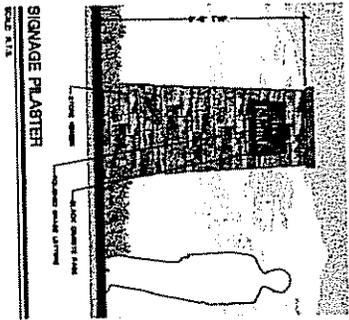
IRRIGATION NOTE
INDICATION OF CHANNEL IS FOR
SPACES TO BE FILL IRRIGATION.

THE PROJECT IS THE PROPERTY OF
LINDA ISLE LANE

Conceptual Design

PREPARED FOR REGIS HOMES JANUARY 2005





PLANTING NOTE
 CONCEPTUAL PLANTING PLAN
 FOR INDIVIDUAL LOTS IS SHOWN
 ON SHEETS LIA THROUGH L112.

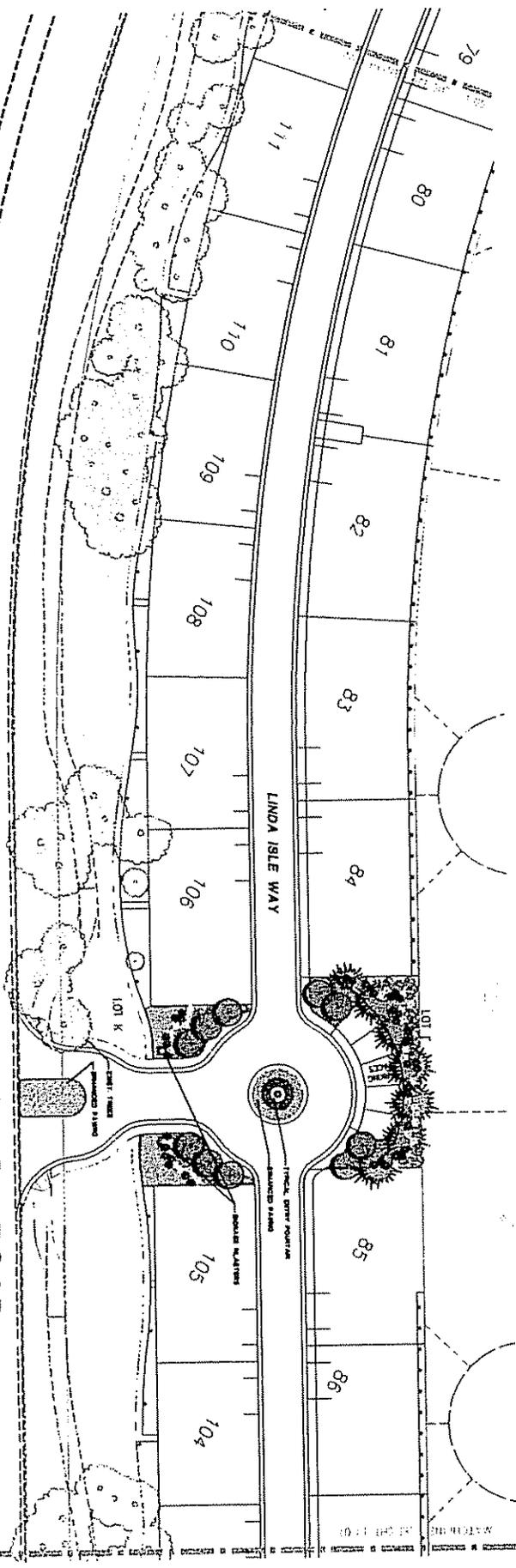
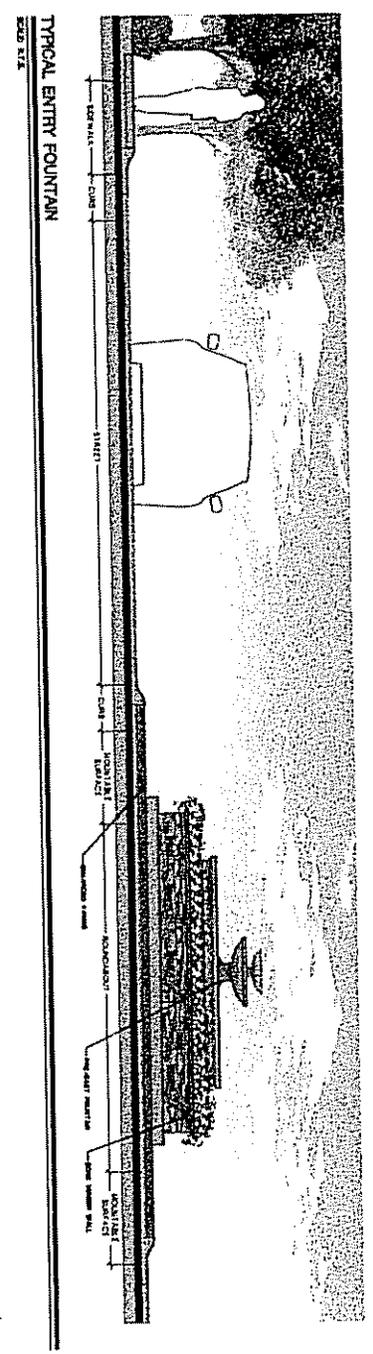
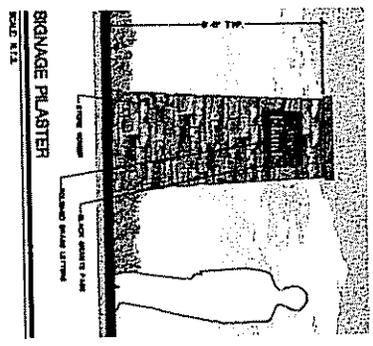
IRRIGATION NOTE
 IRRIGATION IN COMMON & PUBLIC
 SPACES TO BE SPRAY IRRIGATION.

CONCEPTUAL PLANTING PLAN
 FOR INDIVIDUAL LOTS IS SHOWN
 ON SHEETS LIA THROUGH L112.

Conceptual Design

PREPARED FOR REGIS HOMES - JANUARY 2005





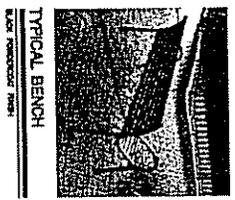
PLANTING NOTE
 CONCEPTUAL PLANTING PLAN
 FOR INFORMATION ONLY
 ON PERMIT PLAN TRULUST 12.

IRRIGATION NOTE
 IRRIGATION IN COMMON & PUBLIC
 SPACES TO BE PERMIT IRRIGATION
 ON PERMIT PLAN TRULUST 12.

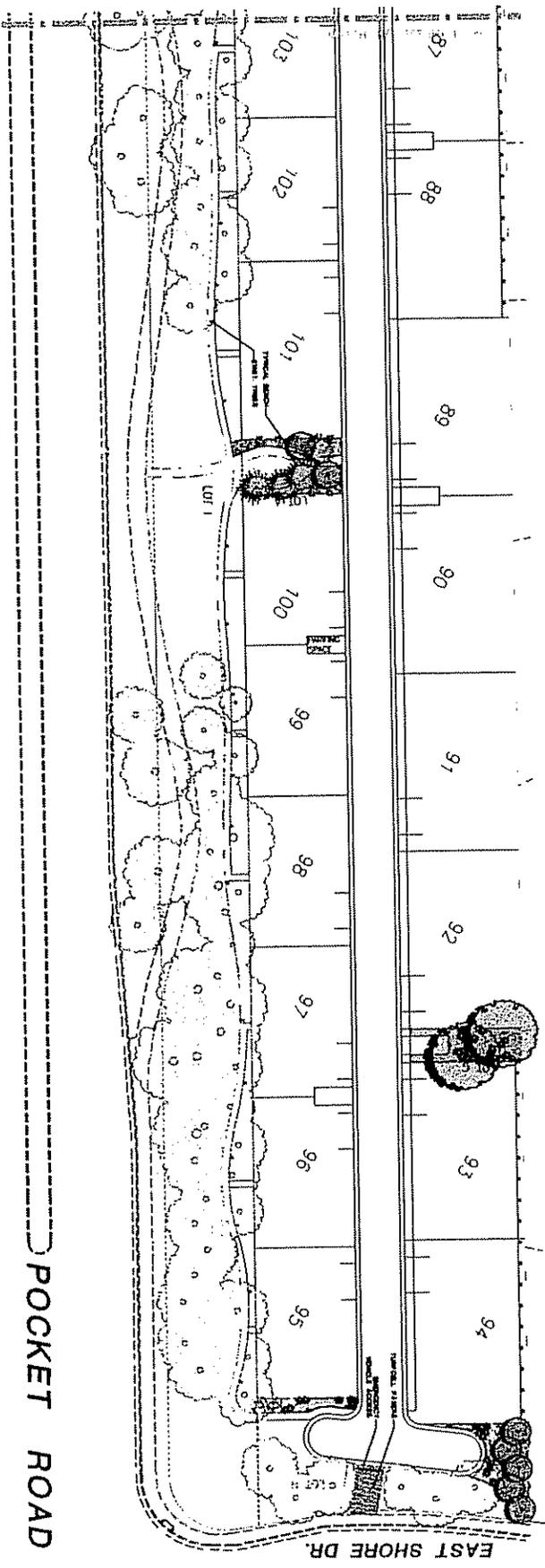
Conceptual Design

PREPARED FOR REGIS HOMES - JANUARY 2005





TYPICAL BENCH
FOR PROPOSED ROAD

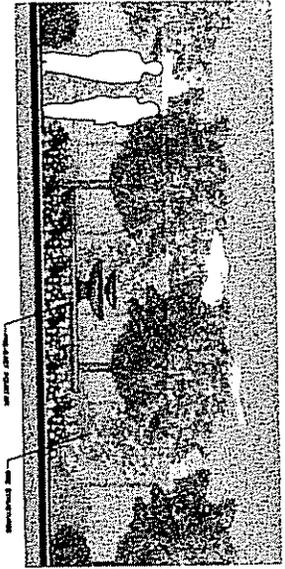


PLANTING NOTE
 IDENTICAL PLANTING PLAN
 FOR INDIVIDUAL HOMES WITH
 ON STREET LIGHT TYPICAL

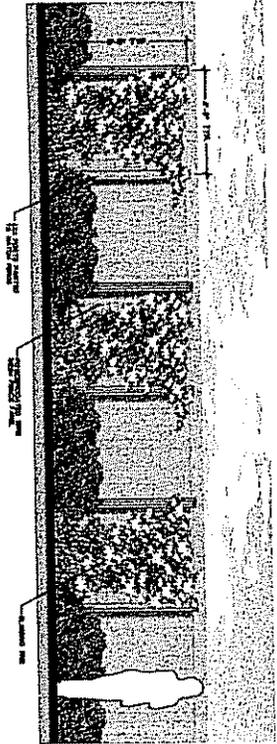
IRRIGATION NOTE
 IRRIGATION IN COMMON BY TRAIL
 SPACES TO BE SET INDENTATION

Conceptual Design
 PREPARED FOR REGIS HOMES - JANUARY 2005

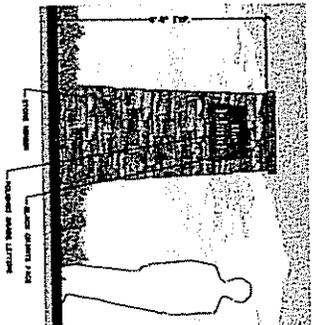




LOT E FOUNTAIN
SCALE 1/8" = 1'-0"

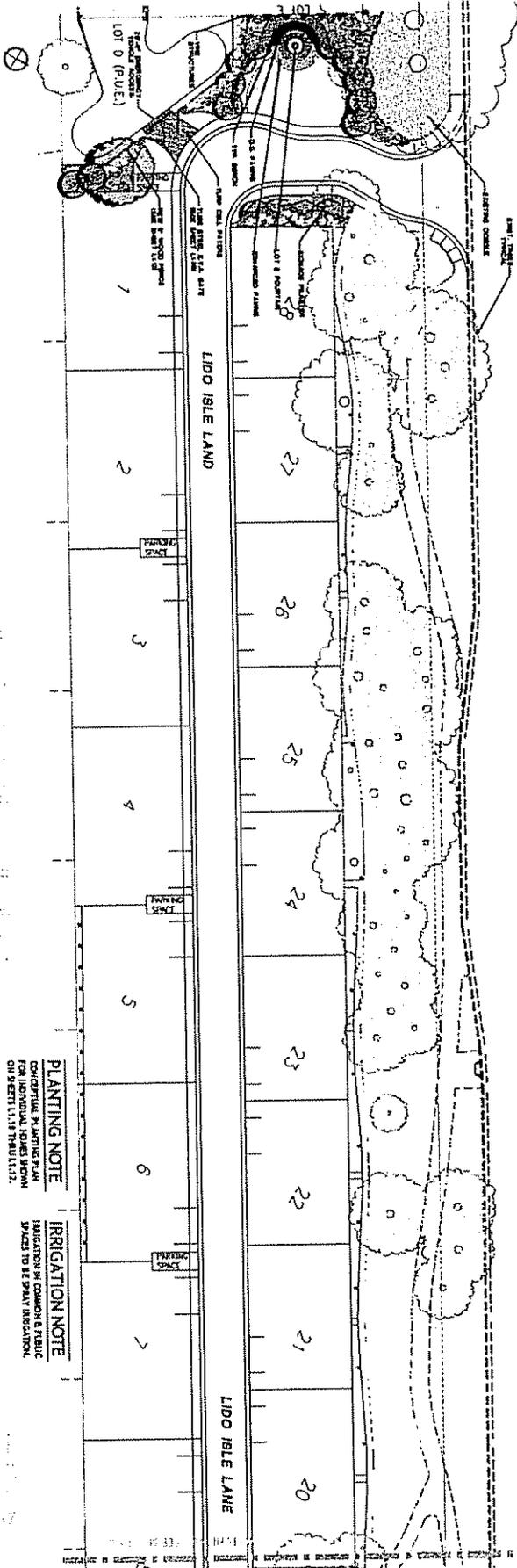


VINE STRUCTURES
SCALE 1/8" = 1'-0"



SIGNAGE PLANTER
SCALE 1/8" = 1'-0"

POCKET ROAD

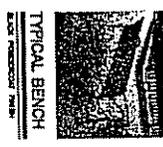
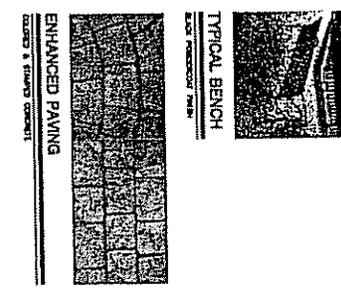
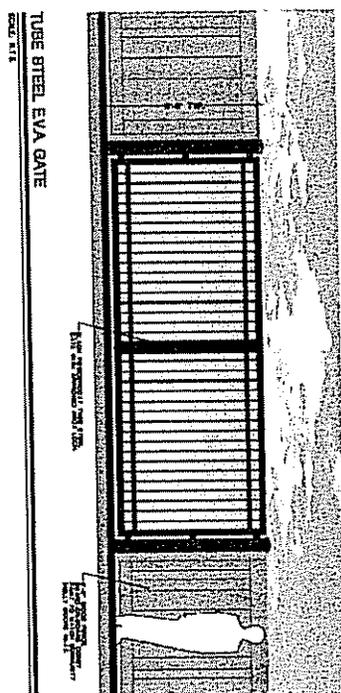
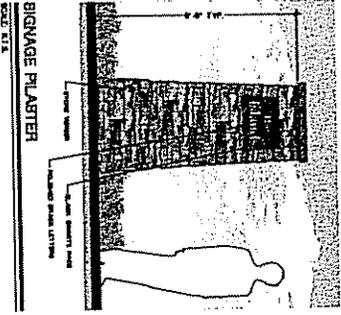


PLANTING NOTE
CONCEPTUAL PLANTING PLAN FOR INDIVIDUAL HOMES SHOWN ON SHEETS 1.11-1.18 THROUGH 1.21.

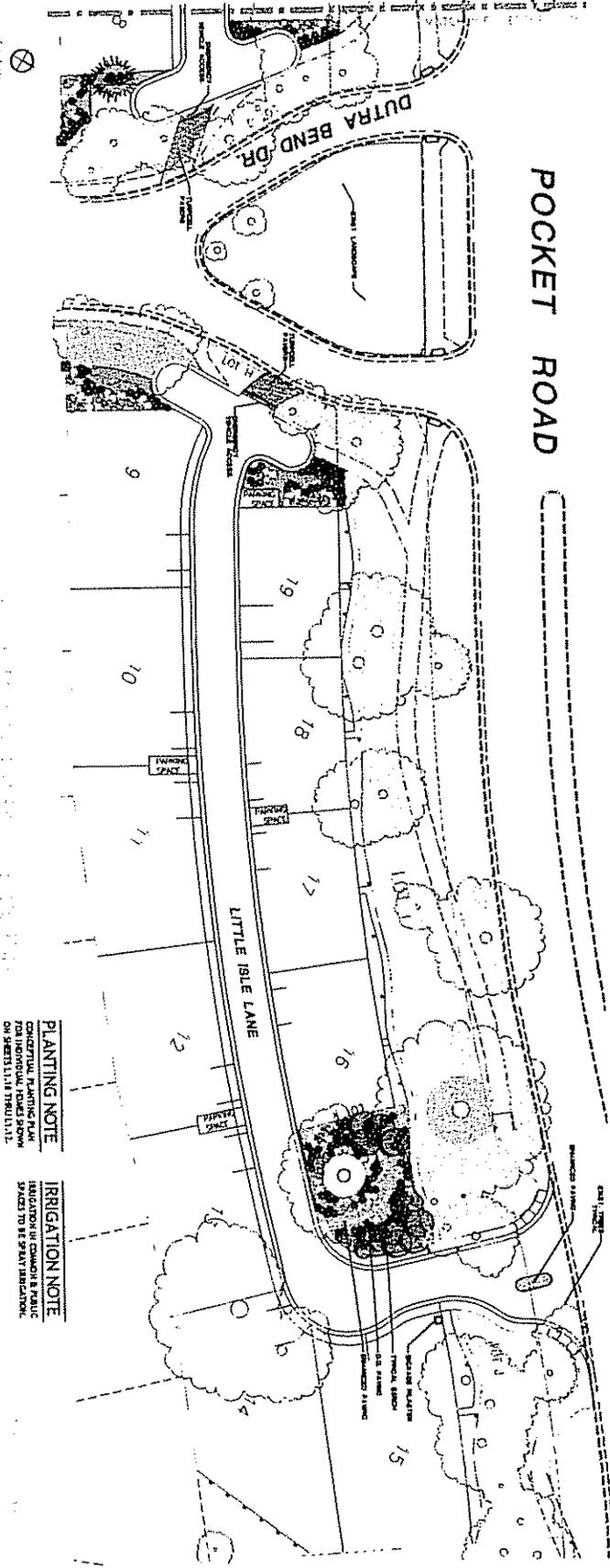
IRRIGATION NOTE
IRRIGATION IN COMMON & PUBLIC SPACES TO BE PLANT IRRIGATION.

Conceptual Design
PREPARED FOR PECOIS HOMES JANUARY 2005





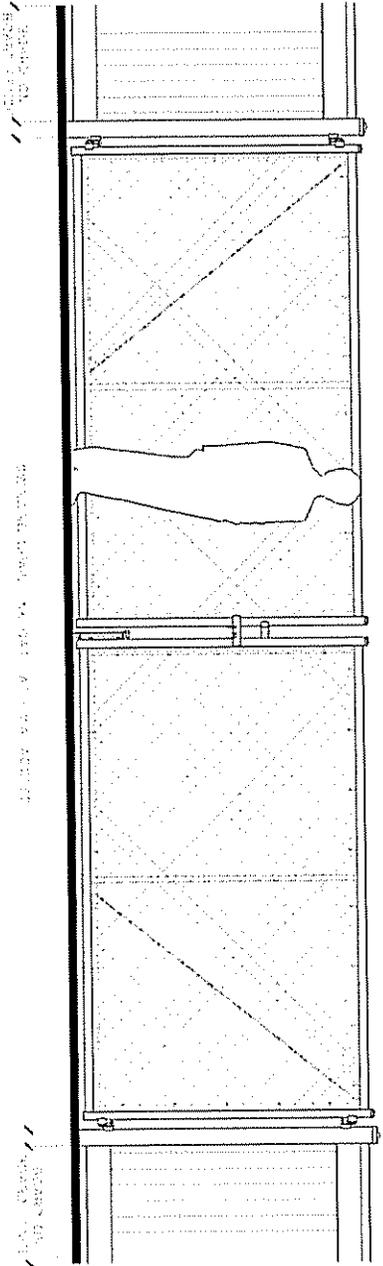
POCKET ROAD



Conceptual Design

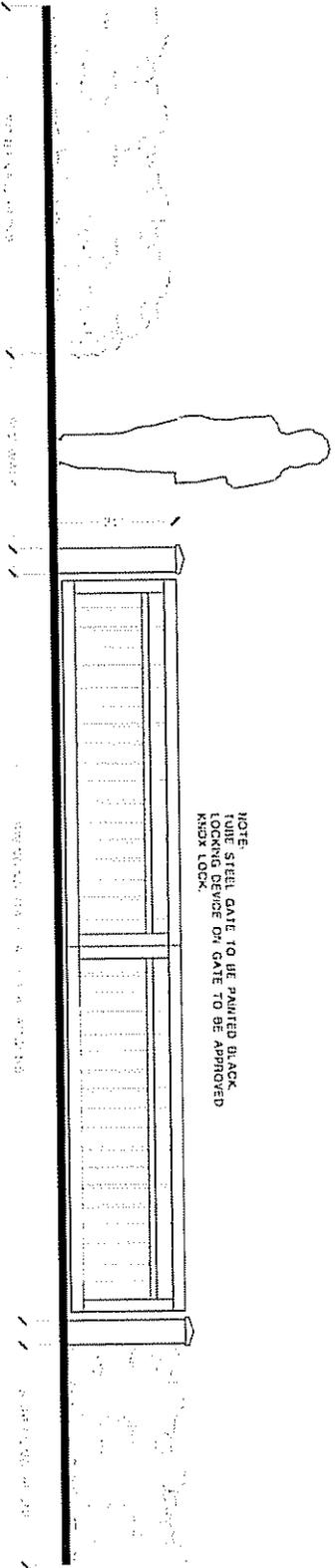
PREPARED FOR REGIS HOMES - JANUARY 2005

NOTE TO BE 3" CHAIN LINK FABRIC INTERWOVEN WITH VINYL SLATS. ALL PARTS ARE TO BE PAINTED GRAY. LOCKING DEVICE ON GATE TO BE APPROVED KNOX LOCK.



6-0' EVA CHAIN LINK GATE AT COLEMAN RANCH LOT #1 (SWINGING)
SCALE: N.T.S.

NOTE TO BE PAINTED BLACK. LOCKING DEVICE ON GATE TO BE APPROVED KNOX LOCK.



30' EVA GATE AT HAMMERHEADS (SWINGING)
SCALE: N.T.S.

EMERGENCY VEHICLE ACCESS GATE DETAILS
(AS APPROVED BY RIVERLAKE COMMUNITY ASSOCIATION'S ACC)

Exhibit D – Typical Site Plan

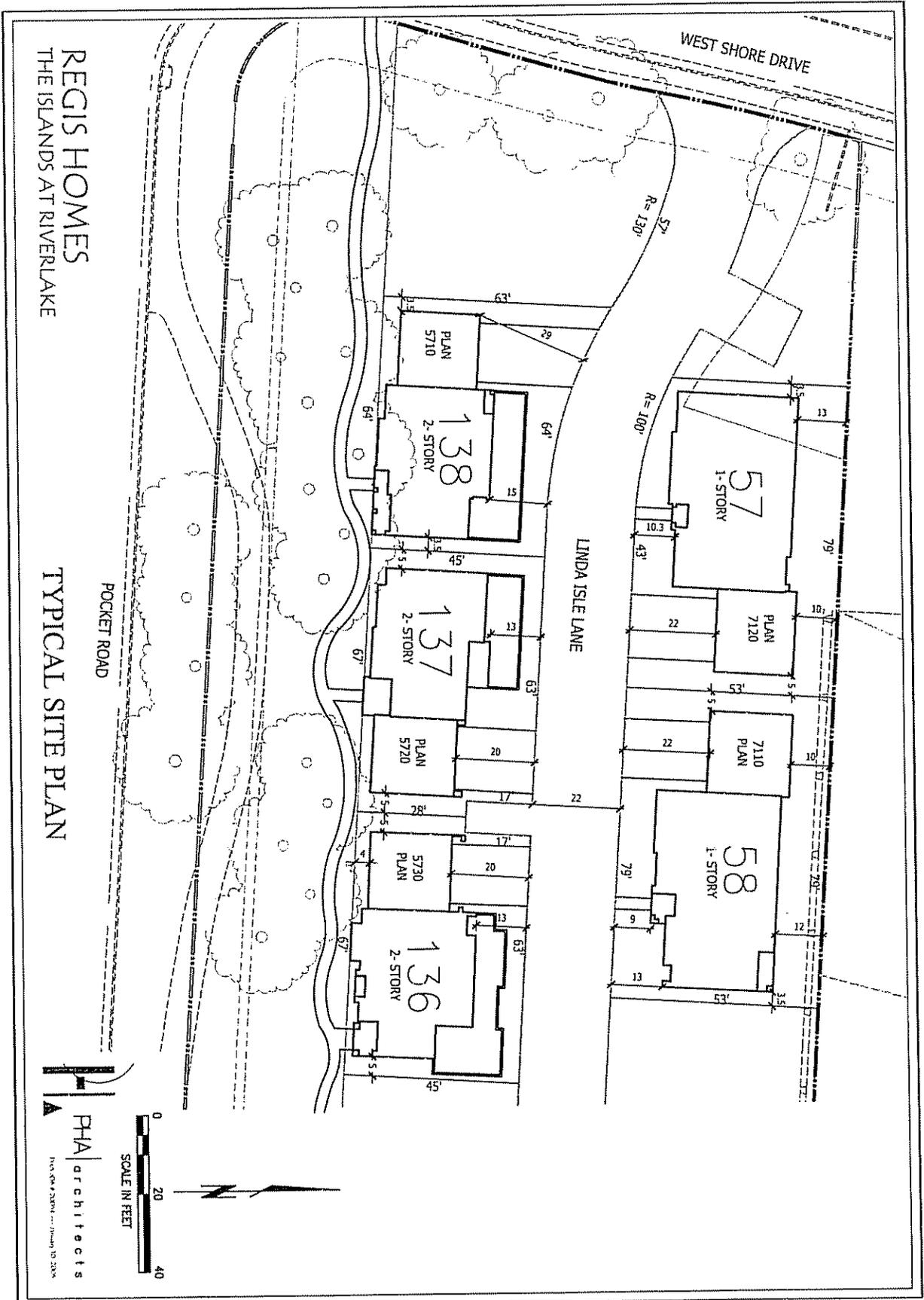
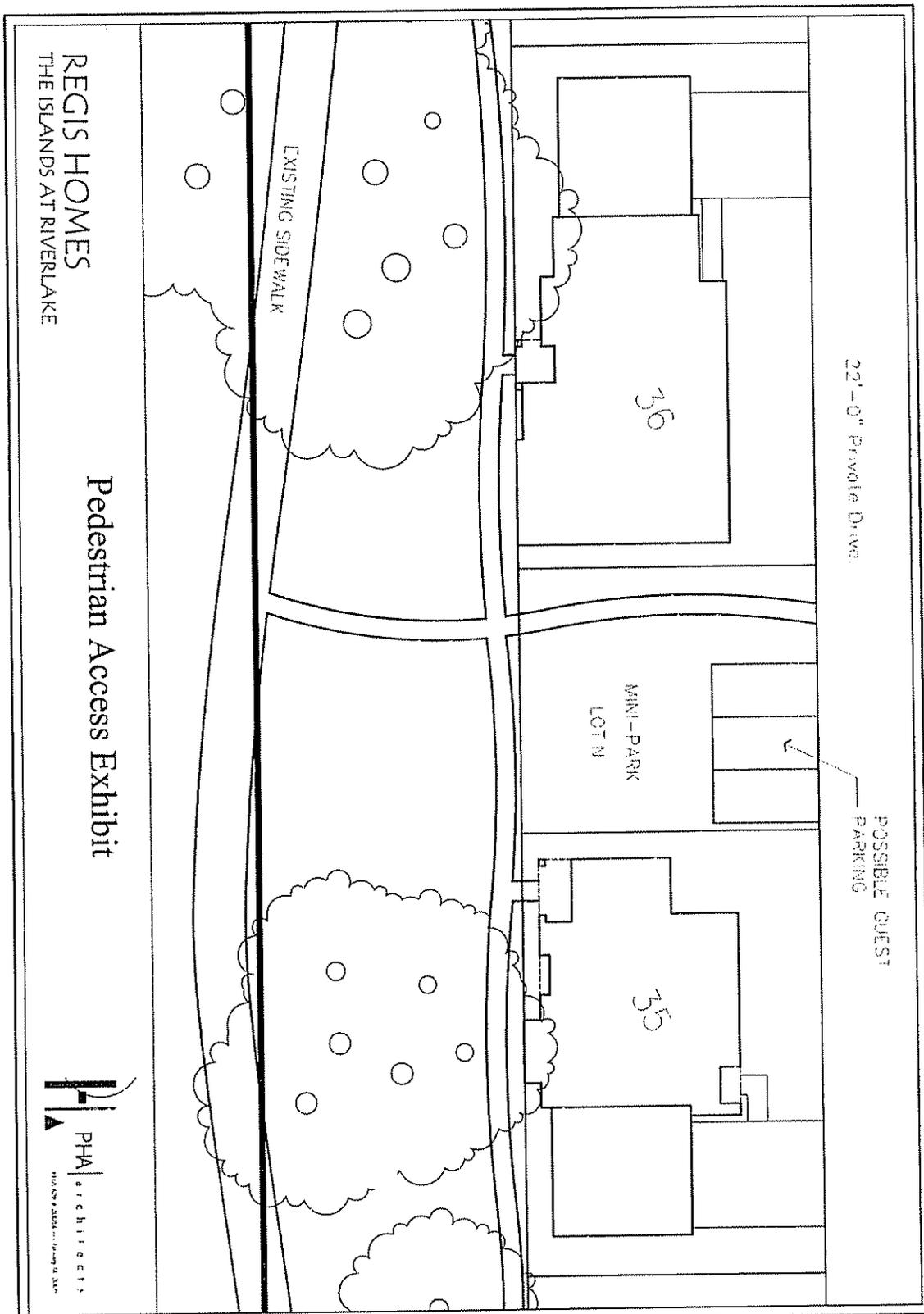


Exhibit E – Linear Parkway Pedestrian Access Plan

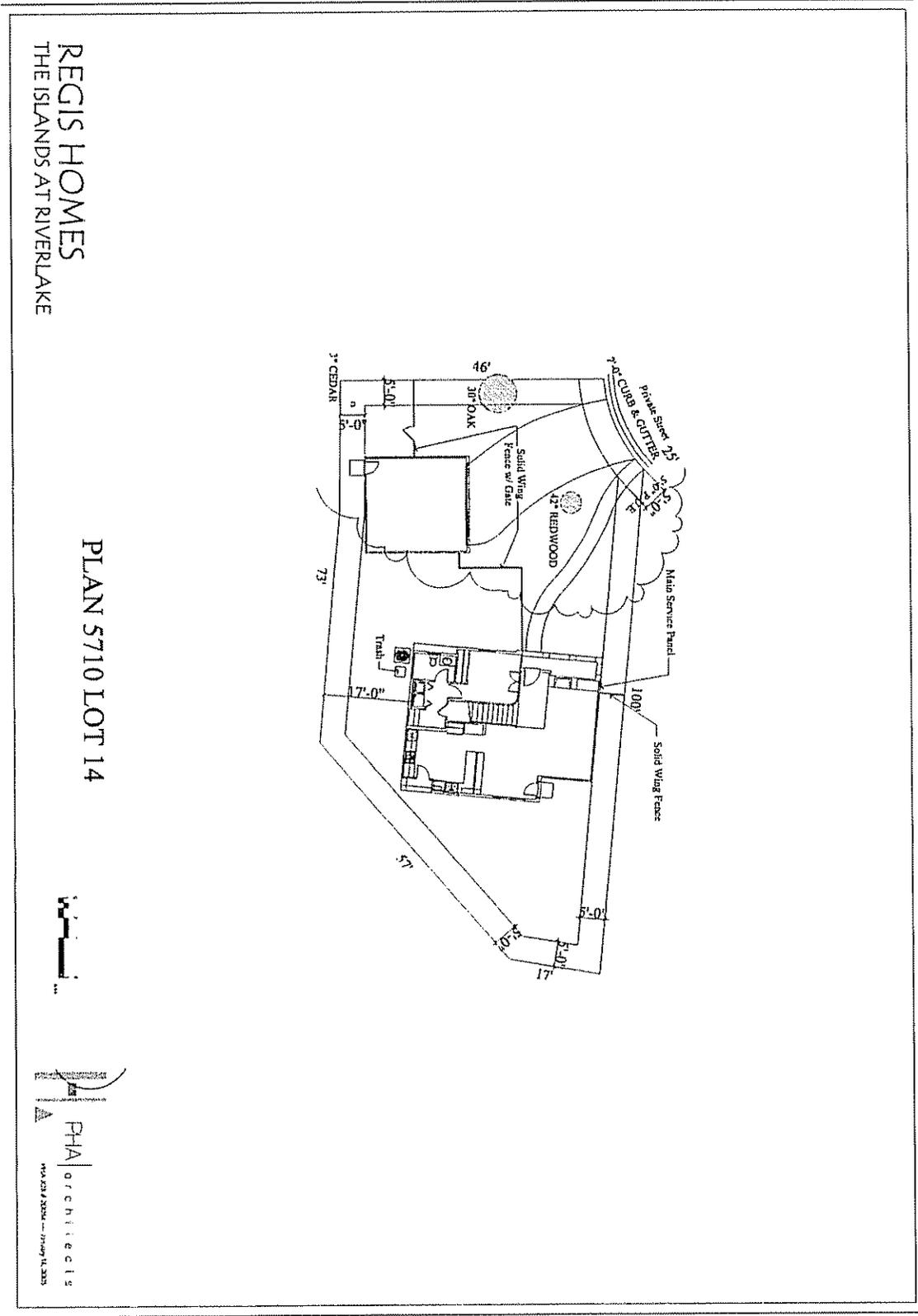


REGIS HOMES
THE ISLANDS AT RIVERLAKE

Pedestrian Access Exhibit



Exhibit F – Special Plot Plan-Lot 14



REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5710 LOT 14

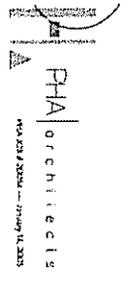
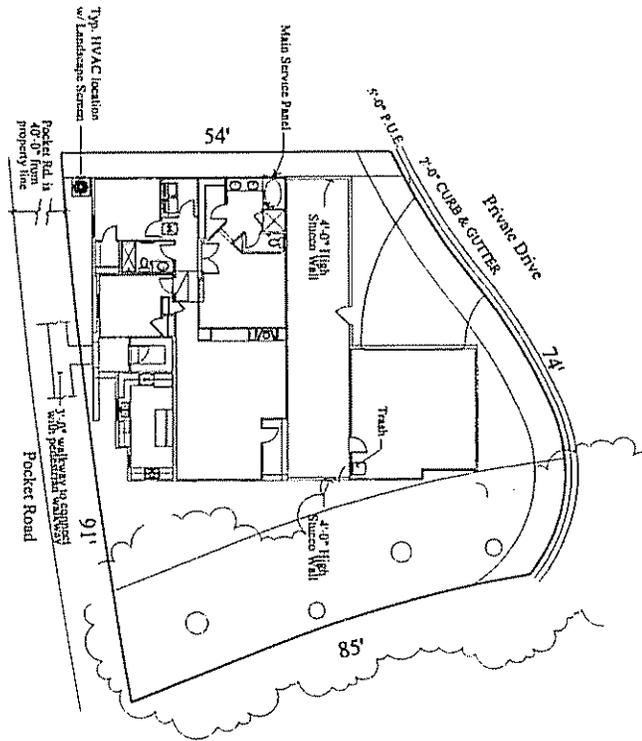


Exhibit G – Special Plot Plan – Lot 29

REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 7110 LOT 29

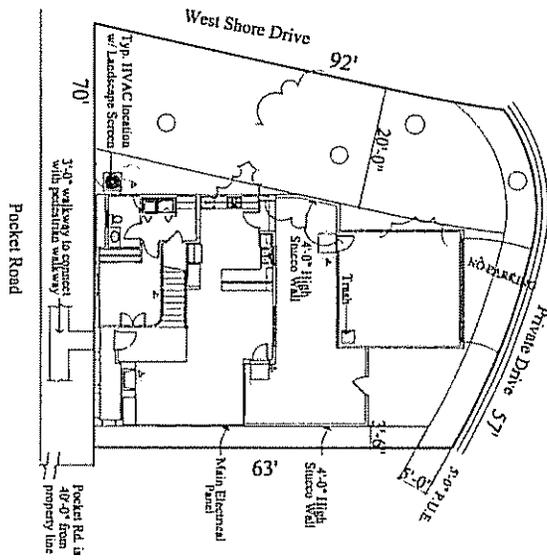


PHA Architects
NOV 2014 # 20004 - January 11, 2008

Exhibit H – Special Plot Plan – Lot 139

REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5710 LOT 139

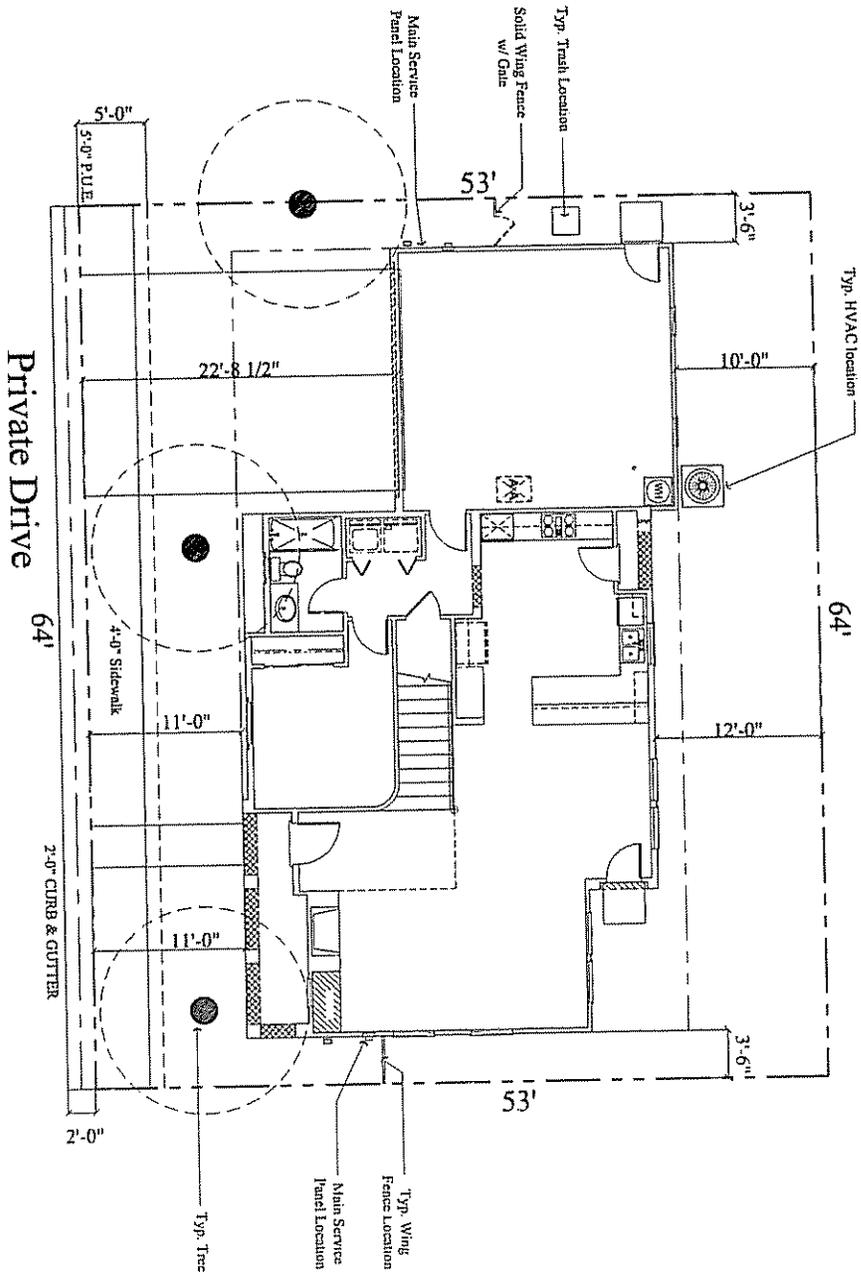


PHA architects
PHASITE DESIGN • KANSAS CITY, MO

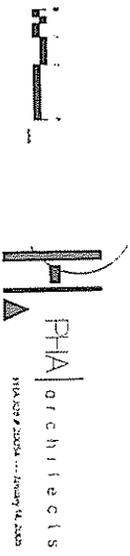
Exhibit I

REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5710
TYP. PLOT PLAN
Private Drive

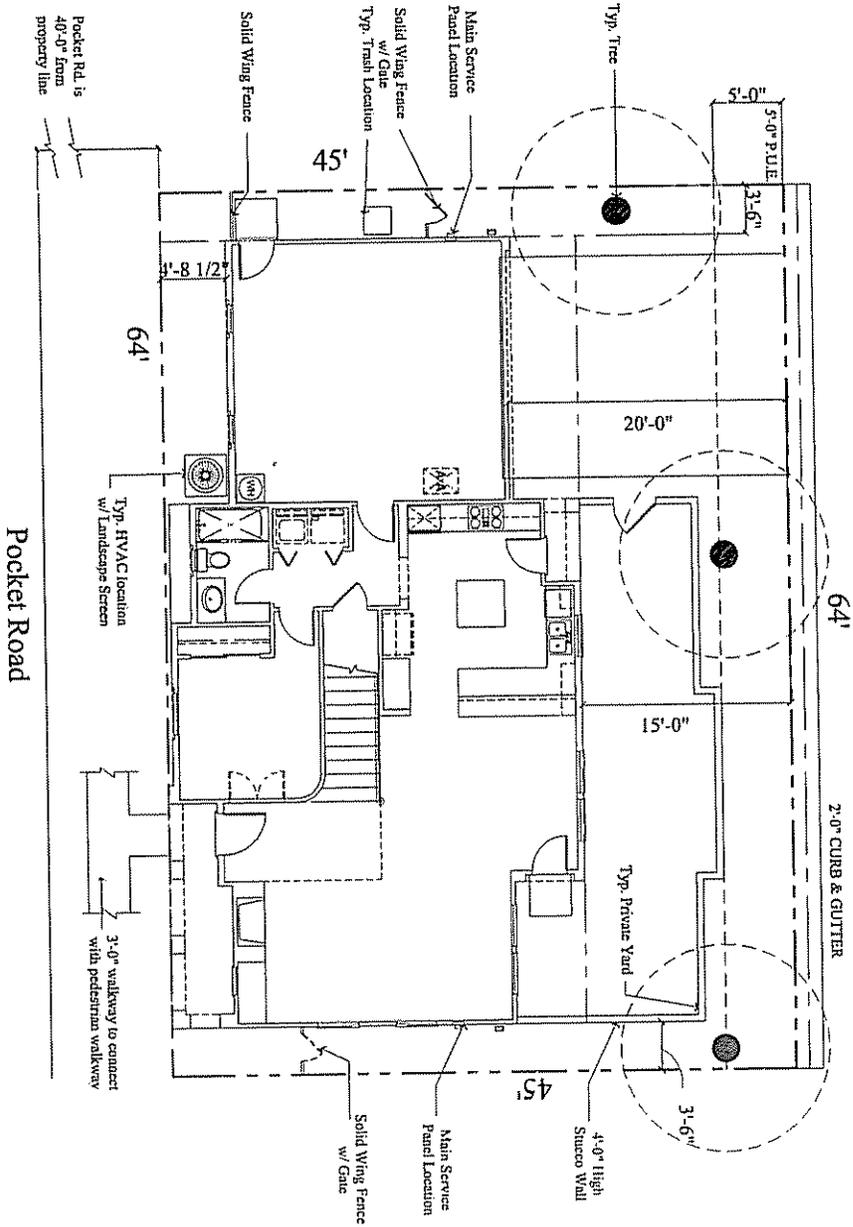


% of Lot Coverage	
Lot Size	1,392 s.f.
Bldg. Footprint	1,179 s.f.
% of coverage	41%
Walkways/Parking	470 s.f.
% of coverage	14%
Landscape	1,543 s.f.
% of coverage	45%

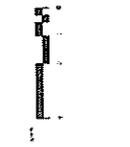


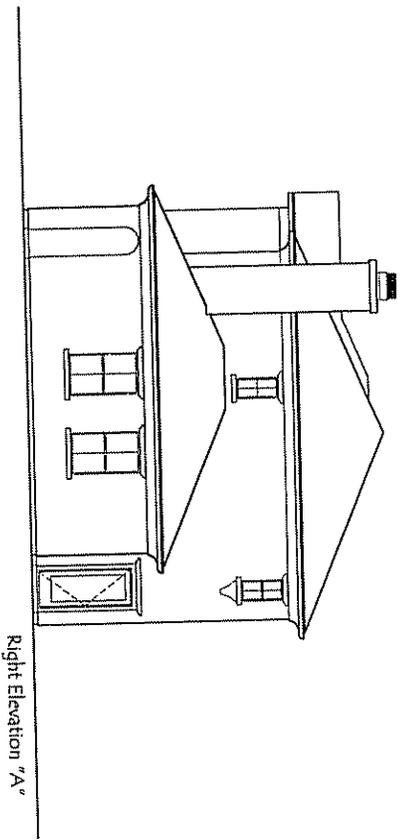
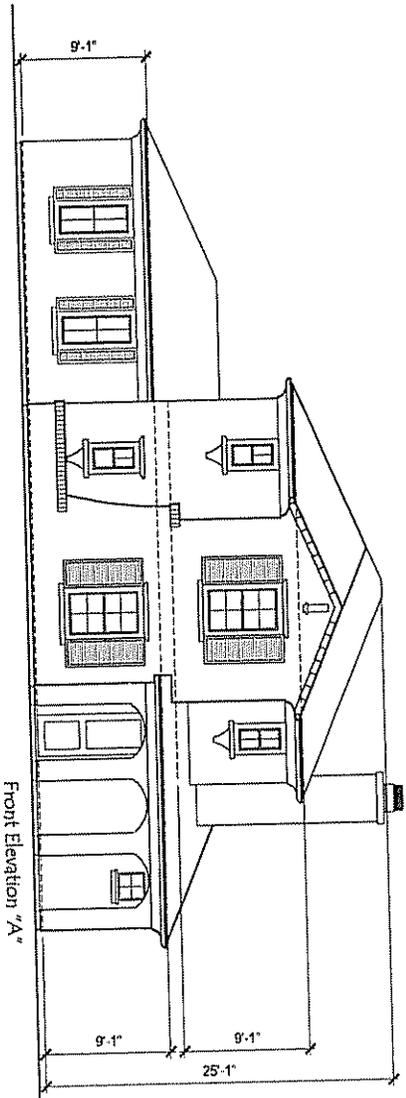
REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5710
TYP. PLOT PLAN
Pocket Road



% of Lot Coverage	
Lot Size	2,880 s.f.
Bldg. Footprint	1,372 s.f.
% of coverage	48%
Walkways/Parking	130 s.f.
% of coverage	11%
Landscape	1,488 s.f.
% of coverage	41%





ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4002-1	KM4072-5	H.C. MUDDOX MENDOCHNO	MONIER LEVATA GRANIDE BLEND TVACSR169
SCHEME 2	KM4055-3	KM4010-1	KM3B32-5		
SCHEME 3	KM4021-2	KM4047-5	KM4120-5		

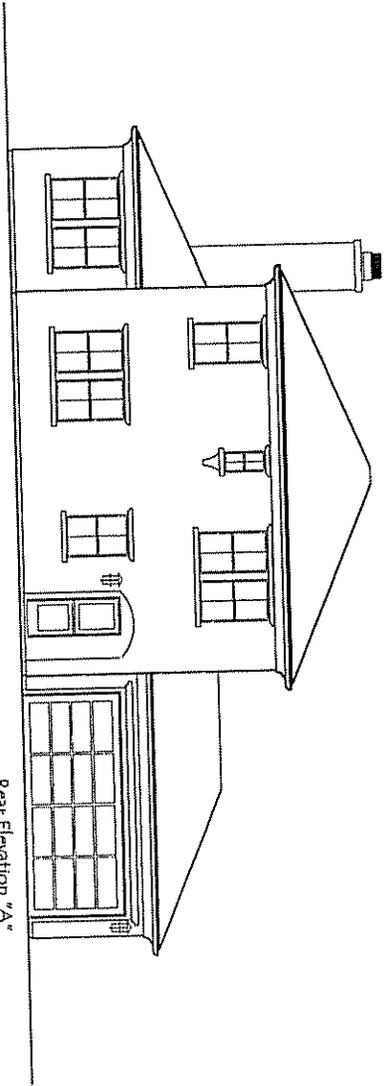
PAINT REFERENCED IS KELLY MOORE
 VENEER MATERIAL REFERENCED IS H.C. MUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

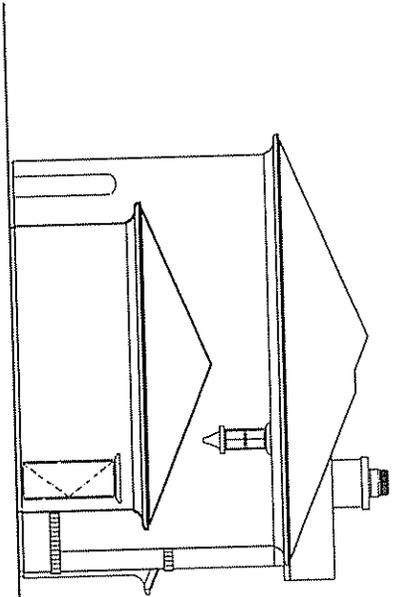
PLAN 5710
 EXTERIOR ELEVATION "A"
 Pocket Road



PHYSICIAN ARCHITECTS
 1104 65th Street, Suite 100, Denver, CO 80231



Rear Elevation "A"



Left Elevation "A"

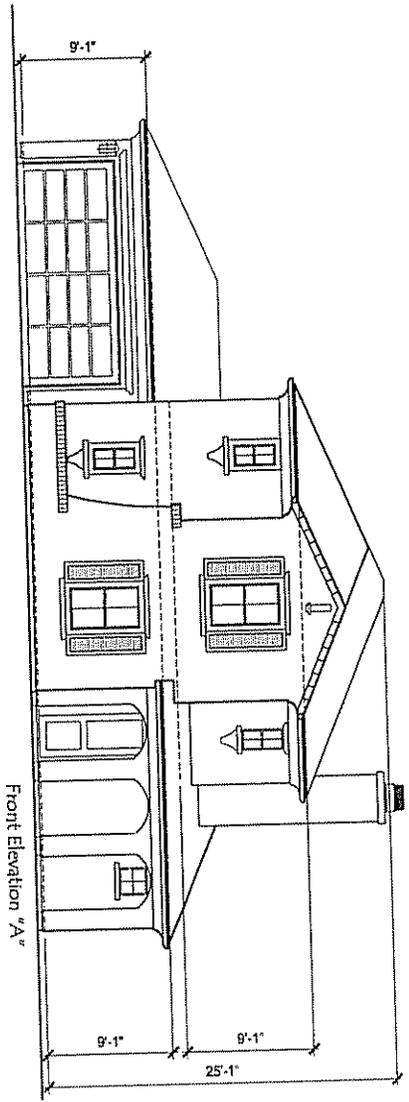
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4002-1	KM4072-5	H.C. AND DOX MENDOCINO	MONIER LIGHTER CASA GRANDE BLEND IVACSR19
SCHEME 2	KM4055-3	KM4010-1	KM8B32-5		
SCHEME 3	KM4021-2	KM4047-3	KM4120-5		

PAINT REFERENCED IS KELLY-MOORE
 BRICK MATERIAL REFERENCED IS H.C. AND DOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

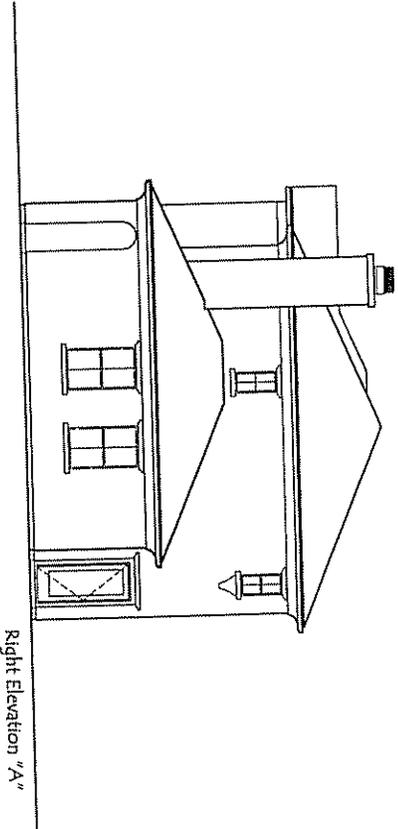
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5710
 EXTERIOR ELEVATION "A"
 Pocket Road





Front Elevation "A"



Right Elevation "A"

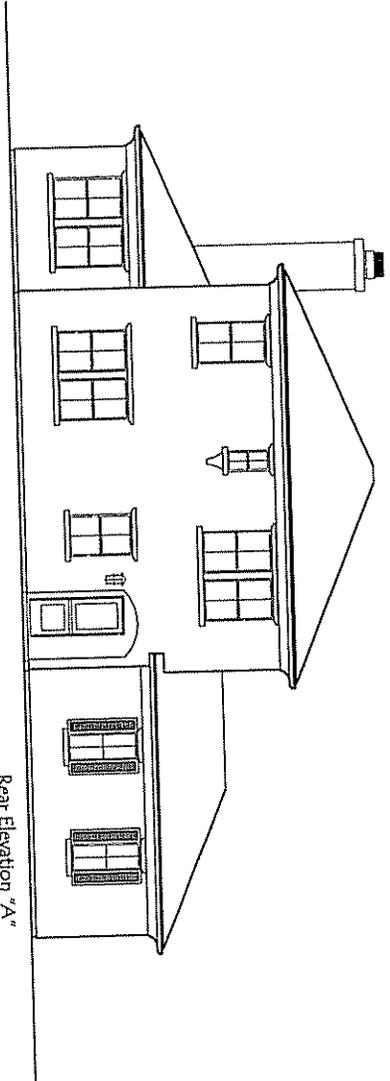
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4025-2	KM4022-1	KM4072-5	H.C. ANDRÉO MENDOCINO	MONIER L'ASIA GRANDE BLEND IVACS819
SCHEME 2	KM4055-5	KM4010-1	KM5B22-5		
SCHEME 3	KM4021-2	KM4047-3	KM4120-5		

PAINT REFERENCED TO VELUX ANDRÉO VENEER MATERIAL REFERENCED IS H.C. ANDRÉO BRICK ROOFING MATERIAL REFERENCED IS MONIER LIFETIME

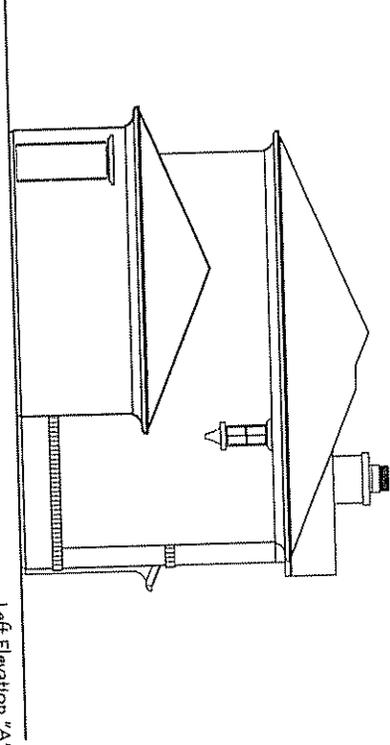
REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5710
EXTERIOR ELEVATION "A"
Private Drive





Rear Elevation "A"



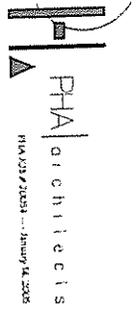
Left Elevation "A"

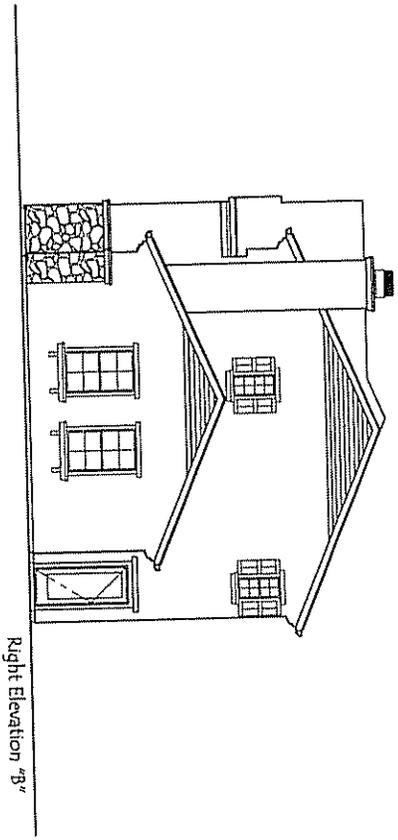
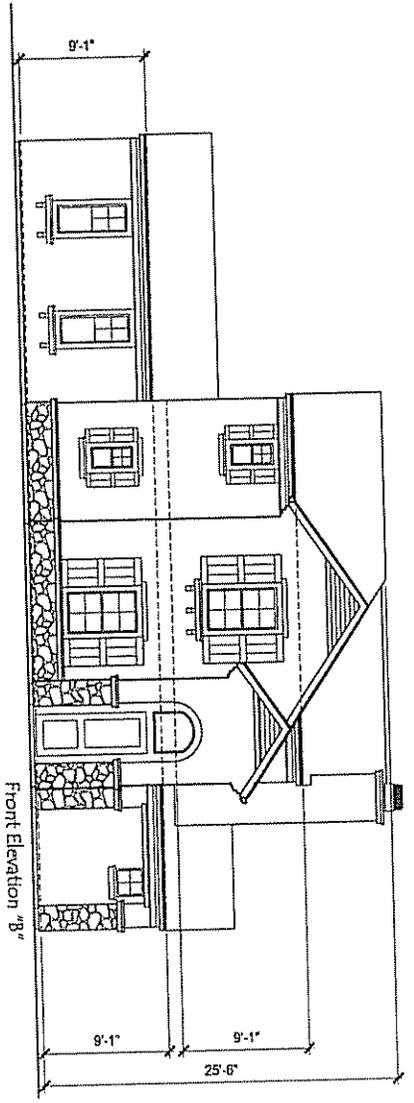
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4100-2	KM4107-5	H.C. MUDROCK	MONIER LIFETILE GRANDE BLEND TVAC5169
SCHEME 2	KM4055-3	KM4101-1	KM3832-5	MENDOCINO	
SCHEME 3	KM4071-2	KM4047-5	KM4120-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS H.C. MUDROCK BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5710
 EXTERIOR ELEVATION "A"
 Private Drive





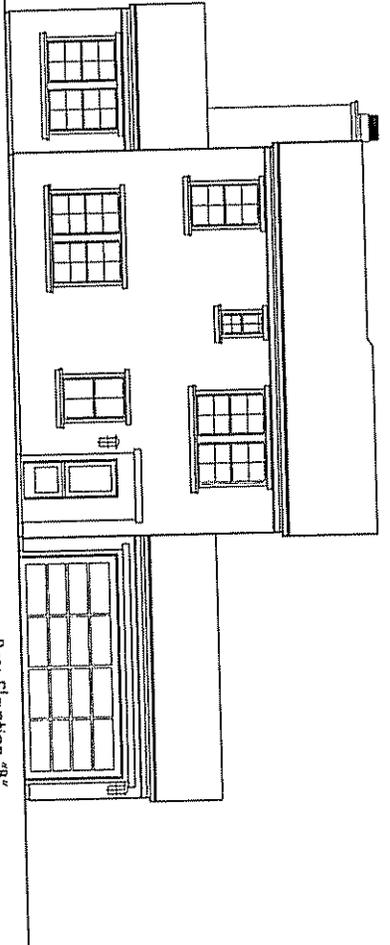
ELEVATION B MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	Z28	KA1927-3	KA1776-3	CUT/RED STONE CHARCON/AV	MONIER LIFETILE KOCOMO BLEND IFC/57/85
SCHEME 5	KA1974-3	Z6	KA1936-5	DRESSED FIELDSTONE CSV-20/2	
SCHEME 6	KA1190-3	KA1192-3	KA1932-2		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CUT/RED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

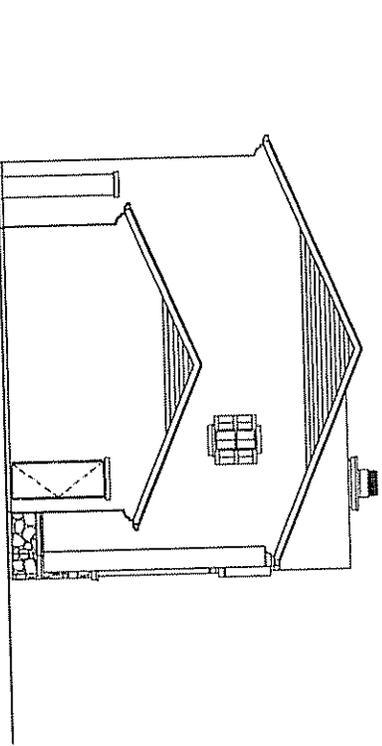
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5710
 EXTERIOR ELEVATION "B"
 Pocket Road





Rear Elevation "B"



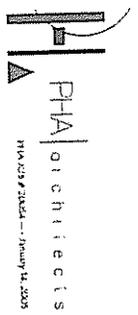
Left Elevation "B"

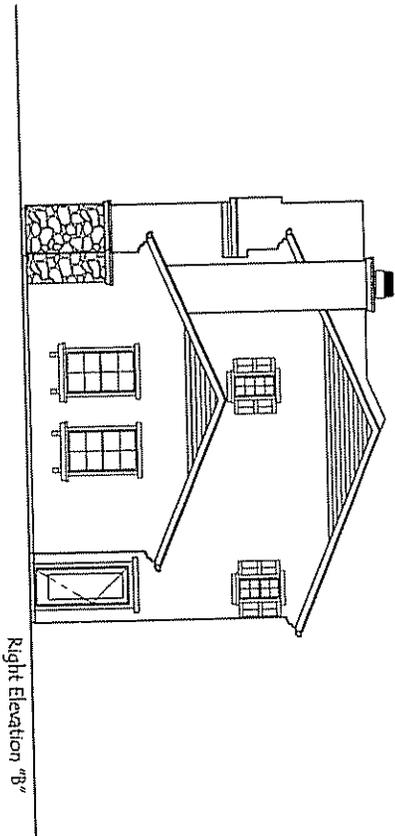
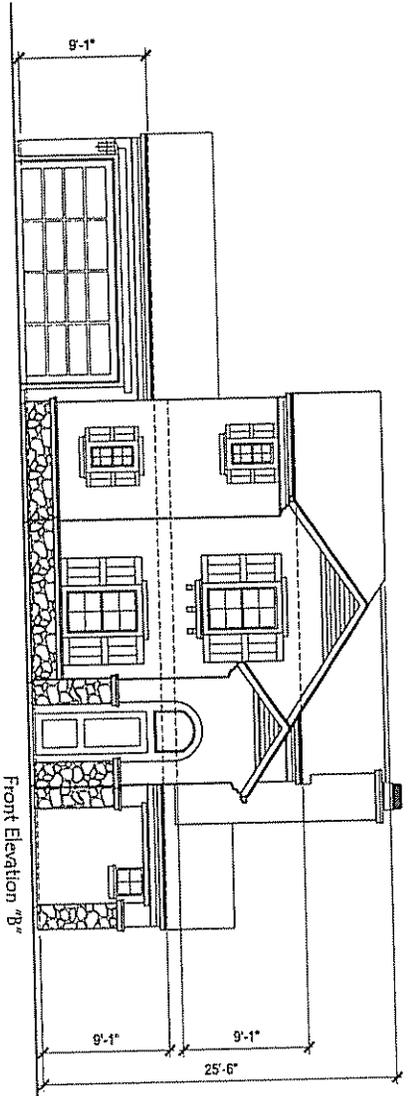
ELEVATION B MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	22B	KM4927-5	KM4776-5	CULTURED STONE	MONIER LIFE TILE BLEND
SCHEME 5	KM4974-3	26	KM4956-5	CULTURED STONE	MONIER LIFE TILE BLEND
SCHEME 6	KM4190-3	KM4192-5	KM4952-2	CULTURED STONE	MONIER LIFE TILE BLEND

PAINT REFERENCED IS KELLY-HOOPER VENEER MATERIAL REFERENCED IS MONIER STONE ROOFING MATERIAL REFERENCED IS MONIER LIFE TILE

REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5710
EXTERIOR ELEVATION "B"
Pocket Road





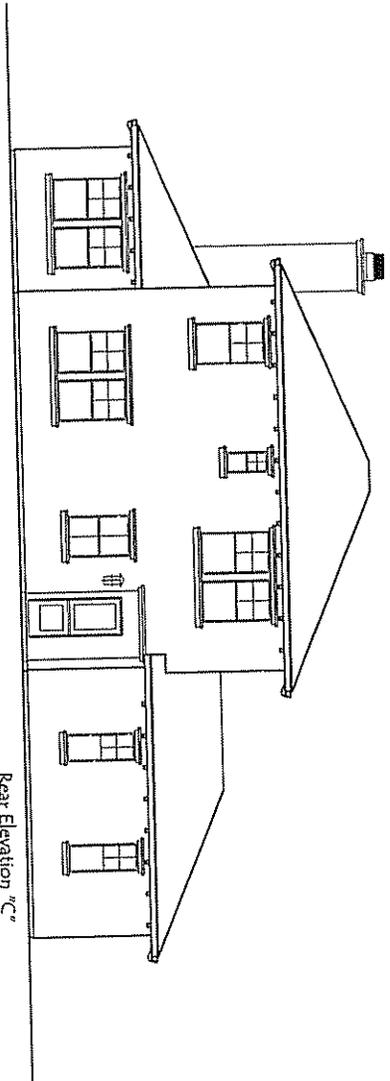
ELEVATION & MATERIALS	PAINT COLOR			STONE VENER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	228	KM43927-5	KM43776-5	CULTURED CHARDON/AV DRESSED FIELDSTONE	MONIER LIGHT KOCOMO BLEND HRCAS765
SCHEME 5	KM43974-5	26	KM43926-5	CULTURED CHARDON/AV DRESSED FIELDSTONE	MONIER LIGHT KOCOMO BLEND HRCAS765
SCHEME 6	KM44190-5	KM44192-5	KM43922-2	CULTURED CHARDON/AV DRESSED FIELDSTONE	MONIER LIGHT KOCOMO BLEND HRCAS765

PAINT REFERENCED IS KELLY-MOORE
 PAINT MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

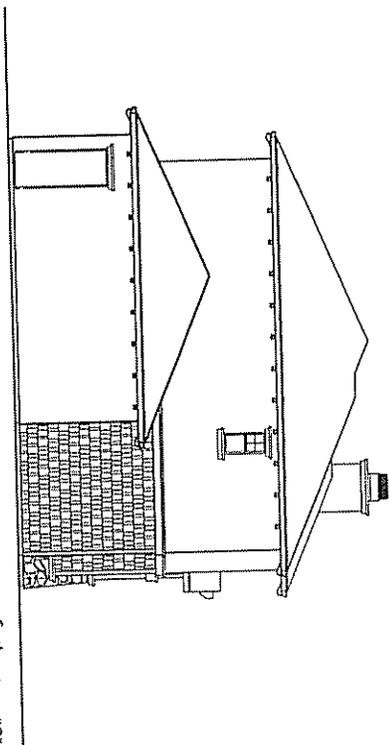
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5710
 EXTERIOR ELEVATION "B"
 Private Drive





Rear Elevation "C"



Left Elevation "C"

ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM43989-2	KM43974-3	KM43976-5	CULTURED STONE RUSTIC	MONIER LIFETILE CHACOAL BROWN #FAC5152
SCHEME 8	KM4179-1	KM4190-3	AC256-5	SOUTHERN LEDGESTONE	MONIER LIFETILE CHACOAL BROWN #FAC5152
SCHEME 9	KM44006-3	KM43984-5	KM43792-5	LEDGESTONE	MONIER LIFETILE CHACOAL BROWN #FAC5152

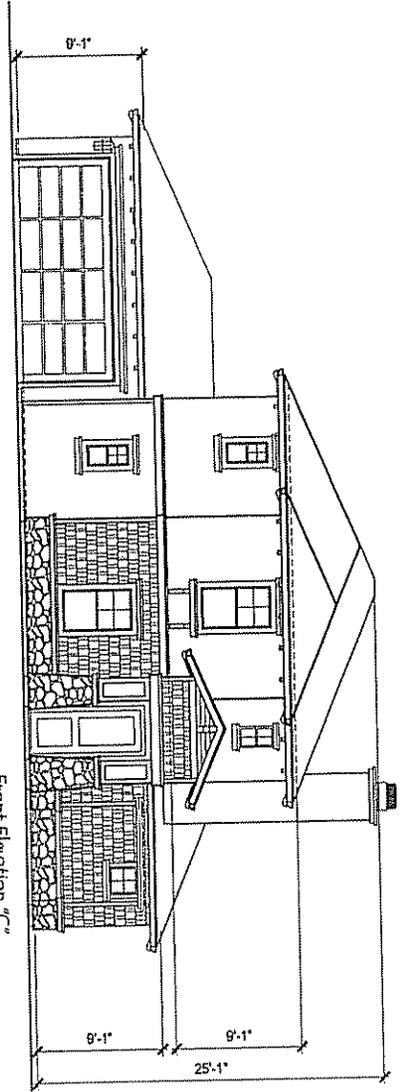
PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

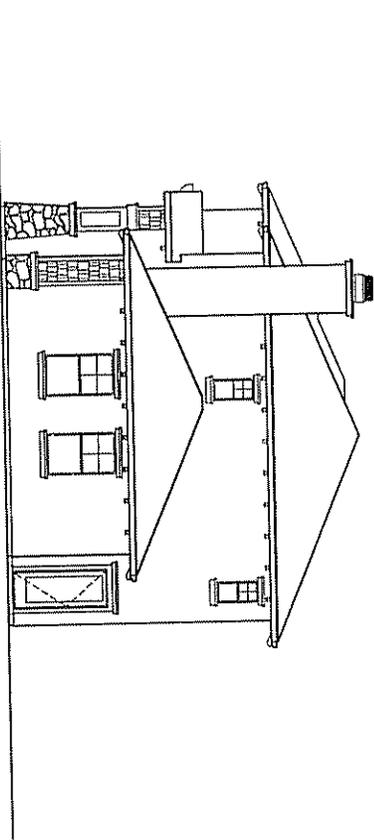
PLAN 5710
 EXTERIOR ELEVATION "C"
 Private Drive



PHILIP A. HARRIS ARCHITECTS
 1000 N. 10th St., Suite 100
 Phoenix, AZ 85006



Front Elevation "C"



Right Elevation "C"

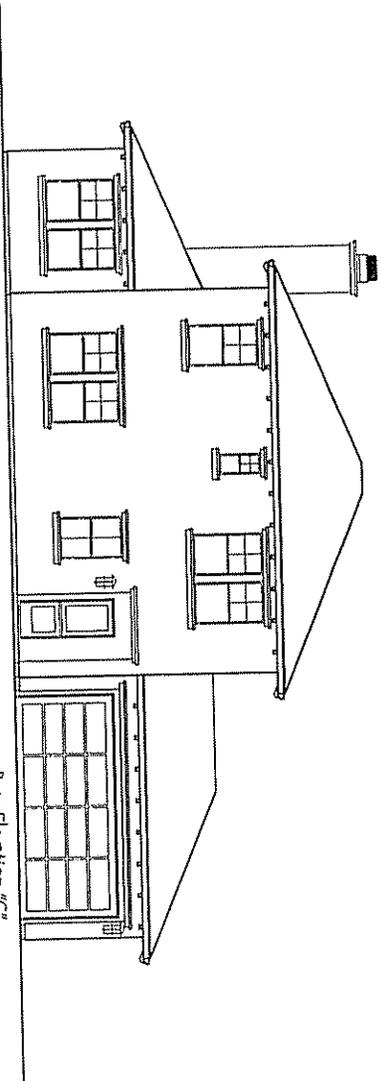
ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM3999-2	KM3974-3	KM3976-5	CULTURED STONE RUSTIC SOUTHERN LEDGESTONE (SV-2055)	MONIER LIFETILE CHARCOAL BROWN BLEND (MAC1152)
SCHEME 8	KM4179-1	KM4190-3	AC256-5		
SCHEME 9	KM4006-3	KM3956-5	KM3792-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

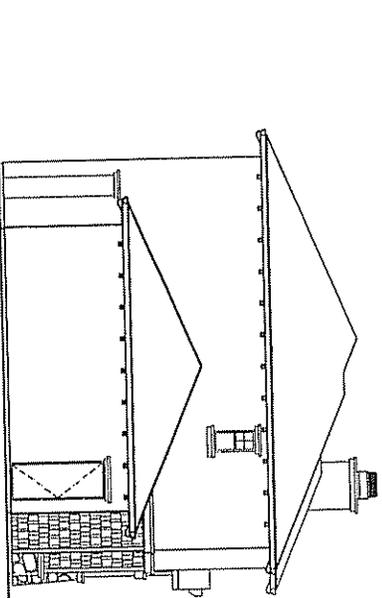
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5710
 EXTERIOR ELEVATION "C"
 Private Drive





Rear Elevation "C"



Left Elevation "C"

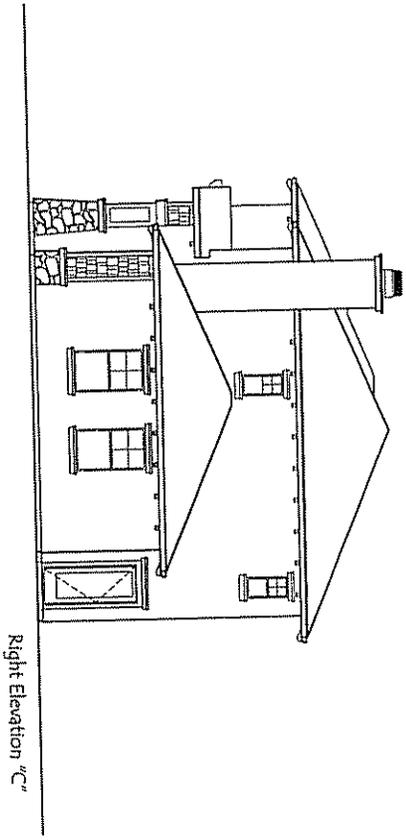
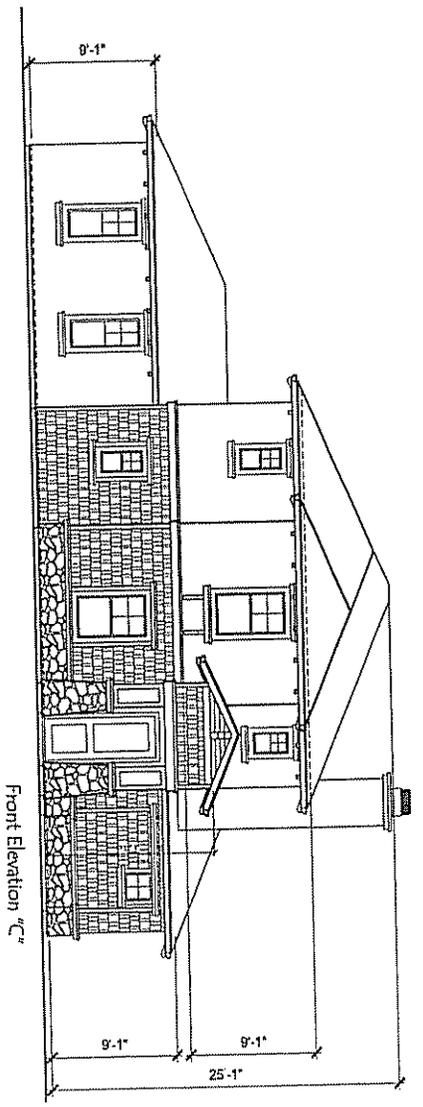
ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM43989-2	KM43974-3	KM43976-5	CULTURED STONE	MONIER CHARCOAL BLEND
SCHEME 8	KM4179-1	KM4180-5	A256-5	SOUTHERN LEDGESTONE	IFAC5152
SCHEME 9	KM44006-3	KM43956-5	KM43972-5		

PAINT REFERENCED IS KELLY-MOORE VENEER MATERIAL REFERENCED IS CULTURED STONE ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5710
EXTERIOR ELEVATION "C"
Pocket Road





ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM4598-2	KM4597-4-3	KM4597-6-5	CULTURED STONE	MIDNIGHT CLASSICAL BLEND
SCHEME 8	KM4179-1	KM4190-3	AC256-5	SOUTHERN LEDGESTONE	TRACISTE
SCHEME 9	KM4406-3	KM5956-5	KM4579-2-5		

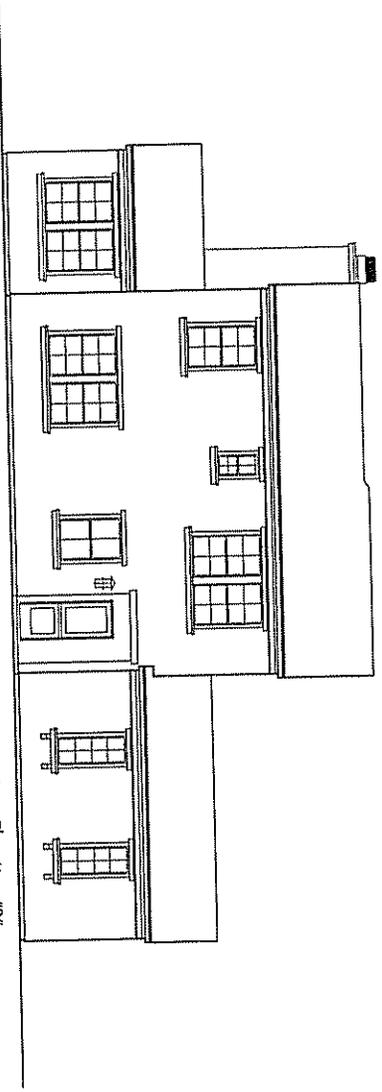
PAINT REFERENCED TO KELLY ANCORE VENEER MATERIAL REFERENCED IS CULTURED STONE ROOFING MATERIAL REFERENCED IS MONIER LIFE TILE

REGIS HOMES
THE ISLANDS AT RIVERLAKE

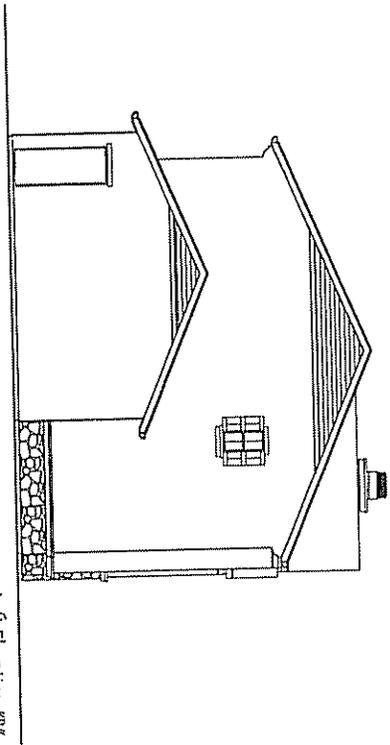
PLAN 5710
EXTERIOR ELEVATION "C"
Pocket Road



PHA architects
1114 N. 20th St. - Suite 100 - Phoenix, AZ 85005



Rear Elevation "B"



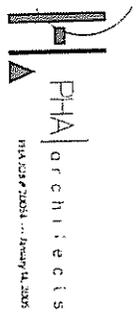
Left Elevation "B"

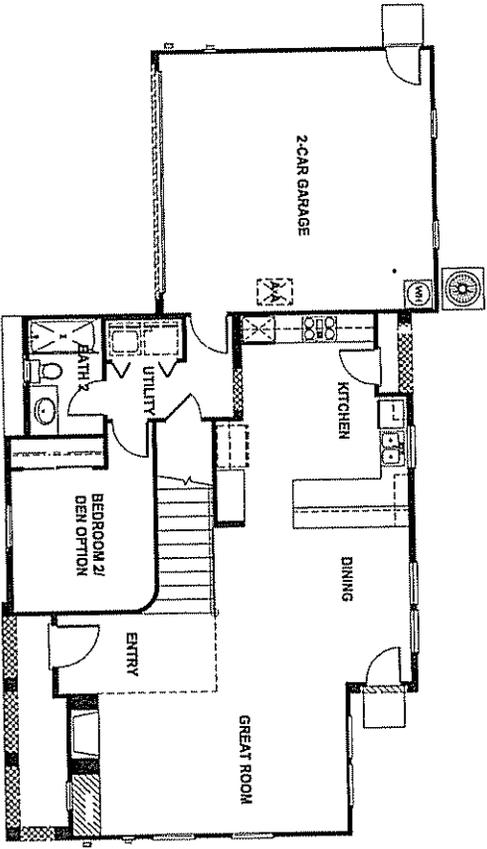
ELEVATION B MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	22B	KM43927-3	KM43774-3	CULTURED STONE	MONIER LIFE TILE
SCHEME 5	KM43974-3	26	KM43936-5	CHARCON VY PRESSURE TREATED	KOOLIN 1800/5745
SCHEME 6	KM4190-3	KM4192-5	KM43932-2	CSV-2022	

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFE TILE

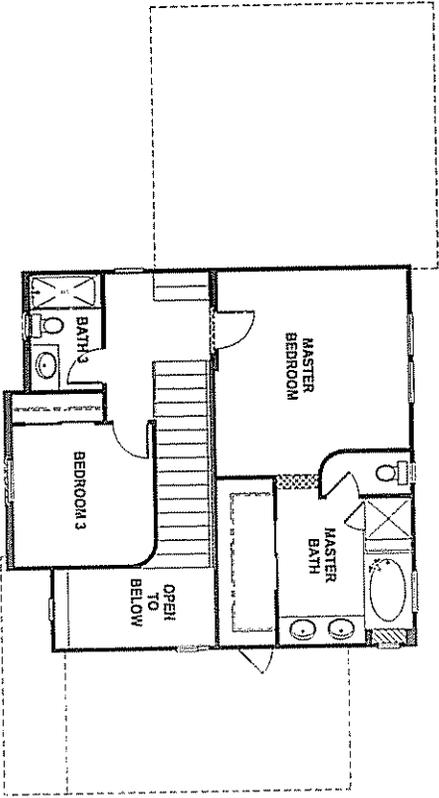
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5710
 EXTERIOR ELEVATION "B"
 Private Drive





Private Drive Main Level Floor Plan



Private Drive Upper Level Floor Plan

REGIS HOMES
THE ISLANDS AT RIVERLAKE

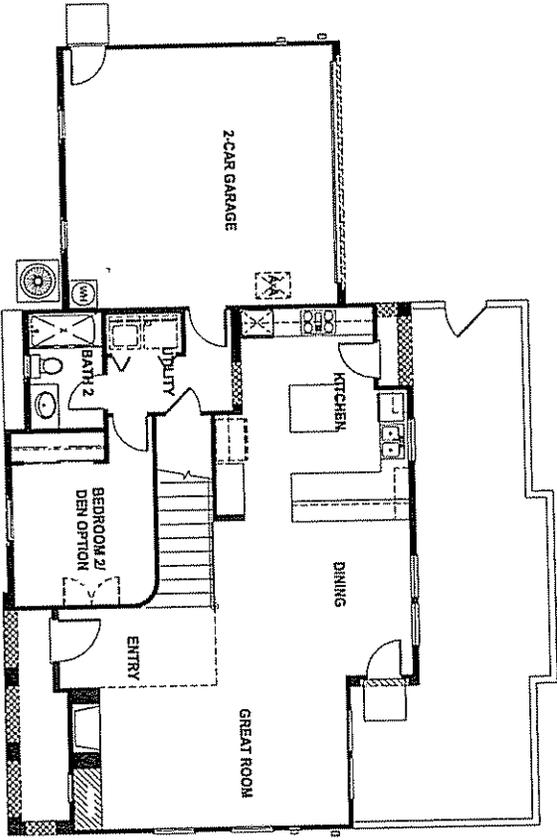
PLAN 5710
FLOOR PLAN
Private Drive



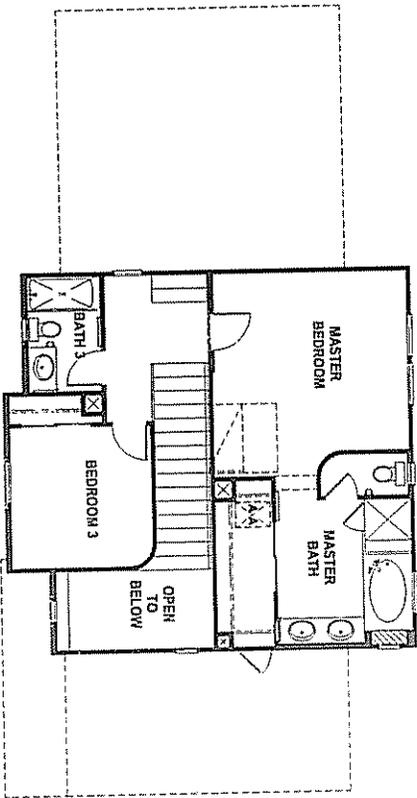
PHA architects
1714 S. 107th Street, Suite 100, Omaha, NE 68125
January 14, 2005

REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5710
FLOOR PLAN
Pocket Road



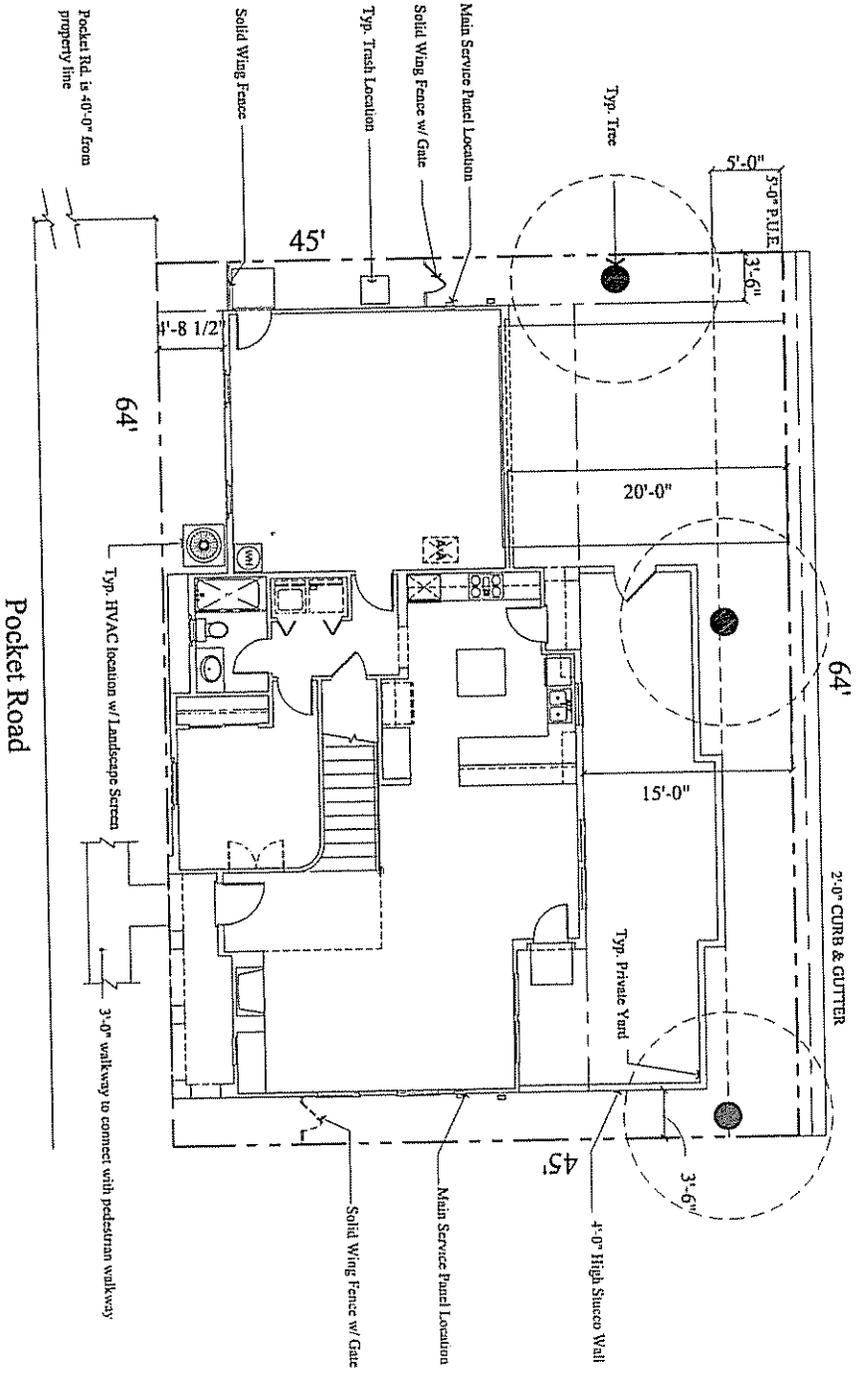
Pocket Road Main Level Floor Plan



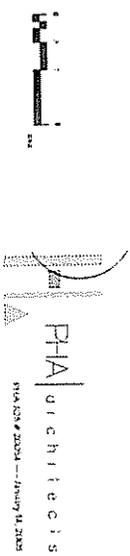
Pocket Road Upper Level Floor Plan

REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5713
TYP. PLOT PLAN
Pocket Road

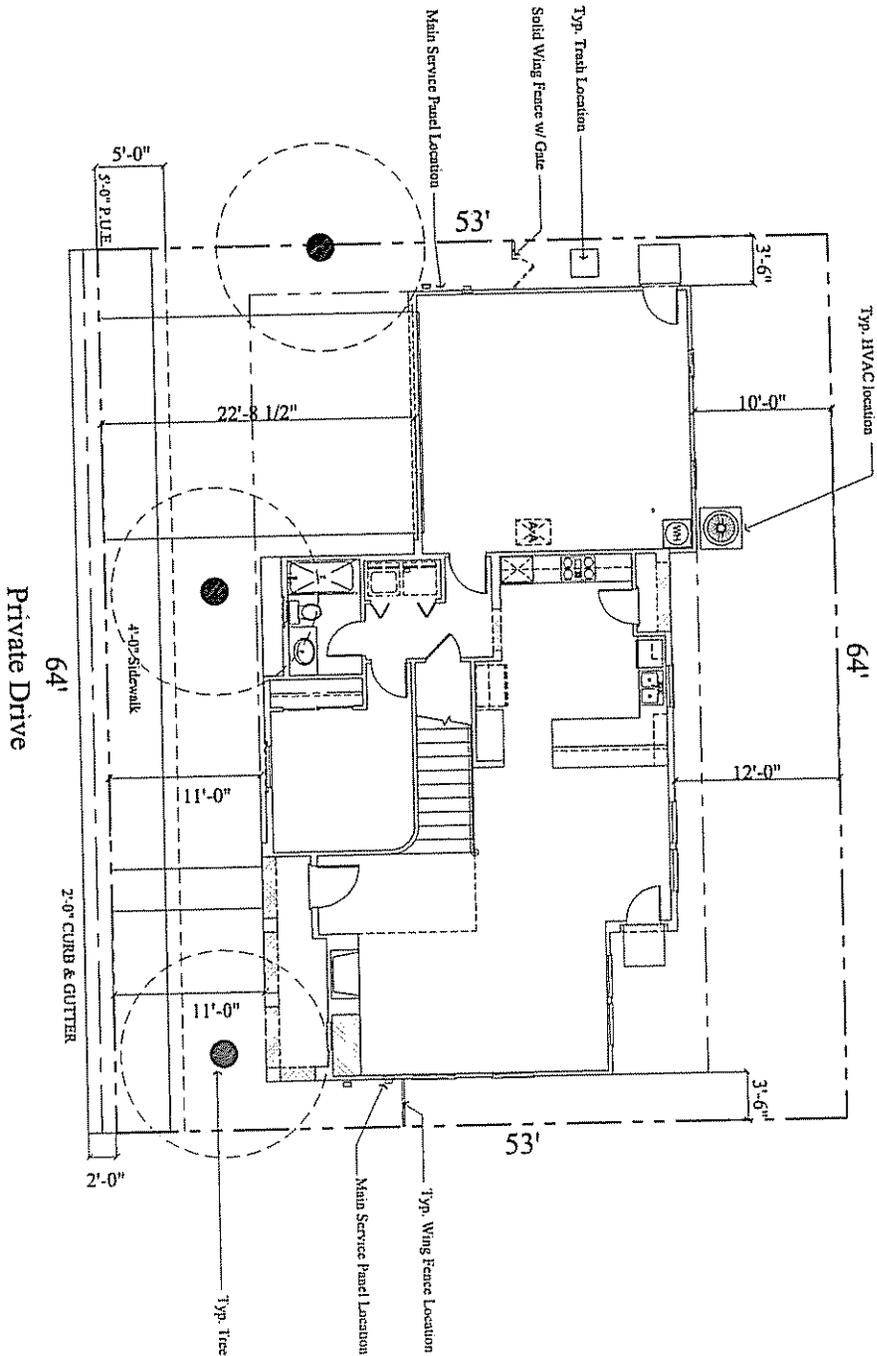


% of Lot Coverage	
Lot Size	2,880 s.f.
Bldg. Footprint	1,372 s.f.
% of coverage	48%
Walkways/Parking	320 s.f.
% of coverage	11%
Landscape	1,188 s.f.
% of coverage	41%



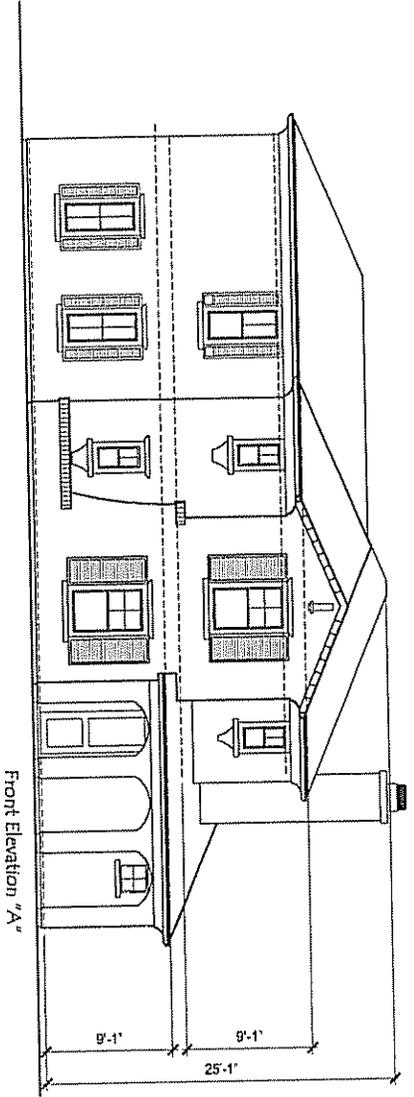
REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5713
TYP. PLOT PLAN
Private Drive

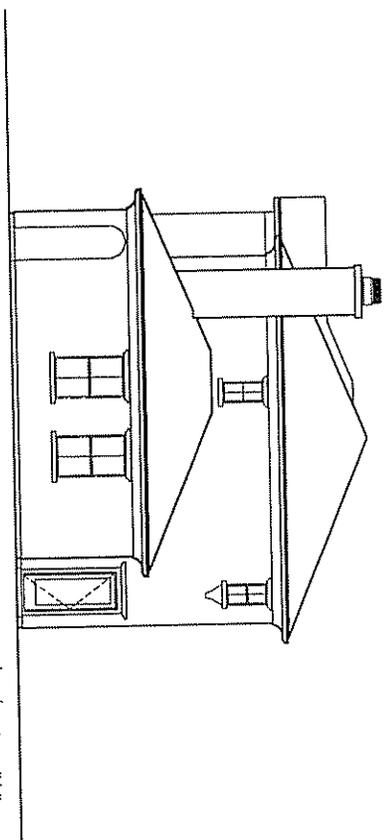


% of Lot Coverage	
Lot Size	3,392 s.f.
Bldg. Footprint	1,379 s.f.
% of coverage	41%
Walkways/Parking	470 s.f.
% of coverage	14%
Landscape	1,543 s.f.
% of coverage	45%





Front Elevation "A"



Right Elevation "A"

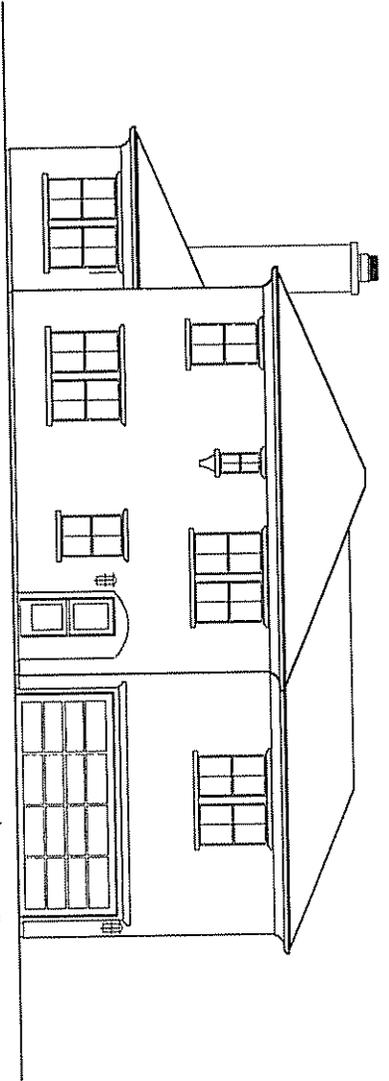
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEM1	KM4015-2	KM4002-1	KM4072-5	H.C. AUDDOX MENDOCINO	MONIER LIFETILE GRANITE BLEND TVAC58169
SCHEM2	KM4035-3	KM4010-1	KM5823-5		
SCHEM3	KM4031-2	KM4017-3	KM4120-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS H.C. AUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

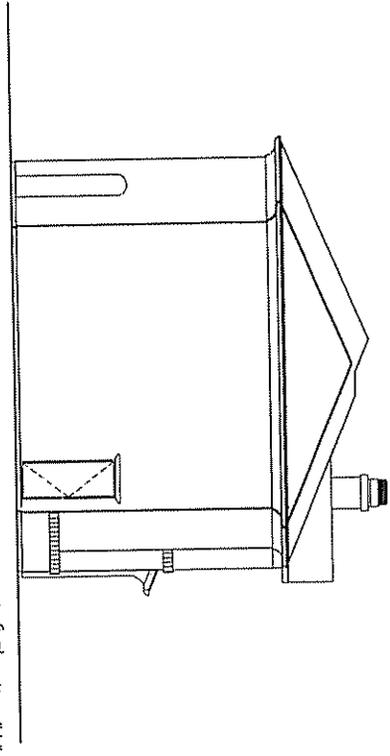
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5713
 EXTERIOR ELEVATION "A"
 Pocket Road





Rear Elevation "A"



Left Elevation "A"

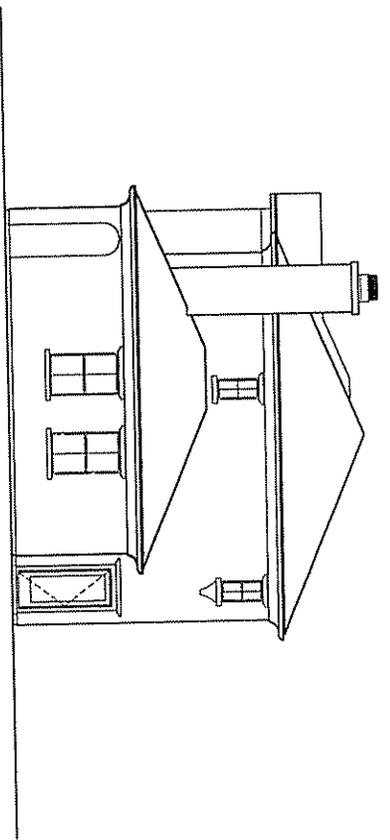
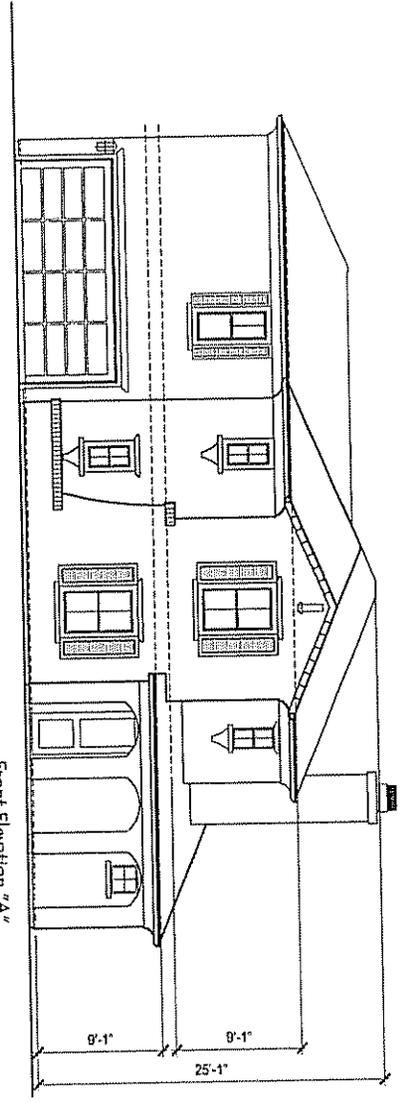
ELEVATION / MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KMA4045-2	KMA4002-3	KMA4072-5	H.C. MUDDOX MENDOCINO	MONIER LIFETILE GRAND BLEND TVAC59169
SCHEME 2	KMA4055-3	KMA4010-1	KASB32-5		
SCHEME 3	KMA4021-2	KMA4047-5	KMA4120-5		

PAINT REFERENCED TO KELLY-MORSE
VENER MATERIAL REFERENCED BY C. MUDDOX BRICK
ROOFING MATERIAL REFERENCED BY MONIER LIFETILE

REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5713
EXTERIOR ELEVATION "A"
Pocket Road





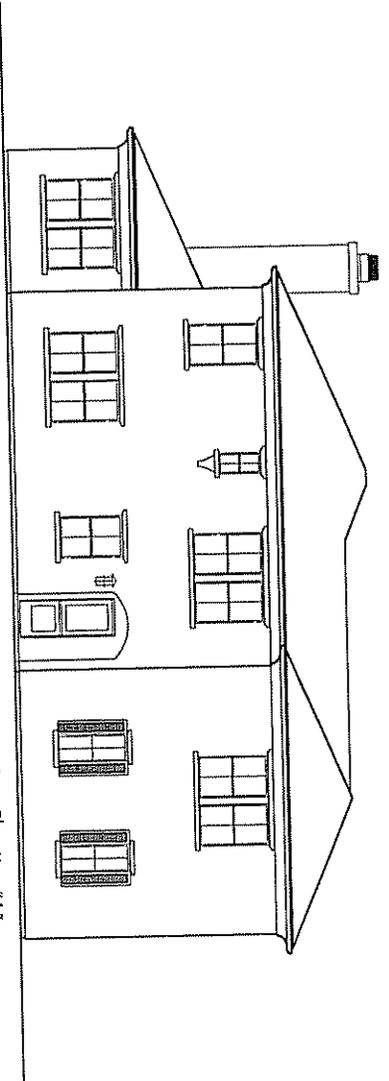
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4002-1	KM4072-5	H.C. MUDDOX MENDOCINO	MONIER LIBELLE CRYSTAL GRANDE BLEND 1VAC5019
SCHEME 2	KM4055-3	KM4010-1	KABE2-5		
SCHEME 3	KM4021-2	KM4047-3	KM4120-5		

PAINT REFERENCED IS KELLY-MOORE
 VEINER MATERIAL REFERENCED IS H.C. MUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIBELLE

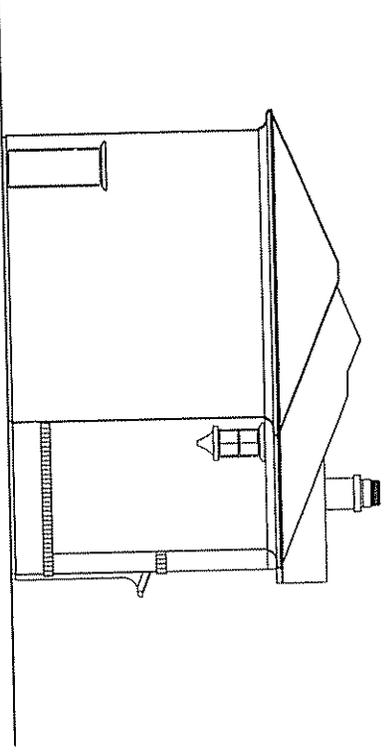
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5713
 EXTERIOR ELEVATION "A"
 Private Drive





Rear Elevation "A"



Left Elevation "A"

ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4002-1	KM4072-5	H.C. AUDDOX MENDOCINO	MONIER LITTELE GRANDE BLEND TVACS5169
SCHEME 2	KM4055-3	KM4010-1	KM3932-5		
SCHEME 3	KM4021-2	KM4037-5	KM4120-5		

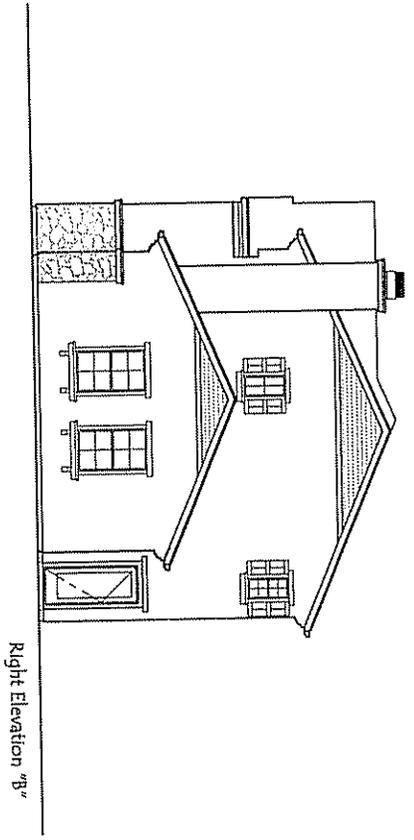
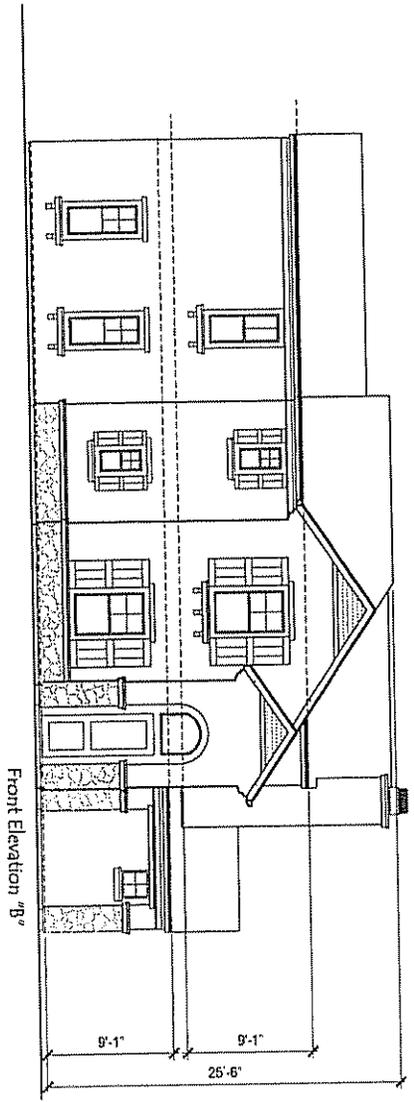
PAINT REFERENCED IS KELLY-MOORE
 VENER MATERIAL REFERENCED IS C. AUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LITTELE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5713
 EXTERIOR ELEVATION "A"
 Private Drive



PHILADELPHIA ARCHITECTS
 PHA ARCH # 20054 - EST. 1974, 2005



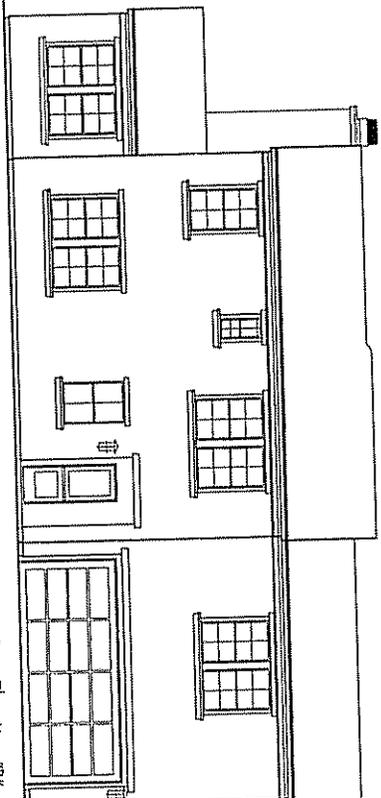
ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	22B	KM48927-5	KM48776-5	CULTURED STONE CHANDLER FIELDSTONE CSV-2012	MONIER LIFETILE 40\"/>
SCHEME 5	KM48974-3	26	KM48936-5		
SCHEME 6	KM41900-5	KM41921-5	KM48532-2		

PAINT REFERENCED IS KELLY/MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

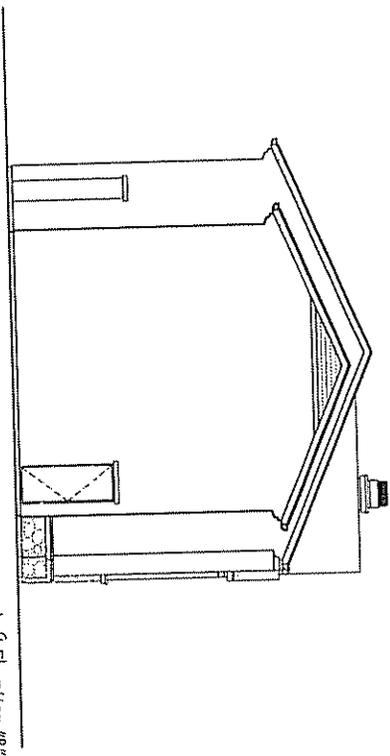
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5713
 EXTERIOR ELEVATION "B"
 Pocket Road





Right Elevation "B"



Left Elevation "B"

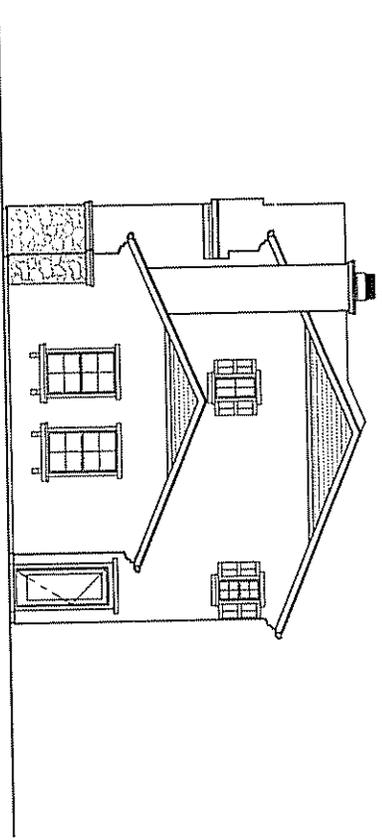
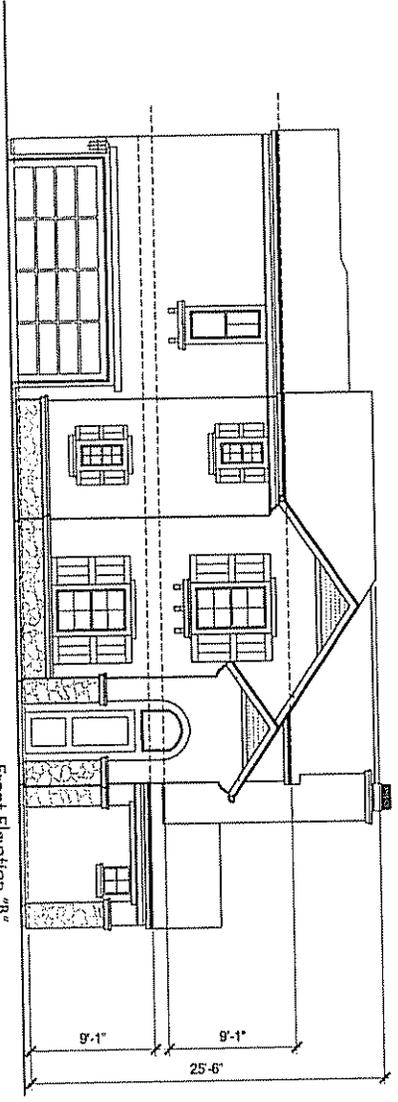
ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4:	22B	KM3927-3	KM3778-5	CULTURED STONE CHARDONNAV	MONIER LIFETILE KOCOMO ISLAND 11-BOW/BS
SCHEME 5	KM3974-3	26	KM3958-5	FLUENT STONE	
SCHEME 6	KM4190-3	KM4192-5	KM3952-2		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5713
 EXTERIOR ELEVATION "B"
 Pocket Road



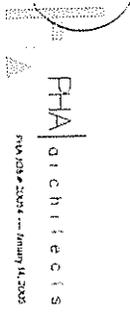


ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	228	KM5927-3	KM5776-5	CULTURED STONE CHARDONAY	MONIER LIFE TILE KOCOMO BLEND FBCA575
SCHEME 5	KM3974-3	26	KM5956-5	DRESSED FIELDSTONE GV-2042	
SCHEME 6	KM4190-3	KM4192-5	KM3992-2		

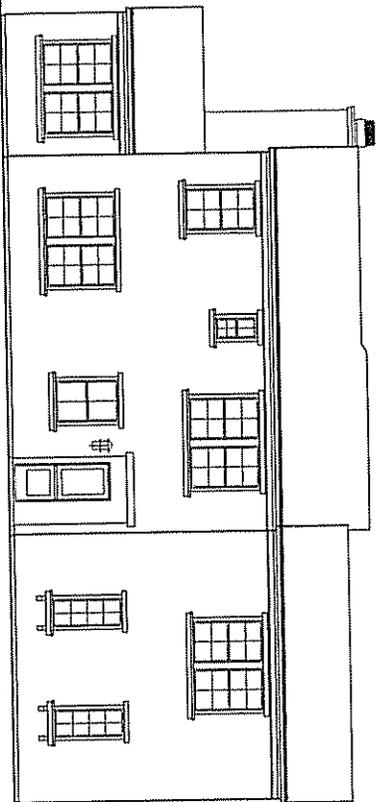
PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFE TILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

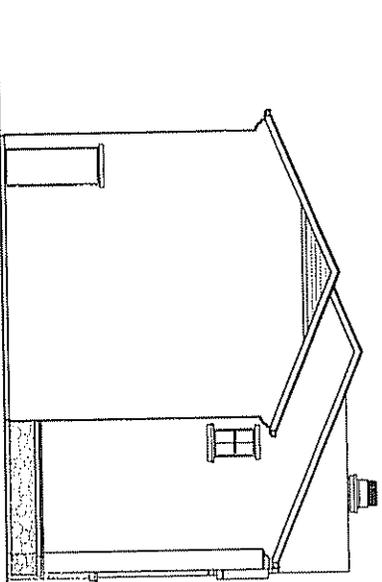
PLAN 5713
 EXTERIOR ELEVATION "B"
 PRIVATE DRIVE



PHAN 2024 • 2024 • 11/2025



Rear Elevation "B"



Left Elevation "B"

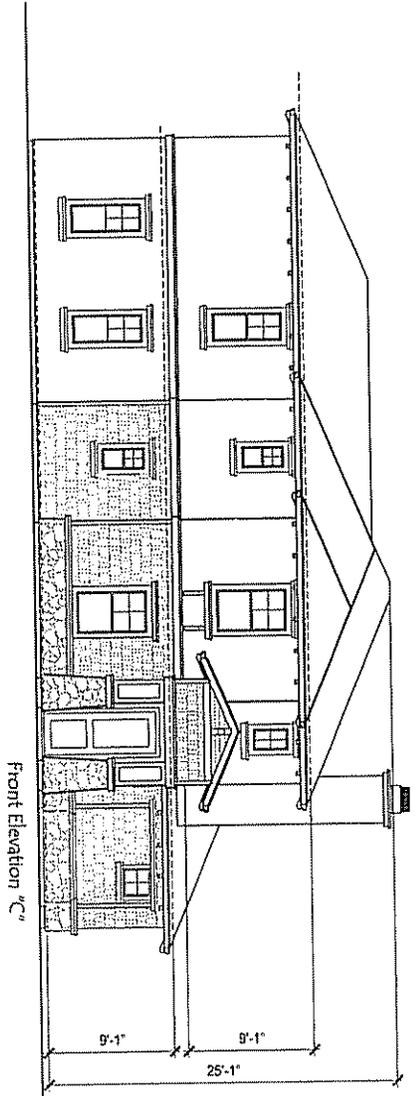
ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 3	228	KM3927-3	KM3776-5	CULTURED STONE CHARDONIAN FIELDSTONE CSV-2012	MONIER LIFETIME BLEND FBCA5765
SCHEME 5	KM3974-3	26	KM3996-5		
SCHEME 6	KM4180-3	KM4192-5	KM3932-2		

PAINT REFERENCED IS KELLY MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETIME

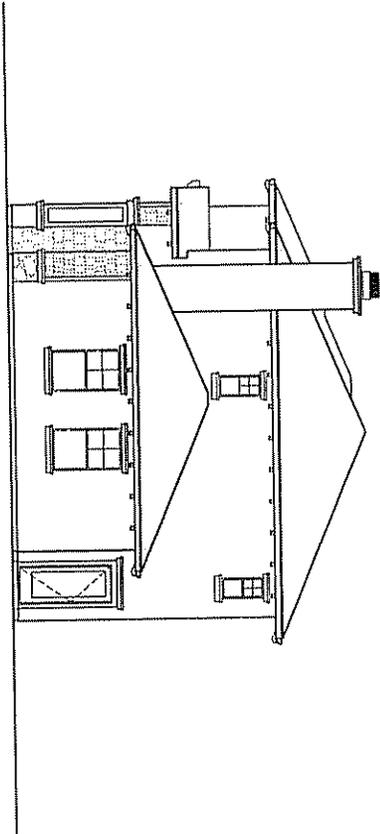
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5713
 EXTERIOR ELEVATION "B"
 PRIVATE DRIVE





Front Elevation "C"



Right Elevation "C"

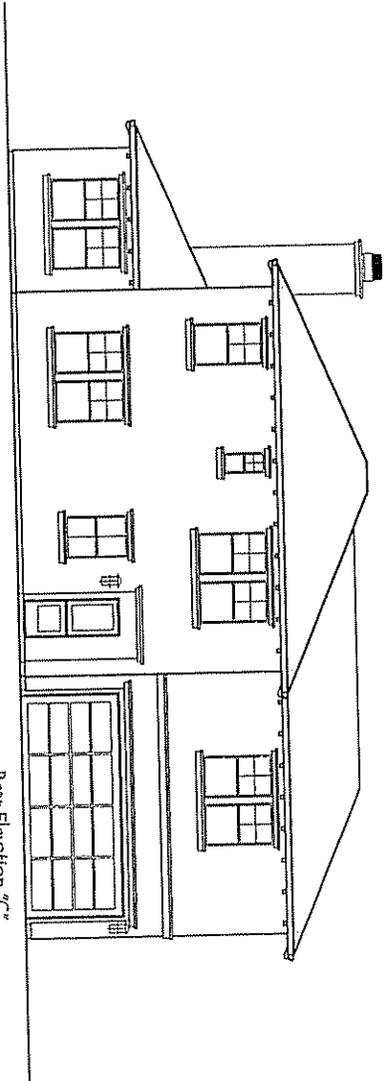
ELEVATION C MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM3989-2	KM3974-3	KM3976-5	CULTURED STONE RUSTIC SOUTHERN LEDGESTONE GY-2055	MOVIE TILE CHARCOAL BLEND 17A01152
SCHEME 8	KM1179-1	KM1190-3	ACC256-5		
SCHEME 9	KM14006-3	KM3956-5	KM3972-3		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

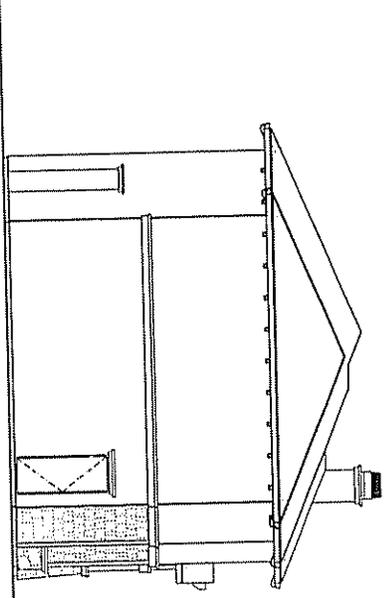
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5713
 EXTERIOR ELEVATION "C"
 Pocket Road





Rear Elevation "C"



Left Elevation "C"

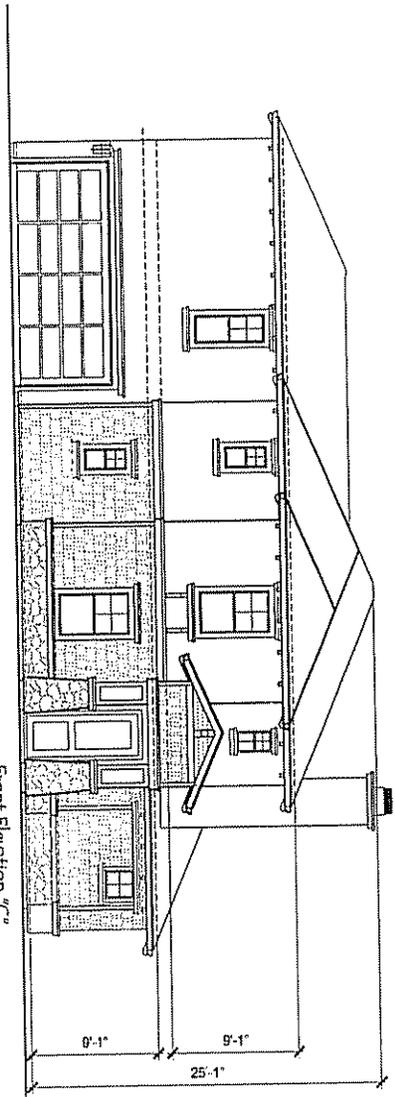
ELEVATION / MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM4989-2	KM4974-3	KM4976-5	CUTTED STONE SOUTHERN LEDGESTONE SY-2055	MONIER CHARCOAL BLEND IFAC51B2
SCHEME 8	KM4179-1	KM4190-3	AC256-5		
SCHEME 9	KM4406-3	KM4926-5	KM4972-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

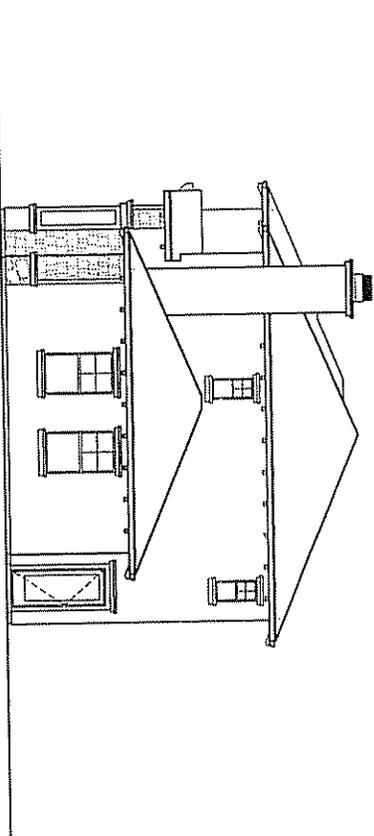
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5713
 EXTERIOR ELEVATION "C"
 Pocket Road





Front Elevation "C"



Right Elevation "C"

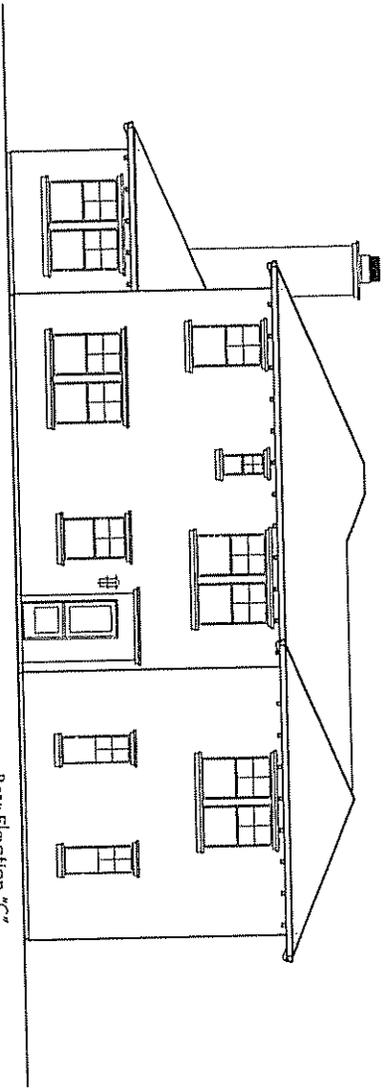
ELEVATION C MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM3989-2	KM3974-3	KM3976-5	CULTURED STONE RUSTIC SOUTHERN LEGGESTONE C5V-205	MONIER LIFETILE CHARCOAL BROWN TRACERY
SCHEME 8	KM4179-4	KM4190-5	ACC56-5		
SCHEME 9	KM4100-5	KM3956-5	KM3972-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

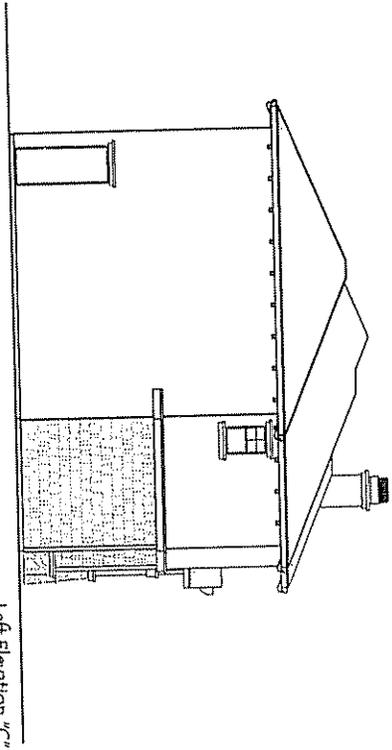
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5713
 EXTERIOR ELEVATION "C"
 Private Drive





Rear Elevation "C"



Left Elevation "C"

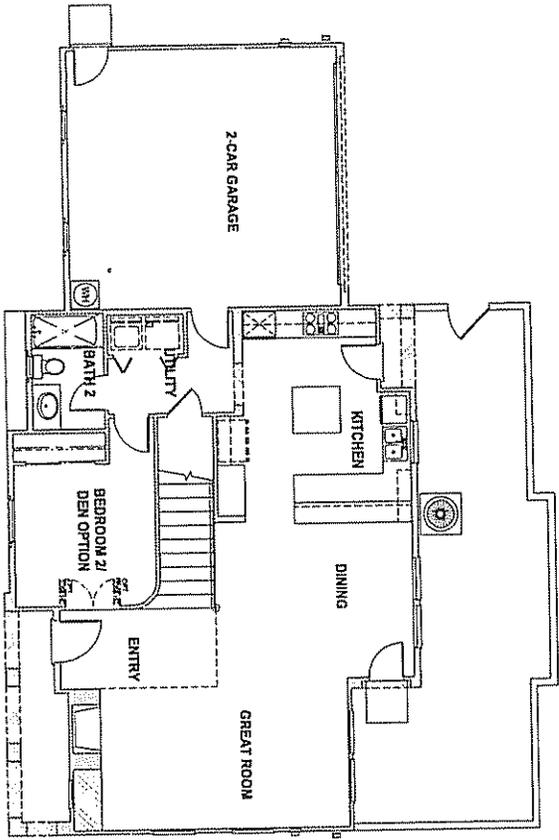
ELEVATION / MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM399-2	KM397L-3	KM397B-5	CULTURED STONE SOUTHERN LEDGESTONE	MONIER CHARCOAL BLEND
SCHEME 8	KM4179-1	KM4190-3	ACC56-5	CULTURED STONE SOUTHERN LEDGESTONE	MONIER CHARCOAL BLEND
SCHEME 9	KM4400S-3	KM3956-5	KM3972-5	GV-2055	MONIER CHARCOAL BLEND

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

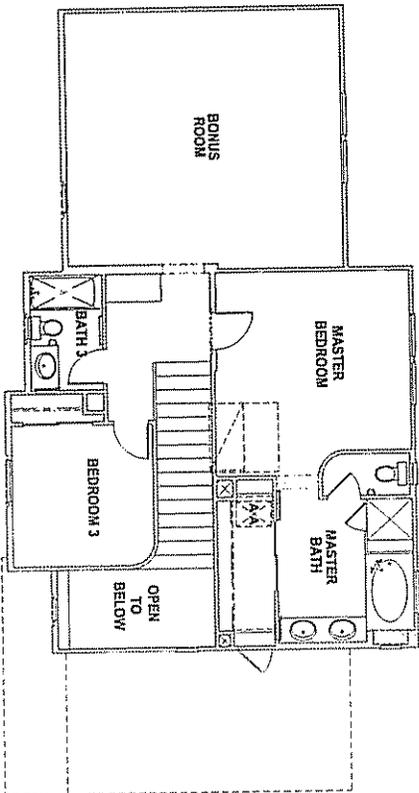
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5713
 EXTERIOR ELEVATION "C"
 PRIVATE DRIVE





Pocket Road Main Level Floor Plan



Pocket Road Upper Level Floor Plan

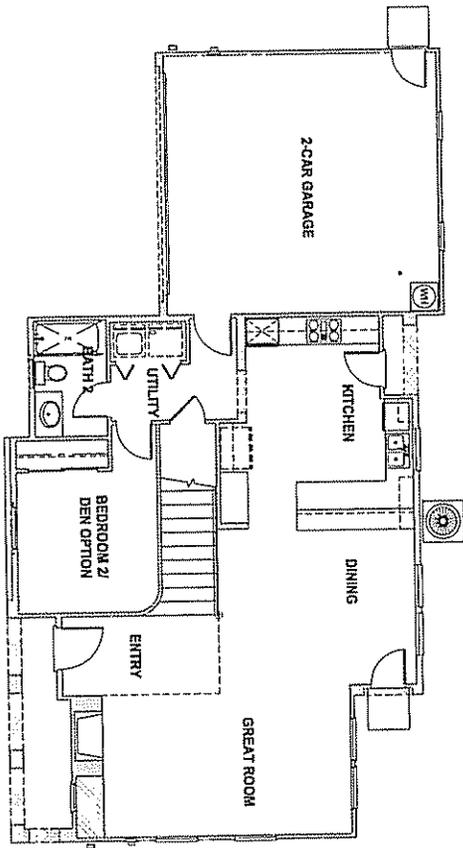
REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5713
FLOOR PLAN
Pocket Road

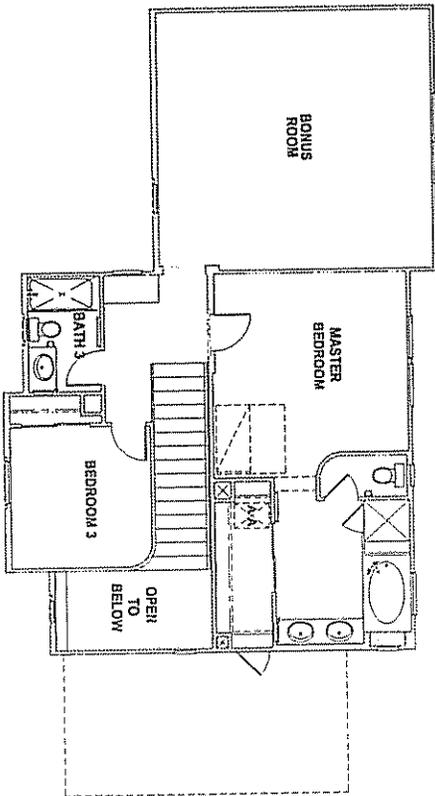


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PHSA 024 / 2004 — January 14, 2005

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THE ISLANDS AT RIVERLAKE

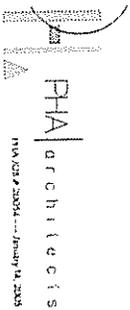


Private Drive Main Level Floor Plan



Private Drive Upper Level Floor Plan

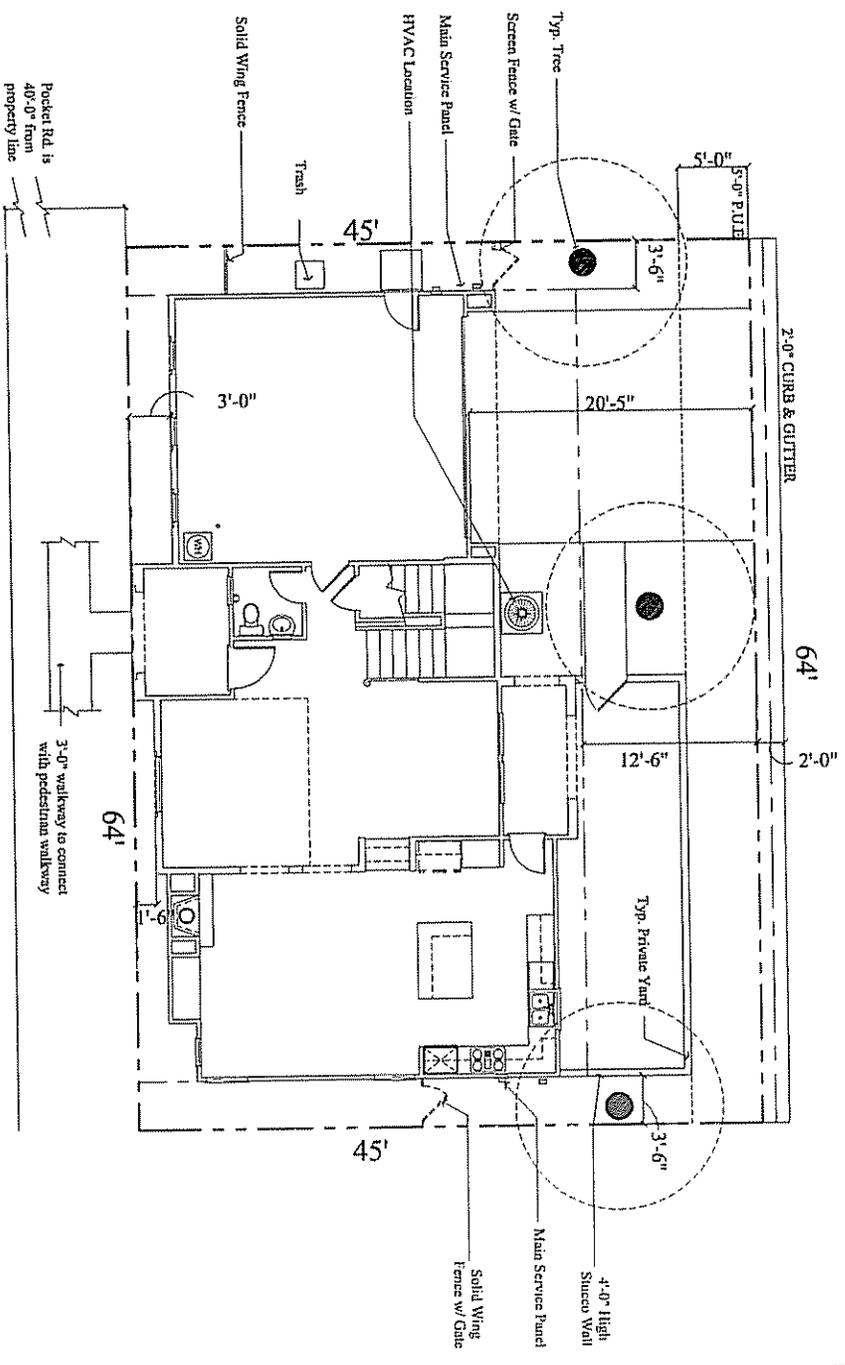
PLAN 5713
FLOOR PLAN
Private Drive



REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5720
TYP. PLOT PLAN
Pocket Road

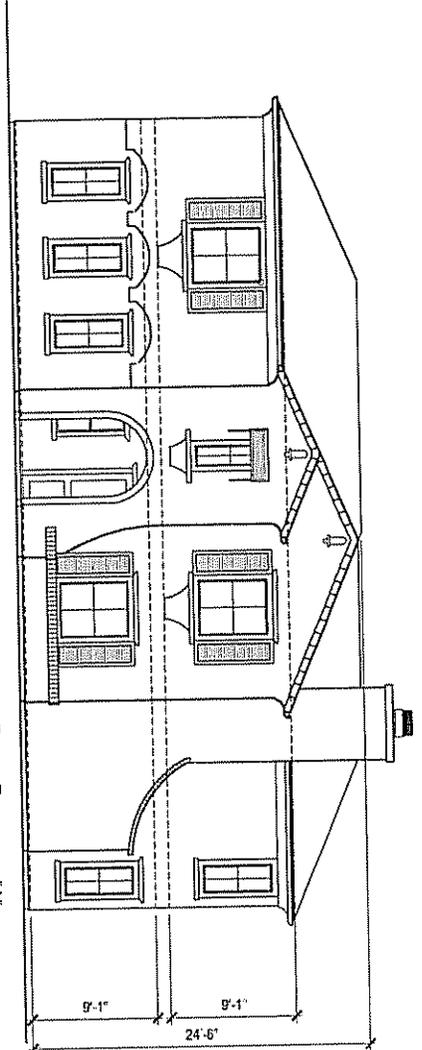
Pocket Road



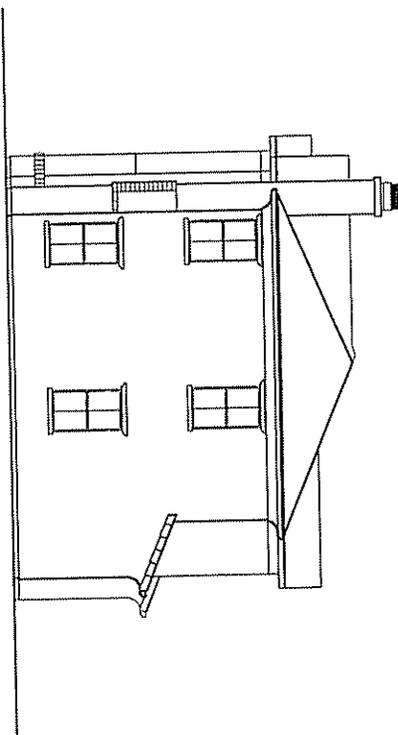
% of Lot Coverage	
Lot Size	2,880 s.f.
Blldg. Footprint	1,372 s.f.
% of coverage	48%
Walkways/Parking	494 s.f.
% of coverage	17%
Landscape	1,014 s.f.
% of coverage	35%



PHIA architects
1814A 20th St. # 2004 - Denver, CO 80202



FRONT ELEVATION "A"



RIGHT ELEVATION "A"

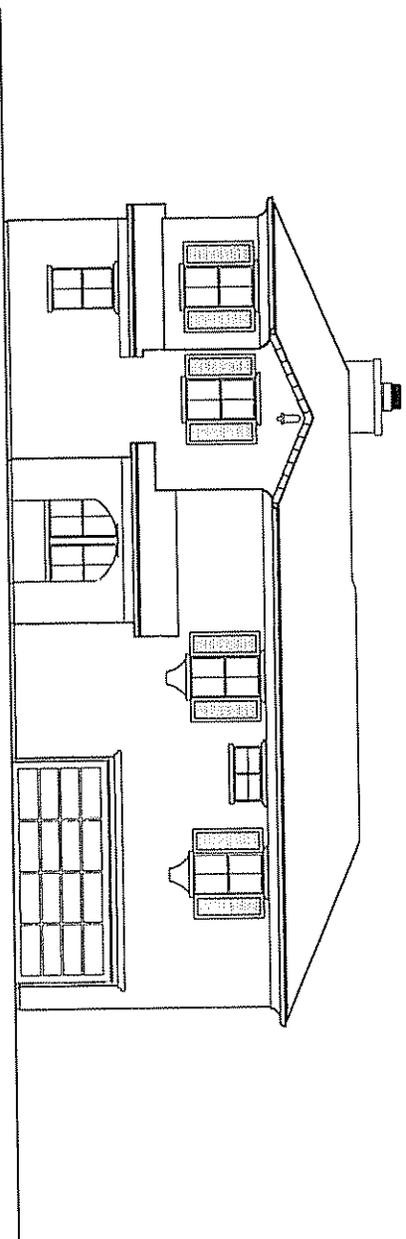
ELEVATION / MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KH4045-2	KH4002-1	KH4072-5	H.C. HUDDOX	MONIER LIFE TILE
SCHEME 2	KH4055-3	KH4010-1	KH3832-5	HENDOCKINO	GRAND BLEND
SCHEME 3	KH4021-2	KH4047-3	KH4120-5		IVACSS169

PAINT REFERENCED IS KELLY HANCOCK
 VENEER MATERIAL REFERENCED IS H.C. HUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFE TILE

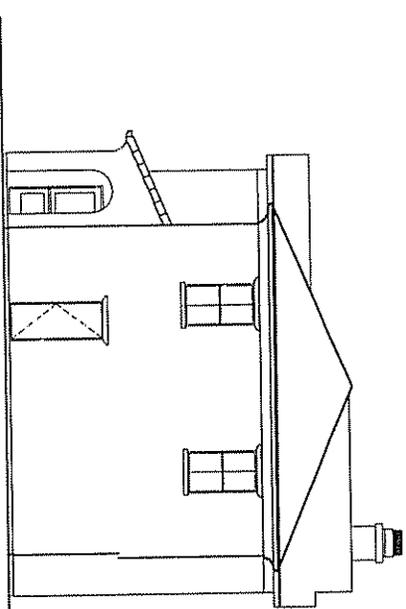
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5720
 EXTERIOR ELEVATION "A"
 POCKET ROAD





REAR ELEVATION "A"



LEFT ELEVATION "A"

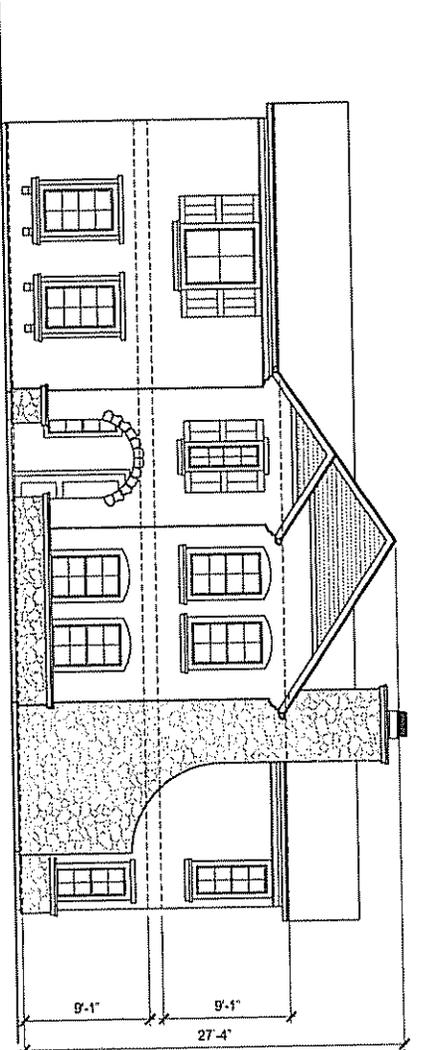
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KH14015-2	KH14002-1	KH14072-5	H.C. HUDDOX HENDOCINO	MONIERE LIFE TILE GRANDE BLEND IVACSS169
SCHEME 2	KH14055-3	KH14010-1	KH13832-5		
SCHEME 3	KH14021-2	KH14047-3	KH1428-5		

PAINT REFERENCED IS KELLY-HOPKINS
 MATERIAL REFERENCED IS H.C. HUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIERE LIFE TILE

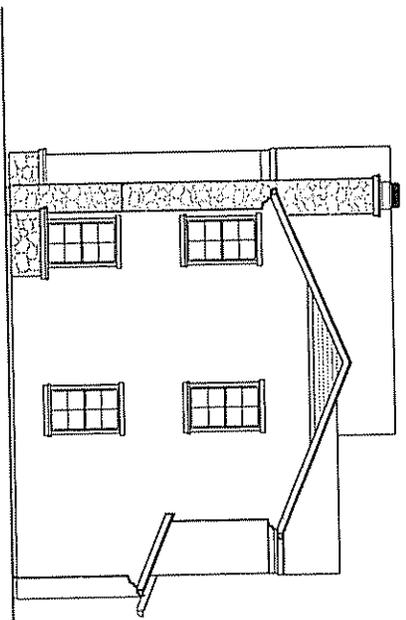
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5720
 EXTERIOR ELEVATION "A"
 POCKET ROAD





FRONT ELEVATION "B"



RIGHT ELEVATION "B"

ELEVATION B MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	228	KH13927-3	KH13776-5	CLT. TUBED STONE	HONIER LIFETILE
SCHEME 5	KH13974-3	26	KH13936-5	CHARDONAY BRASSIED	KOCCANO BLEND
SCHEME 6	KH14190-3	KH14192-5	KH13932-2	FRANCOISE CSV 2012	IFBLSV03

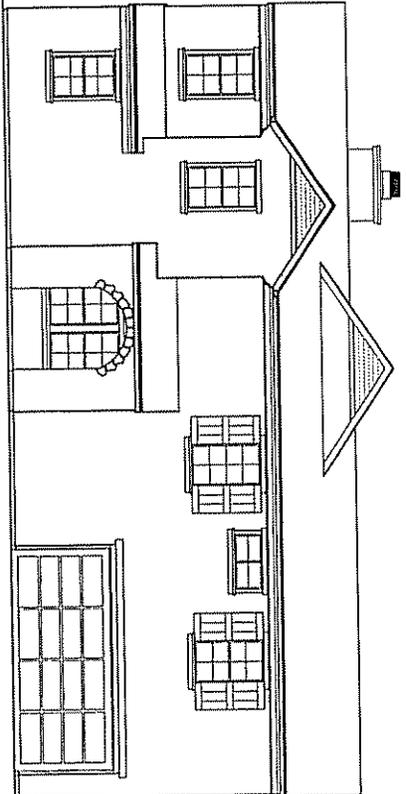
PAINT REFERENCED IS KELLY-HOODGE
 VENEER MATERIAL REFERENCED IS CLATIBRED STONE
 ROOFING MATERIAL REFERENCED IS HONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

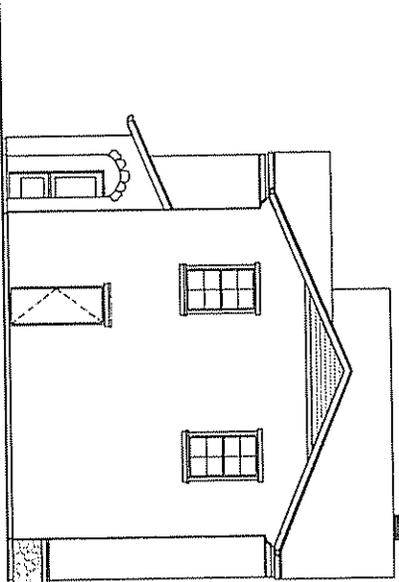
PLAN 5720
 EXTERIOR ELEVATION "B"
 POCKET ROAD



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 4114 43rd # 2004 - Irving, TX 75039



REAR ELEVATION "B"



LEFT ELEVATION "B"

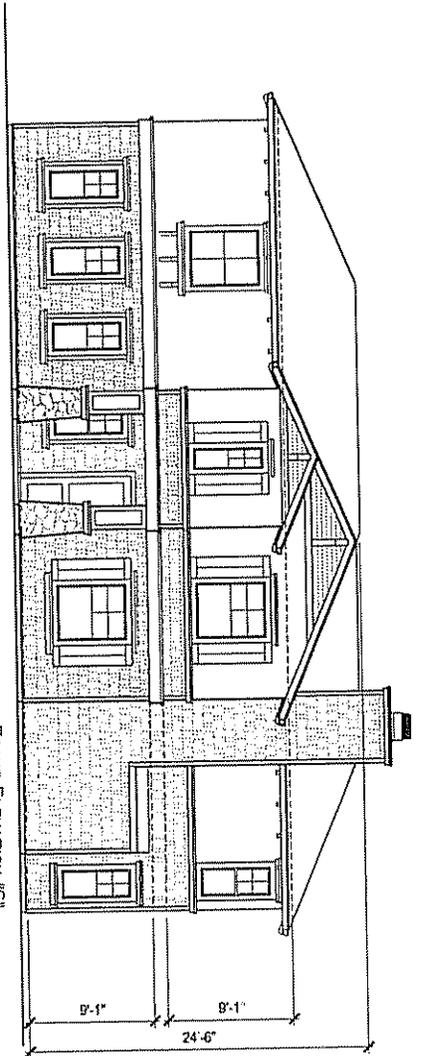
ELEVATION B MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	228	KH1927-3	KH1376-5	CLL TURED STONE	MONIER LIFE TILE
SCHEME 5	KH1974-3	26	KH15936-5	CHERSON NY FIELDSTONE	BLOND
SCHEME 6	KH4199-3	KH4192-5	KH3932-2	CSV-2042	FBCA3763

PAINT REFERENCED IS KELLY MOORE
 REFERENTIAL REFERENCED IS CLL TURED STONE
 REFERENTIAL REFERENCED IS MONIER LIFE TILE

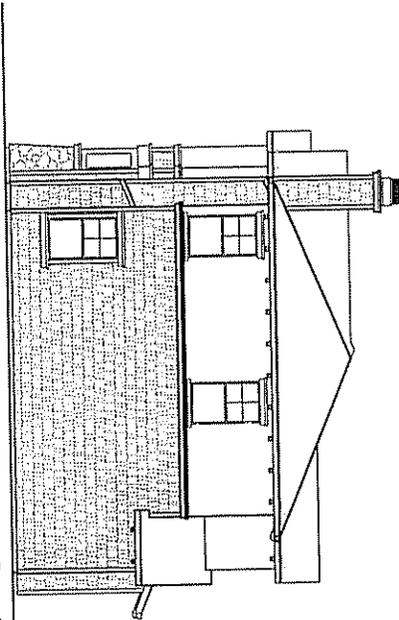
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5720
 EXTERIOR ELEVATION "B"
 POCKET ROAD





FRONT ELEVATION "C"



RIGHT ELEVATION "C"

ELEVATION C MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KH13989-2	KH13974-3	KH13976-5	CULTURED SANDSTONE SOUTHERN EDGESTONE	MONIER CHARCOAL BROWN BLEND #FACSH12
SCHEME 8	KH4179-1	KH4190-3	AC236-5		
SCHEME 9	KH4006-3	KH13936-5	KH13792-5		

PAINT REFERENCED IS KELLY-HOPPE
 PAINT MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

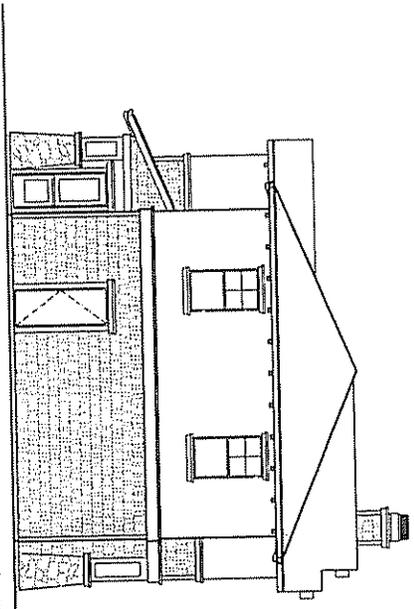
PLAN 5720
 EXTERIOR ELEVATION "C"
 POCKET ROAD



PHA architects
 PHA 1208 # 20074 - January 14, 2009



REAR ELEVATION "C"



LEFT ELEVATION "C"

ELEVATION C MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KH3989-2	KH397L-3	KH3976-5	CUT TURED SOUTHERN STONE	MONIER LIFETILE CHARCOAL BROWN BLEND HFA51122
SCHEME 8	KH4179-1	KH4190-3	AC256-5	STONE RUSTIC SOUTHERN STONE	
SCHEME 9	KH4006-3	KH3936-5	KH3792-5	CSV-2035	

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CUT TURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

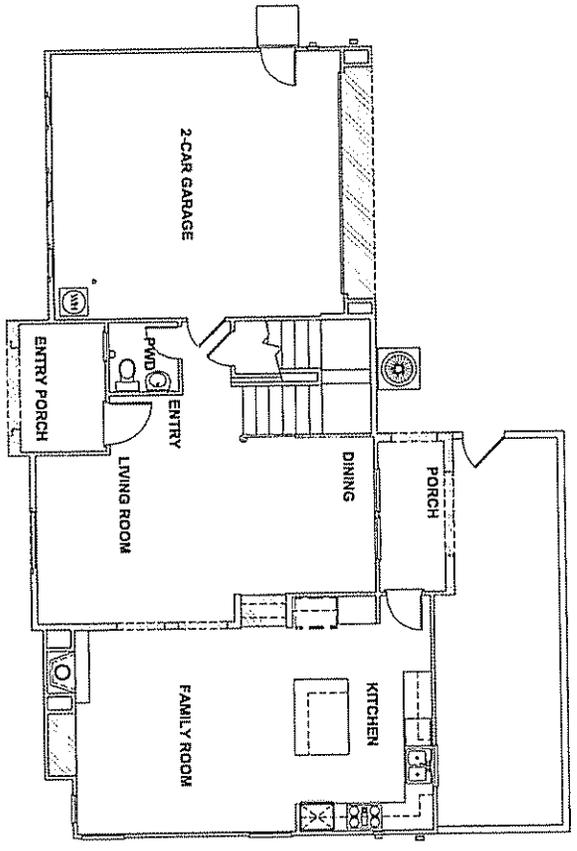
PLAN 5720
 EXTERIOR ELEVATION "C"
 POCKET ROAD



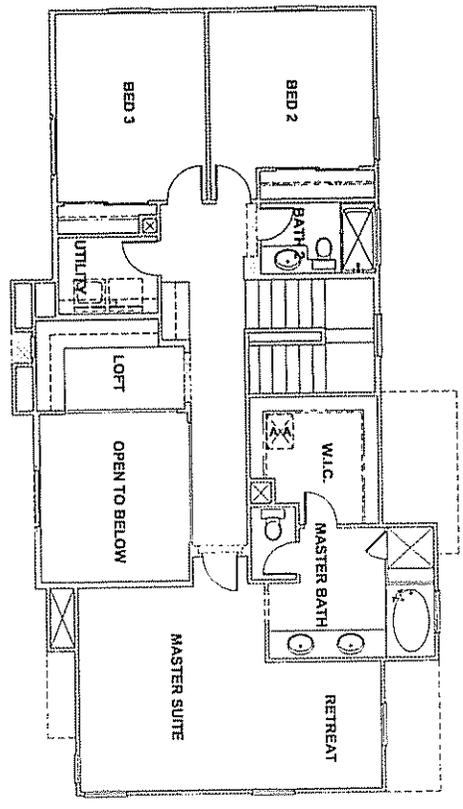
1114 N 30th Street, Phoenix, AZ 85018

REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5720
FLOOR PLAN
Pocket Road



Pocket Road Main Level Floor Plan



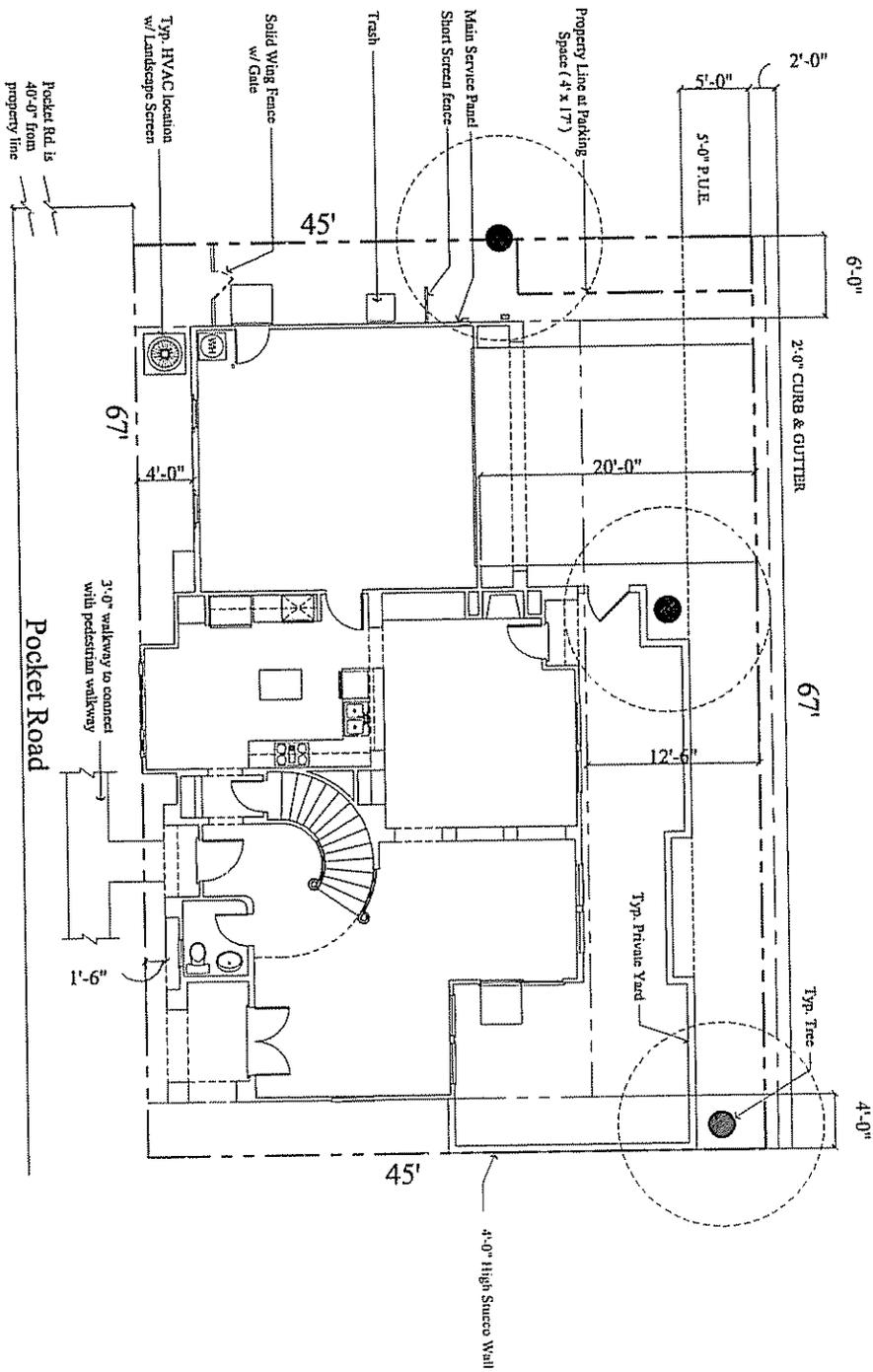
Pocket Road Upper Level Floor Plan



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114-1037 2003 - January 14, 2005

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THE ISLANDS AT RIVERLAKE

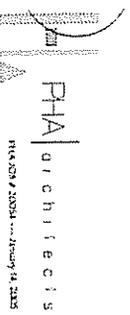
PLAN 5730
TYP. PLOT PLAN
Pocket Road



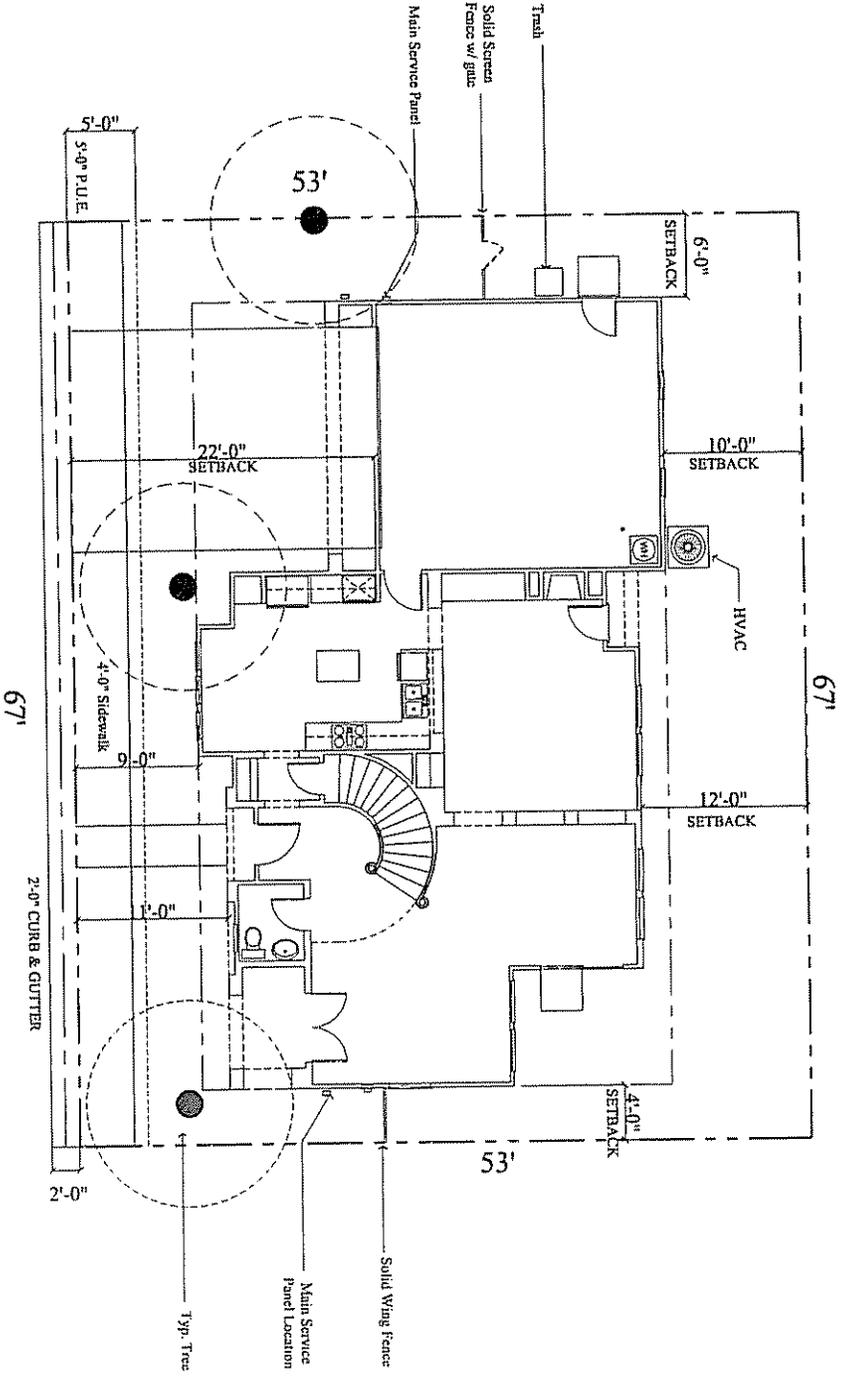
% of Total Coverage	
Lot Size	3,015 s.f.
Blgd. Footprint	1,419 s.f.
% of coverage	47%
Walkways/Parking	385 s.f.
% of coverage	13%
Landscape	1,211 s.f.
% of coverage	40%

REGIS HOMES
THE ISLANDS AT RIVERLAKE

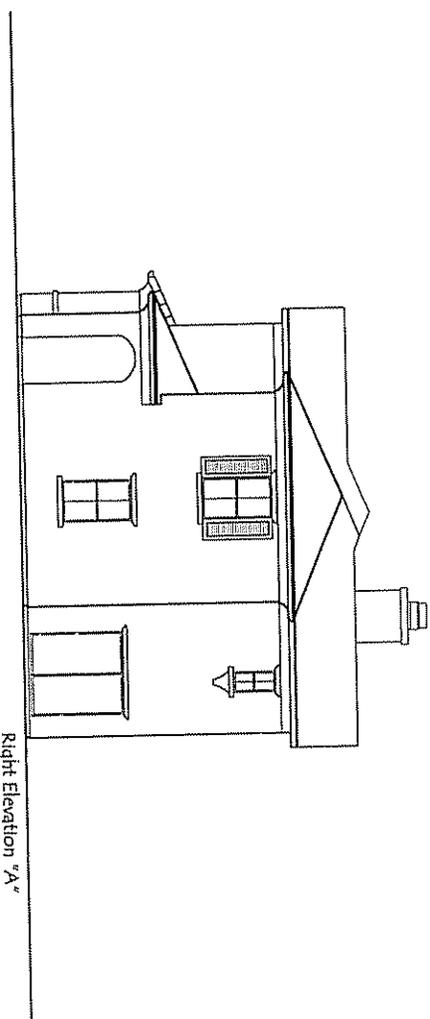
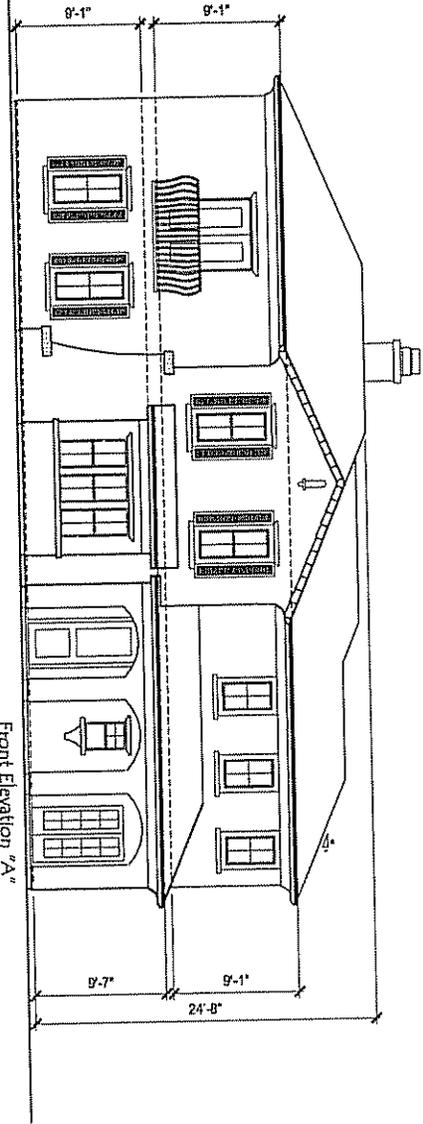
PLAN 5730
TYP. PLOT PLAN
PRIVATE DRIVE



Private Drive



% of Lot Coverage	3.551 s.f.
Lot Size	1,404 s.f.
Blgd. Footprint	40%
% of coverage	12%
Walkways/Parking	1,734 s.f.
% of coverage	48%
Landscape	
% of coverage	



ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4015-2	KM4002-1	KM4072-5	H.S. MUDBOX	MONIER LIFETILE
SCHEME 2	KM4055-3	KM4010-1	KM3832-5	MENPOCINO	CLAY TILE
SCHEME 3	KM4021-2	KM4027-5	KM4420-5		CLAY TILE

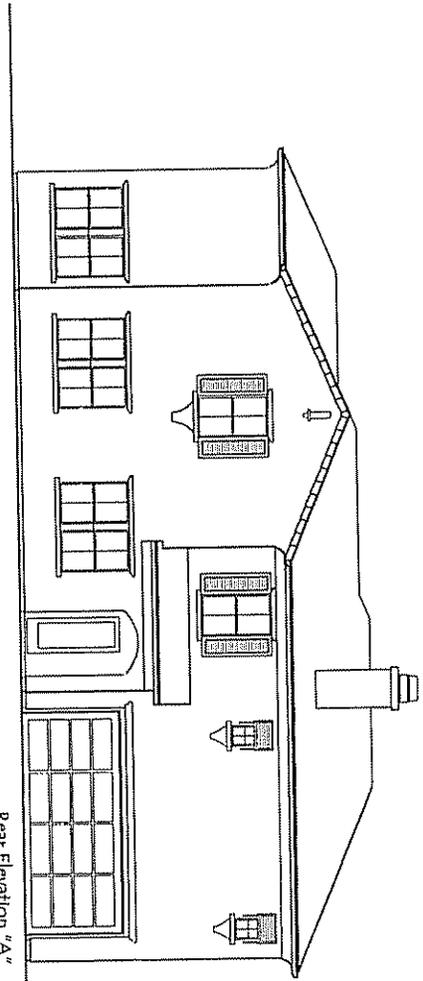
PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS H.C. ANDPOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

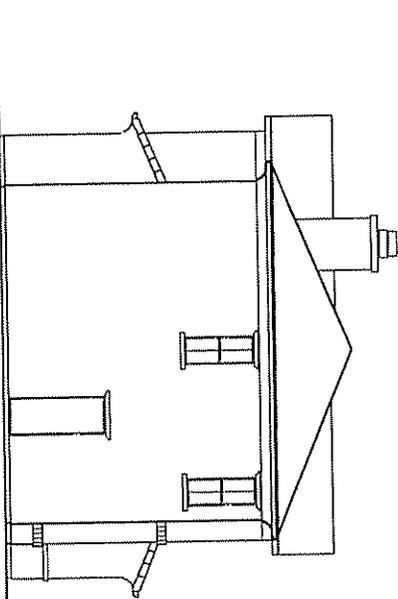
PLAN 5730
 EXTERIOR ELEVATION "A"
 Pocket Road



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 1814 JON P. ZENKE ... HEADING 14 2009



Rear Elevation "A"



Left Elevation "A"

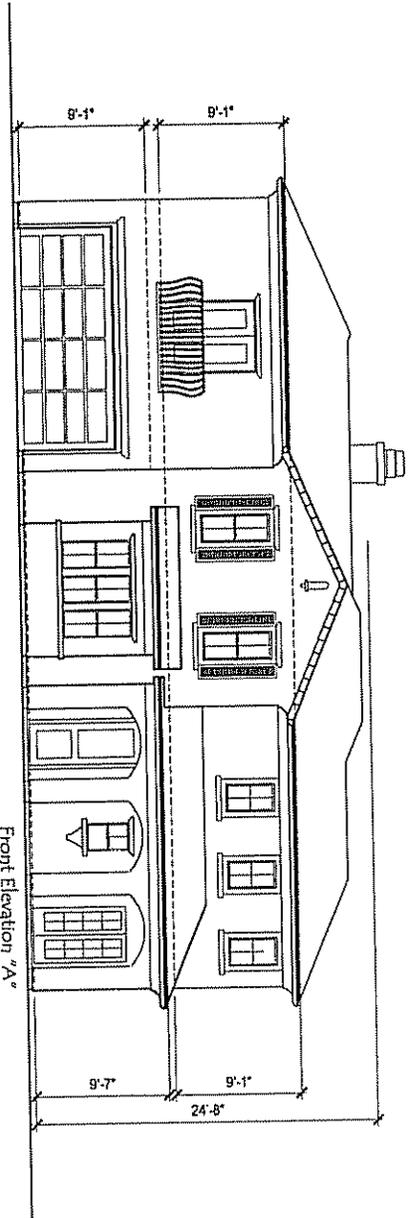
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KMA4015-2	KMA4002-1	KMA4072-5	H.C. MUDDOX MENDOCINO	MONIER LIFE TLE CASA GRANDE T/AC/5169
SCHEME 2	KMA4055-3	KMA4010-4	KMA3823-5		
SCHEME 3	KMA4031-2	KMA4047-3	KMA4120-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS H.C. MUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFE TLE

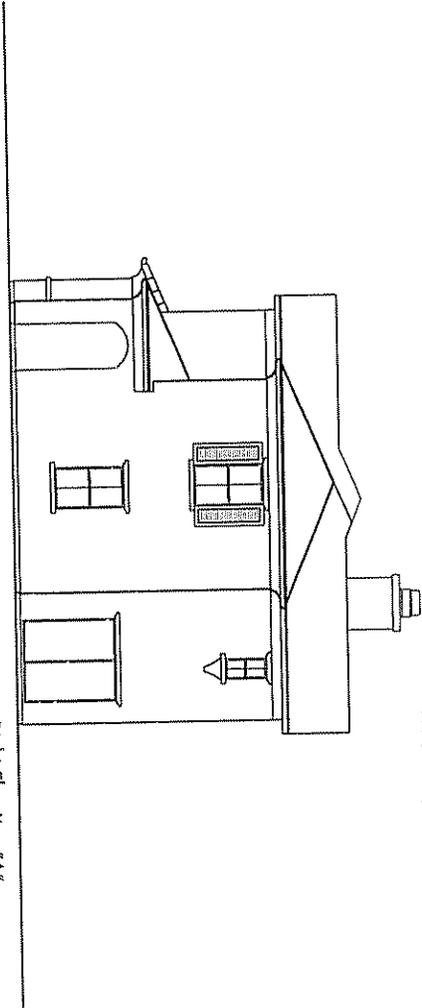
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5730
 EXTERIOR ELEVATION "A"
 Pocket Road





Front Elevation "A"



Right Elevation "A"

ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF-TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4002-4	KM4072-5	H.C. AUDDOX MENDOCINO	MONIER LIFETIME GRANITE BLEND TVAC5669
SCHEME 2	KM4055-3	KM4010-1	KM3832-5		
SCHEME 3	KM4021-2	KM4047-5	KM4120-5		

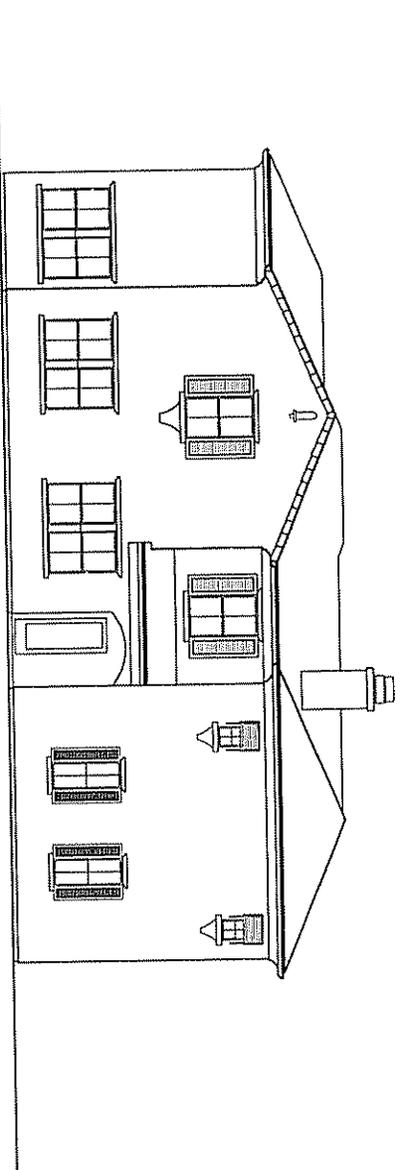
PAINT REFERENCED IS KEELY-MOORE
 VENEER MATERIAL REFERENCED IS C. AUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETIME

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

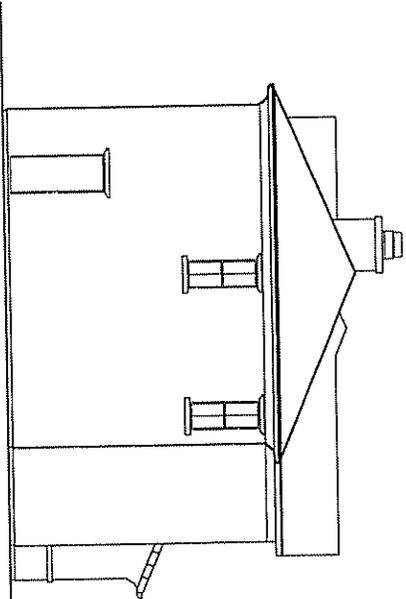
PLAN 5730
 EXTERIOR ELEVATION "A"
 Private Drive



PHA architects
 PHA 1028 # 20204 - Henry, VA 22060



Rear Elevation "A"



Left Elevation "A"

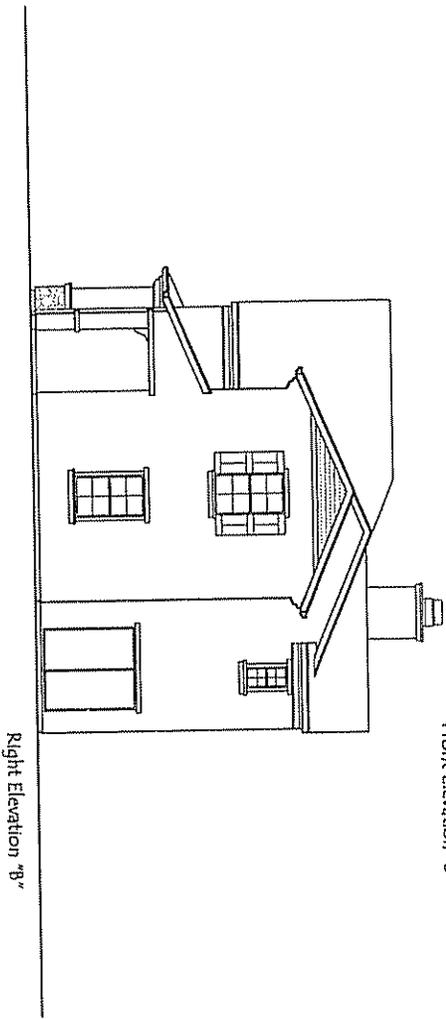
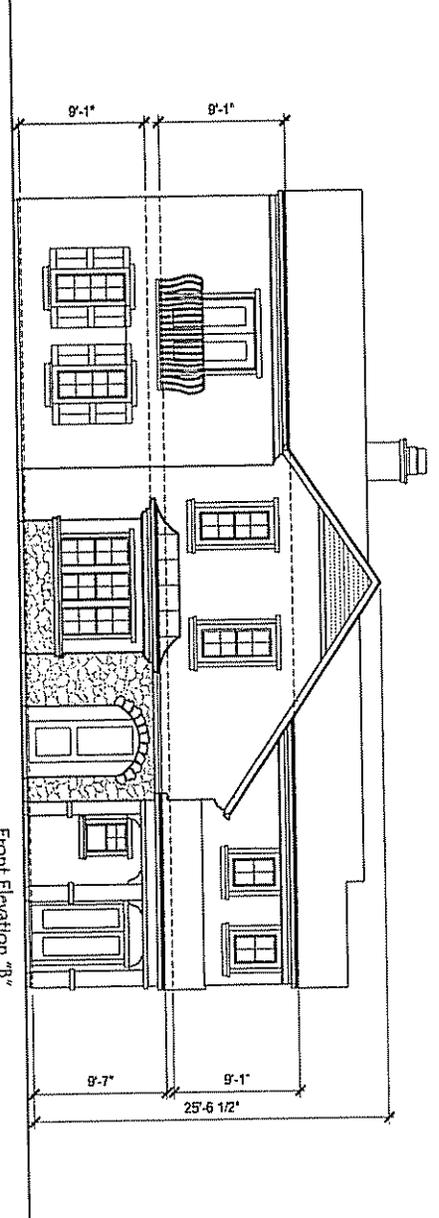
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4002-1	KM4072-5	H.C. AUDDOX MENDOCINO	MONIER LIFETILE CAVA GRAND IVAC5669
SCHEME 2	KM4005-3	KM4010-4	KM3832-5		
SCHEME 3	KM4031-2	KM4027-3	KM4120-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS H.C. AUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5730
 EXTERIOR ELEVATION "A"
 Private Drive





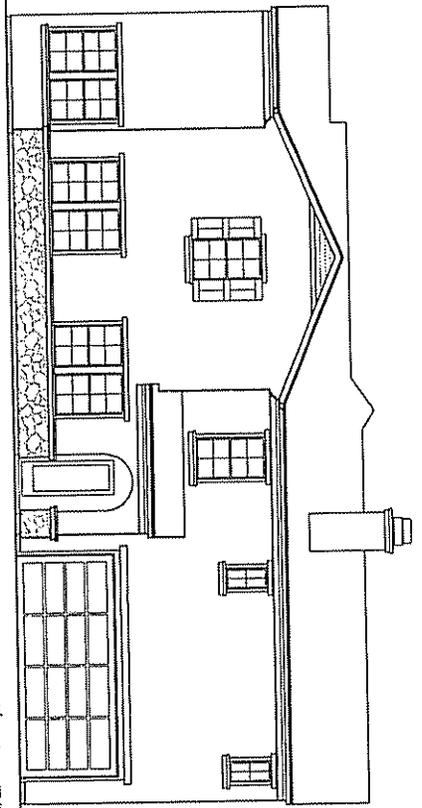
ELEVATION B MATERIALS	PAINT COLOR			STONE VENER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	22B	KM3927-5	KM3776-5	CULTURED STONE	MONIER LIFETILE
SCHEME 5	KM3974-3	26	KM3956-5	CHARDON/AV BRINDLE STONE	KOCONO RIDGE TILES
SCHEME 6	KM4190-3	KM4192-5	KM3952-2	CHARDON/AV BRINDLE STONE	KOCONO RIDGE TILES

PAINT REFERENCED IS KELLY-MOORE VENER MATERIAL REFERENCED IS CULTURED STONE ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

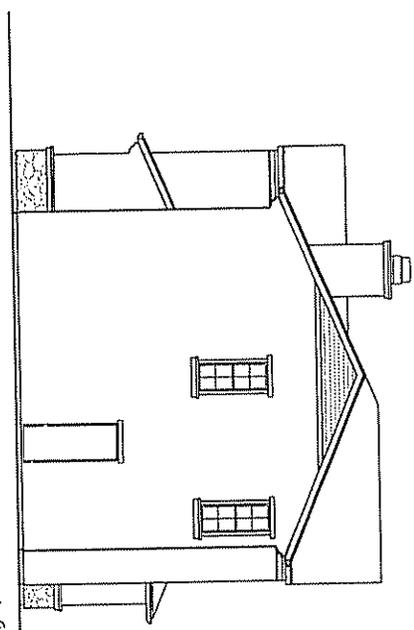
REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5730
EXTERIOR ELEVATION "B"
Pocket Road





Rear Elevation "B"



Left Elevation "B"

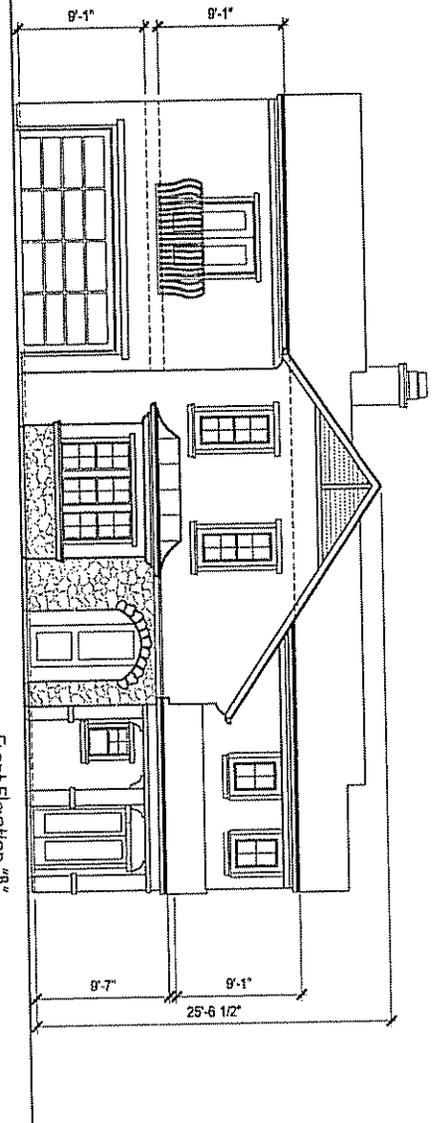
ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	228	KM43927-3	KM43776-5	CULTURED STONE	MONIER LIFETILE
SCHEME 5	KM43974-3	26	KM43356-5	CULTURED STONE	MONIER LIFETILE
SCHEME 6	KM44190-5	KM44192-5	KM43523-2	CULTURED STONE	MONIER LIFETILE

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

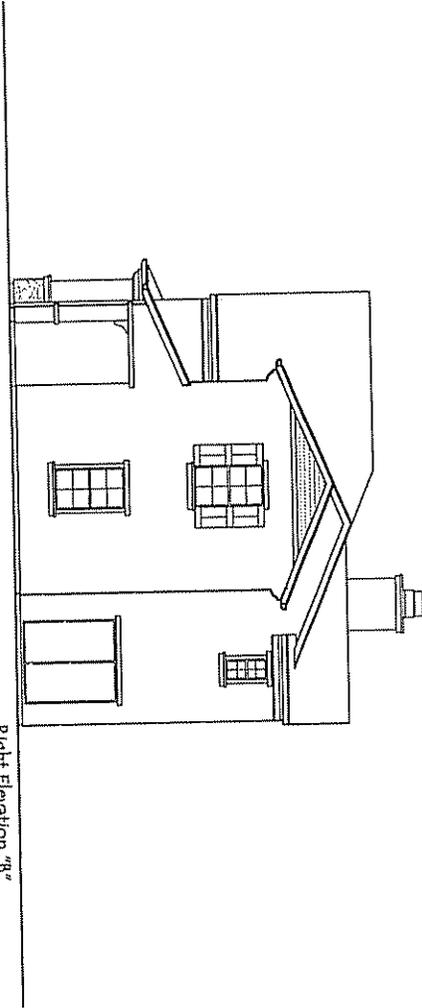
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5730
 EXTERIOR ELEVATION "B"
 Pocket Road





Front Elevation "B"



Right Elevation "B"

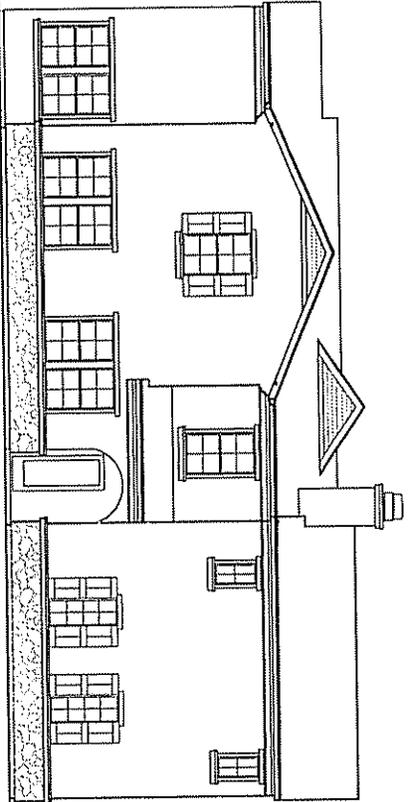
ELEVATION B MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	Z28	KM3927-5	KM3776-5	CULTURED LIFETIME CHARBON/AV	MONIER LIFETIME KOCOMO BLEND 18BCAS/65
SCHEME 5	KM3974-5	Z6	KM3956-5	FIELDSTONE	
SCHEME 6	KM4190-5	KM4192-5	KM3952-2	GV-2012	

PAINT REFERENCED IS KELLY-MOORE VENEER MATERIAL REFERENCED IS CULTURED STONE ROOFING MATERIAL REFERENCED IS MONIER LIFETIME

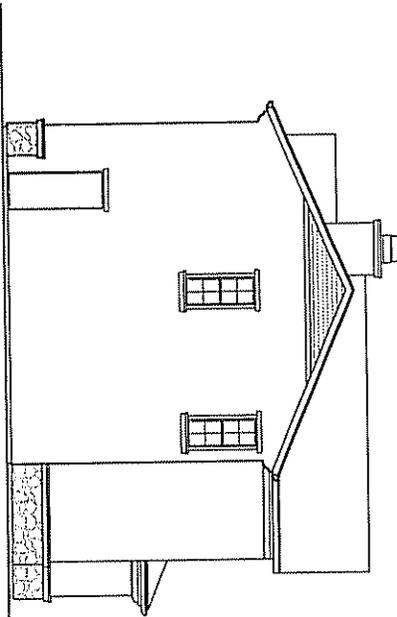
REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5730
EXTERIOR ELEVATION "B"
Private Drive





Rear Elevation "B"



Left Elevation "B"

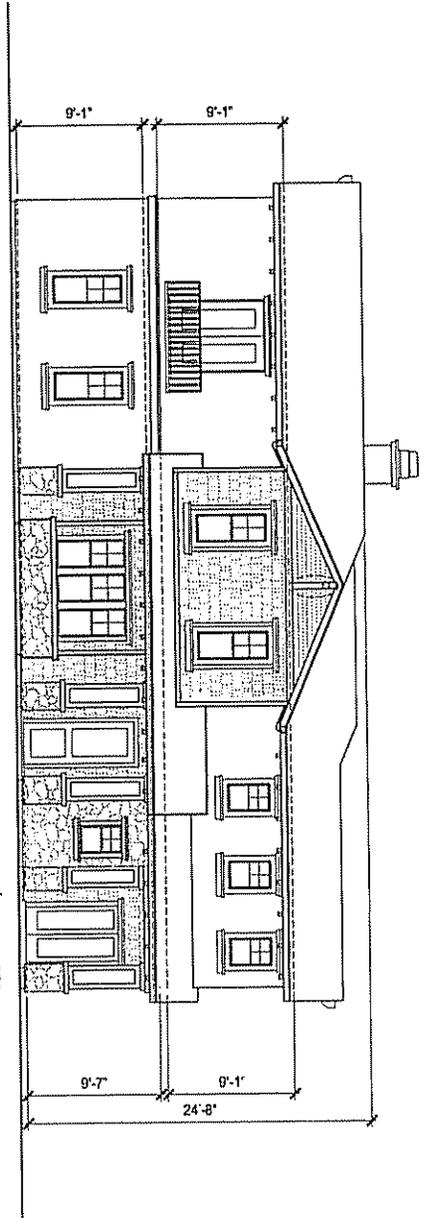
ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	228	KM43922-3	KM43776-5	CULTURED STONE CHANDLER FIELDSTONE CV-2042	MONIER LIFETILE KRONOLD FBCA3745
SCHEME 5	KM43974-3	26	KM43936-5		
SCHEME 6	KM44190-3	KM44192-5	KM43932-2		

PAINT REFERENCED IS KELLY-MOORE VENEER MATERIAL REFERENCED IS CULTURED STONE MORNING MATERIAL REFERENCED IS MONIER LIFETILE

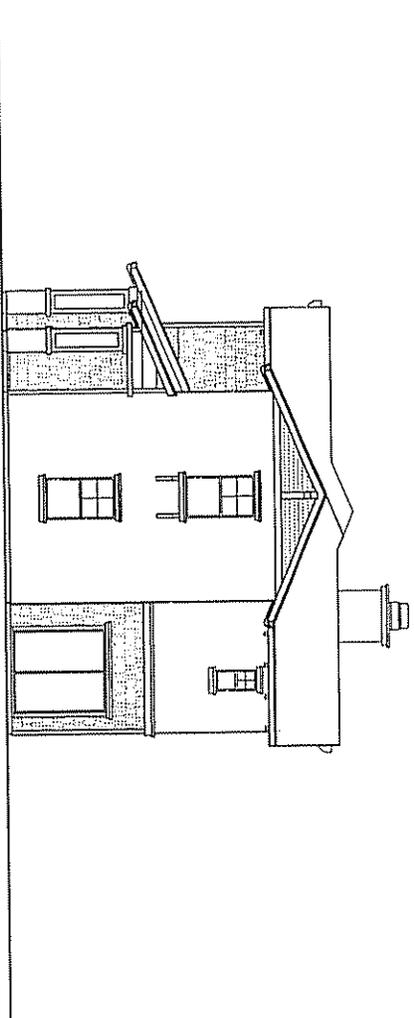
REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 5730
EXTERIOR ELEVATION "B"
Private Drive





Front Elevation "C"



Right Elevation "C"

ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM3989-2	KM3971-3	KM3976-5	CULTURED LIME	MONIER CHARCOAL BLEND
SCHEME 8	KM4179-1	KM4190-3	ACC56-5	SOUTHERN LEDGESTONE	CHARCOAL BLEND
SCHEME 9	KM4406-3	KM3984-5	KM3792-5	LEDGESTONE CV-2055	CHARCOAL BLEND

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFE TILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

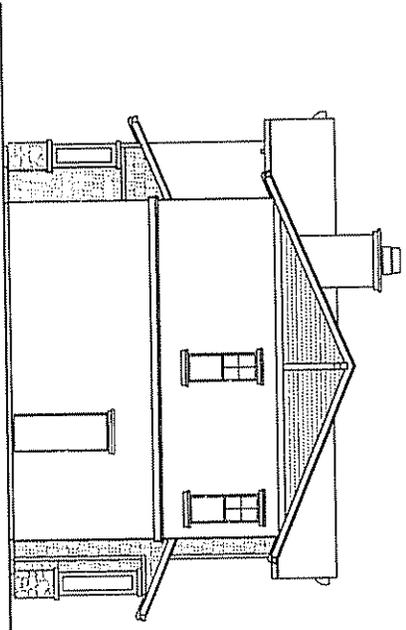
PLAN 5730
 EXTERIOR ELEVATION "C"
 Pocket Road



PHASE 1 OF 2020A - 11/19/2020



Rear Elevation "C"



Left Elevation "C"

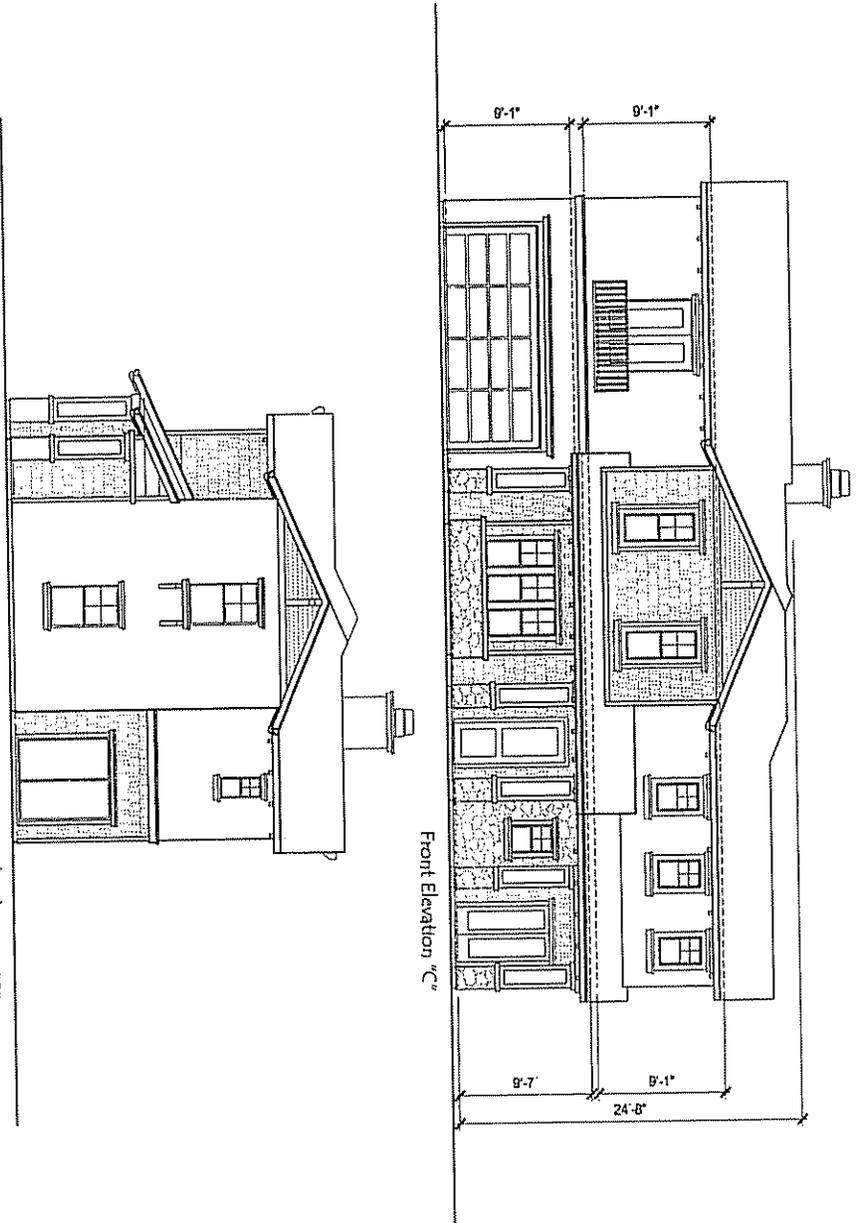
ELEVATION C MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM3989-2	KM3974-3	KM3976-5	CULTURED STONE RUSTIC SOUTHERN LEDGESTONE CSY-2095	MONIER LIFETILE CHARCOAL BROWN BLEND 17ACN182
SCHEME 8	KM4179-1	KM4190-3	ACC56-5		
SCHEME 9	KM4006-5	KM3984-5	KM3792-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5730
 EXTERIOR ELEVATION "C"
 Pocket Road





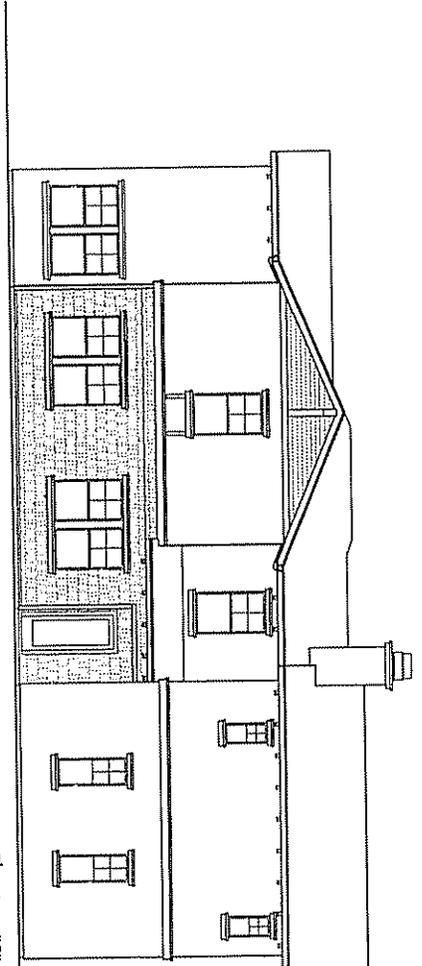
ELEVATION / MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM3999-2	KM3974-3	KM3976-5	CULTURED STONE	MONIER LIFETIME CHARCOAL BRICK 1FAC1122
SCHEME 8	KM4179-1	KM4490-3	ACC56-5	RUSTIC SOUTHERN CEDAR 2035	
SCHEME 9	KM4006-3	KM3956-5	KM3792-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETIME

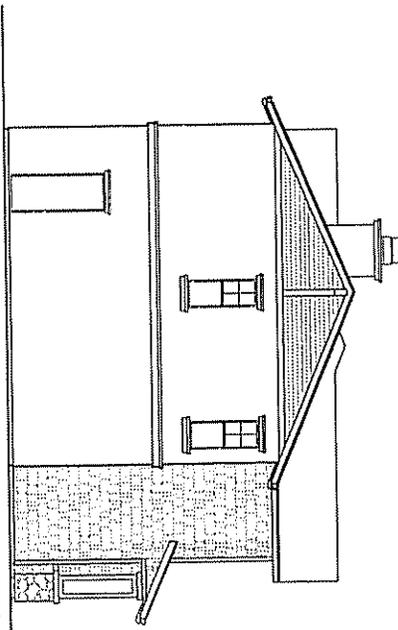
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 5730
 EXTERIOR ELEVATION "C"
 Private Drive





Rear Elevation "C"



Left Elevation "C"

ELEVATION C MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM3989-2	KM3974-3	KM3976-5	CULTURED STONE	MONIER CHARCOAL BLEND
SCHEME 8	KM4479-1	KM4490-3	ACC256-5	LEDGESTONE	MONIER CHARCOAL BLEND
SCHEME 9	KM4406-3	KM3936-5	KM3972-5	SOUTHERN LEDGESTONE	MONIER CHARCOAL BLEND

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

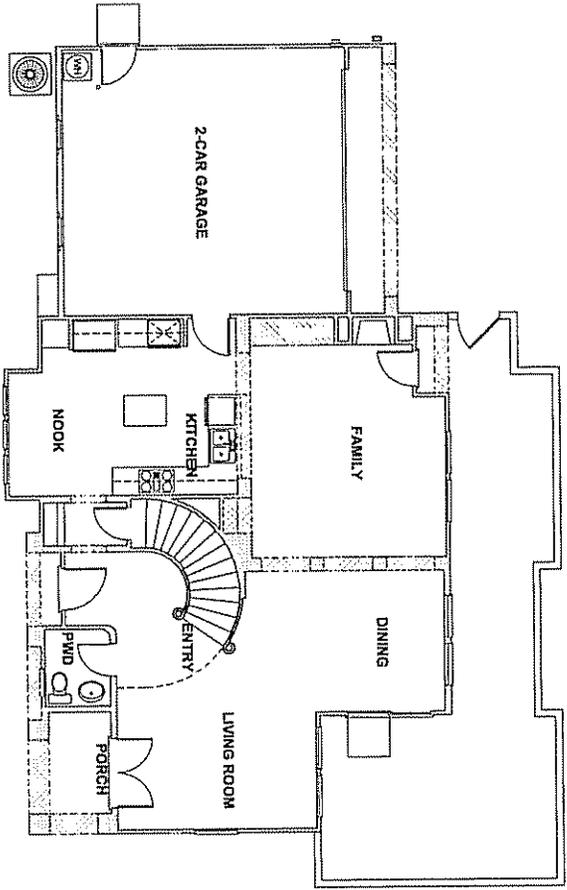
PLAN 5730
 EXTERIOR ELEVATION "C"
 Private Drive



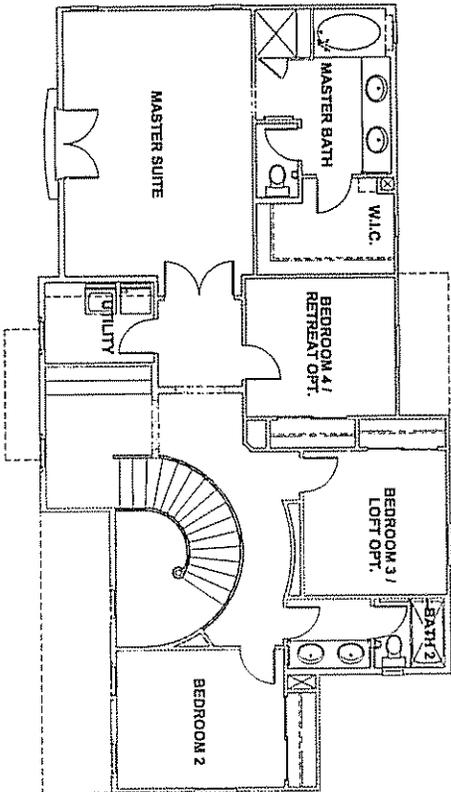
STATION # 2004 ... HIGHWAY 14, 2005

REGIS HOMES
THE ISLANDS AT RIVERLAKE

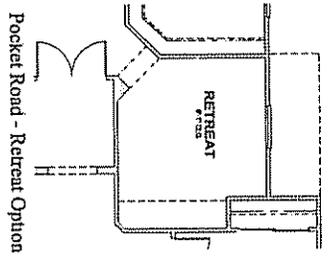
PLAN 5730
FLOOR PLAN
Pocket Road



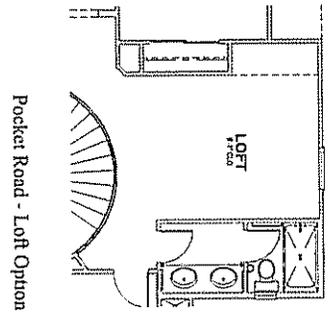
Pocket Road Main Level Floor Plan



Pocket Road Upper Level Floor Plan



Pocket Road - Retreat Option

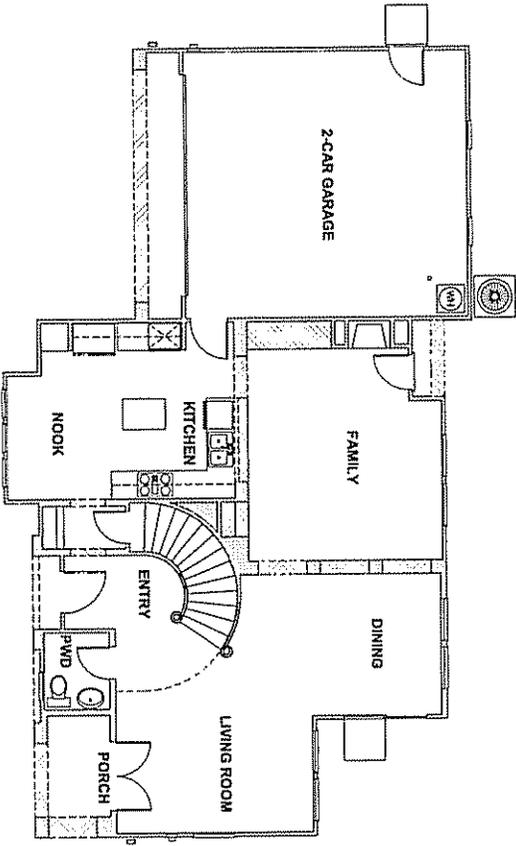


Pocket Road - Loft Option

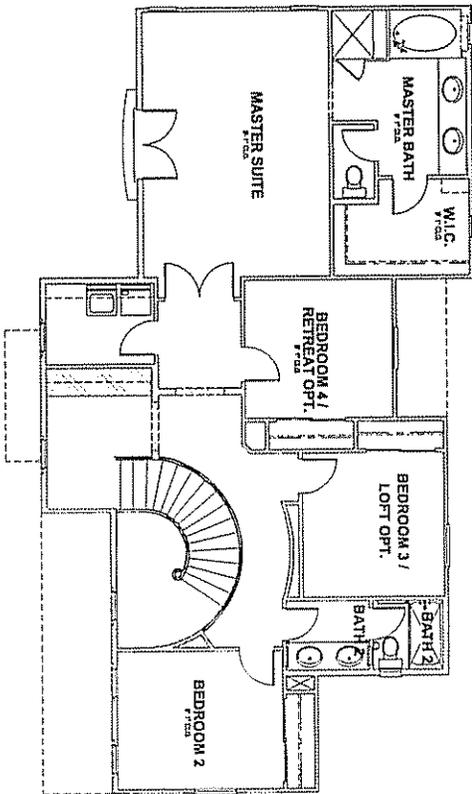


REGIS HOMES
THE ISLANDS AT RIVERLAKE

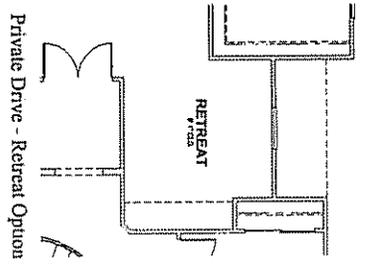
PLAN 5730
FLOOR PLAN
Private Drive



Private Drive Main Level Floor Plan



Private Drive Upper Level Floor Plan



Private Drive - Retreat Option

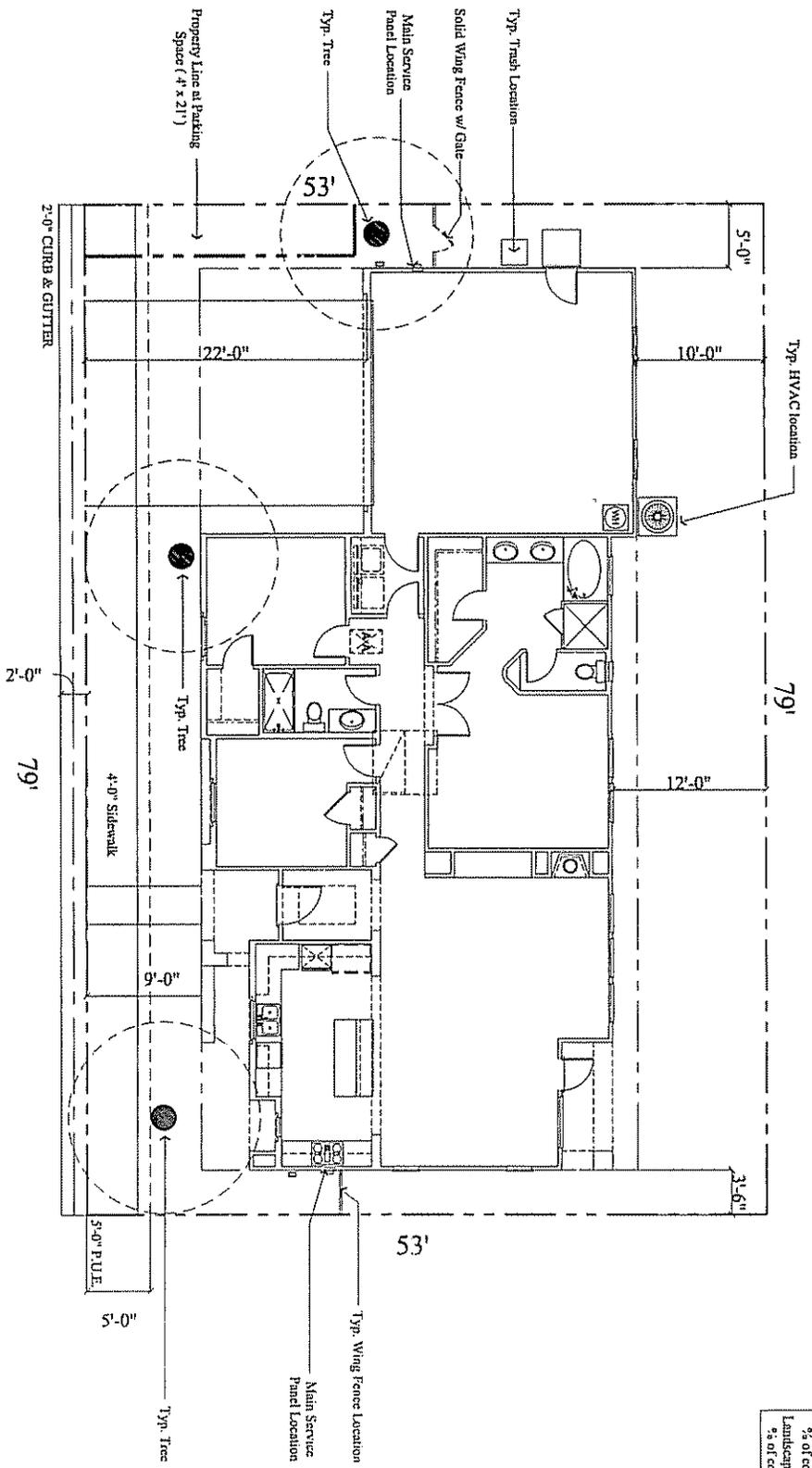


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THE ISLANDS AT RIVERLAKE

PLAN 7110
TYP. PLOT PLAN
Private Drive

Private Drive



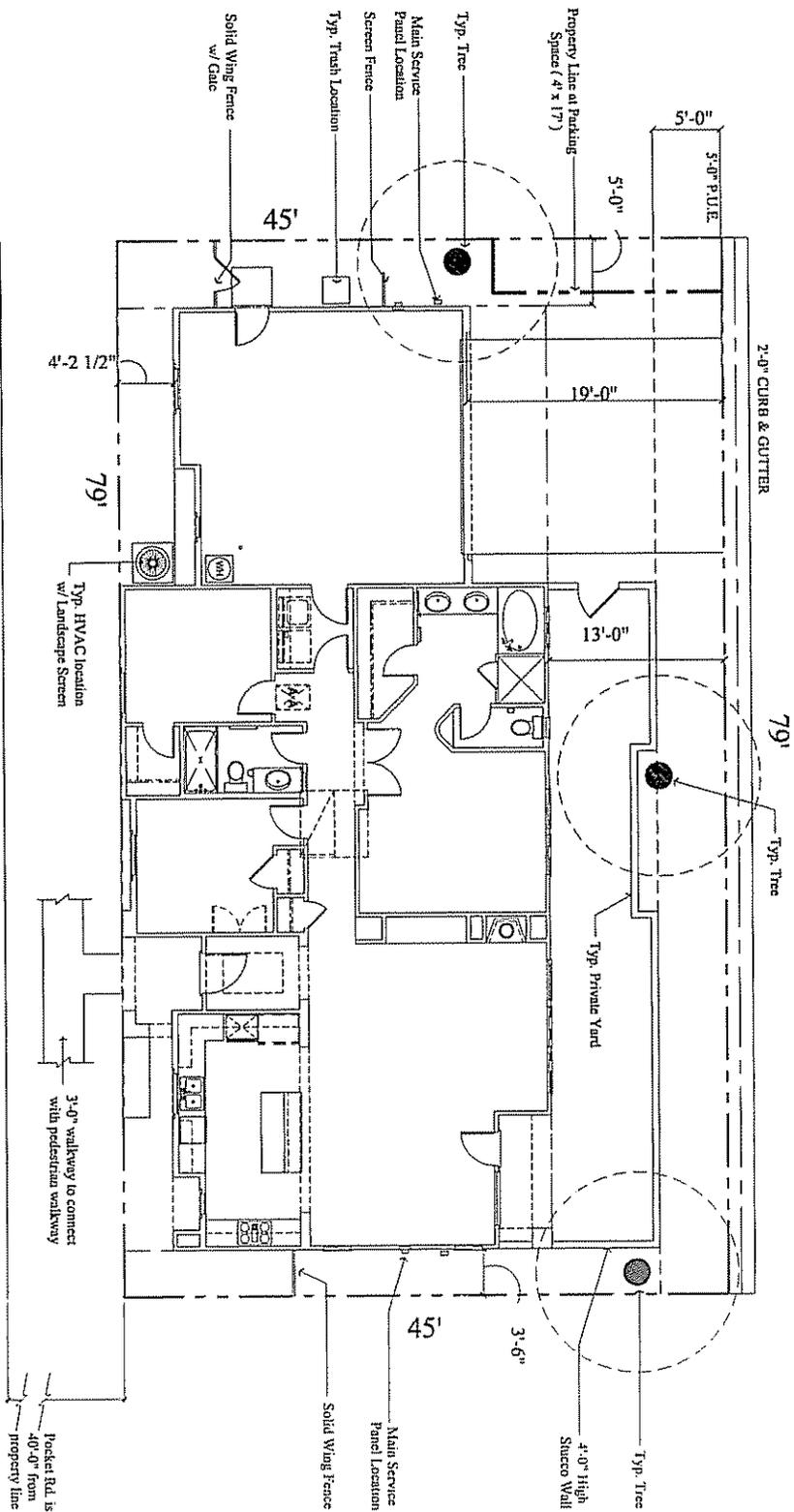
% of Lot Coverage	
Lot Size	4,187 s.f.
Blde. Footprint	1,882 s.f.
% of coverage	45%
Walkways/Parking	422 s.f.
% of coverage	10%
Landscape	1,188 s.f.
% of coverage	45%



REGIS HOMES
THE ISLANDS AT RIVERLAKE

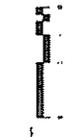
PLAN 7110
TYP. PLOT PLAN
Pocket Road

Pocket Road

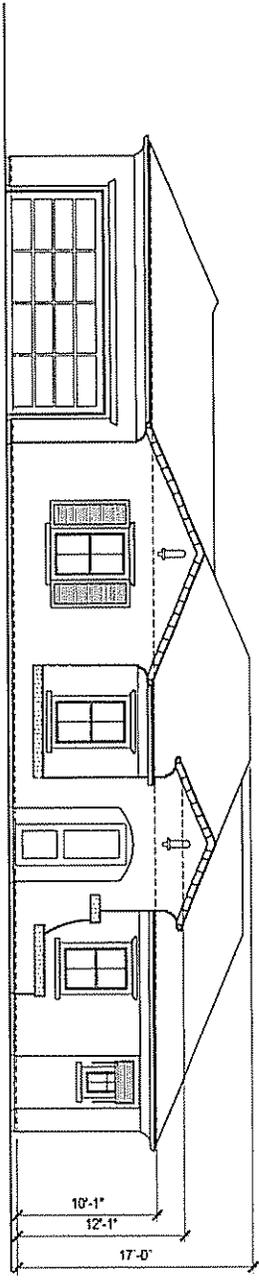


Private Drive

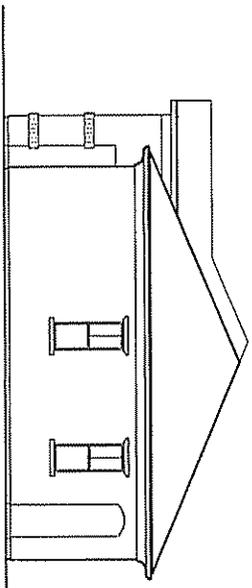
% of Lot Coverage	
Lot Size	3,555 s.f.
Bldg. Footprint	1,884 s.f.
% of coverage	53%
Walkways/Parking	374 s.f.
% of coverage	11%
Landscape	1,297 s.f.
% of coverage	36%



PHA Architects
PHA, Inc. # 28004 ... January 14, 2009



Front Elevation "A"



Right Elevation "A"

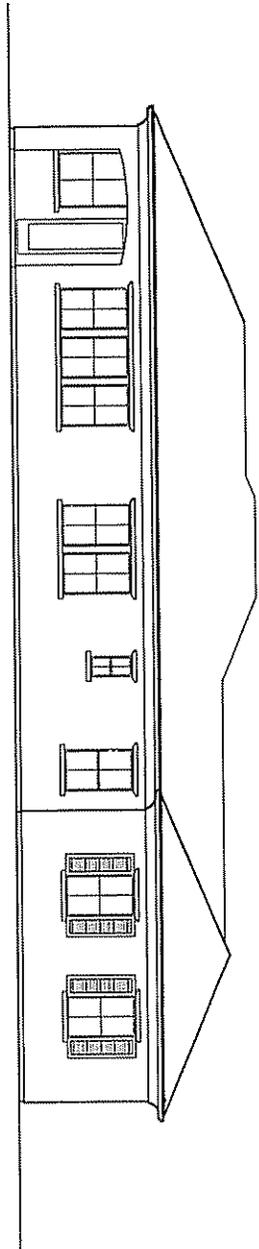
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KMA045-2	KMA002-1	KMA072-5	H.C. MUDDOX MENDOCINO	MONIERE LEATA GRANDE BLEND TVACS169
SCHEME 2	KMA055-3	KMA070-1	KMB652-5		
SCHEME 3	KMA021-2	KMA047-3	KMA120-5		

PAINT REFERENCED IS KELLY-MOORE
 VENER MATERIAL REFERENCED IS H.C. MUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIERE LIFETILE

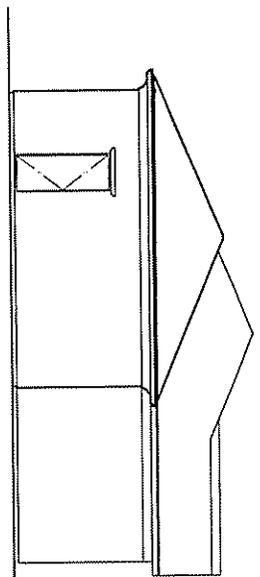
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7110
 EXTERIOR ELEVATION "A"
 Private Drive





Rear Elevation "A"



Left Elevation "A"

ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KMA045-2	KMA002-4	KMA072-5	H.S. MUDDOX MENDOCINO	MONIER LIFETILE CANA GREND IVAC5669
SCHEME 2	KMA055-3	KMA010-1	KMA332-5		
SCHEME 3	KMA021-2	KMA047-3	KMA120-5		

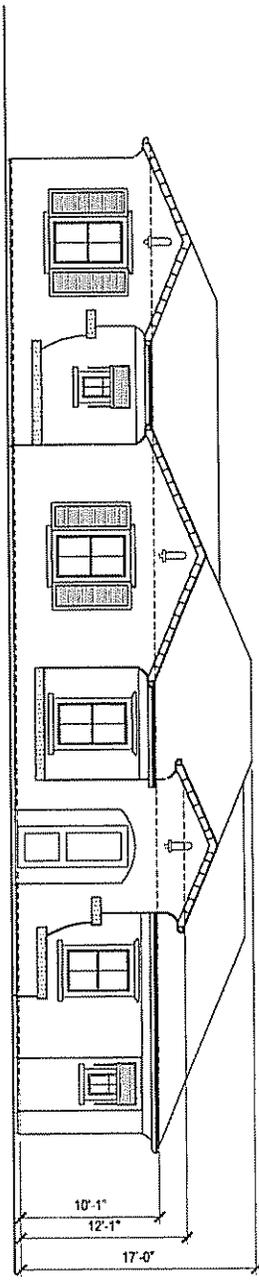
PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

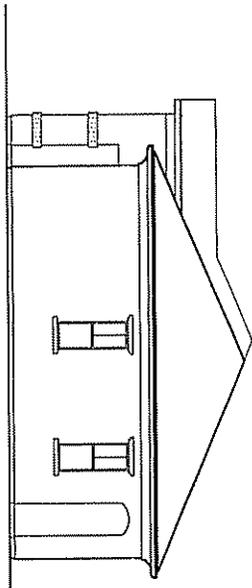
PLAN 7110
 EXTERIOR ELEVATION "A"
 Private Drive



PHA architects
 PHA 1007 P. 20254 - January 14, 2005



Front Elevation "A"



Right Elevation "A"

ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4002-1	KM4072-5	H.C. MUDPOX MENDOCINO	MONIER LIFT GRANDE BLEND TVACS169
SCHEME 2	KM4055-3	KM4010-1	KM5B32-5		
SCHEME 3	KM4021-2	KM4047-3	KM4120-5		

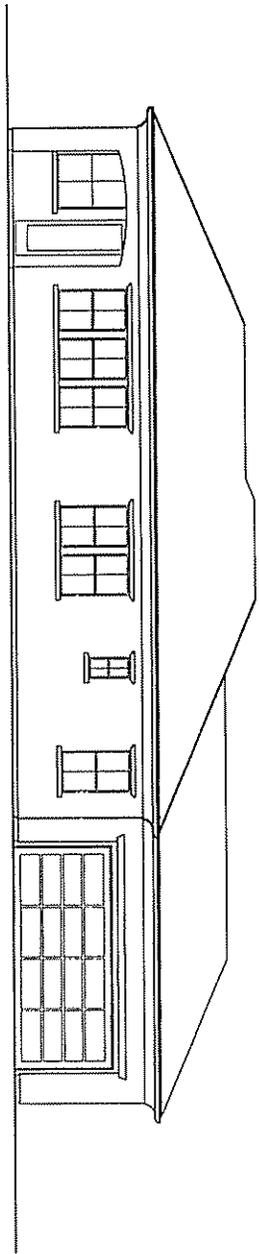
PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS H.C. MUDPOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

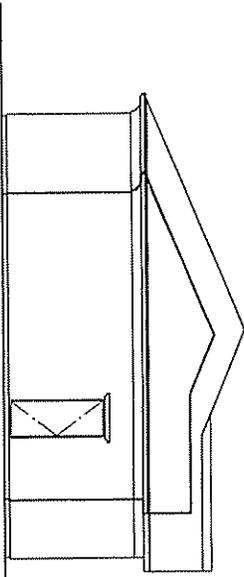
PLAN 7110
 EXTERIOR ELEVATION "A"
 Pocket Road



7110_1219 # 202004 - January 14, 2025



Rear Elevation "A"



Left Elevation "A"

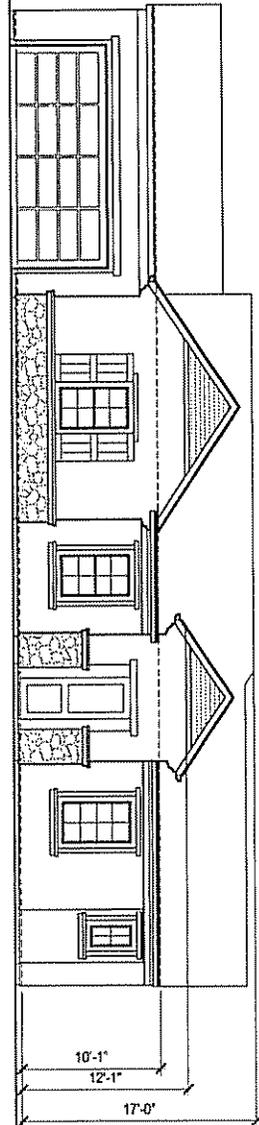
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2 KM4002-1	KM4072-5		H.C. AUDOX MENDOCINO	MONIER LITTLÉ GRANDE BLEND TVACS5169
SCHEME 2	KM4055-3 KM4010-1	KMSB2-5			
SCHEME 3	KM4021-2 KM4047-3	KM420-5			

PAINT REFERENCED IS KELLY-MOORE
 VENER MATERIAL REFERENCED IS H.C. AUDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

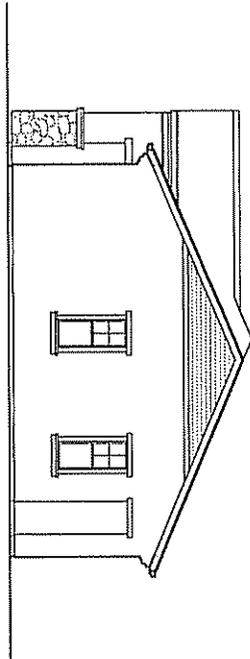
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7110
 EXTERIOR ELEVATION "A"
 Pocket Road





Front Elevation "B"



Right Elevation "B"

ELEVATION B MATERIALS	PAINT COLOR			STONE VENER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	228	KA9977-5	KA9576-5	CULTURED VENER	MONIER
SCHEME 5	KA9974-5	26	KA9956-5	CULTURED VENER	MONIER
SCHEME 6	KA9990-5	KA9993-5	KA9992-2	CULTURED VENER	MONIER

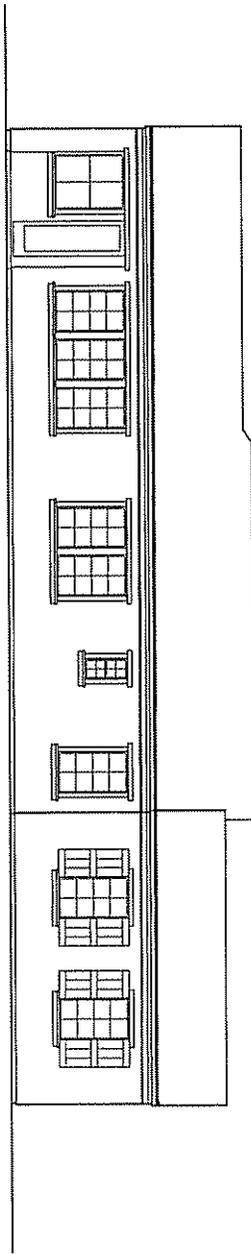
PAINT REFERENCED IS KELLY-MOORE
 VENER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

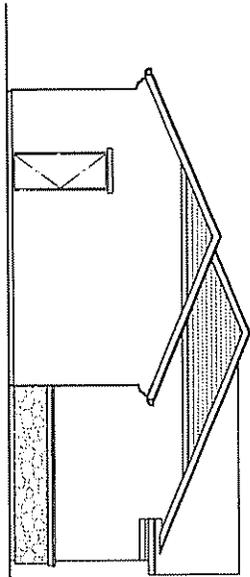
PLAN 7110
 EXTERIOR ELEVATION "B"
 Private Drive



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 11111 12th Street, Suite 100, Fairfax, VA 22030



Rear Elevation "B"



Left Elevation "B"

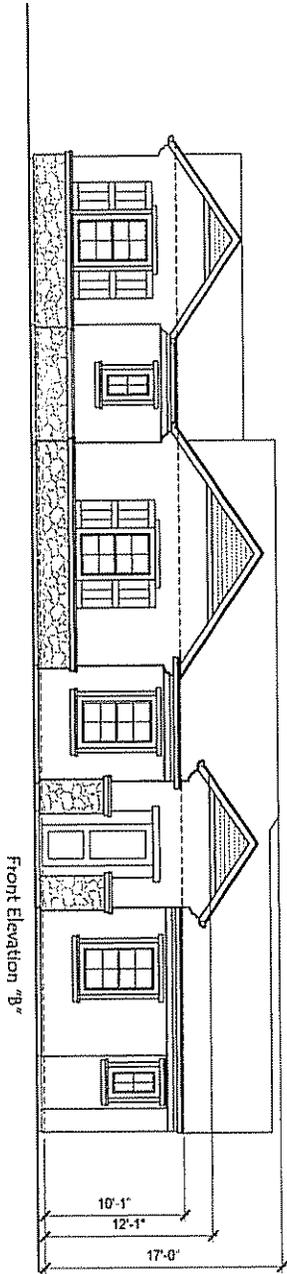
ELEVATION B MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	22B	KM5927-3	KM5776-5	CULTURED STONE VENEER	MONIER FIBREGLASS BLEND
SCHEME 5	KM4597A-3	26	KM5958-5	CULTURED STONE VENEER	MONIER FIBREGLASS BLEND
SCHEME 6	KM4190-3	KM4192-5	KM5932-2	CULTURED STONE VENEER	MONIER FIBREGLASS BLEND

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

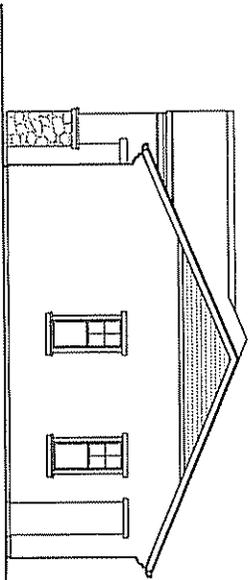
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7110
 EXTERIOR ELEVATION "B"
 Private Drive





Front Elevation "B"



Right Elevation "B"

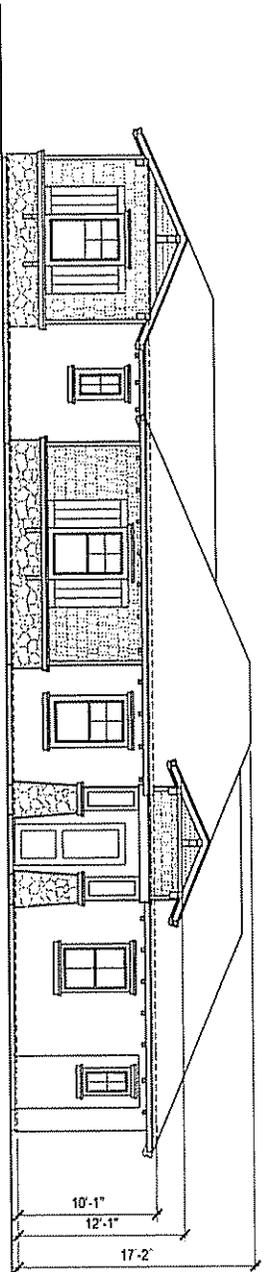
ELEVATION & MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 4	22B	KA8927-3	KA8776-5	CULTURED STONE	MONIER LIFETILE BLEND 1FBC/57A5
SCHEME 5	KA8974-3	26	KA8936-5	CULTURED STONE CHAMPRESSO FIELDSTONE CSV-2012	MONIER LIFETILE BLEND 1FBC/57A5
SCHEME 6	KA4190-3	KA4192-5	KA8932-2	CULTURED STONE CHAMPRESSO FIELDSTONE CSV-2012	MONIER LIFETILE BLEND 1FBC/57A5

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

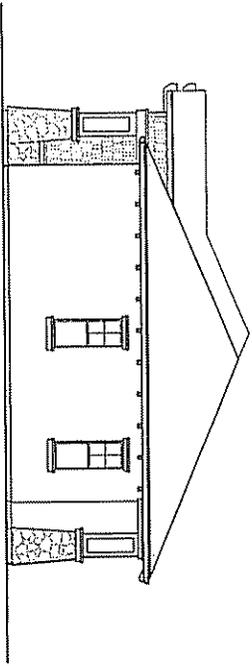
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7110
 EXTERIOR ELEVATION "B"
 Pocket Road





Front Elevation "C"



Right Elevation "C"

ELEVATION / MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM8989-2	KM8971-3	KM8976-5	CULTURED STONE	MONIER LIFETILE
SCHEME 8	KM4179-1	KM4190-3	ACC56-5	RUSTIC SPOTTED STONE	CHARTER BLEND
SCHEME 9	KM4106-3	KM8936-5	KM8792-5	LEOPARD STONE	IFAC182Z

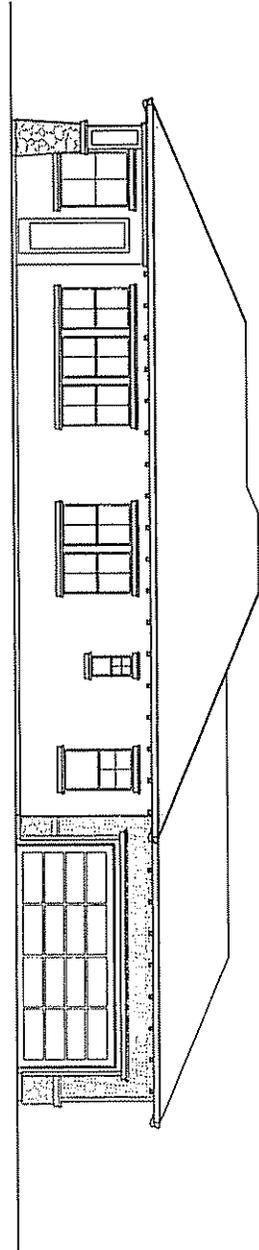
PAINT REFERENCED IS KELLY MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

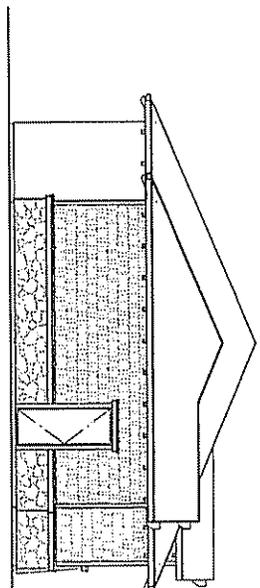
PLAN 7110
 EXTERIOR ELEVATION "C"
 Pocket Road



PHA architects
 PHA 028 # 2004 — January 14, 2004



Rear Elevation "C"



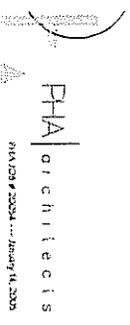
Left Elevation "C"

ELEVATION / MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM4399-2	KM4374-3	KM4376-5	CULTURED STONE	MONIER LIFETILE
SCHEME 8	KM4179-1	KM4190-3	ACC256-5	ROUTED BOUTHERN CEDAR	CHARCOAL BROWN
SCHEME 9	KM4406-3	KM4396-5	KM4392-5	CVL2055	IFAC112

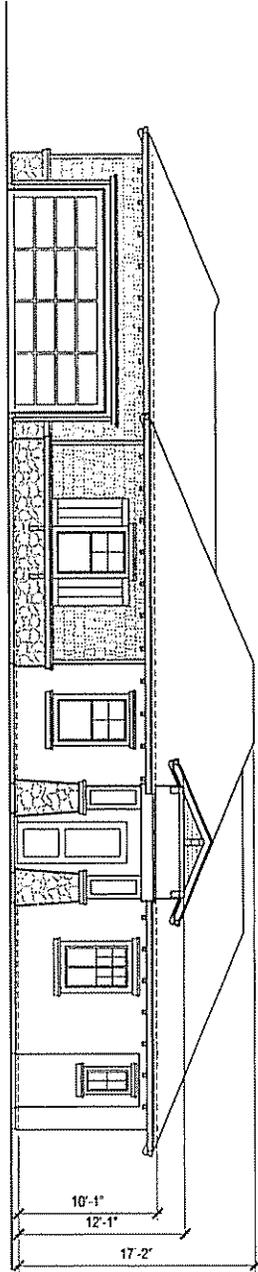
PAINT REFERENCED IS KELLY-MOORE
 PAINTS. STONE VENEER REFERENCED IS
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 MONIER LIFETILE.

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

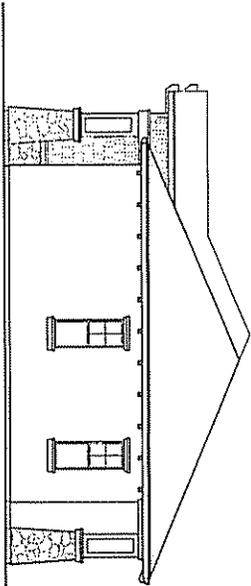
PLAN 7110
 EXTERIOR ELEVATION "C"
 Pocket Road



PHAS20 # 2004 ... January 14, 2005



Front Elevation "C"



Right Elevation "C"

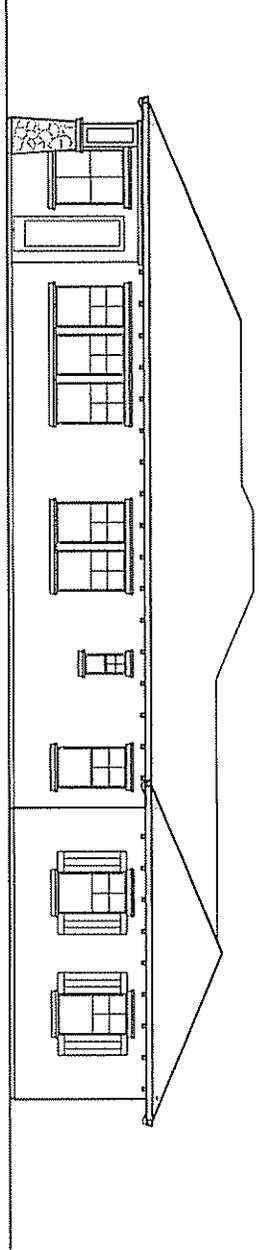
ELEVATION / MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM4399-2	KM3774-3	KM3976-5	CULTURED STONE	MONIER LIFETILE
SCHEME 8	KM4179-4	KM4190-3	ACC36-5	RUSTIC SPILTONE	CHARCOAL BROWN
SCHEME 9	KM44006-3	KM3956-5	KM3792-5	SPILTONE	IFACH112

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

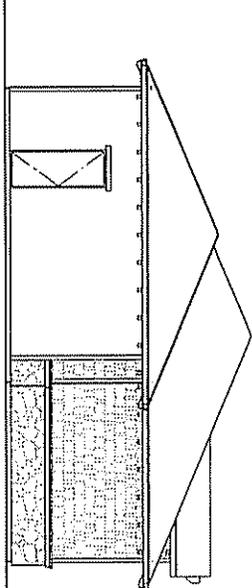
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7110
 EXTERIOR ELEVATION "C"
 Private Drive





Rear Elevation "C"



Left Elevation "C"

ELEVATION C MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KA3989-2	KA3974-3	KA3976-5	CULTURED STONE	MONIERE CHARCOAL BROWN BLEND
SCHEME 8	KM4479-1	KM4190-3	AC26-5	SOUTHERN LEDGESTONE	FRAC5H32
SCHEME 9	KM4006-5	KA3986-5	KA3792-5	CV22055	

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIERE LIFETILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

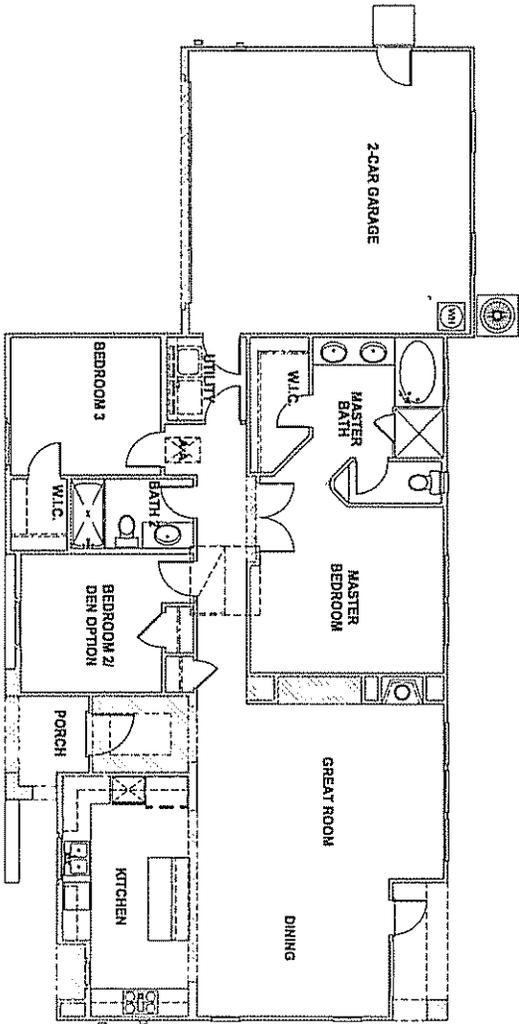
PLAN 7110
 EXTERIOR ELEVATION "C"
 Private Drive



PHA architects
 11111 12th Street, Suite 100
 Denver, CO 80202

REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 7110
FLOOR PLAN
Private Drive



Private Drive Main Level Floor Plan

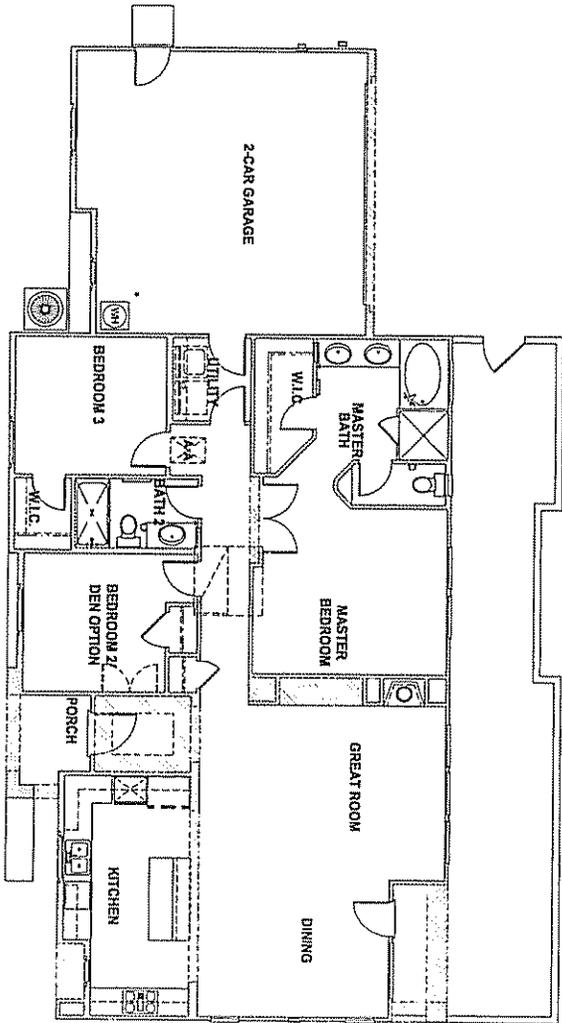


REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 7110
FLOOR PLAN
Pocket Road



FHA | architects
11111 123rd Street, Suite 100, Houston, TX 77058

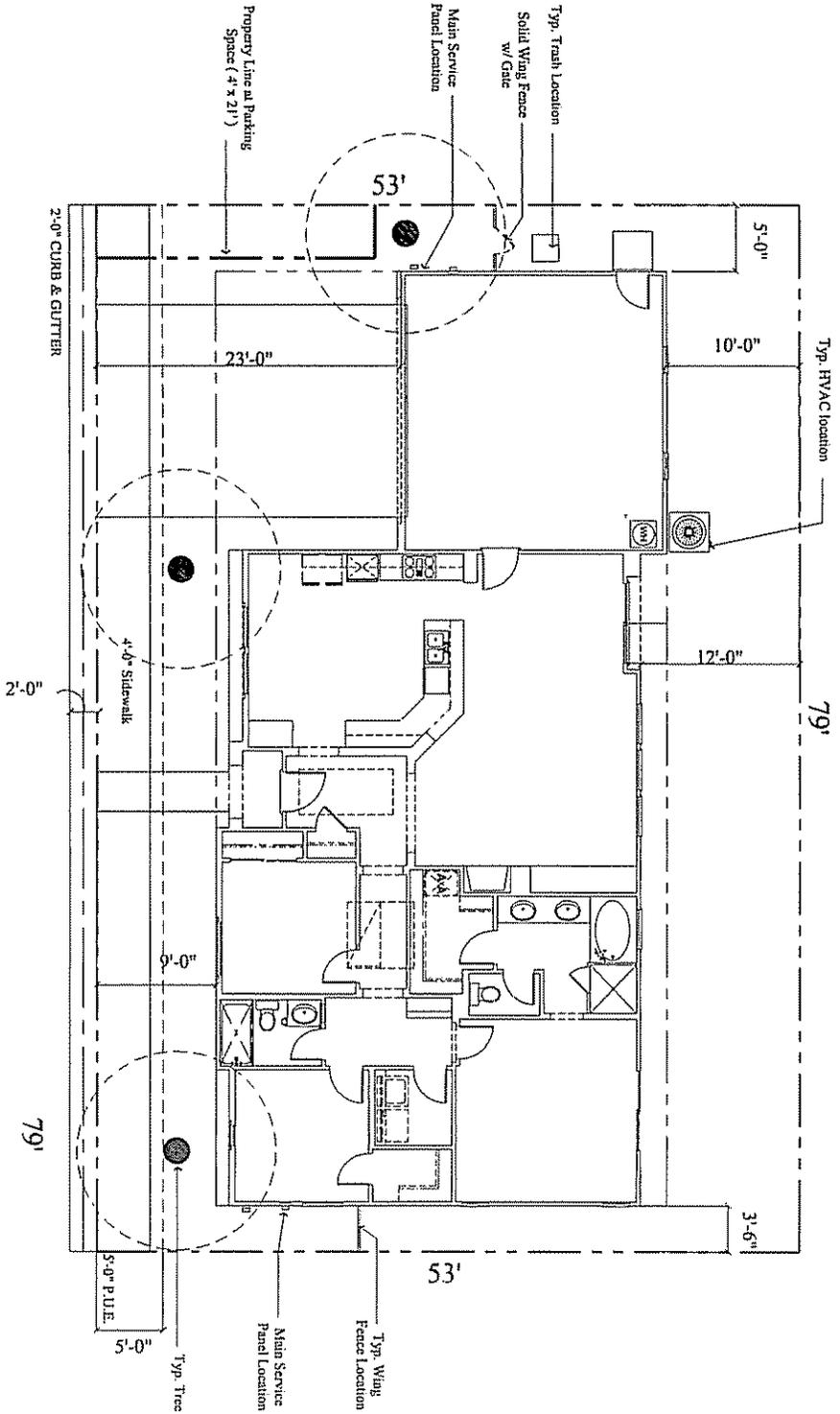


Pocket Road Main Level Floor Plan

REGIS HOMES
THE ISLANDS AT RIVERLAKE

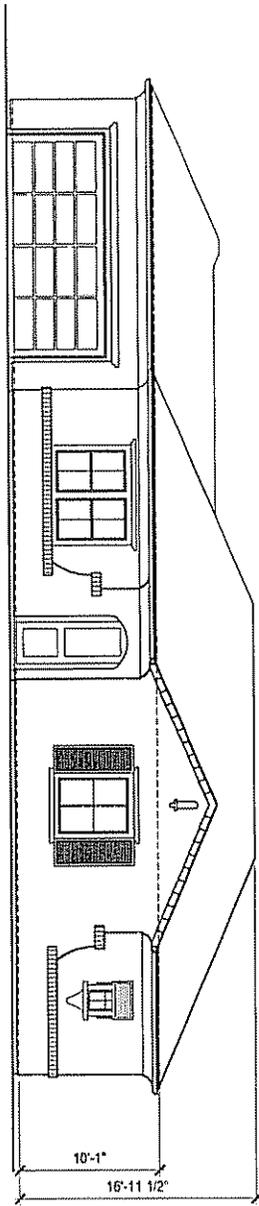
PLAN 7120
TYP. PLOT PLAN
Private Drive

Private Drive

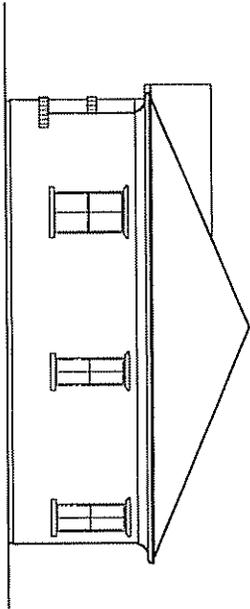


% of Lot Coverage	
Lot Size	3,555 s.f.
Blgd. Footprint	1,937 s.f.
% of coverage	55%
Walkways/Parking	389 s.f.
% of coverage	11%
Landscape	1,229 s.f.
% of coverage	34%





Front Elevation "A"



Right Elevation "A"

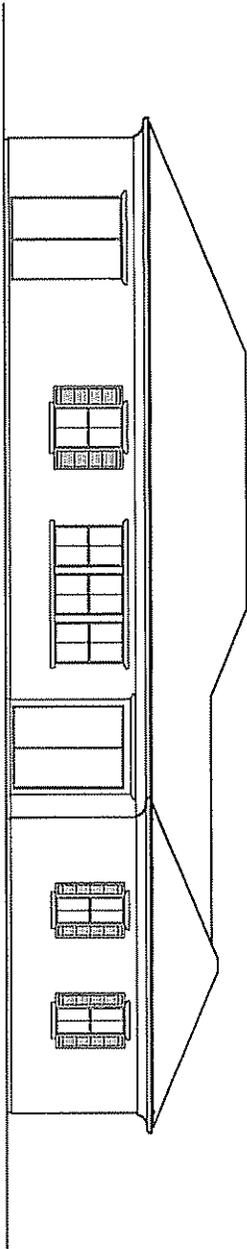
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KMA045-2	KMA002-1	KMA072-5	H.C. MUDDOX MENDOCINO	MONIER LEFT BLEND IVA CS6169
SCHEME 2	KMA055-3	KMA010-1	KM3B32-5	H.C. MUDDOX MENDOCINO	MONIER LEFT BLEND IVA CS6169
SCHEME 3	KMA021-2	KMA047-3	KMA120-5	H.C. MUDDOX MENDOCINO	MONIER LEFT BLEND IVA CS6169

PAINT REFERENCED IS KELLY-MOORE
 GENER. MATERIAL REFERENCED IS H.C. MUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

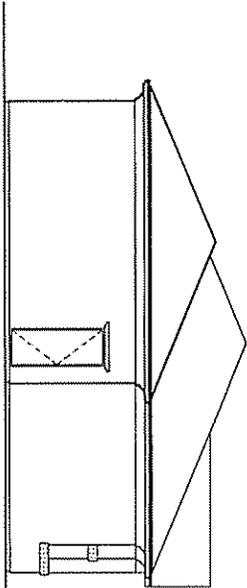
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7120
 EXTERIOR ELEVATION "A"
 Private Drive





Rear Elevation "A"



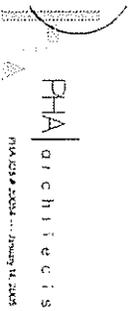
Left Elevation "A"

ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4002-1	KM4072-5	H.C. MUDDOX MENDOCINO	MONIER LIFETIME GRANDE BLEND TVAC50169
SCHEME 2	KM4055-3	KM4010-1	KM3B32-5		
SCHEME 3	KM4071-2	KM4047-3	KM4120-5		

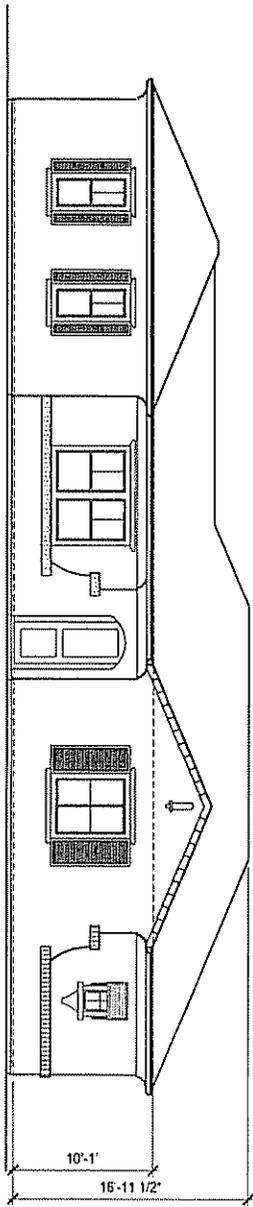
PAINT REFERENCED IS KELLY-MOORE
 VENER MATERIAL REFERENCED IS H.C. MUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER LIFETIME

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

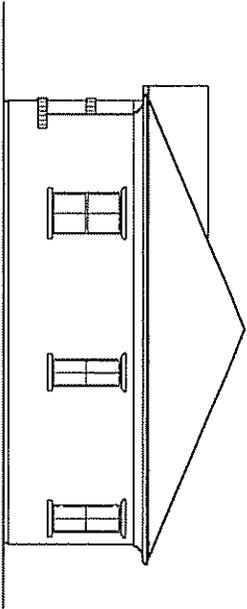
PLAN 7120
 EXTERIOR ELEVATION "A"
 Private Drive



PHASIS • 2024 • 1000 • 1000 • 1000



Front Elevation "A"



Right Elevation "A"

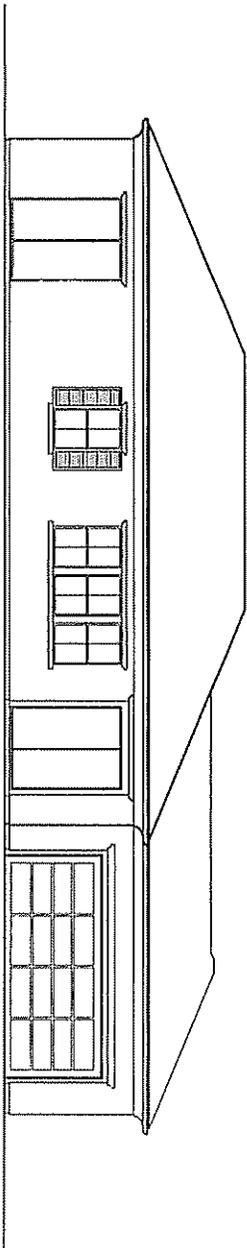
ELEVATION / MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4002-1	KM4072-5	H.C. AUDDOX MENDOCINO	MOONIER LIFTER CALA GRANDE BLEND TVA58189
SCHEME 2	KM4035-3	KM4010-1	KM3832-5		
SCHEME 3	KM4021-2	KM4047-3	KM4120-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS H.C. AUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MOONIER LIFTER/TILE

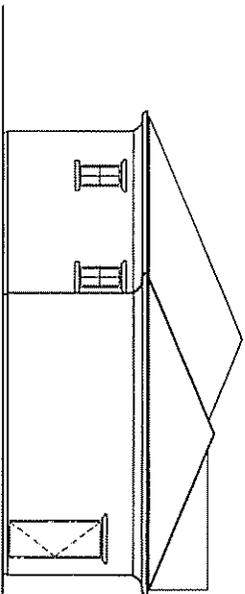
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7120
 EXTERIOR ELEVATION "A"
 Pocket Road





Rear Elevation "A"



Left Elevation "A"

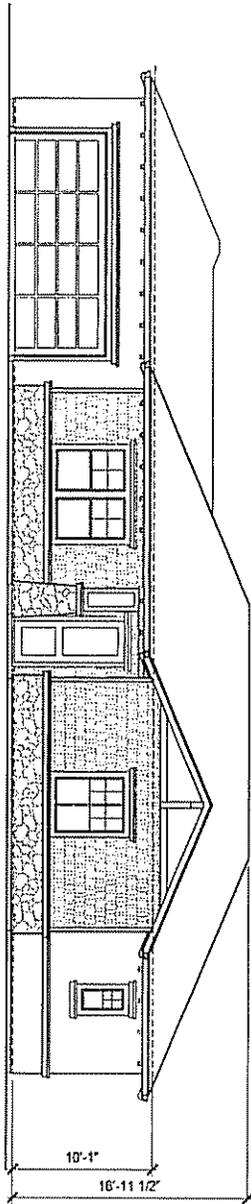
ELEVATION A MATERIALS	PAINT COLOR			BRICK	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 1	KM4045-2	KM4002-1	KM4072-5	H.C. MUDDOX MENDOCINO	MONIER UFFLE GRAND BLEND IVA55199
SCHEME 2	KM4035-3	KM4010-1	KM3832-5		
SCHEME 3	KM4021-2	KM4047-5	KM4420-5		

PAINT REFERENCED IS KELLY-MOORE
 VENER MATERIAL REFERENCED IS H.C. MUDDOX BRICK
 ROOFING MATERIAL REFERENCED IS MONIER UFFLE

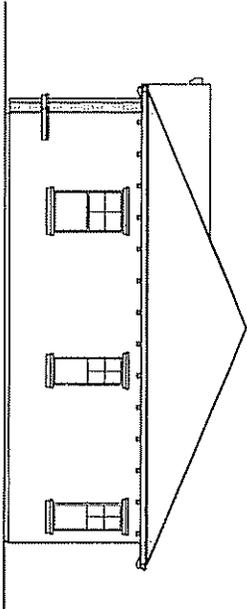
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7120
 EXTERIOR ELEVATION "A"
 Pocket Road





Front Elevation "C"



Right Elevation "C"

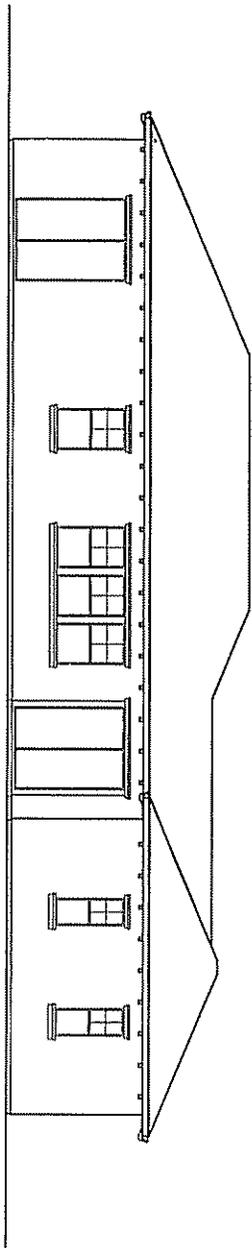
ELEVATION C MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM3989-2	KM3974-3	KM3976-5	CULTURED STONE RUSTLE SOUTHERN LEDGESTONE (SV-2035)	MOHAWK CERAMIC CHARCOAL BROWN BLEND TPA3152
SCHEME 8	KM4479-1	KM4490-3	AC286-5		
SCHEME 9	KM44006-3	KM3956-5	KM3972-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MIDNIGHT LIFETILE

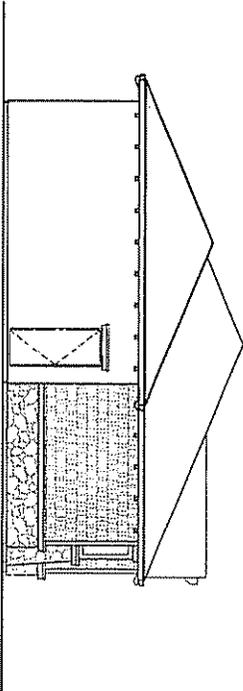
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7120
 EXTERIOR ELEVATION "C"
 Private Drive





Rear Elevation "C"



Left Elevation "C"

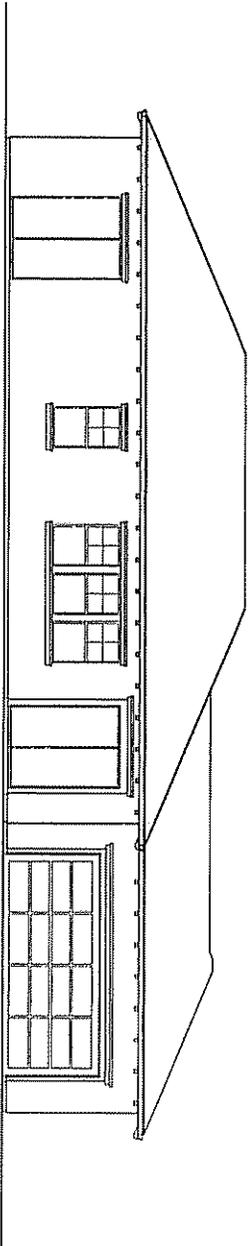
ELEVATION / MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM399-2	KM397A-5	KM397B-5	CULTURED STONE SOUTHERN LEDGESTONE CSV-2055	MONIER CHARCOAL BROWN BLEND TFA31152
SCHEME 8	KM479-1	KM479-3	ACC56-5		
SCHEME 9	KM400-5	KM396-5	KM392-5		

PAINT REFERENCED IS KELLY-MOORE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFETILE

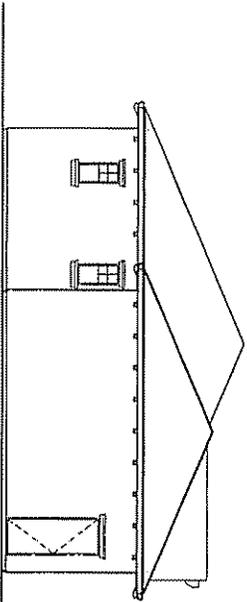
REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7120
 EXTERIOR ELEVATION "C"
 Private Drive





Rear Elevation "C"



Left Elevation "C"

ELEVATION / MATERIALS	PAINT COLOR			STONE VENEER	ROOF TILE
	BODY	TRIM	ACCENT		
SCHEME 7	KM4399-2	KM4397A-3	KM4397A-5	CULTURED STONE	MONIER LIFE TILE
SCHEME 8	KM4479-1	KM4490-3	ACS6-5	CULTURED STONE	CHARCOAL BRAND
SCHEME 9	KM4406-3	KM4396-5	KM4397A-5	CULTURED STONE	CHARCOAL BRAND

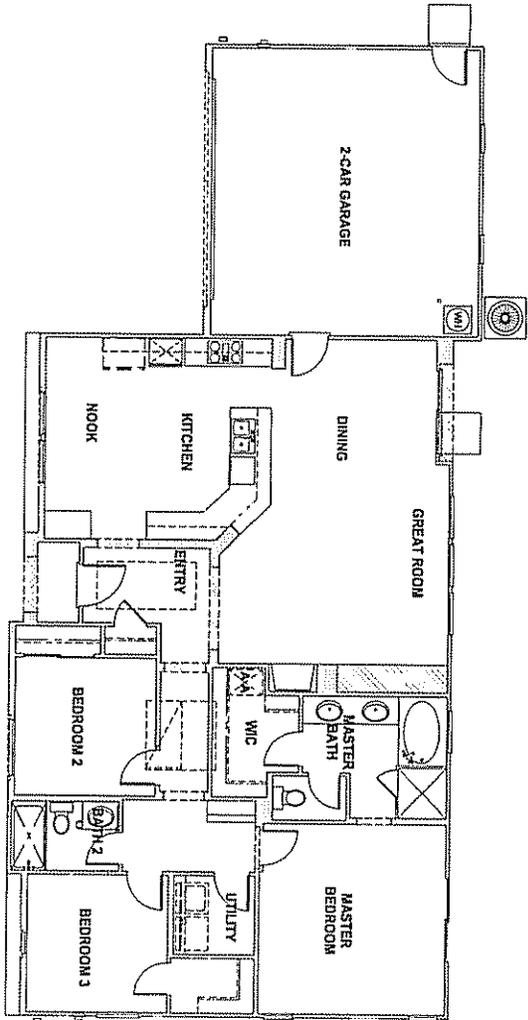
PAINT REFERENCED IS KELLY-HOPPE
 VENEER MATERIAL REFERENCED IS CULTURED STONE
 ROOFING MATERIAL REFERENCED IS MONIER LIFE TILE

REGIS HOMES
 THE ISLANDS AT RIVERLAKE

PLAN 7120
 EXTERIOR ELEVATION "C"
 Pocket Road



REGIS HOMES
THE ISLANDS AT RIVERLAKE



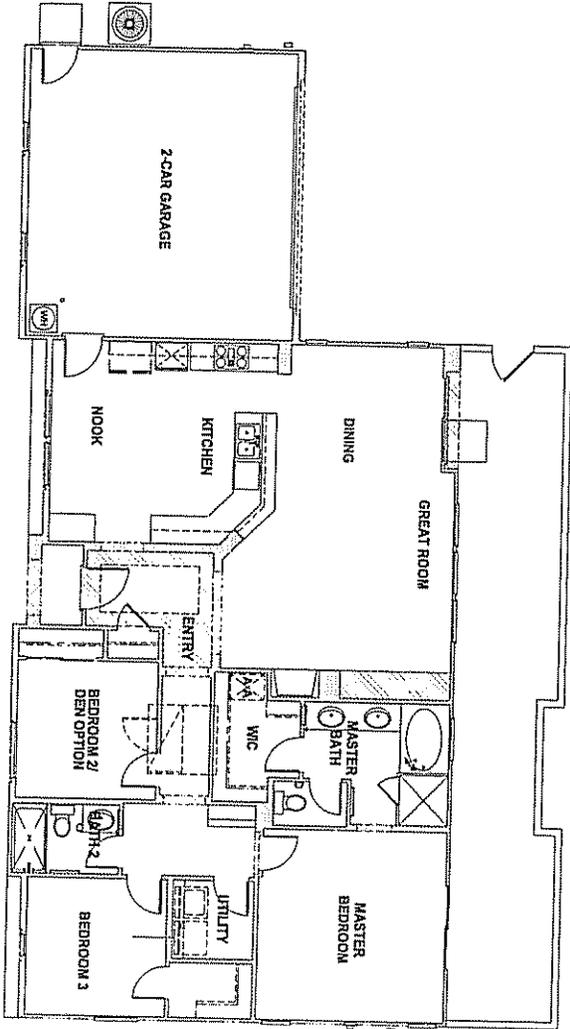
Private Drive Main Level Floor Plan

PLAN 7120
FLOOR PLAN
Private Drive



REGIS HOMES
THE ISLANDS AT RIVERLAKE

PLAN 7120
FLOOR PLAN
Pocket Road



Pocket Road Main Level Floor Plan



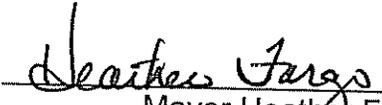
Adopted by the City of Sacramento City Council on January 31, 2006 by the following vote:

Ayes: Councilmembers Cohn, McCarty, Pannell, Sheedy, Tretheway, and Mayor Fargo.

Noes: Councilmembers Fong and Hammond.

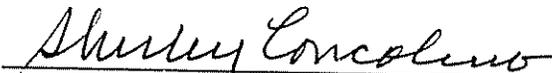
Abstain: None.

Absent: Councilmember Waters Recused.



Mayor Heather Fargo

Attest:



Shirley Concolino, City Clerk