



REPORT TO COUNCIL

City of Sacramento

23

915 I Street, Sacramento, CA 95814-2671
www.CityofSacramento.org

CONSENT
April 25, 2006

Honorable Mayor and
Members of the City Council

Subject: PFP Hagginwood Estates (P05-072)

Location/Council District:

1650 Arcade Boulevard. APN: 265-0060-049 Council District 3

Recommendation:

1) Review an Ordinance amending the Comprehensive Zoning Ordinance (Title 17 of the Sacramento City Code) to allow the development of 14 single-family units on 1.57± net acres; 2) Pass for publication the Ordinance title as required by Sacramento City Charter 32c; 3) Review the associated Resolution; and 4) Continue to May 4, 2006 for adoption.

Contacts: Sally Shore, Assistant Planner, 808-8001; Greg Bitter, Senior Planner, 808-7816

Presenters: Not Applicable

Department: Development Services Department

Division: Current Planning

Organization No: 4875

Summary:

The applicant is requesting a rezone for the development of 1.57± net vacant acres in order to subdivide the lot into fourteen (14) single-family lots. The rezone will make the zoning consistent with the North Sacramento Community Plan and the General Plan designations of Low Density Residential and allow for single-family residential development on the lots. The R-1A zoning is proposed because several of the lots do not meet the standard R-1 lot sizes of 52 feet by 100 feet or the standard lot areas of 5,200 square feet for an interior lot and 6,200 square feet for a corner lot. The project site also includes several Heritage Oak trees that are able to be preserved with the proposed Single Family Alternative (R-1A) zone which allows alternative setbacks with the approval of a Special Permit. The project provides the opportunity for single-family home ownership within the North Sacramento area.

Committee/Commission Action:

On March 23, 2006, the Planning Commission, with a vote of six ayes and zero noes, approved the Hagginwood Estates project and forwarded the recommendation to the City Council for approval of the Rezone. At the same meeting, the Planning Commission approved the Mitigated Negative Declaration, Mitigation Monitoring Plan, Tentative Map and Special Permit for the project.

Background Information:

On July 26, 1984, the Planning Commission approved a rezone (P84-215) of the subject property from single-family residential (R-1) zoning to multi-family residential (R-2A) zoning for the development of multi-family apartment units. While the multi-family zoning was subsequently approved at the City Council on November 11, 1984, the Community Plan and General Plan designations were not amended to reflect the change from low density residential (4-8 du/ac and 4-15 du/ac respectively) to multi-family residential designations, and a conflict between the Community Plan/General Plan designations and the R-2A zoning remains today. After the approval of the rezone in 1984, the project site remained vacant, and twenty years later, on August 12, 2004, the Planning Commission approved a Special Permit (P03-145) to construct a 4,496 square foot, 136-seat church with a 3,006 square foot parsonage. The church sold the property to the present owner in 2005 and the current application was submitted with the intent of developing single-family residential units. The rezone to R-1A will establish consistency between the General Plan and Community Plan designations and the zoning.

Financial Considerations:

This project has no fiscal considerations.

Environmental Considerations:

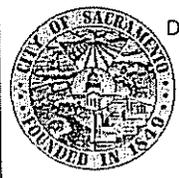
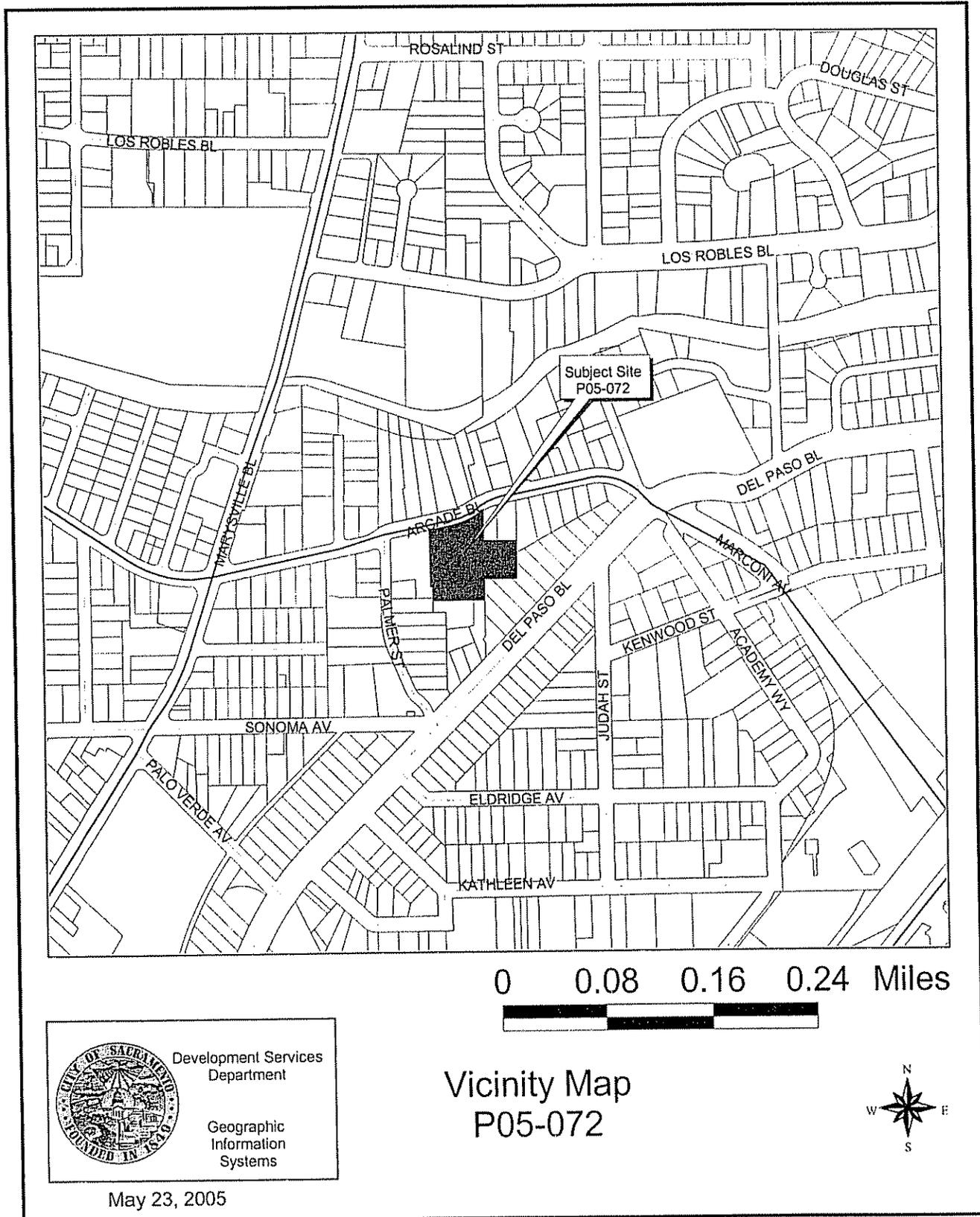
Environmental Planning Services has determined the project, as proposed, will not have a significant impact to the environment; therefore, a Mitigated Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act (CEQA) Guidelines, mitigation measures have been identified to reduce impacts to a less-than-significant level. These mitigation measures address biological resources and cultural resources. The mitigation measures are listed in the attached Mitigation Monitoring Plan (Exhibit B). The draft Initial Study/Mitigated Negative Declaration was available for public review and comment during the period of February 23, 2006 to March 14, 2006.

Policy Considerations:

The project is consistent with the General Plan goals to develop residential land uses in a manner which is efficient and utilizes existing and planned urban resources, promotes infill development, and provides adequate housing sites and opportunities for all

Pg	6	Attachment B – Land Use Map
Pg	7	Ordinance to approve Rezone
Pg	8	Exhibit A – Rezone
Pg	9-10	Resolution to consider the Mitigated Negative Declaration and Mitigation Monitoring Plan
Pg	11-21	Exhibit B – Mitigation Monitoring Plan
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Pg	23	Attachment 2 – Site Plan
Pg	24	Attachment 3 – Floor Plan Lot 1
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Pg	35	Attachment 14 – Elevations Lot 12
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Pg	39	Attachment 18 – Elevations Lot 14

Attachment A – Vicinity Map



Development Services
Department

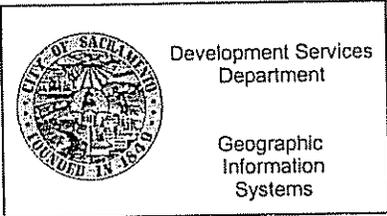
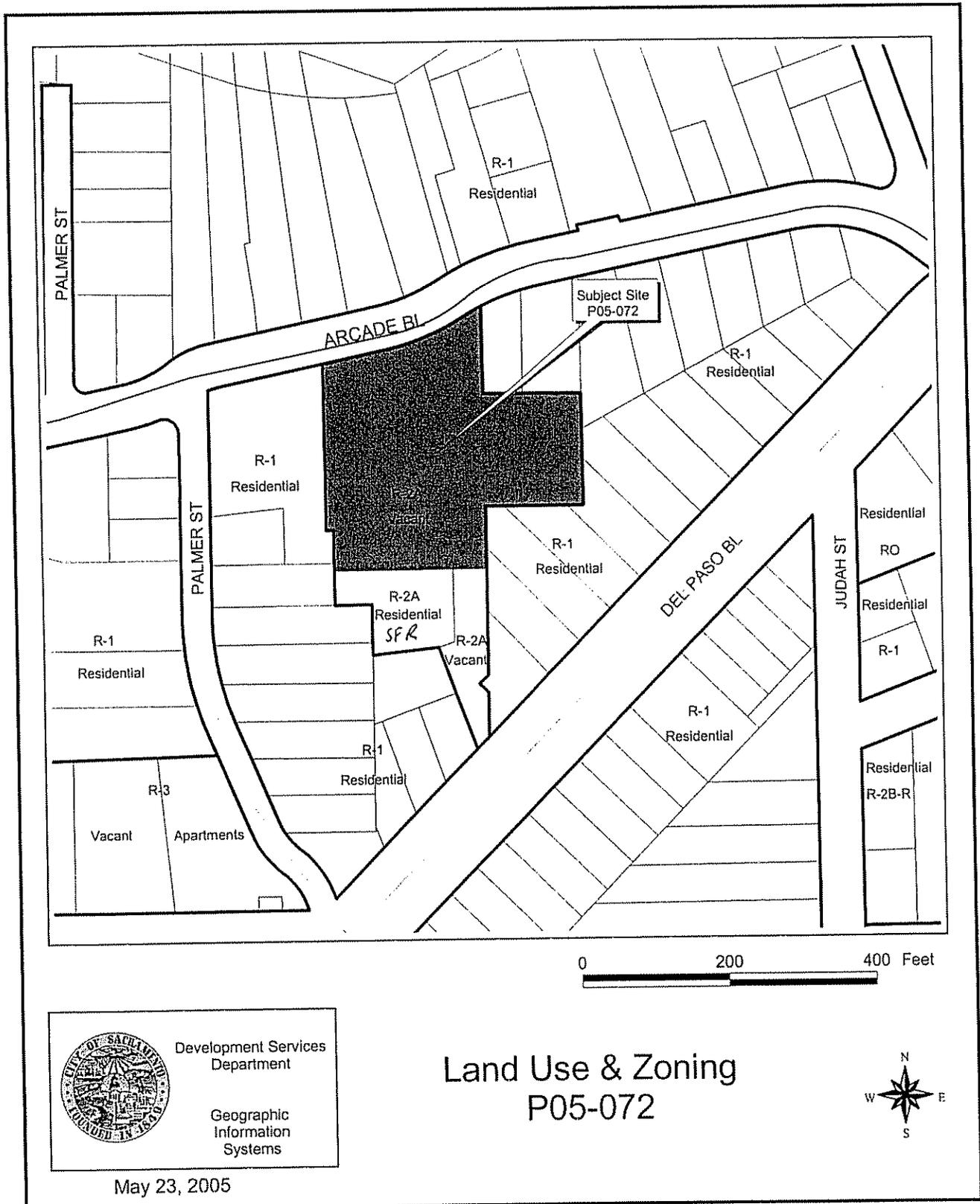
Geographic
Information
Systems

May 23, 2005

Vicinity Map
P05-072



Attachment B – Land Use Map



May 23, 2005

Land Use & Zoning
P05-072



ORDINANCE NO.

Adopted by the Sacramento City Council

May 4, 2006

AN ORDINANCE AMENDING THE DISTRICTS ESTABLISHED BY THE COMPREHENSIVE ZONING ORDINANCE , TITLE 17 OF THE CITY CODE, BY REMOVING 1.57± NET ACRES FROM THE MULTI-FAMILY RESIDENTIAL (R-2A) ZONE AND PLACING IN THE SINGLE FAMILY ALTERNATIVE (R-1A) ZONE; FOR THE PROPERTY LOCATED AT: 1650 ARCADE BOULEVARD; APN: 265-0060-049 (P05-072)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO:

SECTION 1

The property generally described, known and referred to as APN: 265-0060-049 (1650 Arcade Boulevard) which is shown on attached Exhibit A, consists of 1.57± net acres and is currently in the Multi-family Residential (R-2A) zone established by the Comprehensive Zoning Ordinance (Title 17 of the City Code). Said territory is hereby removed from the R-2A zone and placed in the Single Family Alternative (R-1A) zone.

SECTION 2

Rezoning of the property shown in the attached Exhibit A, by the adoption of this Ordinance, will be considered to be in compliance with the requirements for the zoning of property described in the Comprehensive Zoning Ordinance, Title 17 of the City Code, as amended, as those procedures have been affected by recent court decisions.

SECTION 3

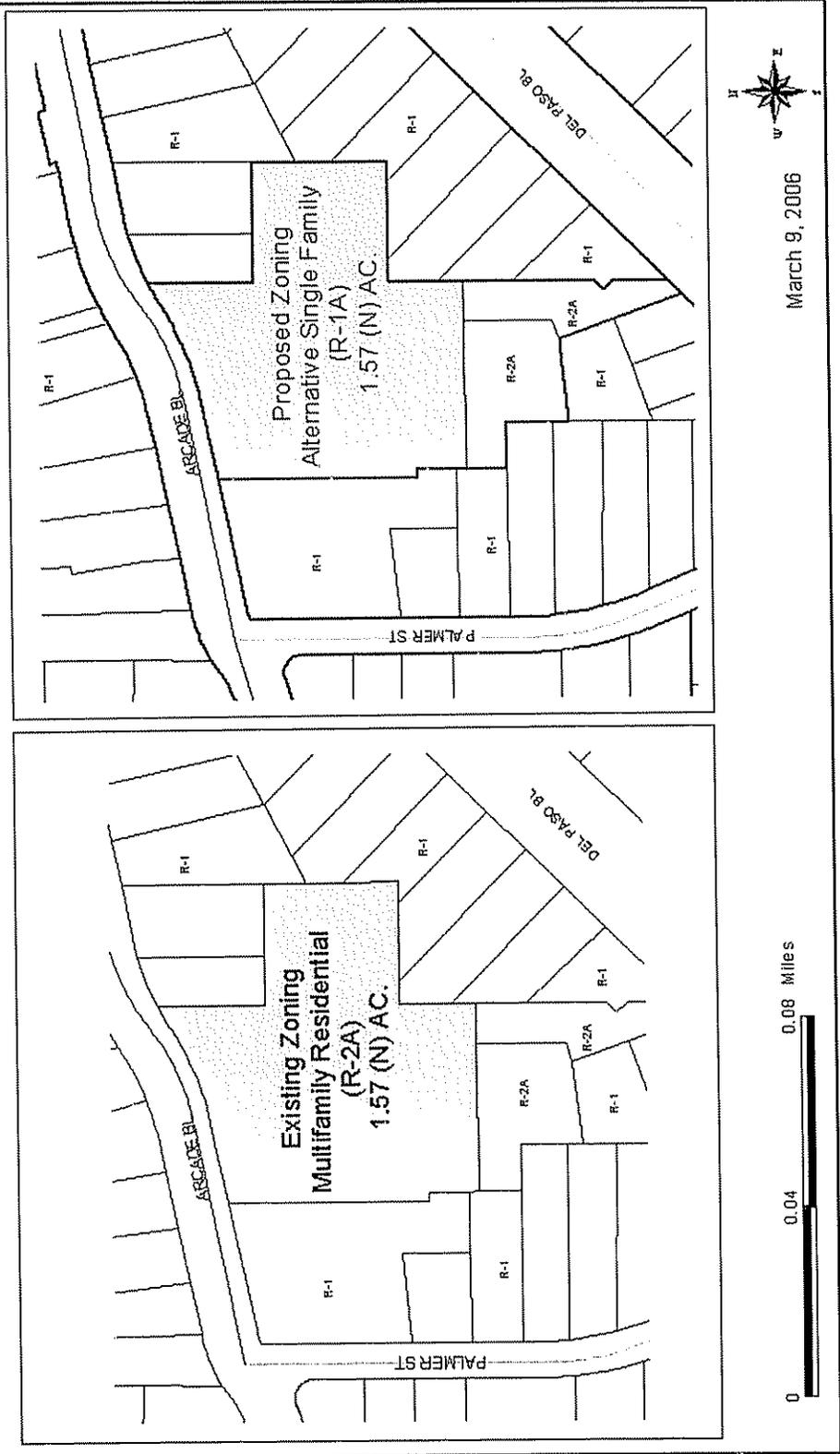
The City Clerk of the City of Sacramento is hereby directed to amend the official zoning maps, which are part of said Ordinance, to conform to the provisions of this Ordinance.

Table of Contents:

Exhibit A: Hagginwood Estates Rezone Exhibit

Exhibit A
Hagginwood Estates Rezone Exhibit

Rezone Exhibit
1650 Arcade Boulevard
City of Sacramento, California



RESOLUTION NO.

Adopted by the Sacramento City Council

May 4, 2006

A RESOLUTION CONSIDERING THE MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING PLAN FOR THE PROPERTY LOCATED AT 1650 ARCADE BOULEVARD (P05-072) (APN: 265-0060-049), COUNCIL DISTRICT 3

BACKGROUND

- A. On March 23, 2006, the City Planning Commission considered the Mitigated Negative Declaration and Mitigation Monitoring Plan;
- B. On May 4, 2006, the City Council heard and considered evidence in the above-mentioned matter.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

- Section 1. At the regular meeting of May 4, 2006, the City Council heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the City Council took the following actions for the location listed above:
- A. Adopted the Mitigated Negative Declaration;
 - B. Adopted the Mitigation Monitoring Plan.

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. Mitigated Negative Declaration: The City Council **approves** the Mitigated Negative Declaration, based upon the following findings:
 - 1. The Mitigated Negative Declaration was prepared and circulated for the above-identified project pursuant to the requirements of CEQA;
 - 2. The proposed Mitigated Negative Declaration and comments received during the public review process were considered prior to action being taken on the project, and

3. Based upon the Initial Study and the comments received during the public review process, there is no substantial evidence that the project will have a significant effect on the environment.

B. Mitigation Monitoring Plan: The Mitigation Monitoring Plan is **approved** based upon the following findings of fact:

1. One or more mitigation measures have been added to the above-identified project;
2. A Mitigation Monitoring Plan has been prepared to ensure compliance and implementation of the mitigation measures for the above-identified project, a copy of which is attached as Exhibit B;
3. The Mitigation Monitoring Plan meets the requirements of Public Resources Code Sec. 21081.6; and
4. The Mitigation Monitoring Plan is approved, and the mitigation measures shall be implemented and monitored as set forth in the Plan.

Table of Contents:

Exhibit B: Mitigation Monitoring Plan – 11 pages

Exhibit B

MITIGATION MONITORING PLAN

FOR
HAGGINWOOD ESTATES (P05-072)

TYPE OF ENVIRONMENTAL DOCUMENT:
INITIAL STUDY/ NEGATIVE DECLARATION

PREPARED FOR:
CITY OF SACRAMENTO, DEVELOPMENT SERVICES DEPARTMENT

DATE:
March 9, 2006

ADOPTED BY:
CITY OF SACRAMENTO
CITY PLANNING COMMISSION

DATE:

ATTEST:

HAGGINWOOD ESTATES (P05-072) MITIGATION MONITORING PLAN

This Mitigation Monitoring Plan (MMP) has been required by and prepared for the City of Sacramento Development Services Department, Environmental Planning Services, 2101 Arena Blvd, Suite 200, Sacramento, CA 95834, pursuant to CEQA Guidelines Section 21081.6.

SECTION 1: PROJECT IDENTIFICATION

Project Name / File Number: Hagginwood Estates / P05-072
Owner/Developer- Name: Camille N. Beshara
Address: 4224 Tyrone Way
 Carmichael, CA 95608

Project Location / Legal Description of Property (if recorded):

The proposed project is located at 1650 Arcade Boulevard in the North Sacramento Community Plan area of the City of Sacramento, Sacramento County (APN: 265-0060-049).

Project Description:

The proposed project consists of entitlements to allow the development of twelve (12) single family residences and two (2) halfplex lots on 1.57 ± net acres in the proposed Single Family Alternative (R-1A) zone located at 1650 Arcade Boulevard; (APN 265-0060-049). Specific entitlements include:

- A. Rezone** of 1.57 ± net acres from the Multi-Family (R-2A) zone to 1.57 ± net acres of the Single Family Alternative Residential (R-1A) zone;
- B. Tentative Subdivision Map** to subdivide 1.57 ± net acres into fourteen (14) single family lots;
- C. Special Permit** to construct fourteen single family residences within the Single Family Alternative (R-1A) zone.

SECTION 2: GENERAL INFORMATION

The Plan includes mitigation for Biological Resources, Noise, and Cultural Resources. The intent of the Plan is to prescribe and enforce a means for properly and successfully implementing the mitigation measures as identified within the Initial Study for this project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this Plan shall be funded by the owner/developer identified above. This Mitigation Monitoring Plan (MMP) is designed to aid the City of Sacramento in its implementation and monitoring of mitigation measures adopted for the proposed project.

The mitigation measures have been taken from the Initial Study and are assigned the same number they have in the document. The MMP describes the actions that must take place to implement each mitigation measure, the timing of those actions, and the entities responsible for implementing and monitoring the actions. The developer will be responsible for fully understanding and effectively implementing the mitigation measures contained with the MMP. The City of Sacramento will be responsible for ensuring compliance.

**HAGGINWOOD ESTATES (P05-072)
MITIGATION MONITORING PLAN**

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
7. BIOLOGICAL RESOURCES					
BR-1	Prior to issuance of any grading permits, the applicant shall submit all grading and trenching plans to the Urban Forest Services' City Arborist for review to ensure protection of Heritage trees located on site. The City Arborist will provide written verification and additional protection measures not available at this time to the City's Development Services Department prior to issuance of the grading permit.	Applicant / Developer	City Development Services Department, City Urban Forest Services	Verification of compliance from the Urban Forest Services Arborist shall be provided to Development Services Staff prior to issuance of grading permits.	Measures shall be implemented prior to issuance of any grading or building permits or as agreed upon by the Urban Forest Services Arborist
BR-2	Heritage trees identified by the City Arborist (listed in the Arborist Report as numbers 14, 18, 19, 23, 26, and 27), both on- and off-site, are recommended for preservation to the extent feasible without substantially altering the project site plan. If trees should require removal, the applicant/developer shall obtain authorization through a tree removal permit from the City Urban Forest Services. The project applicant/developer	Applicant / Developer	City Development Services Department, City Urban Forest Services	Verification of compliance from the Urban Forest Services Arborist shall be provided to Development Services Staff prior to issuance of grading permits	Measures shall be implemented prior to issuance of any grading or building permits or as agreed upon by the Urban Forest Services Arborist

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>shall coordinate with the City of Sacramento Urban Forest Services Division to identify any trees able to be preserved. If trees are identified for preservation, the applicant/developer shall coordinate with the Urban Forest Services Division in preparation of a preservation plan for any and all trees identified for preservation. The preservation plan shall include, but not be limited to the following measures BR-3 thru BR-6 to prevent impacts to the trees during construction of the proposed project:</p>					
<p>BR-3 The contractor shall hire an International Society of Arboriculture (ISA) certified arborist to perform any required pruning for equipment clearance. The contractor shall contact the City Arborist (Duane Goosen 808-4996) for a root inspection(s) for trenching activities within the dripline(s) of trees to be saved.</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
<p>BR-4. If during excavation for the project, tree roots greater than two inches in diameter are encountered, work shall stop immediately</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>until the City Arborist can perform an on-site inspection. All roots shall be cut clean and the tree affected may require supplemental irrigation/fertilization and pruning as a result of the root cutting. The contractor will be responsible for any costs incurred. Depending upon the amount of roots encountered and the time of year, wet burlap may be required along the sides of the trench.</p>				activities as agreed upon by the Urban Forest Services Arborist	
<p>BR-5 The contractor shall be held liable for any damage to existing trees, i.e. trunk wounds, broken limbs, pouring of any deleterious materials, or concrete washout under the dripline of the trees. Damages will be assessed using the "Guide to Plant Appraisal" eighth edition, published by the International Society of Arboriculture. An appraisal report shall be submitted for review by the City Arborist.</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
<p>BR-6 No lawn irrigation system shall be installed within 8 feet of the trunk of any Heritage tree that is to be preserved unless otherwise approved by</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
BR-7	Urban Forest Services. Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	agreed upon by the Urban Forest Services Arborist	
BR-8	No planting of landscaping within 6 feet of the trunk of any Heritage tree that is to be preserved unless otherwise approved by Urban Forest Services. Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
BR-9	No trenching activity within 8 feet of the trunk of any Heritage tree that is to be preserved unless otherwise approved by Urban Forest Services. Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
BR-10	No grading activity within 6 feet of the trunk of any Heritage tree that is to be preserved unless otherwise approved by Urban Forest Services. In the absence of an approved grading plan, the applicant/developer shall agree to mitigate for the loss of any Heritage tree that the City Arborist determines has been irreparably damaged by grading or other construction activity Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
	City Ordinances 12.56.060 (Protection of trees), 12.64.040 (Protection of Heritage trees during construction activities), and 12.64.050 (Maintenance responsibility - Permits for activities affecting Heritage	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	

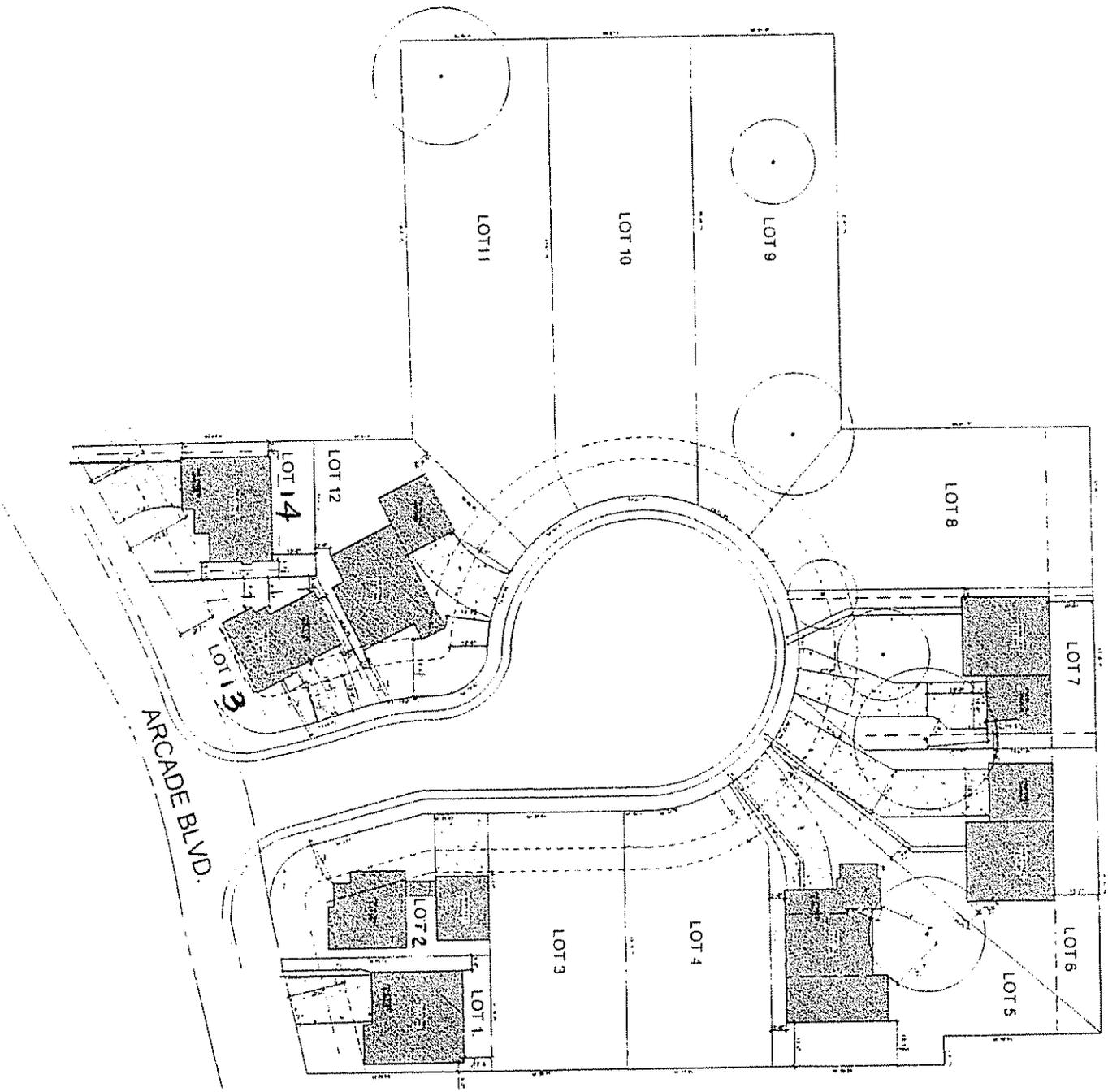
			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>trees) must be followed at all phases of construction</p> <p>BR-11. Tree protection methods noted above shall be identified on all construction plans for the project</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans		
<p>BR-12. For Heritage Trees (Tree #15, Tree #16, and Tree #17) that are unable to be preserved, prior to removal of these trees, the project applicant/developer shall coordinate with City of Sacramento Urban Forest Services Division to obtain the necessary permits for removal of the trees in accordance with the Heritage Tree Ordinance (City Code 12.64). The City Arborist has calculated a mitigation value that totals \$20,300.00 for the removal of trees #15 (\$6,000), #16 (\$10,300), and #17 (\$4,000). Verification of payment shall be provided to the Development Services Department. This value would be used to provide planting and care of replacement trees. If some trees can be saved, this value will be reduced by the value of the tree to be saved as provided by the City Arborist. Additionally,</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Verification of compliance from the Urban Forest Services Arborist shall be provided to Development Services Staff prior to issuance of grading permits	Measure shall be implemented prior to issuance of any grading or building permits or as agreed upon by the Urban Forest Services Arborist	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>the Landscape Plan may provide on-site mitigation, which will be credited at a rate of \$300 per planted 15 gallon tree subject to the following City of Sacramento Urban Forest Services conditions:</p> <ul style="list-style-type: none"> • mitigation planting is limited to separated sidewalk planters unless otherwise approved by Urban Forest Services • irrigation design and programming reviewed and approved by Urban Forest Services • review and approval of species by Urban Forest Services • inspection of nursery stock (prior to planting) by Urban Forest Services <p>a. post-planting inspection by Urban Forest Services.</p>					
<p>10. NOISE</p> <p>N-1 Prior to issuance of final building permits, the applicant/developer shall, for lots siding directly towards Arcade Boulevard (Lot 13), a minimum 6-foot high, solid wood fence</p>	Applicant / Developer	City Development Services Department	Mitigation Measures shall be included on the Map and within the Standard Construction Specifications.	Prior to finaling of building permits.	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>without gaps between the boards shall be constructed at a minimum along the line representing the extension of the north facing wall of the residential unit (siding on to Arcade Boulevard) extending to the rear property boundary (eastern boundary) providing a barrier to the rear yard area of the lot</p> <p>N-2. Prior to issuance of final building permits, the applicant/developer shall install air conditioning or mechanical ventilation systems for all residential units adjacent to Arcade Boulevard</p>	Applicant / Developer	City Development Services Department	<p>Verification of compliance shall be provided to the Development Services Staff</p> <p>Verification of compliance shall be provided to the Development Services Staff</p>	Prior to finaling of building permits	
<p>14. CULTURAL RESOURCES:</p> <p>CR-1 If subsurface archaeological or historical remains are discovered during construction, work in the area shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.</p>	Applicant / Developer	City Development Services Department	<p>Mitigation Measures shall be included on the Map and within the Standard Construction Specifications</p> <p>Verification of compliance shall be provided to the Development Services Staff</p>	Measures shall be implemented in field during grading and construction activities	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
CR-2. If human burials are encountered, all work in the area shall stop immediately and the Sacramento County Coroner's office shall be notified immediately. If the remains are determined to be Native American in origin, both the Native American Heritage Commission and any identified descendants must be notified and recommendations for treatment solicited (CEQA Section 15064.5); Health and Safety Code Section 7050.5; Public Resources Code Section 5097.94 and 5097.98.	Applicant / Developer	City Development Services Department	Mitigation Measures shall be included on the Map and within the Standard Construction Specifications. If required, verification of compliance shall be provided to the Development Services Staff.	Measures shall be implemented in field during grading and construction activities.	

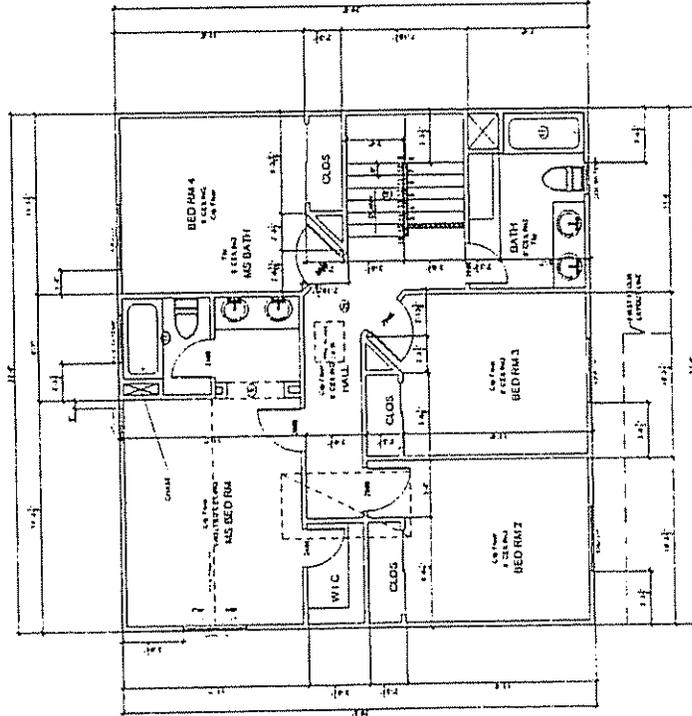
Attachment 2 – Site Plan



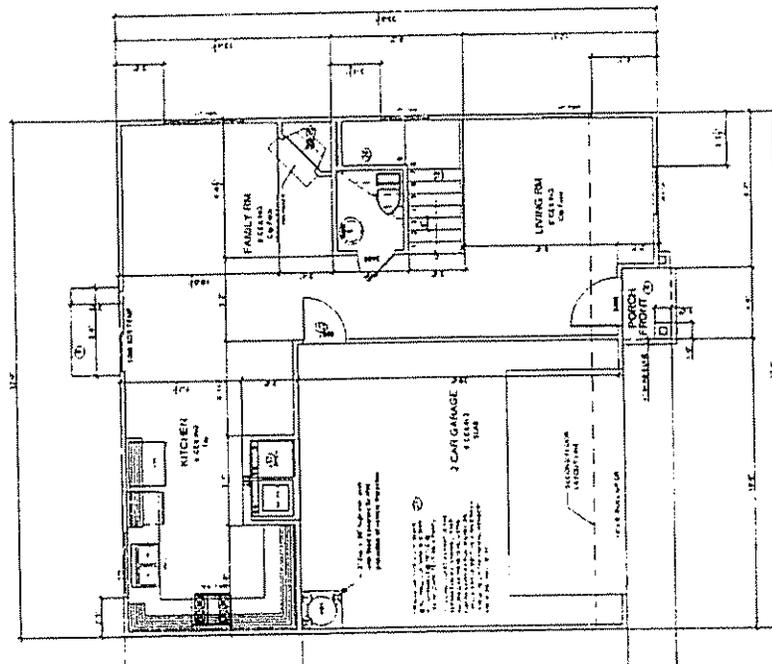
Attachment 3 – Floor Plan Lot 1

FOOTAGE

1ST FLOOR LIVING	648 SF
2ND FLOOR LIVING	643 SF
SUB TOTAL LIVING	1291 SF
GARAGE	281 SF
COVER PORCH	13 SF
GRAND TOTAL	1585 SF
3 STRUCTURE FOOT PRINT TOTAL	1040 SF



2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

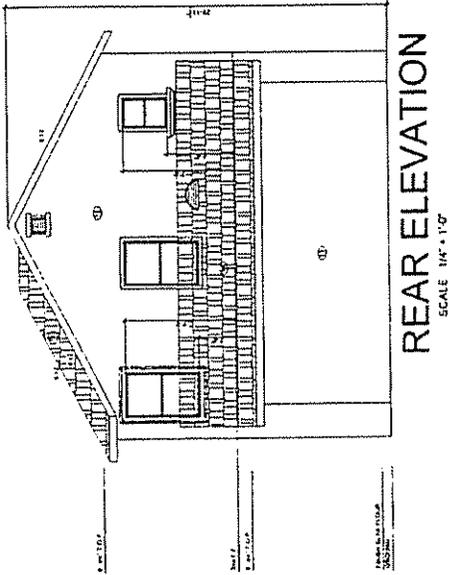


1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

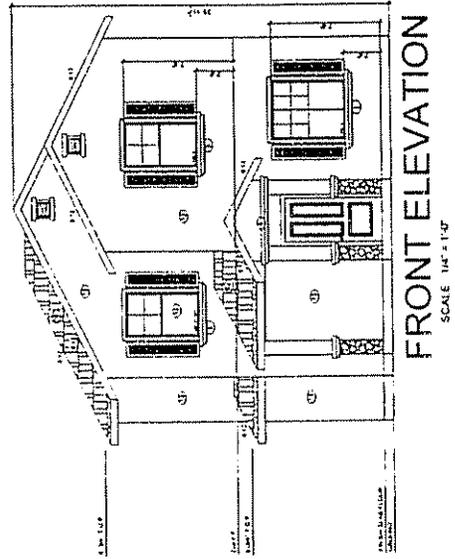
KEY NOTES

- 1) All dimensions are in feet and inches.
- 2) Construction to meet local code requirements.
- 3) All work to be done in accordance with the approved plans.
- 4) All work to be done in accordance with the approved specifications.
- 5) All work to be done in accordance with the approved schedule.
- 6) All work to be done in accordance with the approved budget.
- 7) All work to be done in accordance with the approved quality control plan.
- 8) All work to be done in accordance with the approved safety plan.
- 9) All work to be done in accordance with the approved environmental plan.
- 10) All work to be done in accordance with the approved communication plan.

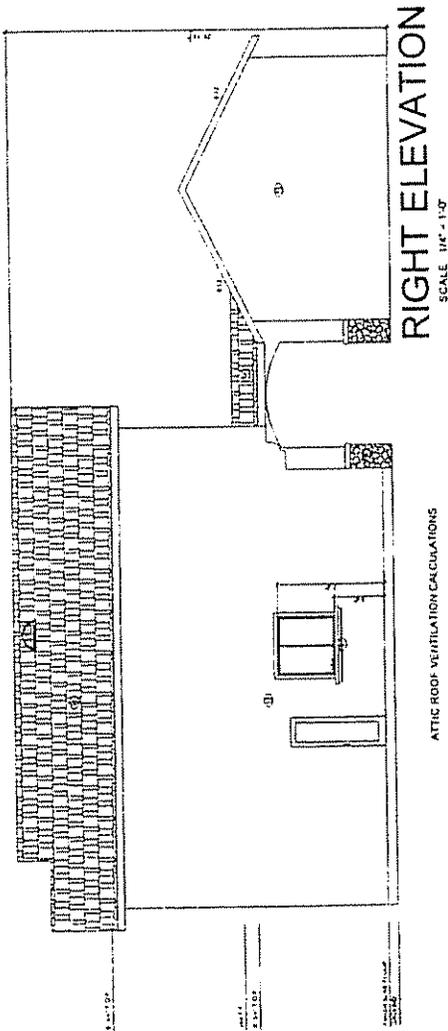
Attachment 6 – Elevations Lot 2



REAR ELEVATION
SCALE 1/4" = 1'-0"



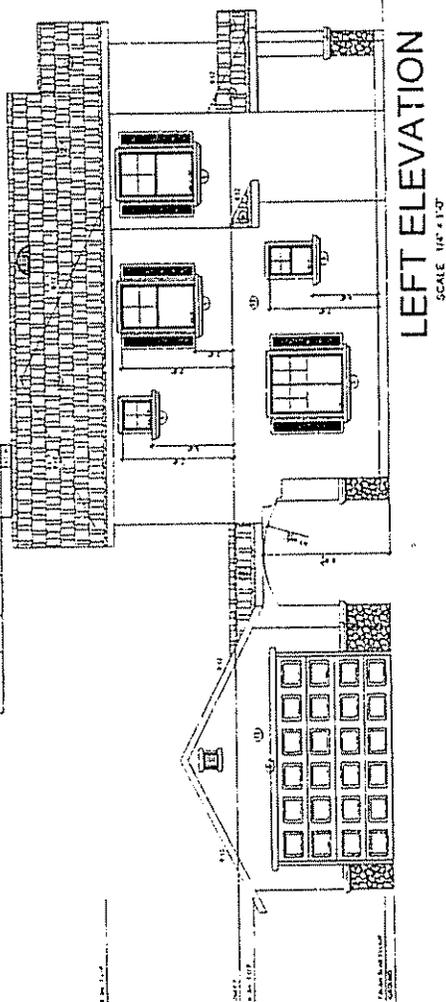
FRONT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

Item	Area	Volume	Notes
Attic Floor	1,200 sq ft	1,200 cu ft	
Attic Ceiling	1,200 sq ft	1,200 cu ft	
Attic Walls	1,200 sq ft	1,200 cu ft	
Attic Windows	100 sq ft	100 cu ft	
Attic Doors	100 sq ft	100 cu ft	
Attic Roof	1,200 sq ft	1,200 cu ft	
Attic Ventilation	1,200 sq ft	1,200 cu ft	



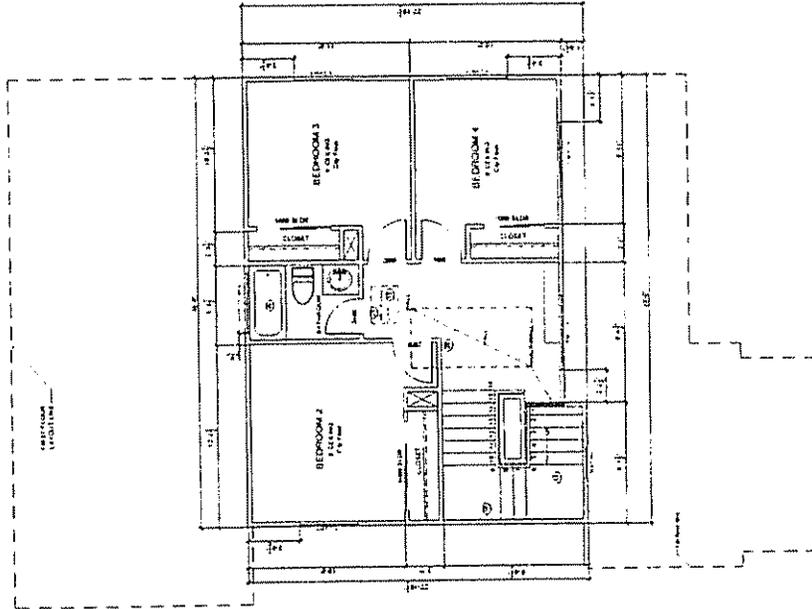
LEFT ELEVATION
SCALE 1/4" = 1'-0"

Attachment 7 – Floor Plan Lot 5

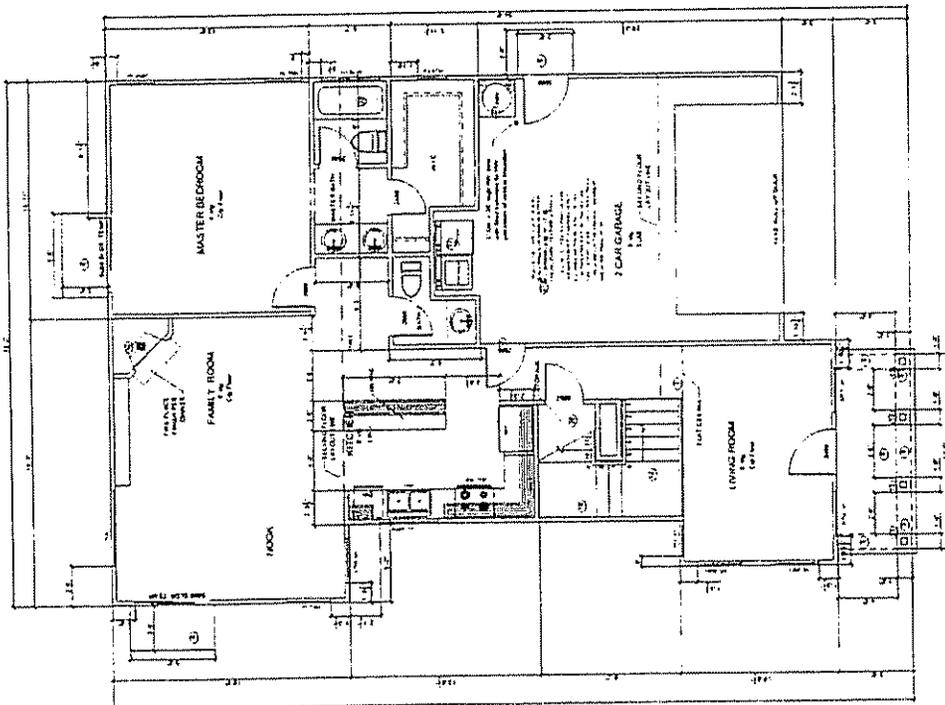
FOOTAGE

1ST FLOOR LIVING	1153 SF
2ND FLOOR LIVING	372 SF
SLAB TOTAL LIVING	1725 SF
GARAGE	303 SF
COVER PORCH	85 SF
GRAND TOTAL	2173 SF
STRUCTURE FOOT PRINT TOTAL	1598 SF

- KEY NOTES:**
1. See notes on sheet showing lot dimensions, zoning and setbacks.
 2. See zoning law.
 3. See site plan.
 4. See site plan.
 5. See site plan.
 6. See site plan.
 7. See site plan.
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 35. See site plan.
 36. See site plan.
 37. See site plan.
 38. See site plan.
 39. See site plan.
 40. See site plan.
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 49. See site plan.
 50. See site plan.

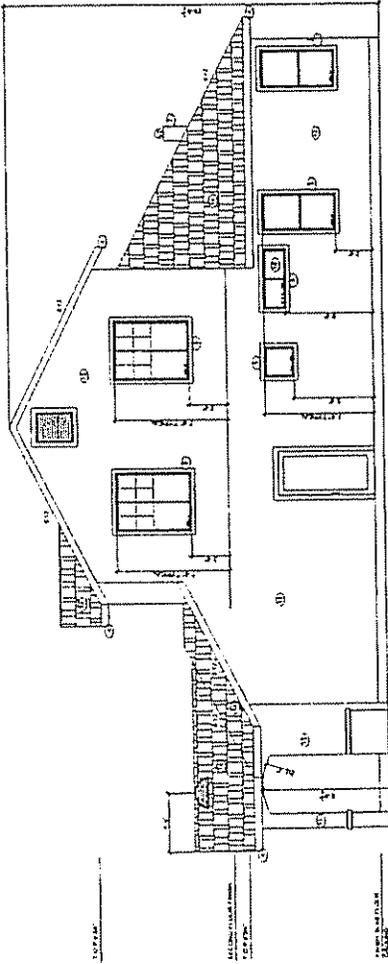


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

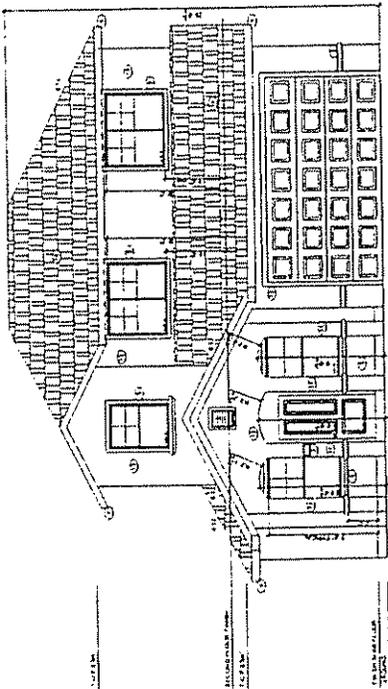


FIRST FLOOR PLAN

Attachment 8 – Elevations Lot 5



RIGHT ELEVATION PLAN
SCALE 1/4" = 1'-0"



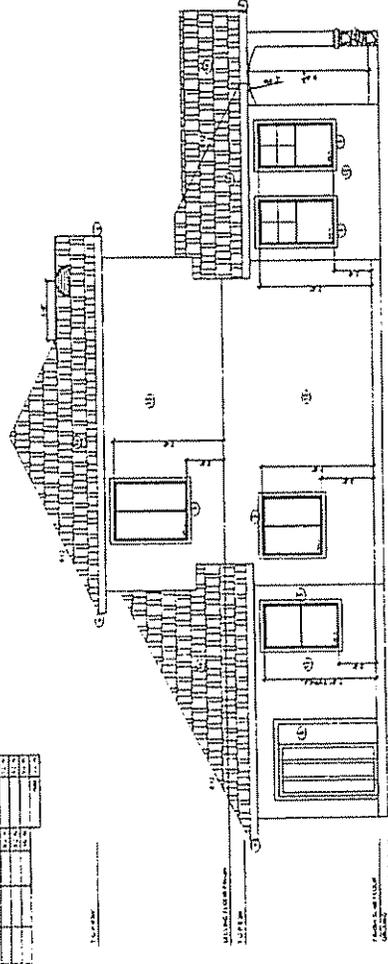
FRONT ELEVATION PLAN
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

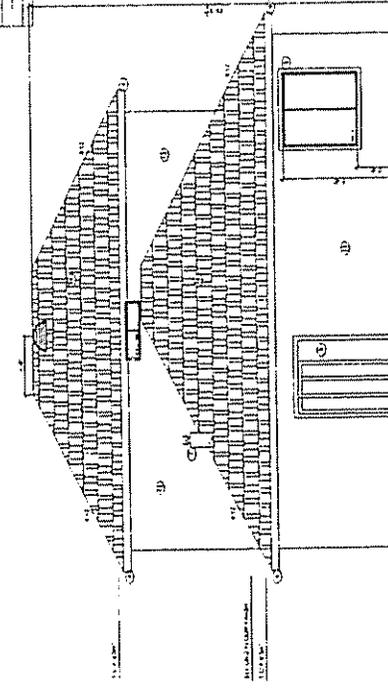
ITEM	DESCRIPTION	AREA (SQ. FT.)	VENT. COEFF.	VENT. AREA (SQ. FT.)
1	Attic Windows	100	0.70	70
2	Attic Doors	50	0.75	37.5
3	Attic Vents	20	0.70	14
4	Attic Skylights	10	0.70	7
5	Attic Eaves	100	0.70	70
6	Attic Soffits	100	0.70	70
7	Attic Gables	100	0.70	70
8	Attic Chimneys	10	0.70	7
9	Attic Stairways	10	0.70	7
10	Attic Porches	10	0.70	7
11	Attic Balconies	10	0.70	7
12	Attic Terraces	10	0.70	7
13	Attic Stairs	10	0.70	7
14	Attic Landings	10	0.70	7
15	Attic Halls	10	0.70	7
16	Attic Closets	10	0.70	7
17	Attic Bedrooms	10	0.70	7
18	Attic Bathrooms	10	0.70	7
19	Attic Kitchens	10	0.70	7
20	Attic Living Rooms	10	0.70	7
21	Attic Dining Rooms	10	0.70	7
22	Attic Family Rooms	10	0.70	7
23	Attic Sunrooms	10	0.70	7
24	Attic Pools	10	0.70	7
25	Attic Decks	10	0.70	7
26	Attic Patios	10	0.70	7
27	Attic Porches	10	0.70	7
28	Attic Balconies	10	0.70	7
29	Attic Terraces	10	0.70	7
30	Attic Stairs	10	0.70	7
31	Attic Landings	10	0.70	7
32	Attic Halls	10	0.70	7
33	Attic Closets	10	0.70	7
34	Attic Bedrooms	10	0.70	7
35	Attic Bathrooms	10	0.70	7
36	Attic Kitchens	10	0.70	7
37	Attic Living Rooms	10	0.70	7
38	Attic Dining Rooms	10	0.70	7
39	Attic Family Rooms	10	0.70	7
40	Attic Sunrooms	10	0.70	7
41	Attic Pools	10	0.70	7
42	Attic Decks	10	0.70	7
43	Attic Patios	10	0.70	7
44	Attic Porches	10	0.70	7
45	Attic Balconies	10	0.70	7
46	Attic Terraces	10	0.70	7
47	Attic Stairs	10	0.70	7
48	Attic Landings	10	0.70	7
49	Attic Halls	10	0.70	7
50	Attic Closets	10	0.70	7

ITEM	DESCRIPTION	AREA (SQ. FT.)	VENT. COEFF.	VENT. AREA (SQ. FT.)
1	Attic Windows	100	0.70	70
2	Attic Doors	50	0.75	37.5
3	Attic Vents	20	0.70	14
4	Attic Skylights	10	0.70	7
5	Attic Eaves	100	0.70	70
6	Attic Soffits	100	0.70	70
7	Attic Gables	100	0.70	70
8	Attic Chimneys	10	0.70	7
9	Attic Stairways	10	0.70	7
10	Attic Porches	10	0.70	7
11	Attic Balconies	10	0.70	7
12	Attic Terraces	10	0.70	7
13	Attic Stairs	10	0.70	7
14	Attic Landings	10	0.70	7
15	Attic Halls	10	0.70	7
16	Attic Closets	10	0.70	7
17	Attic Bedrooms	10	0.70	7
18	Attic Bathrooms	10	0.70	7
19	Attic Kitchens	10	0.70	7
20	Attic Living Rooms	10	0.70	7
21	Attic Dining Rooms	10	0.70	7
22	Attic Family Rooms	10	0.70	7
23	Attic Sunrooms	10	0.70	7
24	Attic Pools	10	0.70	7
25	Attic Decks	10	0.70	7
26	Attic Patios	10	0.70	7
27	Attic Porches	10	0.70	7
28	Attic Balconies	10	0.70	7
29	Attic Terraces	10	0.70	7
30	Attic Stairs	10	0.70	7
31	Attic Landings	10	0.70	7
32	Attic Halls	10	0.70	7
33	Attic Closets	10	0.70	7
34	Attic Bedrooms	10	0.70	7
35	Attic Bathrooms	10	0.70	7
36	Attic Kitchens	10	0.70	7
37	Attic Living Rooms	10	0.70	7
38	Attic Dining Rooms	10	0.70	7
39	Attic Family Rooms	10	0.70	7
40	Attic Sunrooms	10	0.70	7
41	Attic Pools	10	0.70	7
42	Attic Decks	10	0.70	7
43	Attic Patios	10	0.70	7
44	Attic Porches	10	0.70	7
45	Attic Balconies	10	0.70	7
46	Attic Terraces	10	0.70	7
47	Attic Stairs	10	0.70	7
48	Attic Landings	10	0.70	7
49	Attic Halls	10	0.70	7
50	Attic Closets	10	0.70	7

ITEM	DESCRIPTION	AREA (SQ. FT.)	VENT. COEFF.	VENT. AREA (SQ. FT.)
1	Attic Windows	100	0.70	70
2	Attic Doors	50	0.75	37.5
3	Attic Vents	20	0.70	14
4	Attic Skylights	10	0.70	7
5	Attic Eaves	100	0.70	70
6	Attic Soffits	100	0.70	70
7	Attic Gables	100	0.70	70
8	Attic Chimneys	10	0.70	7
9	Attic Stairways	10	0.70	7
10	Attic Porches	10	0.70	7
11	Attic Balconies	10	0.70	7
12	Attic Terraces	10	0.70	7
13	Attic Stairs	10	0.70	7
14	Attic Landings	10	0.70	7
15	Attic Halls	10	0.70	7
16	Attic Closets	10	0.70	7
17	Attic Bedrooms	10	0.70	7
18	Attic Bathrooms	10	0.70	7
19	Attic Kitchens	10	0.70	7
20	Attic Living Rooms	10	0.70	7
21	Attic Dining Rooms	10	0.70	7
22	Attic Family Rooms	10	0.70	7
23	Attic Sunrooms	10	0.70	7
24	Attic Pools	10	0.70	7
25	Attic Decks	10	0.70	7
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27	Attic Porches	10	0.70	7
28	Attic Balconies	10	0.70	7
29	Attic Terraces	10	0.70	7
30	Attic Stairs	10	0.70	7
31	Attic Landings	10	0.70	7
32	Attic Halls	10	0.70	7
33	Attic Closets	10	0.70	7
34	Attic Bedrooms	10	0.70	7
35	Attic Bathrooms	10	0.70	7
36	Attic Kitchens	10	0.70	7
37	Attic Living Rooms	10	0.70	7
38	Attic Dining Rooms	10	0.70	7
39	Attic Family Rooms	10	0.70	7
40	Attic Sunrooms	10	0.70	7
41	Attic Pools	10	0.70	7
42	Attic Decks	10	0.70	7
43	Attic Patios	10	0.70	7
44	Attic Porches	10	0.70	7
45	Attic Balconies	10	0.70	7
46	Attic Terraces	10	0.70	7
47	Attic Stairs	10	0.70	7
48	Attic Landings	10	0.70	7
49	Attic Halls	10	0.70	7
50	Attic Closets	10	0.70	7



LEFT ELEVATION PLAN
SCALE 1/4" = 1'-0"

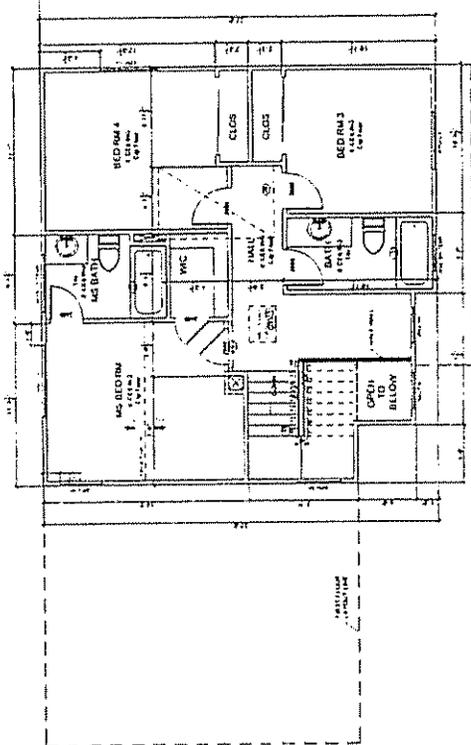
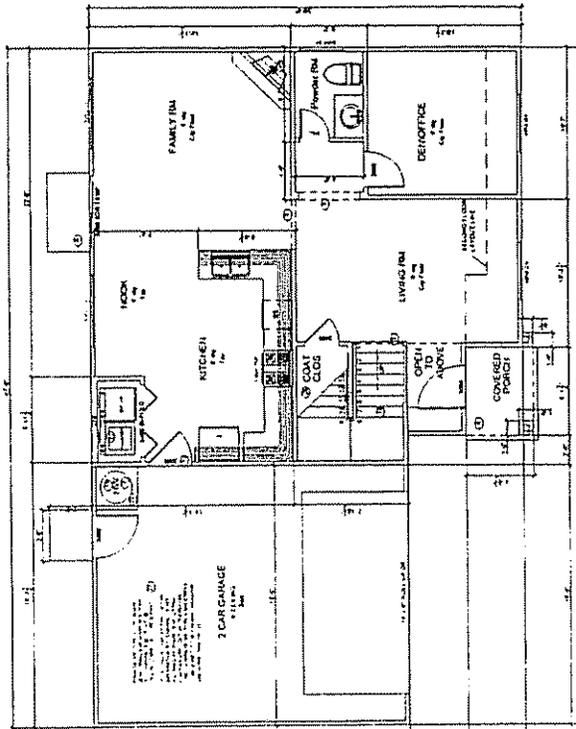


REAR ELEVATION PLAN

Attachment 9 – Floor Plan Lot 6

FOOTAGE

1ST FLOOR LIVING	628 SF
2ND FLOOR LIVING	662 SF
SUB TOTAL LIVING	1291 SF
CARAGE	206 SF
COVER PORCH	28 SF
GRAND TOTAL	1525 SF
STRUCTURE FOOTPRINT TOTAL	1525 SF

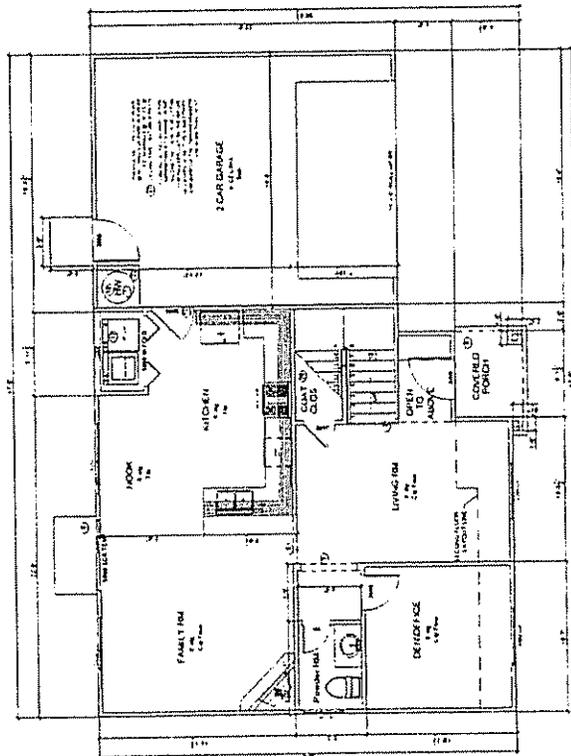
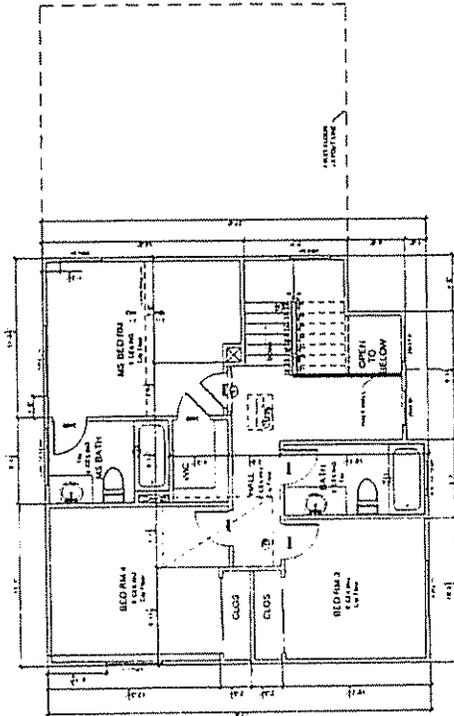


- NOTES:**
- 1. All dimensions are in feet and inches.
 - 2. All dimensions are to the center of the wall unless otherwise noted.
 - 3. All dimensions are to the center of the door unless otherwise noted.
 - 4. All dimensions are to the center of the window unless otherwise noted.
 - 5. All dimensions are to the center of the column unless otherwise noted.
 - 6. All dimensions are to the center of the beam unless otherwise noted.
 - 7. All dimensions are to the center of the slab unless otherwise noted.
 - 8. All dimensions are to the center of the footing unless otherwise noted.
 - 9. All dimensions are to the center of the pile unless otherwise noted.
 - 10. All dimensions are to the center of the pier unless otherwise noted.

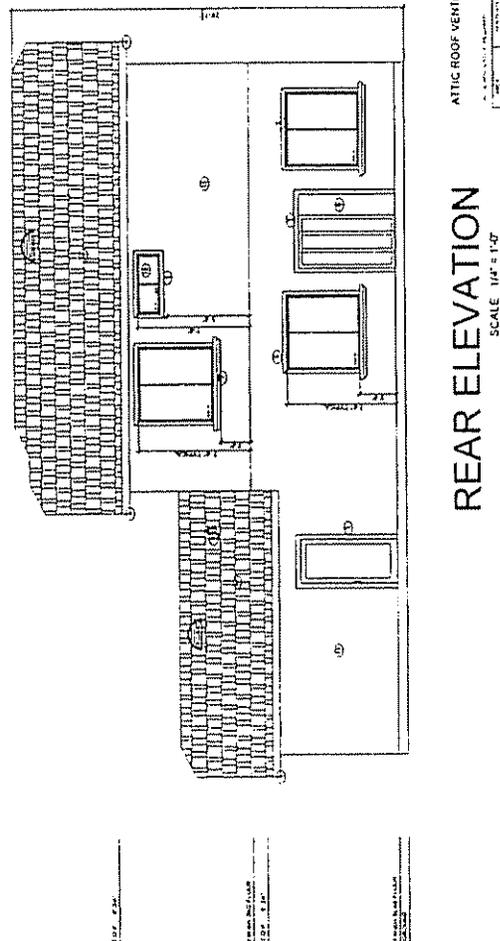
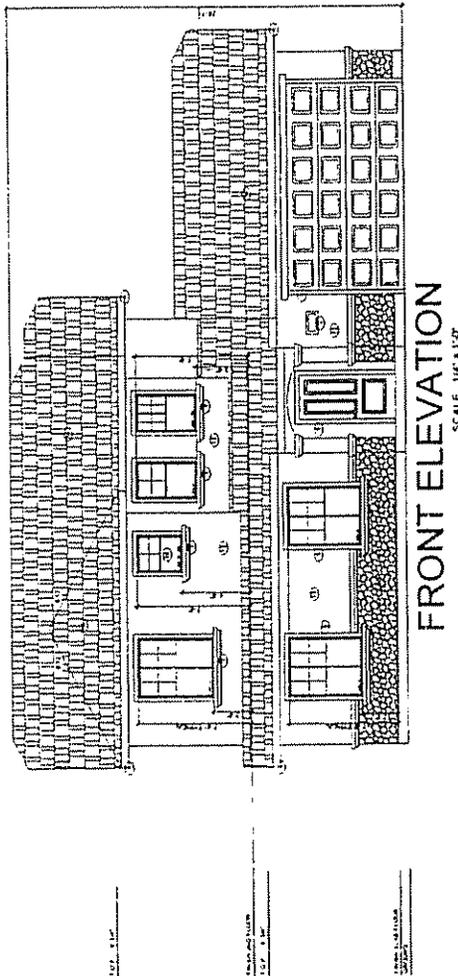
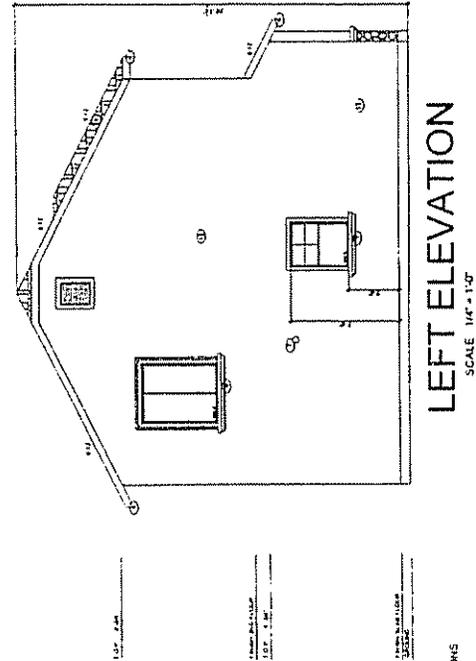
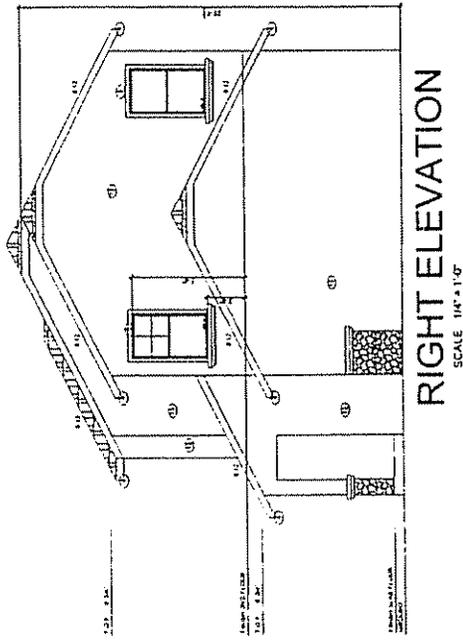
Attachment 11 – Floor Plan Lot 7

FOOTAGE

1ST FLOOR (RMG)	629 SF
2ND FLOOR (RMG)	623 SF
SUB TOTAL (RMG)	1252 SF
GARAGE	368 SF
COVER PORCH	28 SF
GRAND TOTAL	1676 SF
STRUCTURE FOOT PRINT TOTAL	1290 SF



Attachment 12 – Elevations Lot 7



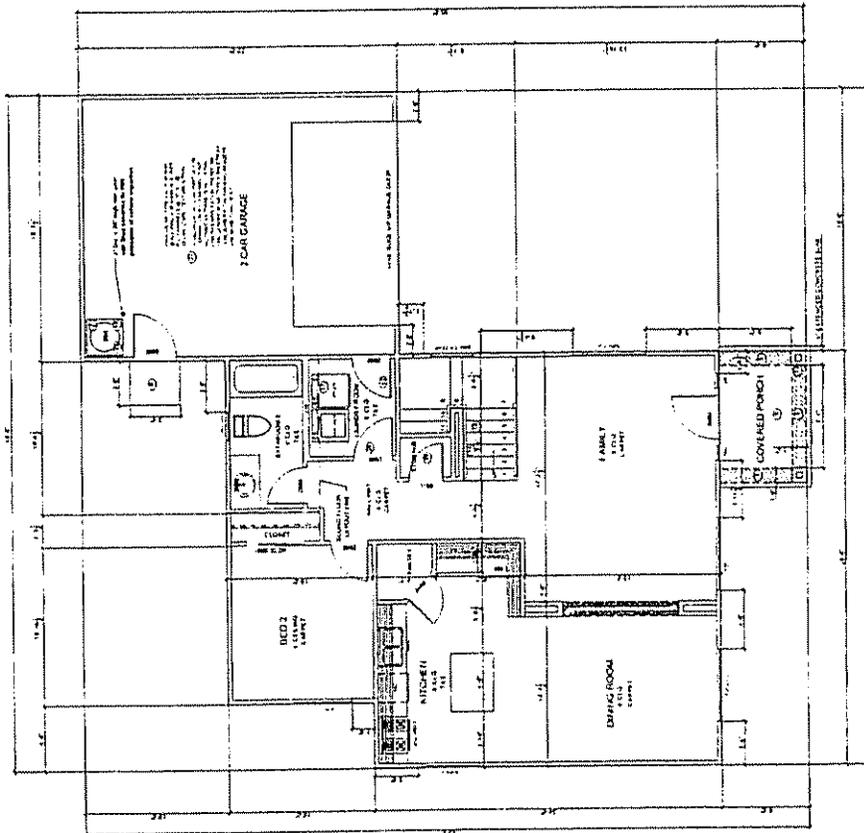
ATTIC ROOF VENTILATION CALCULATIONS

Area	Volume	Area	Volume
Attic	1,000	Attic	1,000
Roof	1,000	Roof	1,000
Walls	1,000	Walls	1,000
Floors	1,000	Floors	1,000
Windows	1,000	Windows	1,000
Doors	1,000	Doors	1,000

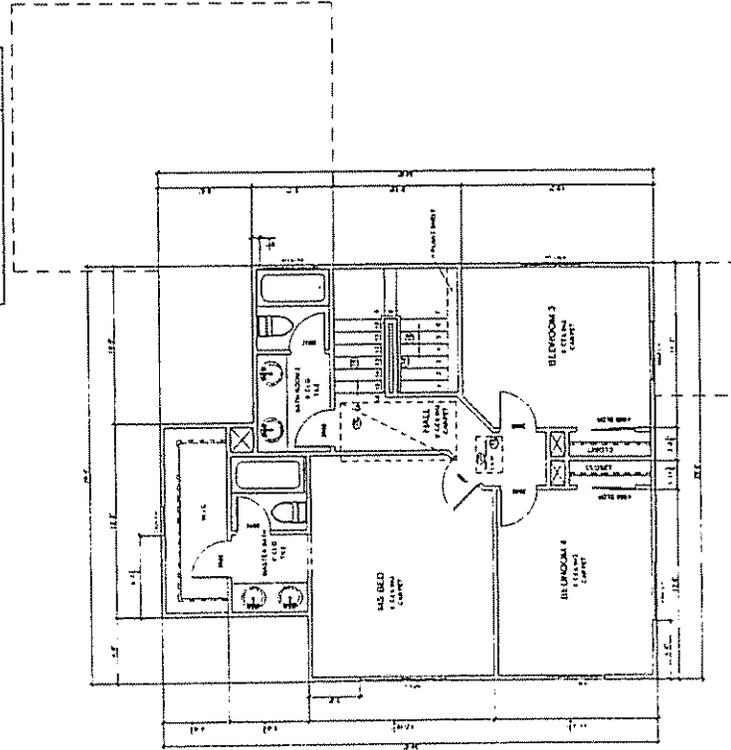
Attachment 13 – Floor Plan Lot 12

FOOTAGE

1ST FLOOR LIVING	974 SF
2ND FLOOR LIVING	1198 SF
SUB TOTAL LIVING	1983 SF
GARAGE	402 SF
COVERED PORCH	55 SF
GRAND TOTAL	2140 SF
STRUCTURE FOOT PRINT TOTAL	1361 SF



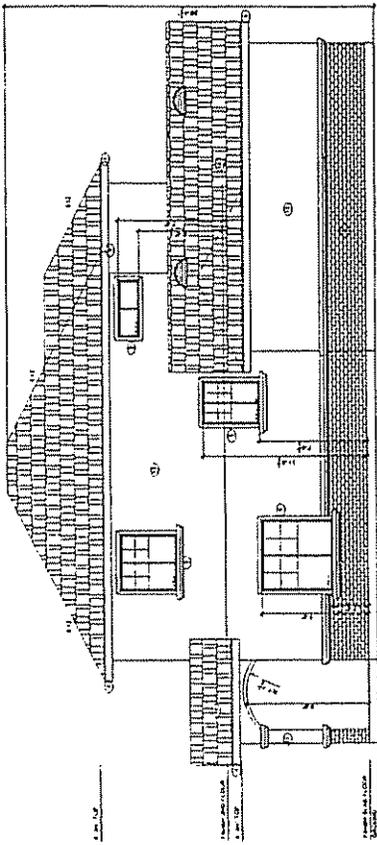
1ST FLOOR PLAN
SCALE 1/4" = 1'-0"



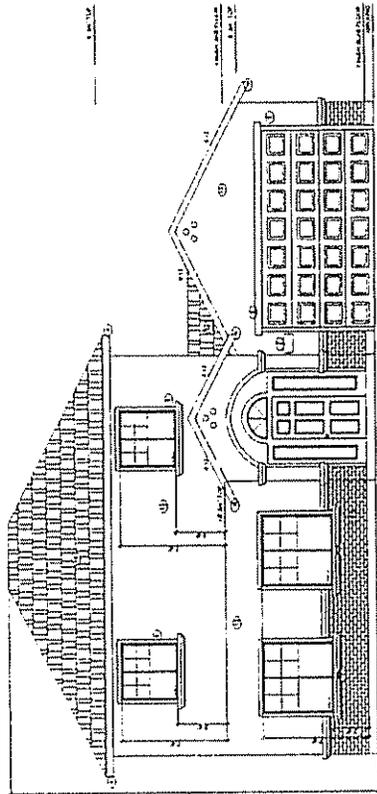
2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTES:

Attachment 14 – Elevations Lot 12



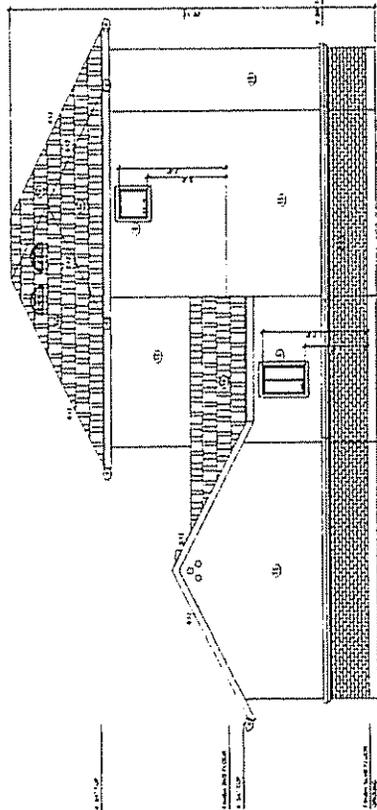
RIGHT ELEVATION PLAN
SCALE 1/4" = 1'-0"



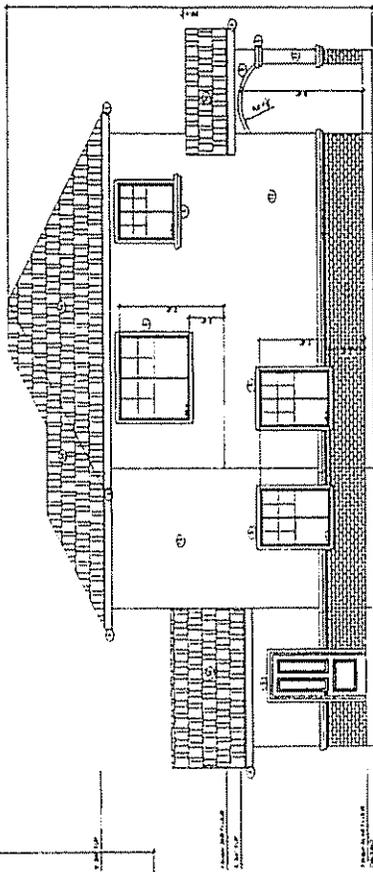
FRONT ELEVATION PLAN
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

ITEM	DESCRIPTION	AREA (SQ. FT.)	VENTILATION (CFM)
1	ATTIC ROOF AREA	1,200	120
2	CHIMNEY AREA	100	10
3	WALL AREA	1,000	100
4	CEILING AREA	1,000	100
5	FLOOR AREA	1,000	100
6	DOOR AREA	100	10
7	WINDOW AREA	1,000	100
8	SCREENED PORCH AREA	1,000	100
9	SCREENED PATIO AREA	1,000	100
10	SCREENED DECK AREA	1,000	100
11	SCREENED BALCONY AREA	1,000	100
12	SCREENED TERRACE AREA	1,000	100
13	SCREENED PERGOLA AREA	1,000	100
14	SCREENED AWNING AREA	1,000	100
15	SCREENED CANOPY AREA	1,000	100
16	SCREENED GAZEBO AREA	1,000	100
17	SCREENED SHED AREA	1,000	100
18	SCREENED GARAGE AREA	1,000	100
19	SCREENED PORCH AREA	1,000	100
20	SCREENED PATIO AREA	1,000	100
21	SCREENED DECK AREA	1,000	100
22	SCREENED BALCONY AREA	1,000	100
23	SCREENED TERRACE AREA	1,000	100
24	SCREENED PERGOLA AREA	1,000	100
25	SCREENED AWNING AREA	1,000	100
26	SCREENED CANOPY AREA	1,000	100
27	SCREENED GAZEBO AREA	1,000	100
28	SCREENED SHED AREA	1,000	100
29	SCREENED GARAGE AREA	1,000	100
30	SCREENED PORCH AREA	1,000	100
31	SCREENED PATIO AREA	1,000	100
32	SCREENED DECK AREA	1,000	100
33	SCREENED BALCONY AREA	1,000	100
34	SCREENED TERRACE AREA	1,000	100
35	SCREENED PERGOLA AREA	1,000	100
36	SCREENED AWNING AREA	1,000	100
37	SCREENED CANOPY AREA	1,000	100
38	SCREENED GAZEBO AREA	1,000	100
39	SCREENED SHED AREA	1,000	100
40	SCREENED GARAGE AREA	1,000	100
41	SCREENED PORCH AREA	1,000	100
42	SCREENED PATIO AREA	1,000	100
43	SCREENED DECK AREA	1,000	100
44	SCREENED BALCONY AREA	1,000	100
45	SCREENED TERRACE AREA	1,000	100
46	SCREENED PERGOLA AREA	1,000	100
47	SCREENED AWNING AREA	1,000	100
48	SCREENED CANOPY AREA	1,000	100
49	SCREENED GAZEBO AREA	1,000	100
50	SCREENED SHED AREA	1,000	100
51	SCREENED GARAGE AREA	1,000	100
52	SCREENED PORCH AREA	1,000	100
53	SCREENED PATIO AREA	1,000	100
54	SCREENED DECK AREA	1,000	100
55	SCREENED BALCONY AREA	1,000	100
56	SCREENED TERRACE AREA	1,000	100
57	SCREENED PERGOLA AREA	1,000	100
58	SCREENED AWNING AREA	1,000	100
59	SCREENED CANOPY AREA	1,000	100
60	SCREENED GAZEBO AREA	1,000	100
61	SCREENED SHED AREA	1,000	100
62	SCREENED GARAGE AREA	1,000	100
63	SCREENED PORCH AREA	1,000	100
64	SCREENED PATIO AREA	1,000	100
65	SCREENED DECK AREA	1,000	100
66	SCREENED BALCONY AREA	1,000	100
67	SCREENED TERRACE AREA	1,000	100
68	SCREENED PERGOLA AREA	1,000	100
69	SCREENED AWNING AREA	1,000	100
70	SCREENED CANOPY AREA	1,000	100
71	SCREENED GAZEBO AREA	1,000	100
72	SCREENED SHED AREA	1,000	100
73	SCREENED GARAGE AREA	1,000	100
74	SCREENED PORCH AREA	1,000	100
75	SCREENED PATIO AREA	1,000	100
76	SCREENED DECK AREA	1,000	100
77	SCREENED BALCONY AREA	1,000	100
78	SCREENED TERRACE AREA	1,000	100
79	SCREENED PERGOLA AREA	1,000	100
80	SCREENED AWNING AREA	1,000	100
81	SCREENED CANOPY AREA	1,000	100
82	SCREENED GAZEBO AREA	1,000	100
83	SCREENED SHED AREA	1,000	100
84	SCREENED GARAGE AREA	1,000	100
85	SCREENED PORCH AREA	1,000	100
86	SCREENED PATIO AREA	1,000	100
87	SCREENED DECK AREA	1,000	100
88	SCREENED BALCONY AREA	1,000	100
89	SCREENED TERRACE AREA	1,000	100
90	SCREENED PERGOLA AREA	1,000	100
91	SCREENED AWNING AREA	1,000	100
92	SCREENED CANOPY AREA	1,000	100
93	SCREENED GAZEBO AREA	1,000	100
94	SCREENED SHED AREA	1,000	100
95	SCREENED GARAGE AREA	1,000	100
96	SCREENED PORCH AREA	1,000	100
97	SCREENED PATIO AREA	1,000	100
98	SCREENED DECK AREA	1,000	100
99	SCREENED BALCONY AREA	1,000	100
100	SCREENED TERRACE AREA	1,000	100



REAR ELEVATION PLAN
SCALE 1/4" = 1'-0"



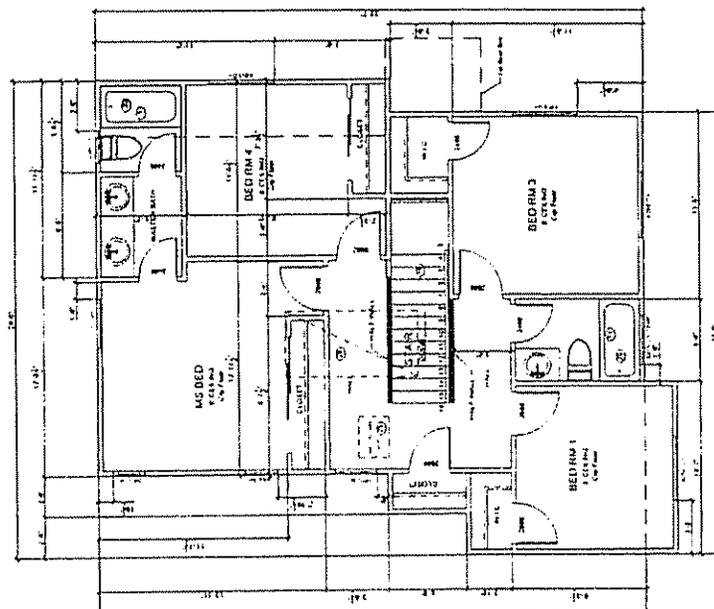
LEFT ELEVATION PLAN
SCALE 1/4" = 1'-0"

Attachment 15 – Floor Plan Lot 13

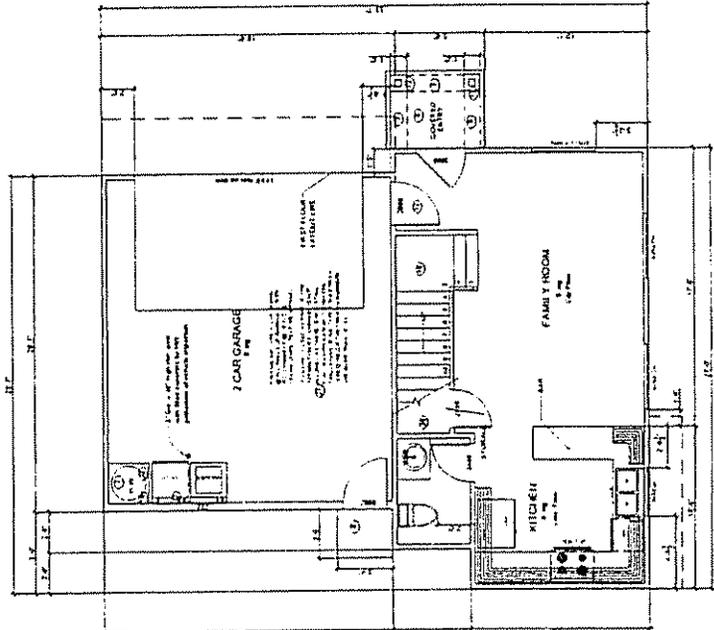
FOOTAGE

1ST FLOOR LIVING	418 SF
2ND FLOOR LIVING	803 SF
SUB TOTAL LIVING	1226 SF
GARAGE	366 SF
COVER PORCH	25 SF
GRAND TOTAL	1625 SF
STRUCTURE FOOT PRINT TOTAL	806 SF

- KEY NOTES**
1. HIGH-SPEED INTERNET CABLE
 2. Concrete driveway front
 3. Construction of front porch to be per plan
 4. Temporary plan to be submitted to the authority and shall be
 5. 1.5" x 6" steel joist in 20' maximum for span of steel joist spanning
 6. Floor finish
 7. Foundation shall support walls 1/2" x 4" and 1/2" x 6" and 1/2" x 8" and 1/2" x 10" and 1/2" x 12" and 1/2" x 14" and 1/2" x 16" and 1/2" x 18" and 1/2" x 20" and 1/2" x 22" and 1/2" x 24" and 1/2" x 26" and 1/2" x 28" and 1/2" x 30" and 1/2" x 32" and 1/2" x 34" and 1/2" x 36" and 1/2" x 38" and 1/2" x 40" and 1/2" x 42" and 1/2" x 44" and 1/2" x 46" and 1/2" x 48" and 1/2" x 50" and 1/2" x 52" and 1/2" x 54" and 1/2" x 56" and 1/2" x 58" and 1/2" x 60" and 1/2" x 62" and 1/2" x 64" and 1/2" x 66" and 1/2" x 68" and 1/2" x 70" and 1/2" x 72" and 1/2" x 74" and 1/2" x 76" and 1/2" x 78" and 1/2" x 80" and 1/2" x 82" and 1/2" x 84" and 1/2" x 86" and 1/2" x 88" and 1/2" x 90" and 1/2" x 92" and 1/2" x 94" and 1/2" x 96" and 1/2" x 98" and 1/2" x 100"
 8. Foundation shall be per authority and shall be
 9. Foundation shall be per authority and shall be
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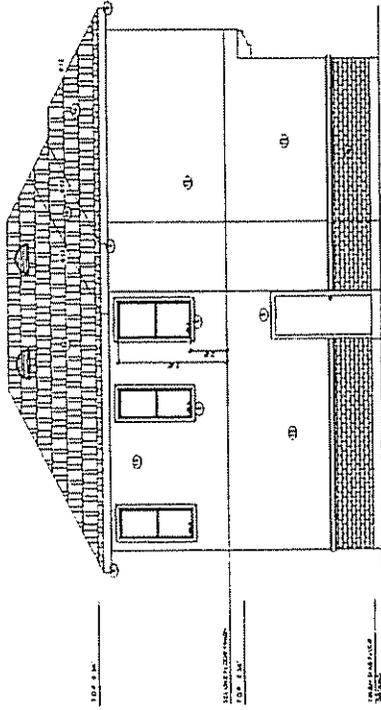


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

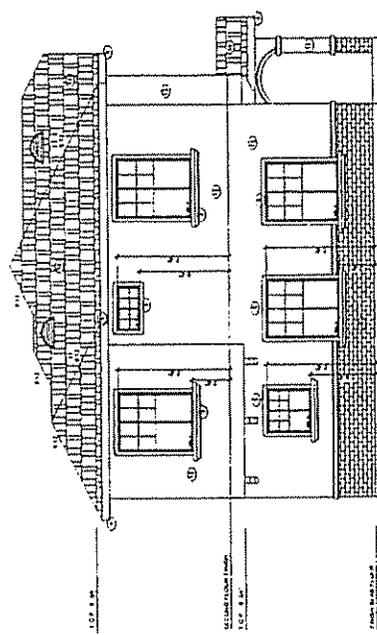


FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

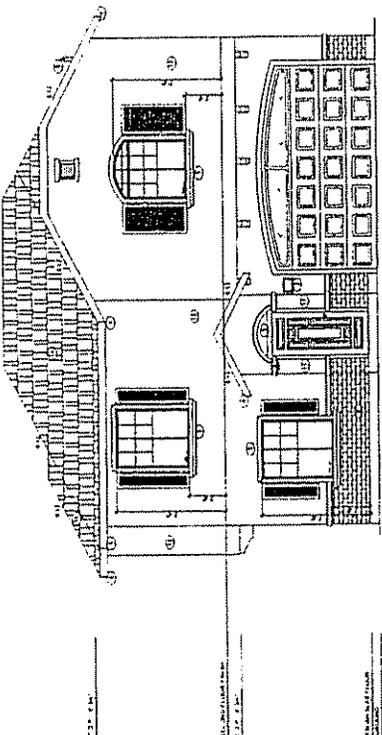
Attachment 16 – Elevations Lot 13



REAR ELEVATION PLAN
SCALE 1/4" = 1'-0"



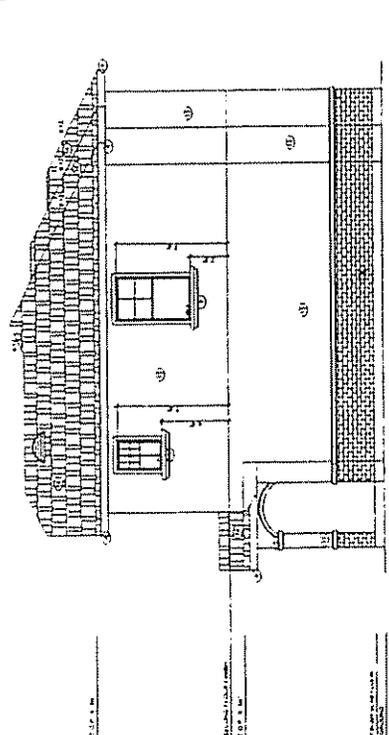
LEFT ELEVATION PLAN



FRONT ELEVATION PLAN
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

Item	Area	Volume	Notes
Attic Floor Area	1,200 sq ft		
Attic Ceiling Area	1,200 sq ft		
Attic Volume		12,000 cu ft	
Roof Area	1,500 sq ft		
Roof Volume		15,000 cu ft	
Total Volume		27,000 cu ft	
Required Ventilation		1,350 sq ft	
Actual Ventilation		1,350 sq ft	

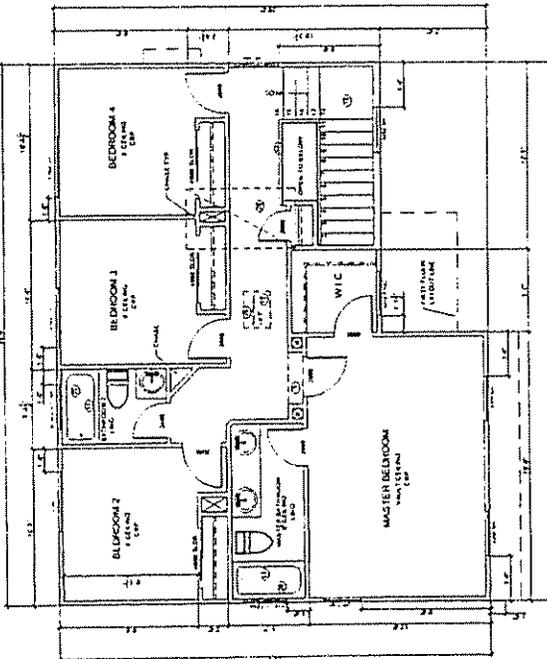


RIGHT ELEVATION PLAN

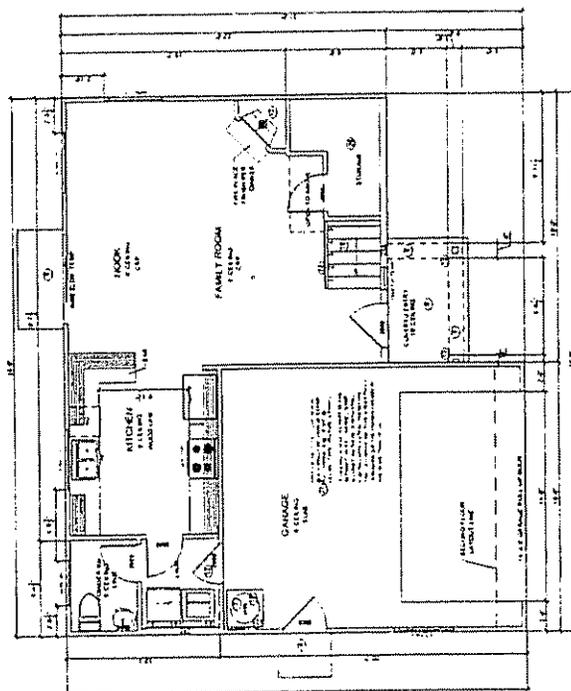
Attachment 17 – Floor Plan Lot 14

FOOTAGE

1ST FLOOR LIVING	942 SF
2ND FLOOR LIVING	940 SF
SUB TOTAL LIVING	1882 SF
GARAGE	370 SF
CENTER PORCH	41 SF
GRAND TOTAL	1840 SF
STRUCTURE FOOT PRINT TOTAL	894 SF



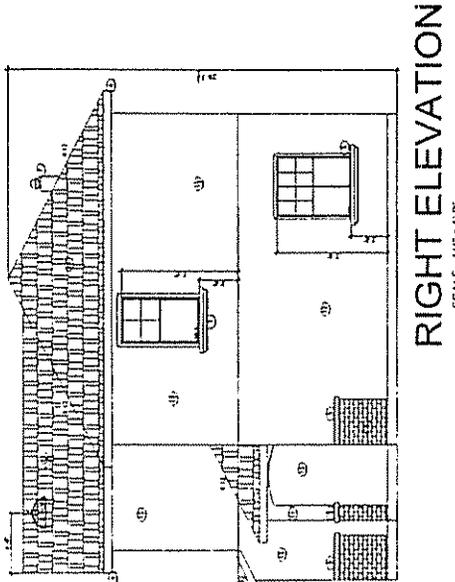
SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



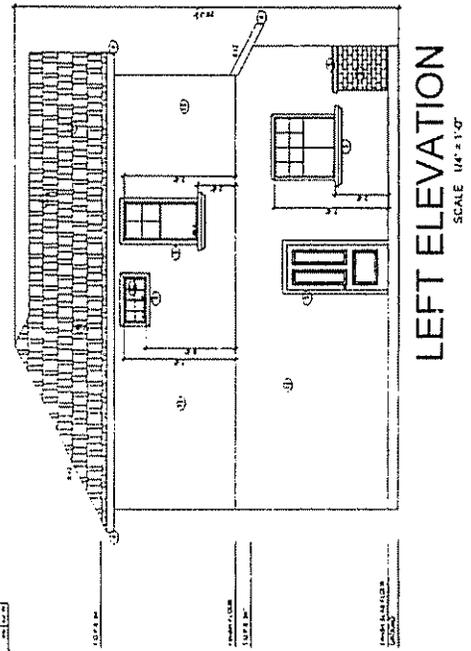
FLOOR PLAN
SCALE 1/4" = 1'-0"

- NOTES:
1. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
 2. FINISHES TO BE DETERMINED BY OWNER.
 3. FLOOR FINISHES TO BE DETERMINED BY OWNER.
 4. FLOOR FINISHES TO BE DETERMINED BY OWNER.
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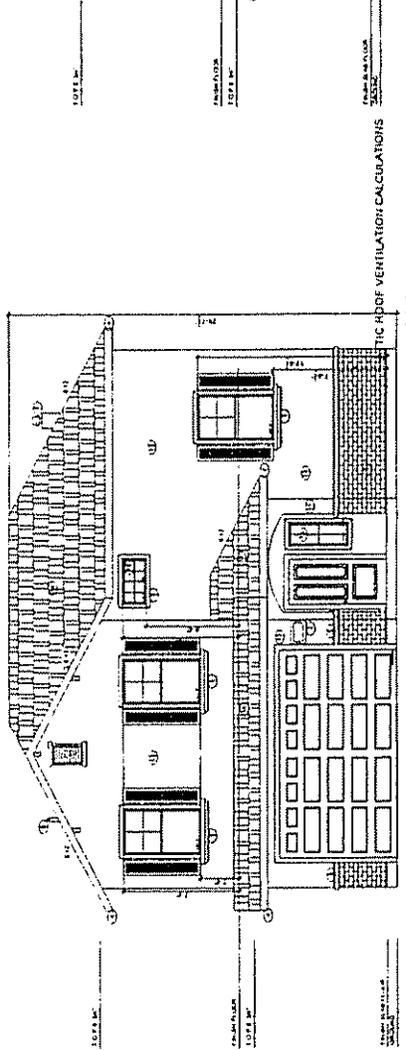
Attachment 18 – Elevations Lot 14



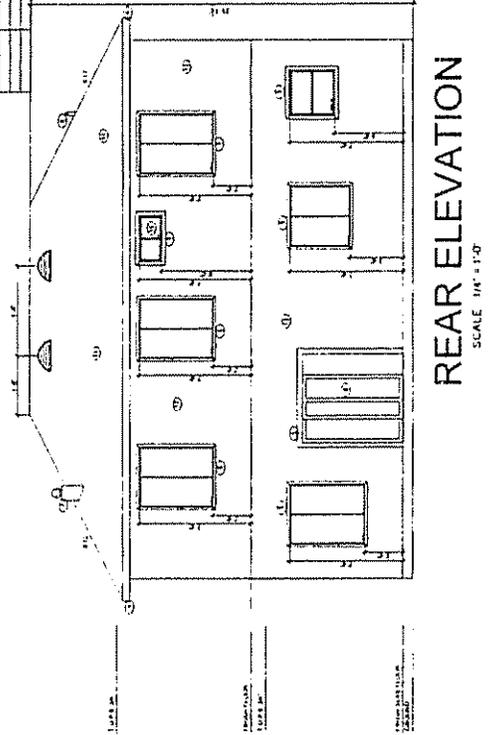
RIGHT ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

TIC ROOF VENTILATION CALCULATIONS

ITEM	DESCRIPTION	AREA (SQ. FT.)	VENT. COEFF.	VENT. AREA (SQ. FT.)
1	Roof Vent	100	0.15	15
2	Window	120	0.10	12
3	Door	20	0.15	3
4	Other	0	0.00	0
TOTAL				30