



REPORT TO COUNCIL

City of Sacramento

915 I Street, Sacramento, CA 95814-2671
[www. CityofSacramento.org](http://www.CityofSacramento.org)

PUBLIC HEARING
 May 4, 2006

Honorable Mayor and
 Members of the City Council

Subject: Hagginwood Estates (P05-072)

Location/Council District:

1650 Arcade Boulevard. APN: 265-0060-049 Council District 3

Recommendation:

Planning Commission and staff recommend that the City Council take the following actions: 1) Consider and approve the Resolution approving the Mitigated Negative Declaration and Mitigation Monitoring Plan; and 2) Approve the Ordinance amending the districts established by the Zoning Ordinance.

Contacts: Sally Shore, Assistant Planner, 808-8001; Greg Bitter, Senior Planner, 808-7816

Presenters: Sally Shore, Assistant Planner, 808-8001

Department: Development Services Department

Division: Current Planning

Organization No: 4875

Summary:

The applicant is requesting a rezone for the development of 1.57± net vacant acres in order to subdivide the lot into fourteen (14) single-family lots. The rezone will make the zoning consistent with the North Sacramento Community Plan and the General Plan designations of Low Density Residential and allow for single-family residential development on the lots. The R-1A zoning is proposed because several of the lots do not meet the standard R-1 lot sizes of 52 feet by 100 feet or the standard lot areas of 5,200 square feet for an interior lot and 6,200 square feet for a corner lot. The project site also includes several Heritage Oak trees that are able to be preserved with the proposed Single Family Alternative (R-1A) zone which allows alternative setbacks with the approval of a Planning Commission Special Permit. The project provides the opportunity for single-family home ownership within the North Sacramento area.

Committee/Commission Action:

On March 23, 2006, the Planning Commission, with a vote of six ayes and zero noes, approved the Hagginwood Estates project and forwarded the recommendation to the City Council for approval on the Rezone. At the same meeting, the Planning Commission approved the Mitigated Negative Declaration, Mitigation Monitoring Plan, Tentative Map and Special Permit for the project.

Background Information:

On July 26, 1984, the Planning Commission approved a rezone (P84-215) of the subject property from single-family residential (R-1) zoning to multifamily residential (R-2A) zoning for the development of multifamily apartment units. While the multifamily zoning was subsequently approved at the City Council on November 11, 1984, the Community Plan and General Plan designations were not amended to reflect the change from low density residential (4-8 du/ac) to multifamily residential designations (4-15 du/ac), and a conflict between the Community Plan/General Plan designations and the R-2A zoning remains today. After the approval of the rezone in 1984, the project site remained vacant, and twenty years later, on August 12, 2004, the Planning Commission approved a Special Permit (P03-145) to construct a 4,496 square foot, 136-seat church with a 3,006 square foot parsonage. The church sold the property to the present owner in 2005, and the current application was submitted with the intent of developing single-family residential units. The rezone to R-1A will establish consistency between the General Plan and Community Plan designations and the Zoning.

Financial Considerations:

This project has no fiscal considerations.

Environmental Considerations:

Environmental Planning Services has determined the project, as proposed, will not have a significant impact to the environment; therefore, a Mitigated Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act (CEQA) Guidelines, mitigation measures have been identified to reduce impacts to a less-than-significant level. These mitigation measures address biological resources and cultural resources. The mitigation measures are listed in the attached Mitigation Monitoring Plan (Exhibit 1A). The draft Initial Study/Mitigated Negative Declaration was available for public review and comment during the period of February 23, 2006 to March 14, 2006.

Policy Considerations:

The project is consistent with the General Plan goals to develop residential land uses in a manner which is efficient and utilizes existing and planned urban resources, promotes infill development, and provides adequate housing sites and opportunities for all households. The project is also consistent with the following North Sacramento Community Plan policies: to accommodate projected growth while enhancing the

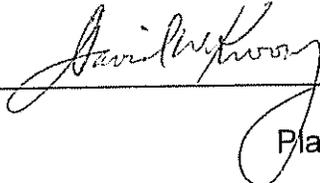
existing attractive features of the community; to provide adequate housing opportunities to attract new residents and employment centers; and to increase the supply of decent, safe and affordable housing.

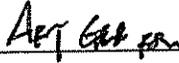
Smart Growth Principles: City Council adopted a set of Smart Growth Principles in December 2001 in order to encourage development patterns that are sustainable and balanced in terms of economic objectives, social goals, and use of environmental/ natural resources. The subject proposal enhances housing opportunities by creating a range of housing opportunities and choices, by concentrating new development and targeting infrastructure investment within the urban core, thus fostering walkable communities.

Strategic Plan Implementation: The recommended action conforms with the City of Sacramento Strategic Plan, specifically by adhering to policies that promote development of the fullest range of housing choices in every community in the city and to invest in infrastructure development that will achieve established community standards and optimize economic growth.

Emerging Small Business Development (ESBD):

No goods or services are being purchased under this report.

Respectfully Submitted by: 
David Kwong
Planning Manager

Approved by: 
William Thomas
Director of Development Services

Recommendation Approved:

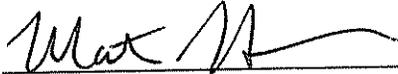
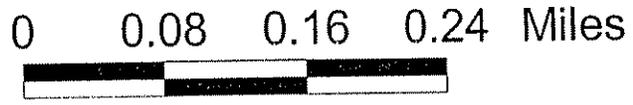
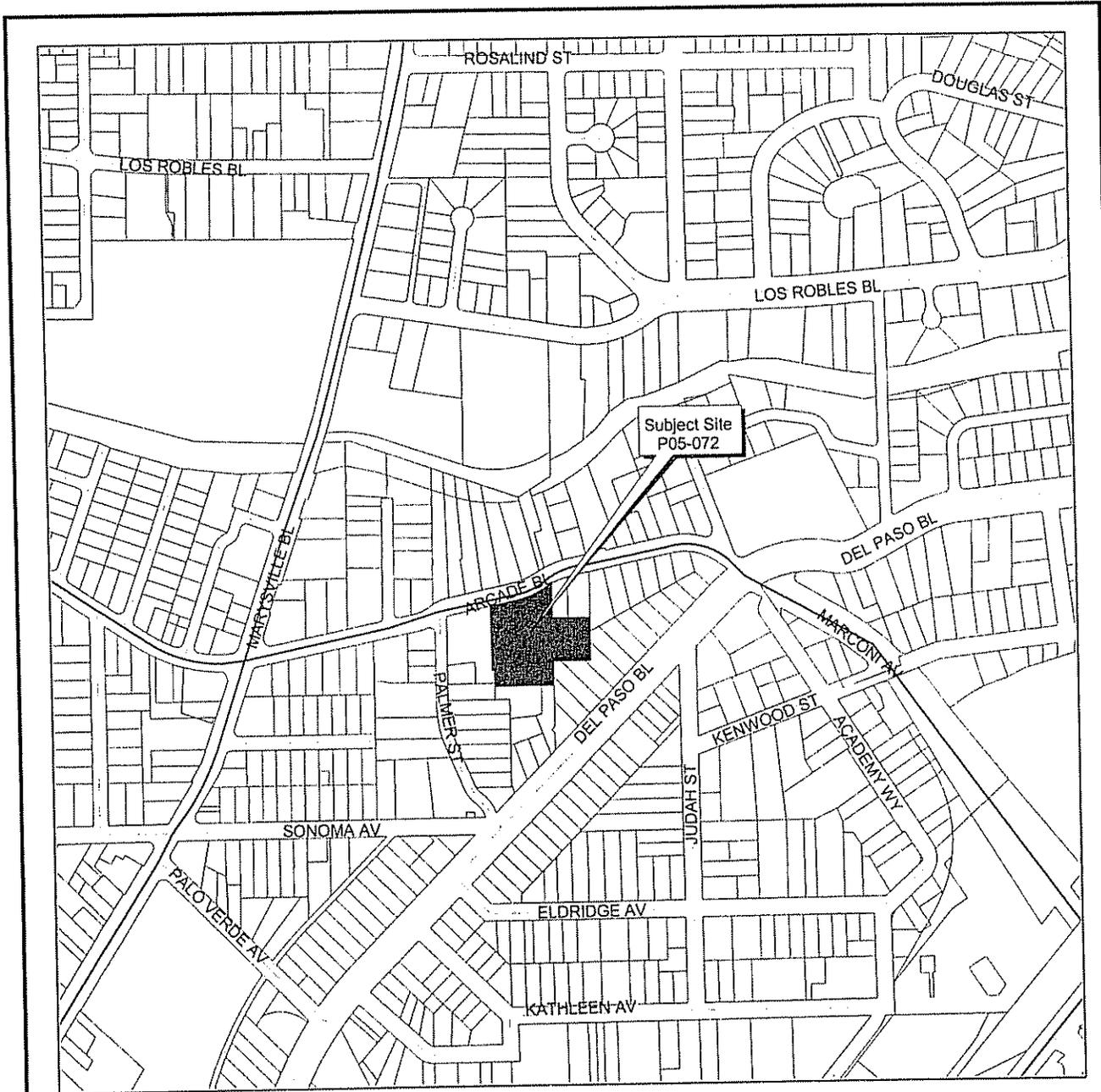
for 
RAY KERRIDGE
City Manager

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Attachment A – Vicinity Map



 Development Services
Department

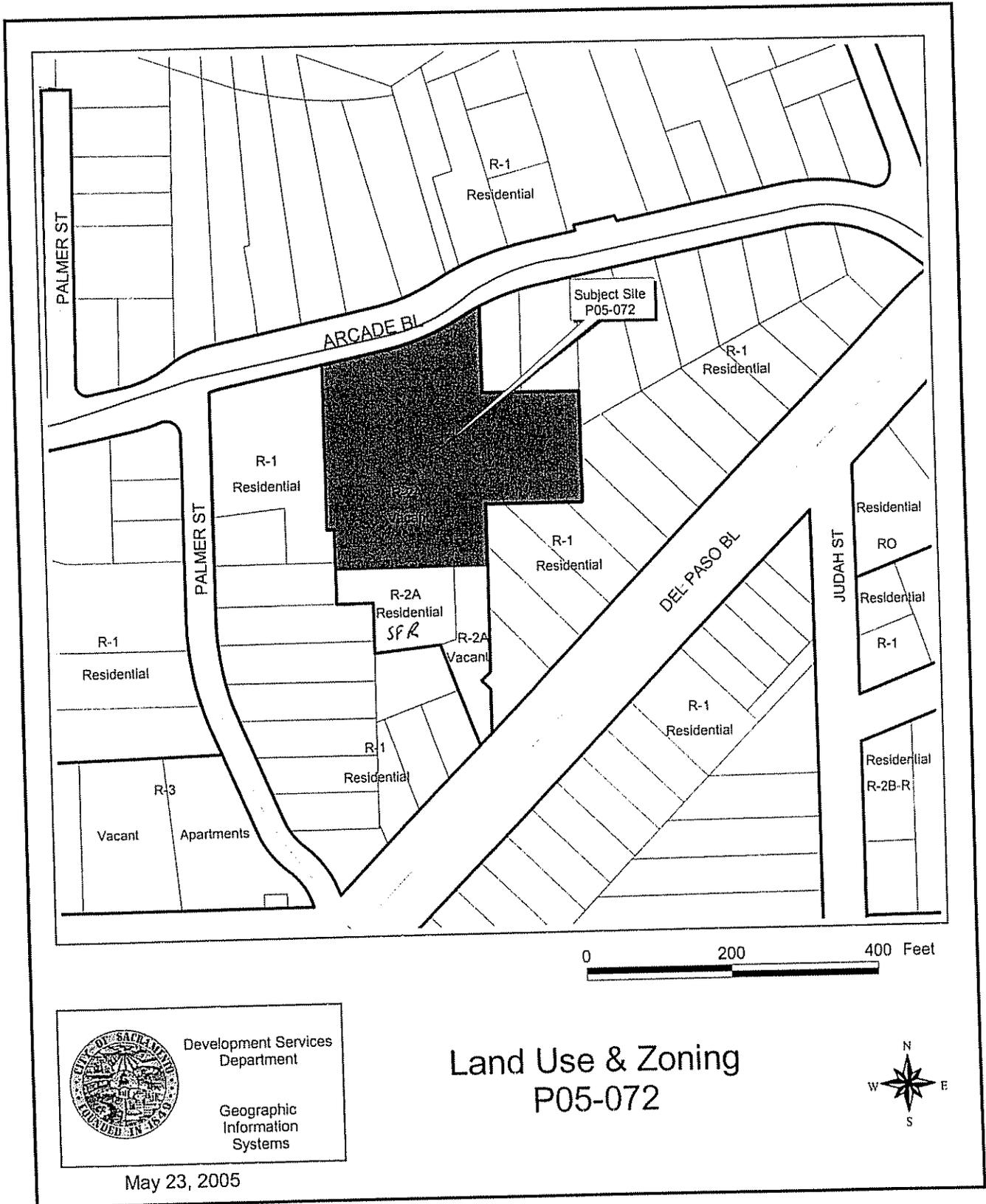
Geographic
Information
Systems

May 23, 2005

Vicinity Map
P05-072



Attachment B – Land Use Map



Development Services
Department

Geographic
Information
Systems

May 23, 2005

Land Use & Zoning P05-072



ORDINANCE NO.

Adopted by the Sacramento City Council

May 4, 2006

AN ORDINANCE AMENDING THE DISTRICTS ESTABLISHED BY THE COMPREHENSIVE ZONING ORDINANCE , TITLE 17 OF THE CITY CODE, BY REMOVING 1.57± NET ACRES FROM THE MULTI-FAMILY RESIDENTIAL (R-2A) ZONE AND PLACING IN THE SINGLE FAMILY ALTERNATIVE (R-1A) ZONE; FOR THE PROPERTY LOCATED AT: 1650 ARCADE BOULEVARD; APN: 265-0060-049 (P05-072)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO:

SECTION 1

The property generally described, known and referred to as APN: 265-0060-049 (1650 Arcade Boulevard) which is shown on attached Exhibit A, consists of 1.57± net acres and is currently in the Multi-family Residential (R-2A) zone established by the Comprehensive Zoning Ordinance (Title 17 of the City Code). Said territory is hereby removed from the R-2A zone and placed in the Single Family Alternative (R-1A) zone.

SECTION 2

Rezoning of the property shown in the attached Exhibit A, by the adoption of this Ordinance, will be considered to be in compliance with the requirements for the zoning of property described in the Comprehensive Zoning Ordinance, Title 17 of the City Code, as amended, as those procedures have been affected by recent court decisions.

SECTION 3

The City Clerk of the City of Sacramento is hereby directed to amend the official zoning maps, which are part of said Ordinance to conform to the provisions of this Ordinance.

Table of Contents:

Exhibit A: Hagginwood Estates Rezoning Exhibit

Adopted by the City of Sacramento City Council on May 4, 2006, by the following vote:

Ayes:

Noes:

Abstain:

Absent:

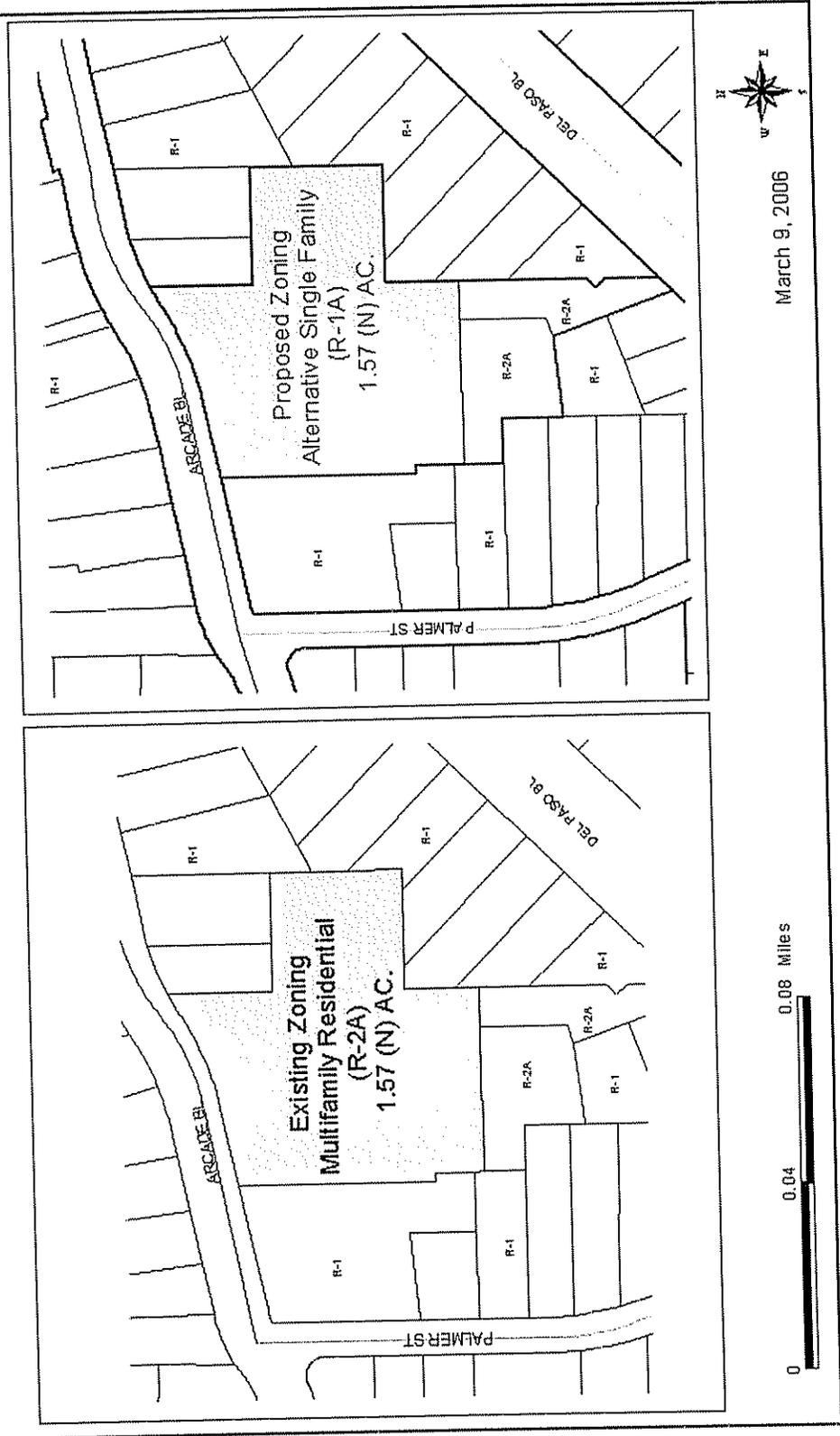
Mayor Heather Fargo

Attest:

Shirley Concolino, City Clerk

Exhibit A
Hagginwood Estates Rezone Exhibit

Rezone Exhibit
1650 Arcade Boulevard
City of Sacramento, California



RESOLUTION NO.

Adopted by the Sacramento City Council

May 4, 2006

A RESOLUTION CONSIDERING THE MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING PLAN FOR THE PROPERTY LOCATED AT 1650 ARCADE BOULEVARD (P05-072) (APN: 265-0060-049), COUNCIL DISTRICT 3

BACKGROUND

- A. On March 23, 2006, the City Planning Commission considered the Mitigated Negative Declaration and Mitigation Monitoring Plan;
- B. On May 4, 2006, the City Council heard and considered evidence in the above-mentioned matter.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

- Section 1. At the regular meeting of May 4, 2006, the City Council heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the City Council took the following actions for the location listed above:
- A. Adopted the Mitigated Negative Declaration;
 - B. Adopted the Mitigation Monitoring Plan.

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. Mitigated Negative Declaration: The City Council **approves** the Mitigated Negative Declaration, based upon the following findings:
 - 1. The Mitigated Negative Declaration was prepared and circulated for the above-identified project pursuant to the requirements of CEQA;
 - 2. The proposed Mitigated Negative Declaration and comments received during the public review process were considered prior to action being taken on the project; and

- 3. Based upon the Initial Study and the comments received during the public review process, there is no substantial evidence that the project will have a significant effect on the environment.

B. Mitigation Monitoring Plan: The Mitigation Monitoring Plan is **approved** based upon the following findings of fact:

- 1. One or more mitigation measures have been added to the above-identified project;
- 2. A Mitigation Monitoring Plan has been prepared to ensure compliance and implementation of the mitigation measures for the above-identified project, a copy of which is attached as Exhibit 1A;
- 3. The Mitigation Monitoring Plan meets the requirements of Public Resources Code Sec. 21081.6; and
- 4. The Mitigation Monitoring Plan is approved, and the mitigation measures shall be implemented and monitored as set forth in the Plan.

Table of Contents:

Exhibit A: Mitigation Monitoring Plan – 11 pages

Adopted by the City of Sacramento City Council on May 4, 2006, by the following vote:

Ayes:

Noes:

Abstain:

Absent:

Mayor Heather Fargo

Attest:

Shirley Concolino, City Clerk

Exhibit A

MITIGATION MONITORING PLAN

FOR
HAGGINWOOD ESTATES (P05-072)

TYPE OF ENVIRONMENTAL DOCUMENT:
INITIAL STUDY/ NEGATIVE DECLARATION

PREPARED FOR:
CITY OF SACRAMENTO, DEVELOPMENT SERVICES DEPARTMENT

DATE:
March 9, 2006

ADOPTED BY:
CITY OF SACRAMENTO
CITY PLANNING COMMISSION

DATE:

ATTEST:

**HAGGINWOOD ESTATES (P05-072)
MITIGATION MONITORING PLAN**

This Mitigation Monitoring Plan (MMP) has been required by and prepared for the City of Sacramento Development Services Department, Environmental Planning Services, 2101 Arena Blvd, Suite 200, Sacramento, CA 95834, pursuant to CEQA Guidelines Section 21081.6.

SECTION 1: PROJECT IDENTIFICATION

Project Name / File Number: Hagginwood Estates / P05-072
Owner/Developer- Name: Camille N. Beshara
Address: 4224 Tyrone Way
Carmichael, CA 95608

Project Location / Legal Description of Property (if recorded):

The proposed project is located at 1650 Arcade Boulevard in the North Sacramento Community Plan area of the City of Sacramento, Sacramento County (APN: 265-0060-049).

Project Description:

The proposed project consists of entitlements to allow the development of twelve (12) single family residences and two (2) halfplex lots on 1.57 ± net acres in the proposed Single Family Alternative (R-1A) zone located at 1650 Arcade Boulevard; (APN 265-0060-049). Specific entitlements include:

- A. **Rezone** of 1.57 ± net acres from the Multi-Family (R-2A) zone to 1.57 ± net acres of the Single Family Alternative Residential (R-1A) zone;
- B. **Tentative Subdivision Map** to subdivide 1.57 ± net acres into fourteen (14) single family lots;
- C. **Special Permit** to construct fourteen single family residences within the Single Family Alternative (R-1A) zone.

SECTION 2: GENERAL INFORMATION

The Plan includes mitigation for Biological Resources, Noise, and Cultural Resources. The intent of the Plan is to prescribe and enforce a means for properly and successfully implementing the mitigation measures as identified within the Initial Study for this project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this Plan shall be funded by the owner/developer identified above. This Mitigation Monitoring Plan (MMP) is designed to aid the City of Sacramento in its implementation and monitoring of mitigation measures adopted for the proposed project.

The mitigation measures have been taken from the Initial Study and are assigned the same number they have in the document. The MMP describes the actions that must take place to implement each mitigation measure, the timing of those actions, and the entities responsible for implementing and monitoring the actions. The developer will be responsible for fully understanding and effectively implementing the mitigation measures contained with the MMP. The City of Sacramento will be responsible for ensuring compliance.

**HAGGINWOOD ESTATES (P05-072)
MITIGATION MONITORING PLAN**

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
7. BIOLOGICAL RESOURCES					
BR-1 Prior to issuance of any grading permits, the applicant shall submit all grading and trenching plans to the Urban Forest Services' City Arborist for review to ensure protection of Heritage trees located on site. The City Arborist will provide written verification and additional protection measures not available at this time to the City's Development Services Department prior to issuance of the grading permit	Applicant / Developer	City Development Services Department, City Urban Forest Services	Verification of compliance from the Urban Forest Services Arborist shall be provided to Development Services Staff prior to issuance of grading permits	Measures shall be implemented prior to issuance of any grading or building permits or as agreed upon by the Urban Forest Services Arborist	
BR-2 Heritage trees identified by the City Arborist (listed in the Arborist Report as numbers 14, 18, 19, 23, 26, and 27), both on- and off-site, are recommended for preservation to the extent feasible without substantially altering the project site plan. If trees should require removal, the applicant/developer shall obtain authorization through a tree removal permit from the City Urban Forest Services. The project applicant/developer	Applicant / Developer	City Development Services Department, City Urban Forest Services	Verification of compliance from the Urban Forest Services Arborist shall be provided to Development Services Staff prior to issuance of grading permits	Measures shall be implemented prior to issuance of any grading or building permits or as agreed upon by the Urban Forest Services Arborist	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>shall coordinate with the City of Sacramento Urban Forest Services Division to identify any trees able to be preserved. If trees are identified for preservation, the applicant/developer shall coordinate with the Urban Forest Services Division in preparation of a preservation plan for any and all trees identified for preservation. The preservation plan shall include, but not be limited to the following measures BR-3 thru BR-6 to prevent impacts to the trees during construction of the proposed project:</p>					
<p>BR-3 The contractor shall hire an International Society of Arboriculture (ISA) certified arborist to perform any required pruning for equipment clearance. The contractor shall contact the City Arborist (Duane Goosen 808-4996) for a root inspection(s) for trenching activities within the dripline(s) of trees to be saved.</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
<p>BR-4. If during excavation for the project, tree roots greater than two inches in diameter are encountered, work shall stop immediately</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>until the City Arborist can perform an on-site inspection. All roots shall be cut clean and the tree affected may require supplemental irrigation/fertilization and pruning as a result of the root cutting. The contractor will be responsible for any costs incurred. Depending upon the amount of roots encountered and the time of year, wet burlap may be required along the sides of the trench</p>				activities as agreed upon by the Urban Forest Services Arborist	
<p>BR-5 The contractor shall be held liable for any damage to existing trees, i.e trunk wounds, broken limbs, pouring of any deleterious materials, or concrete washout under the dripline of the trees. Damages will be assessed using the "Guide to Plant Appraisal" eighth edition, published by the International Society of Arboriculture. An appraisal report shall be submitted for review by the City Arborist</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
<p>BR-6 No lawn irrigation system shall be installed within 8 feet of the trunk of any Heritage tree that is to be preserved unless otherwise approved by</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
BR-7	Urban Forest Services Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	agreed upon by the Urban Forest Services Arborist	
BR-8	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
BR-9	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans		
BR-10	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	

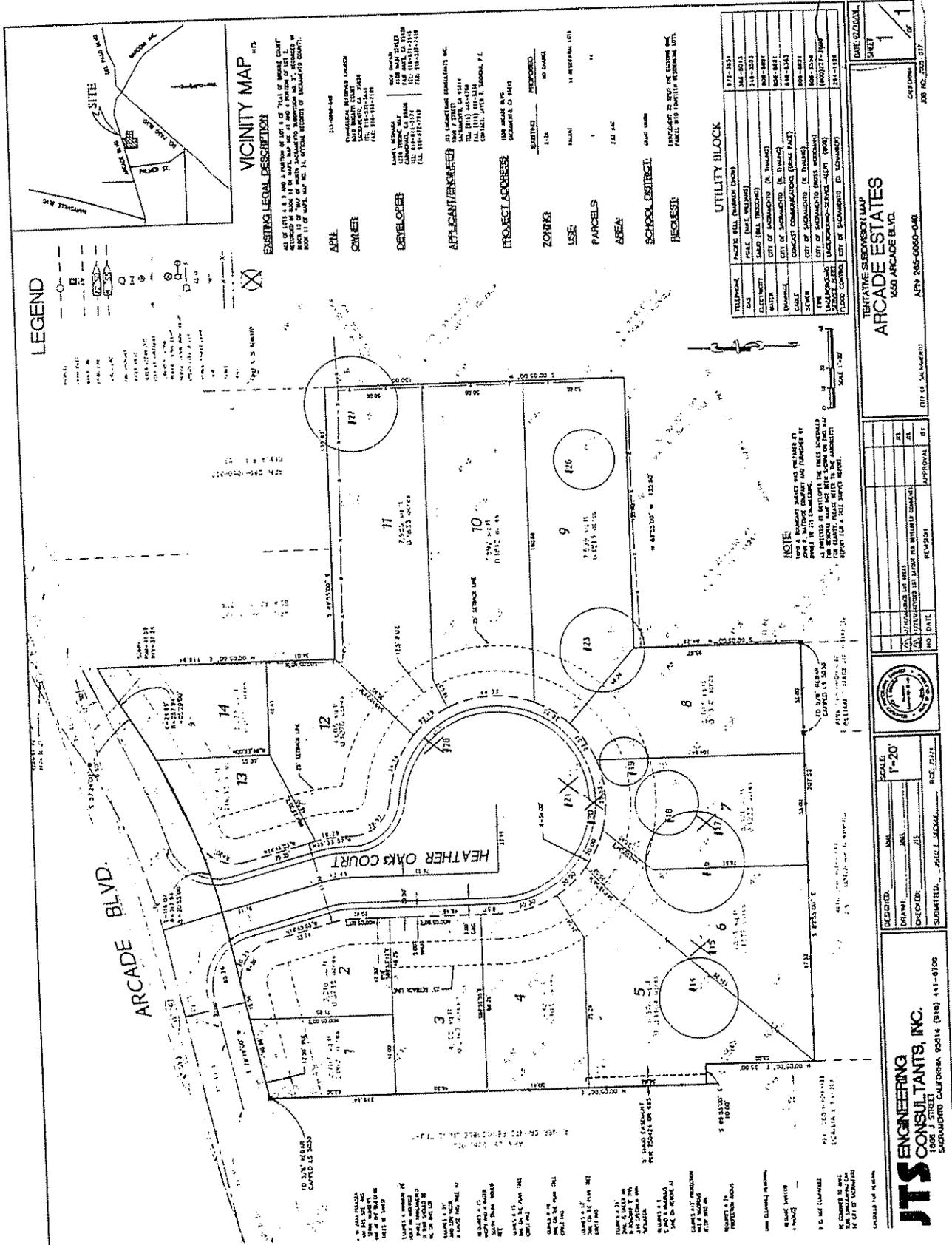
			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
BR-11	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans		
BR-12	Applicant / Developer	City Development Services Department, City Urban Forest Services	Verification of compliance from the Urban Forest Services Arborist shall be provided to Development Services Staff prior to issuance of grading permits	Measure shall be implemented prior to issuance of any grading or building permits or as agreed upon by the Urban Forest Services Arborist	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>the Landscape Plan may provide on-site mitigation, which will be credited at a rate of \$300 per planted 15 gallon tree subject to the following City of Sacramento Urban Forest Services conditions:</p> <ul style="list-style-type: none"> • mitigation planting is limited to separated sidewalk planters unless otherwise approved by Urban Forest Services • irrigation design and programming reviewed and approved by Urban Forest Services • review and approval of species by Urban Forest Services • inspection of nursery stock (prior to planting) by Urban Forest Services <p>a post-planting inspection by Urban Forest Services.</p>					
<p>10. NOISE</p> <p>N-1 Prior to issuance of final building permits, the applicant/developer shall, for lots siding directly towards Arcade Boulevard (Lot 13), a minimum 6-foot high, solid wood fence</p>	Applicant / Developer	City Development Services Department	Mitigation Measures shall be included on the Map and within the Standard Construction Specifications.	Prior to finaling of building permits.	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>without gaps between the boards shall be constructed at a minimum along the line representing the extension of the north facing wall of the residential unit (siding on to Arcade Boulevard) extending to the rear property boundary (eastern boundary) providing a barrier to the rear yard area of the lot</p> <p>N-2 Prior to issuance of final building permits, the applicant/developer shall install air conditioning or mechanical ventilation systems for all residential units adjacent to Arcade Boulevard</p>	Applicant / Developer	City Development Services Department	<p>Verification of compliance shall be provided to the Development Services Staff</p> <p>Verification of compliance shall be provided to the Development Services Staff</p>	Prior to finagling of building permits	
<p>14. CULTURAL RESOURCES:</p> <p>CR-1. If subsurface archaeological or historical remains are discovered during construction, work in the area shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues</p>	Applicant / Developer	City Development Services Department	<p>Mitigation Measures shall be included on the Map and within the Standard Construction Specifications.</p> <p>Verification of compliance shall be provided to the Development Services Staff</p>	Measures shall be implemented in field during grading and construction activities.	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
CR-2 If human burials are encountered, all work in the area shall stop immediately and the Sacramento County Coroner's office shall be notified immediately. If the remains are determined to be Native American in origin, both the Native American Heritage Commission and any identified descendants must be notified and recommendations for treatment solicited (CEQA Section 15064.5); Health and Safety Code Section 7050.5; Public Resources Code Section 5097.94 and 5097.98	Applicant / Developer	City Development Services Department	Mitigation Measures shall be included on the Map and within the Standard Construction Specifications. If required, verification of compliance shall be provided to the Development Services Staff	Measures shall be implemented in field during grading and construction activities	

Attachment 1 – Tentative Map



LEGEND

- 1. EASEMENT
- 2. UTILITY LINE
- 3. EASEMENT
- 4. EASEMENT
- 5. EASEMENT
- 6. EASEMENT
- 7. EASEMENT
- 8. EASEMENT
- 9. EASEMENT
- 10. EASEMENT
- 11. EASEMENT
- 12. EASEMENT
- 13. EASEMENT
- 14. EASEMENT
- 15. EASEMENT
- 16. EASEMENT

VICINITY MAP

EXISTING LEGAL DESCRIPTION
 ALL OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

APPL. NO. 200-000-048
 SUBMITTER: PIONEER BUSINESS CENTER
 1650 ARCADE BLVD., SUITE 100
 SACRAMENTO, CA 95811
 TEL: 916-441-1234
 FAX: 916-441-1234

DEVELOPER: JTS ENGINEERING, INC.
 1600 MARKET STREET, SUITE 100
 SACRAMENTO, CA 95811
 TEL: 916-441-1234
 FAX: 916-441-1234

APPLICANT/ENGINEER: JTS ENGINEERING, INC.
 1600 MARKET STREET, SUITE 100
 SACRAMENTO, CA 95811
 TEL: 916-441-1234
 FAX: 916-441-1234

PROJECT ADDRESS: 1650 ARCADE BLVD.
 SACRAMENTO, CA 95811

ZONING: M-1
 USE: COMMERCIAL
 PARCELS: 16
 AREA: 1.23 AC.

SCHOOL DISTRICT: SACRAMENTO
 REQUEST: TENTATIVE MAP

UTILITY BLOCK

UTILITY	PROVIDER
TELEPHONE	AMERICAN TELEPHONE COMPANY
CABLE	AMERICAN TELEPHONE COMPANY
ELECTRICITY	AMERICAN TELEPHONE COMPANY
WATER	CITY OF SACRAMENTO (D. THOMAS)
SEWER	CITY OF SACRAMENTO (D. THOMAS)
IRRIGATION	CITY OF SACRAMENTO (D. THOMAS)
TRUCK	CITY OF SACRAMENTO (D. THOMAS)
RAILROAD	CITY OF SACRAMENTO (D. THOMAS)
ADDITIONAL	

DATE SUBMITTED: 05/04/06
 SHEET: 1 OF 1
 SCALE: 1"=20'
 DRAWN BY: JTS
 CHECKED BY: JTS
 SUBMITTED BY: JTS

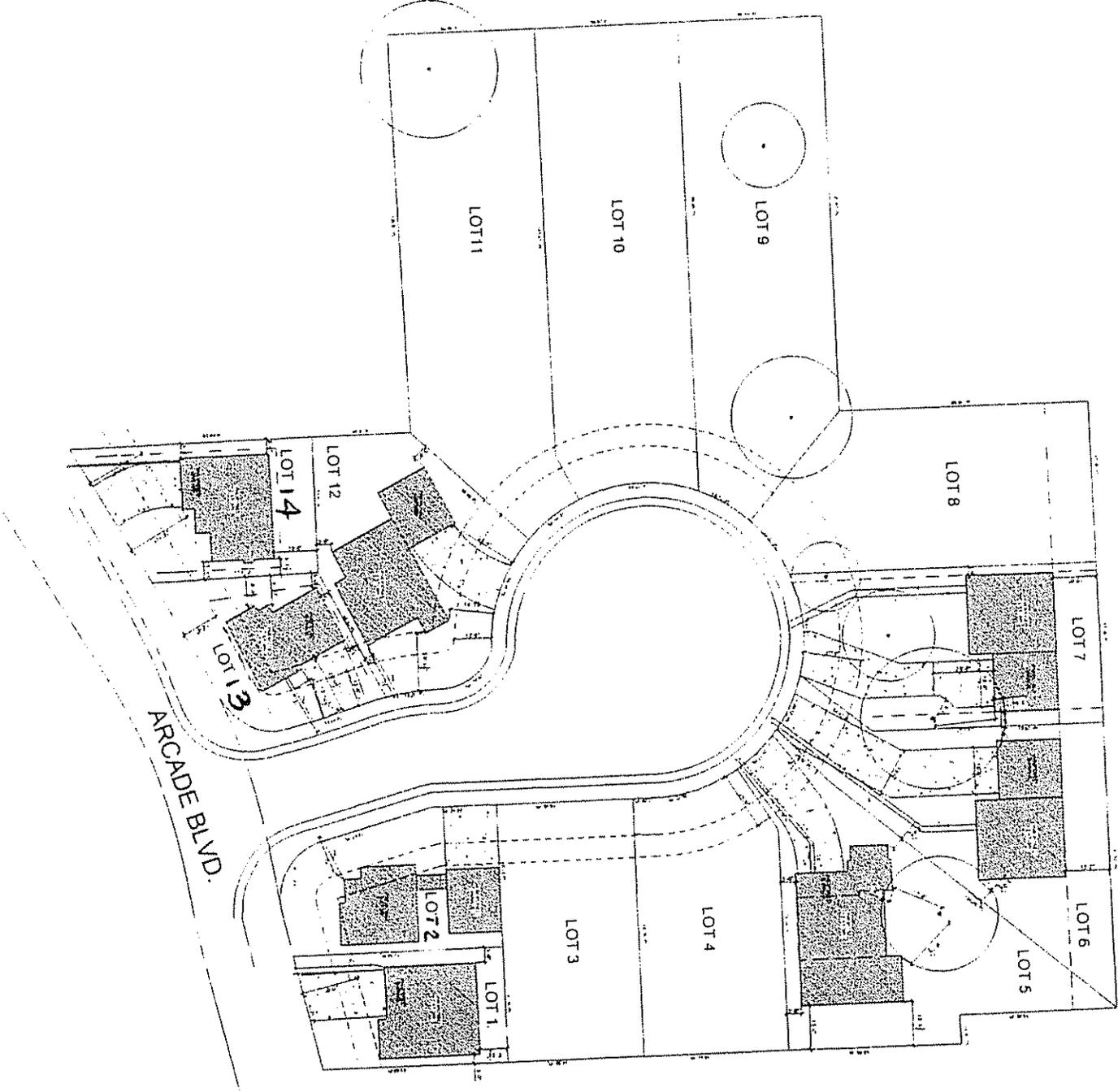
JTS ENGINEERING CONSULTANTS, INC.
 1600 MARKET STREET
 SACRAMENTO, CALIFORNIA 95811 (916) 441-1234

ARCADIE BLVD.
 HEATHER OAKS COURT

NOTE: THIS TENTATIVE MAP IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE AN OFFER. THE CITY OF SACRAMENTO IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

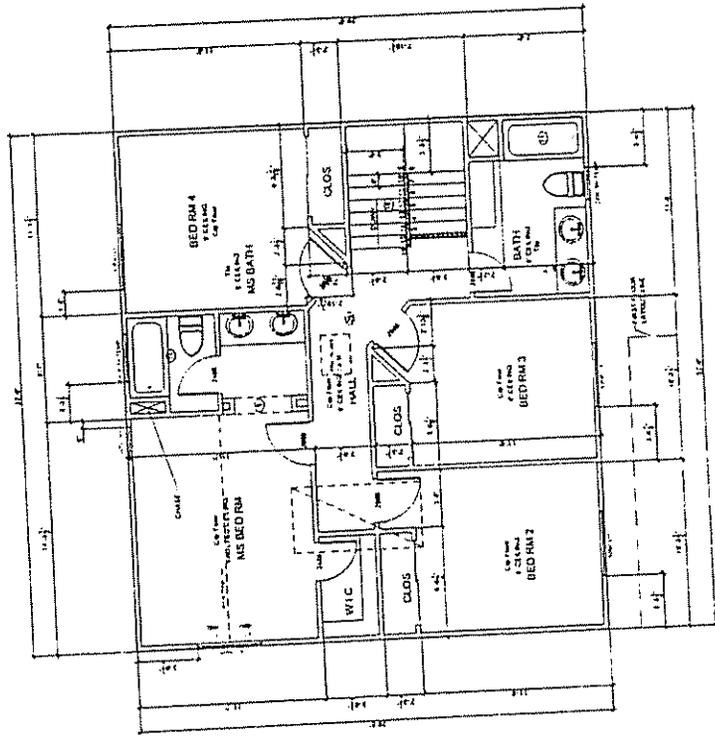
APPROVAL: [Signature]

Attachment 2 – Site Plan



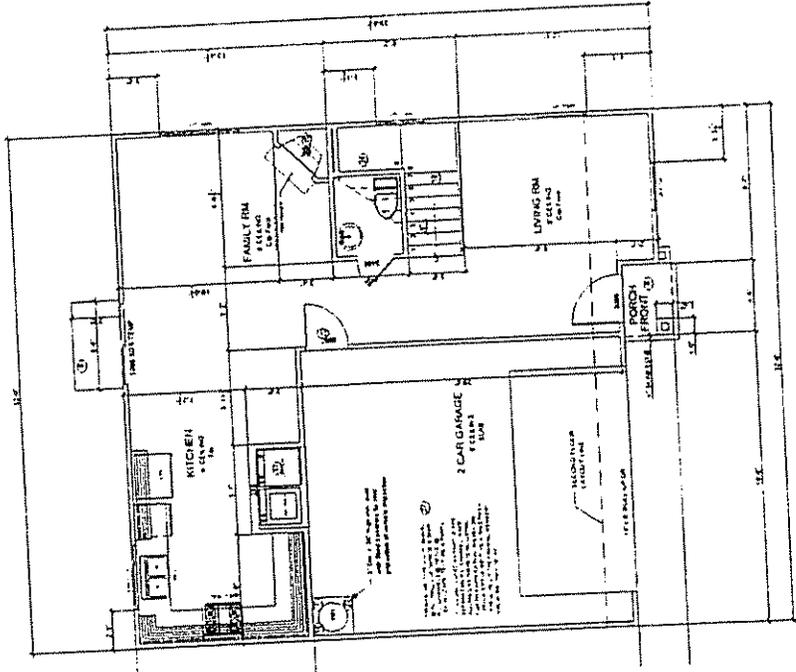
FOOTAGE

1ST FLOOR LIVING	646 SF
2ND FLOOR LIVING	663 SF
5 LG TOTAL LIVING	1309 SF
GARAGE	381 SF
COVER PORCH	13 SF
GRAND TOTAL	1923 SF
5 STRUCTURE FOOT PRINT TOTAL	1040 SF



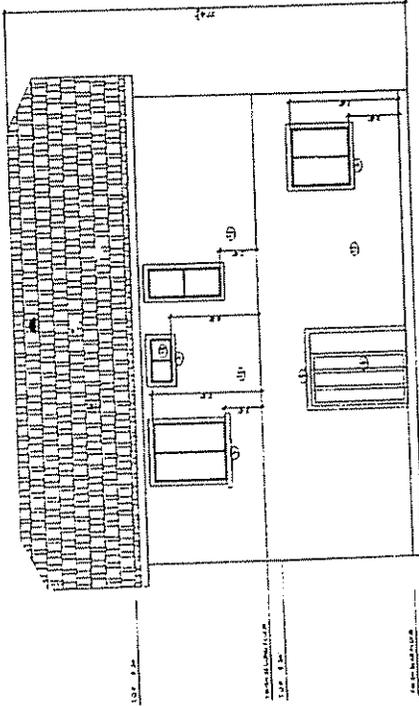
2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

- KEYNOTES:**
- 1) FINISHES PER SPEC
 - 2) SEE ARCHITECT'S NOTES
 - 3) SEE ELECTRICAL SYMBOLS
 - 4) SEE MECHANICAL SYMBOLS
 - 5) SEE PLUMBING SYMBOLS
 - 6) SEE FINISHES SYMBOLS
 - 7) SEE LIGHTING SYMBOLS
 - 8) SEE FLOORING SYMBOLS
 - 9) SEE CEILING SYMBOLS
 - 10) SEE WALL SYMBOLS
 - 11) SEE DOOR SYMBOLS
 - 12) SEE WINDOW SYMBOLS
 - 13) SEE STAIR SYMBOLS
 - 14) SEE ELEVATION SYMBOLS
 - 15) SEE SECTION SYMBOLS
 - 16) SEE DETAIL SYMBOLS
 - 17) SEE ANNOTATION SYMBOLS
 - 18) SEE DIMENSION SYMBOLS
 - 19) SEE AREA SYMBOLS
 - 20) SEE VOLUME SYMBOLS
 - 21) SEE PERCENTAGE SYMBOLS
 - 22) SEE RATIO SYMBOLS
 - 23) SEE FRACTION SYMBOLS
 - 24) SEE DECIMAL SYMBOLS
 - 25) SEE INTEGER SYMBOLS
 - 26) SEE ALGEBRA SYMBOLS
 - 27) SEE CALCULUS SYMBOLS
 - 28) SEE TRIGONOMETRY SYMBOLS
 - 29) SEE STATISTICS SYMBOLS
 - 30) SEE PROBABILITY SYMBOLS
 - 31) SEE SET THEORY SYMBOLS
 - 32) SEE LOGIC SYMBOLS
 - 33) SEE MATHEMATICS SYMBOLS
 - 34) SEE SCIENCE SYMBOLS
 - 35) SEE HISTORY SYMBOLS
 - 36) SEE ART SYMBOLS
 - 37) SEE MUSIC SYMBOLS
 - 38) SEE LANGUAGE SYMBOLS
 - 39) SEE PHYSICS SYMBOLS
 - 40) SEE CHEMISTRY SYMBOLS
 - 41) SEE BIOLOGY SYMBOLS
 - 42) SEE GEOGRAPHY SYMBOLS
 - 43) SEE POLITICAL SCIENCE SYMBOLS
 - 44) SEE ECONOMICS SYMBOLS
 - 45) SEE PSYCHOLOGY SYMBOLS
 - 46) SEE SOCIOLOGY SYMBOLS
 - 47) SEE ANTHROPOLOGY SYMBOLS
 - 48) SEE LINGUISTICS SYMBOLS
 - 49) SEE PHILOSOPHY SYMBOLS
 - 50) SEE RELIGION SYMBOLS
 - 51) SEE MISCELLANEOUS SYMBOLS



1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

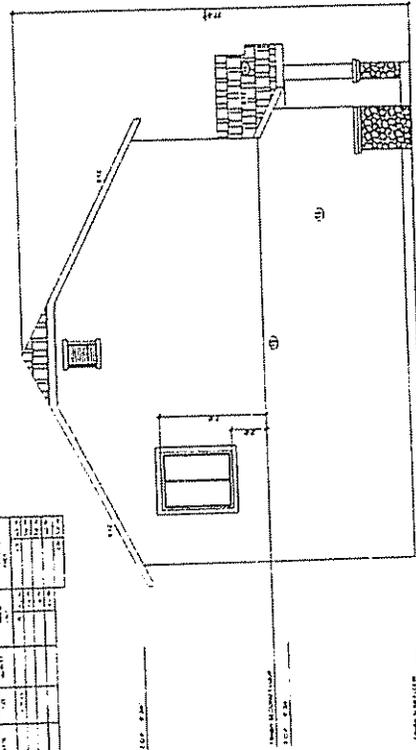
Attachment 4 – Elevations Lot 1



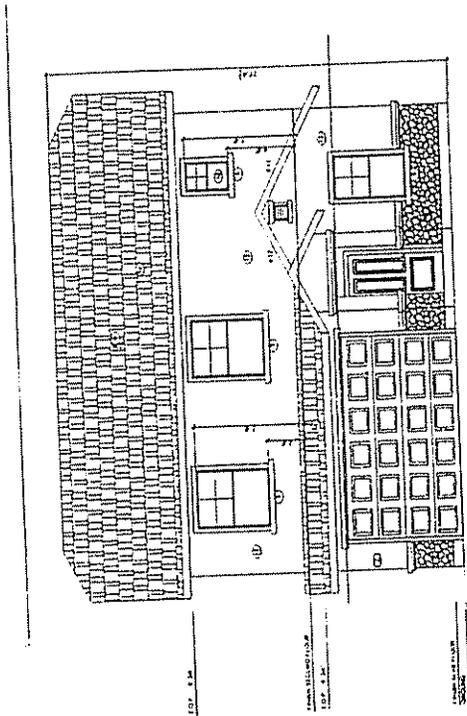
REAR ELEVATION
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

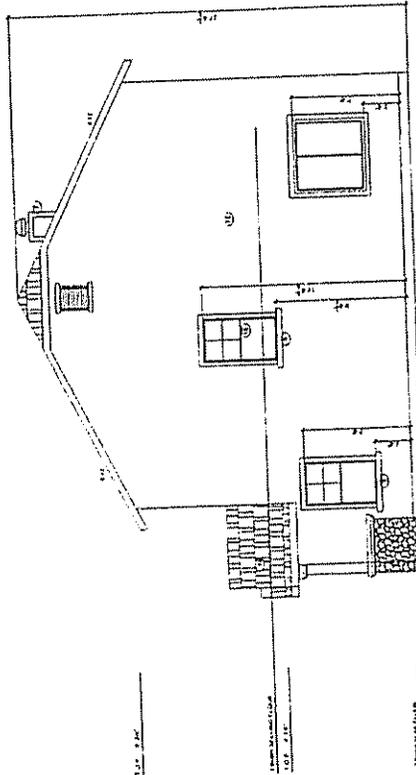
Item	Area (sq. ft.)	U-Value	Loss (BTU/hr)
Attic Floor	1,200	0.15	180
Attic Ceiling	1,200	0.15	180
Attic Walls	1,200	0.15	180
Attic Windows	100	0.30	30
Attic Doors	100	0.30	30
Attic Roof	1,200	0.15	180
Total	4,900		600



LEFT ELEVATION
SCALE 1/4" = 1'-0"

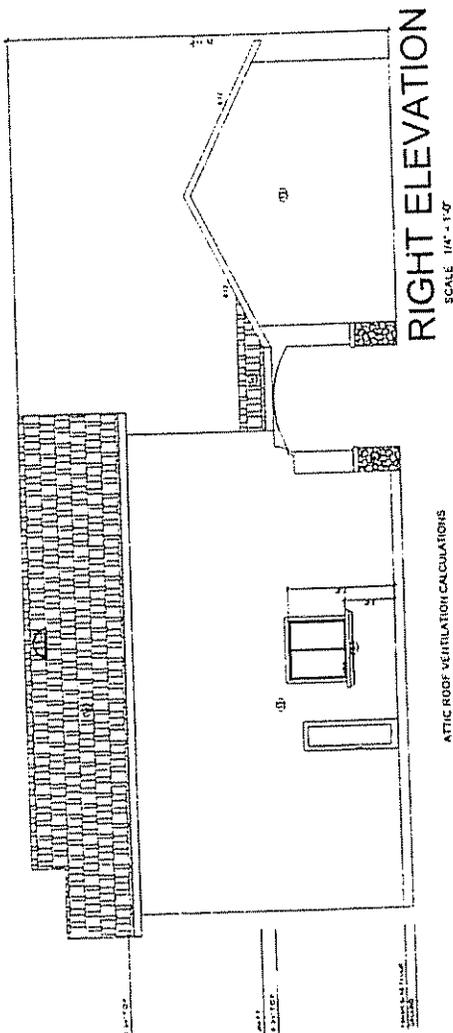
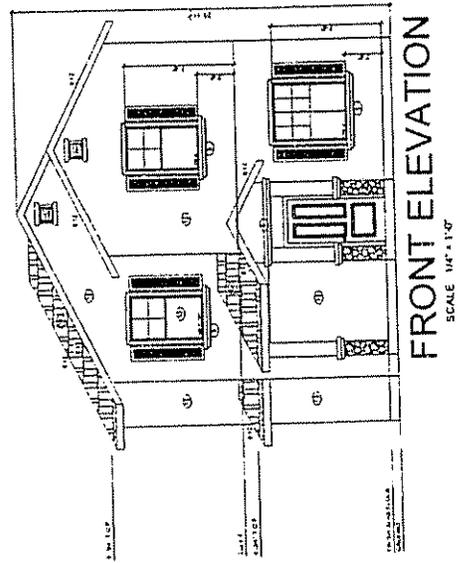
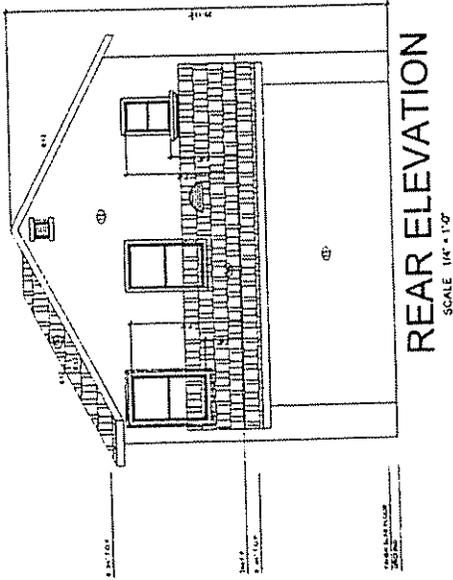


FRONT ELEVATION
SCALE 1/4" = 1'-0"



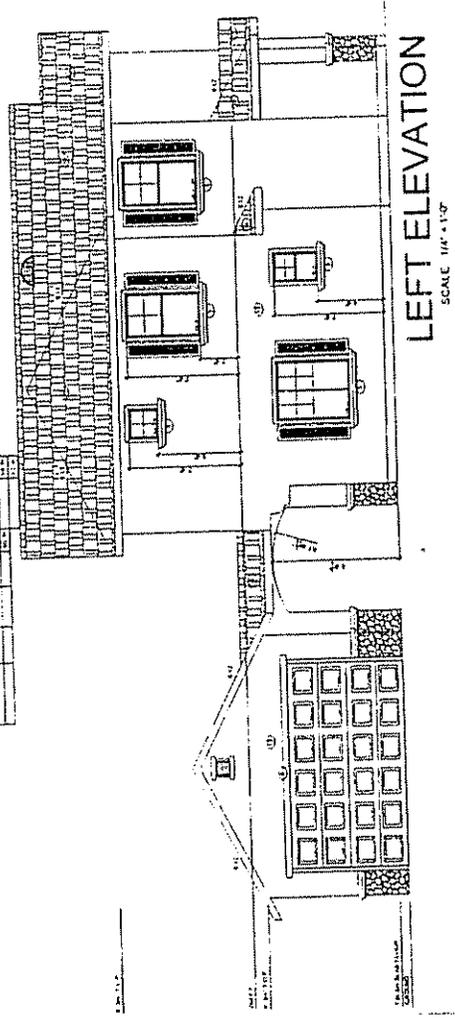
RIGHT ELEVATION
SCALE 1/4" = 1'-0"

Attachment 6 – Elevations Lot 2



ATTIC ROOF VENTILATION CALCULATIONS

NO.	DESCRIPTION	AREA (SQ. FT.)	VENT. COEFF.	VENT. CAPACITY (CFM)
1	Attic Roof	1000	0.01	10000
2	Attic Floor	1000	0.01	10000
3	Attic Wall	1000	0.01	10000
4	Attic Window	100	0.10	10000
5	Attic Door	100	0.10	10000
6	Attic Vent	100	0.10	10000
7	Attic Exhaust	100	0.10	10000
8	Attic Inlet	100	0.10	10000
9	Attic Outlet	100	0.10	10000
10	Attic Total	4000	0.01	40000



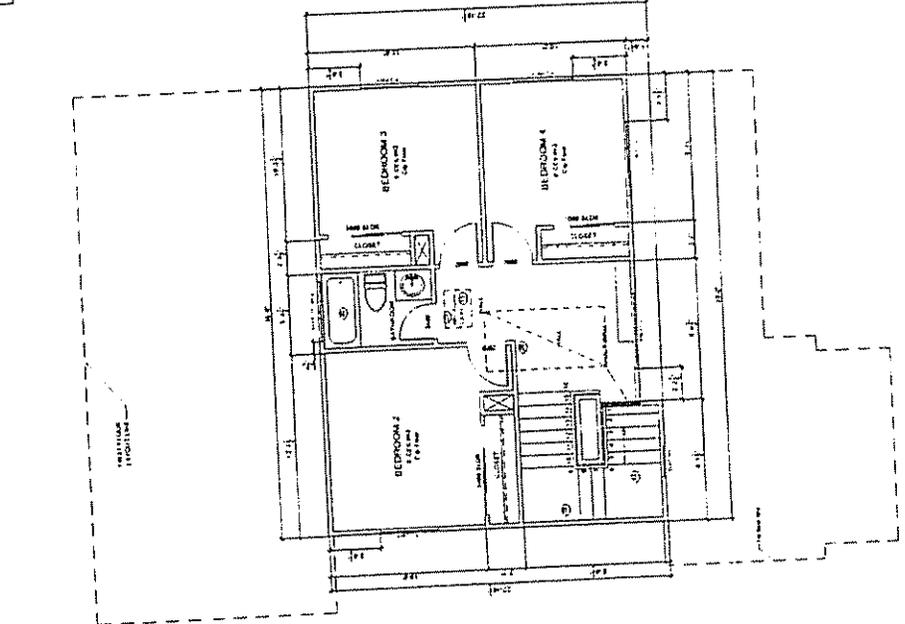
Attachment 7 – Floor Plan Lot 5

FOOTAGE

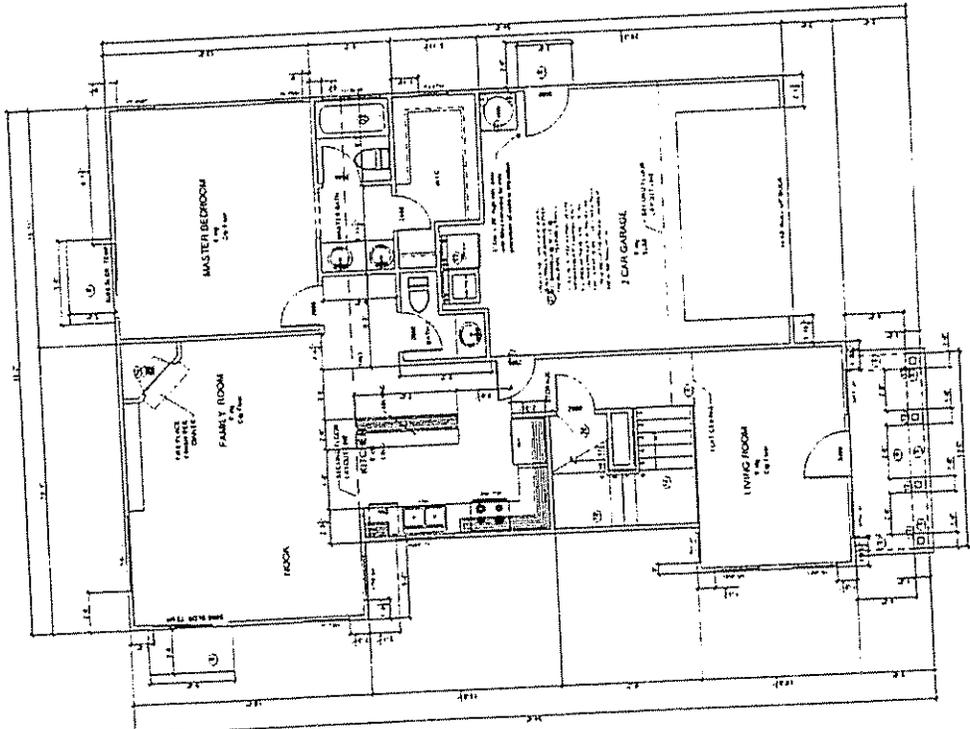
1ST FLOOR LIVING	1103 SF
2ND FLOOR LIVING	372 SF
SUB TOTAL LIVING	1775 SF
GARAGE	383 SF
COVER PORCH	85 SF
GARAGE TOTAL	2113 SF
STRUCTURE FOOTPRINT TOTAL	1500 SF

KEY NOTES

- 1) Floor finish to be determined by the architect.
- 2) See drawing for details.
- 3) See drawing for details.
- 4) See drawing for details.
- 5) See drawing for details.
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- 99) See drawing for details.
- 100) See drawing for details.

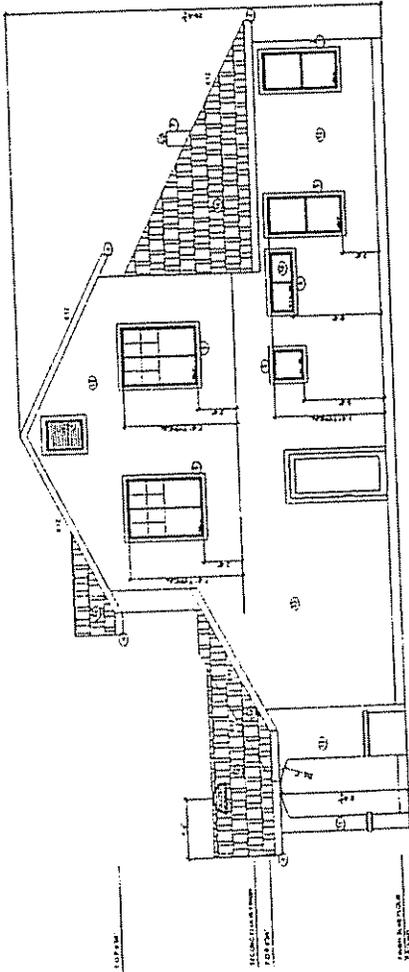


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

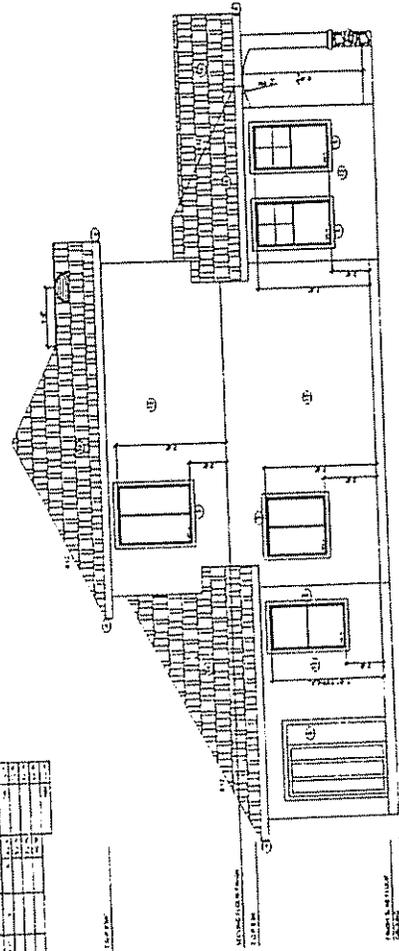


FIRST FLOOR PLAN

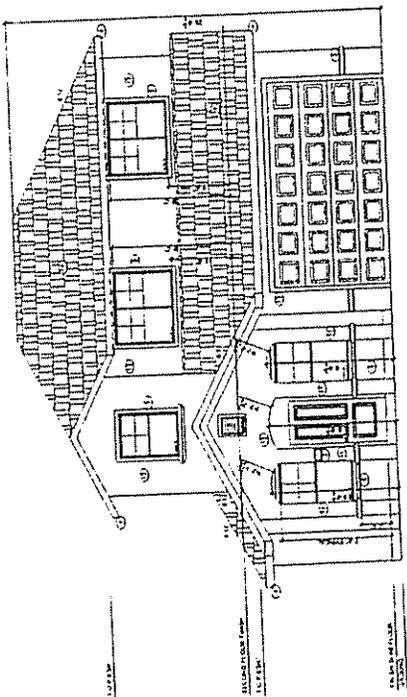
Attachment 8 – Elevations Lot 5



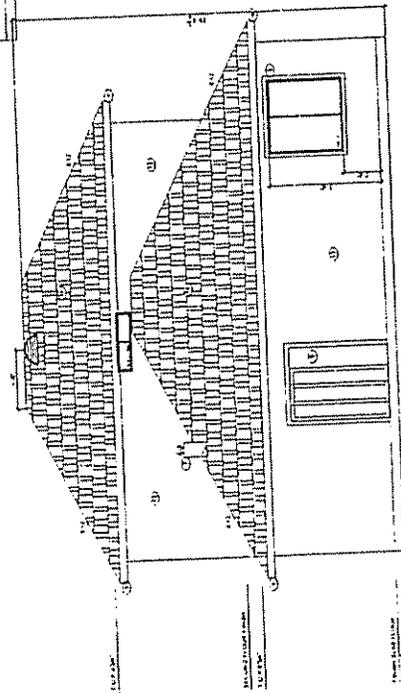
RIGHT ELEVATION PLAN
SCALE 1/4" = 1'-0"



LEFT ELEVATION PLAN
SCALE 1/4" = 1'-0"



FRONT ELEVATION PLAN
SCALE 1/4" = 1'-0"



REAR ELEVATION PLAN

ATTIC ROOF VENTILATION CALCULATIONS

Area	Volume	Area	Volume
Attic	1,200	Attic	1,200
Roof	1,200	Roof	1,200
Walls	1,200	Walls	1,200
Floors	1,200	Floors	1,200

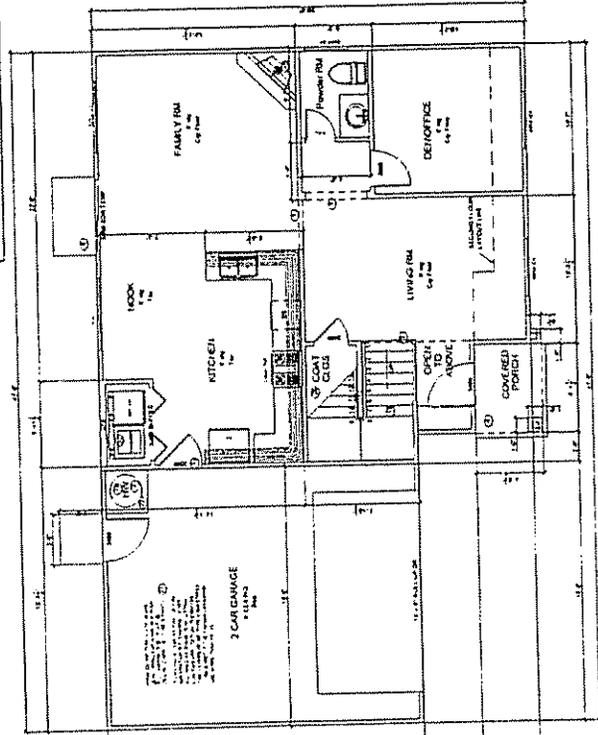
Area	Volume	Area	Volume
Attic	1,200	Attic	1,200
Roof	1,200	Roof	1,200
Walls	1,200	Walls	1,200
Floors	1,200	Floors	1,200

Area	Volume	Area	Volume
Attic	1,200	Attic	1,200
Roof	1,200	Roof	1,200
Walls	1,200	Walls	1,200
Floors	1,200	Floors	1,200

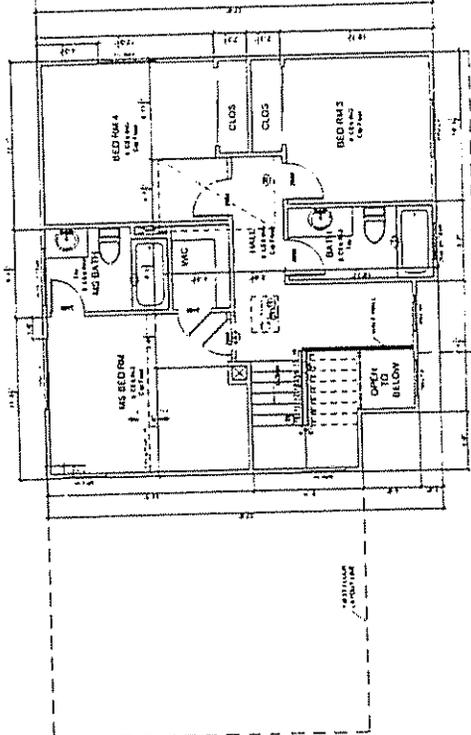
Attachment 9 – Floor Plan Lot 6

FOOTAGE

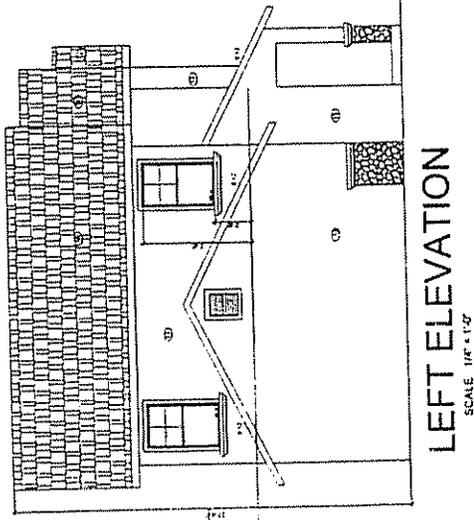
1ST FLOOR LIVING	829 SF
2ND FLOOR LIVING	822 SF
3RD FLOOR LIVING	1311 SF
4TH FLOOR LIVING	396 SF
CARAGE	28 SF
COVER PORCH	180 SF
GRAND TOTAL	1905 SF
STRUCTURE FOOT PRINT TOTAL	1293 SF



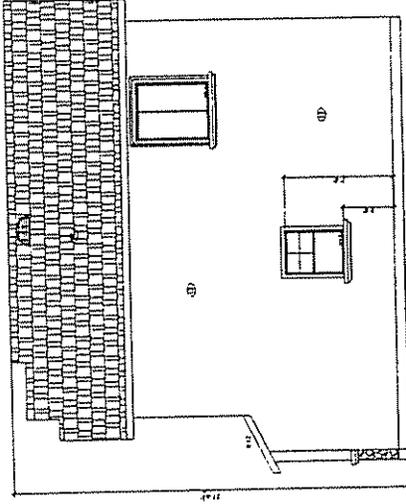
- KEY/LABELS**
- 1) Opened with 24" square openings @ 2' O.C. - See Section 101 for details.
 - 2) See Section 101 for details.
 - 3) See Section 101 for details.
 - 4) See Section 101 for details.
 - 5) See Section 101 for details.
 - 6) See Section 101 for details.
 - 7) See Section 101 for details.
 - 8) See Section 101 for details.
 - 9) See Section 101 for details.
 - 10) See Section 101 for details.



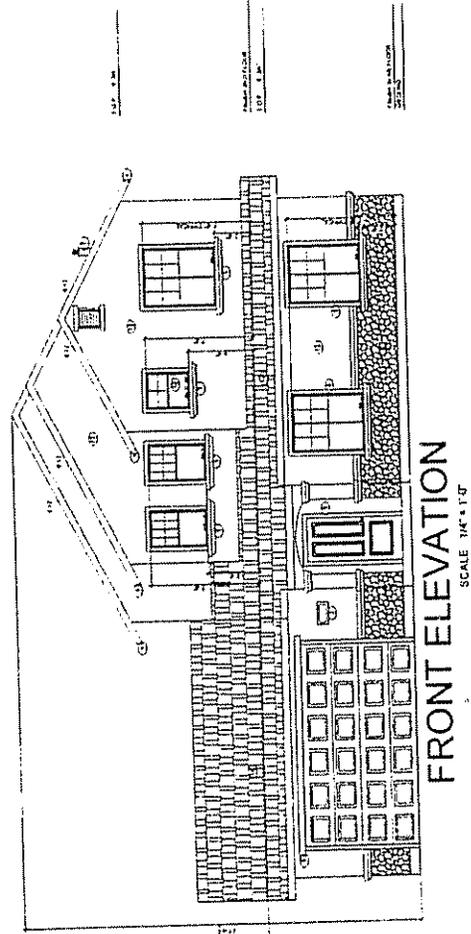
Attachment 10 – Elevations Lot 6



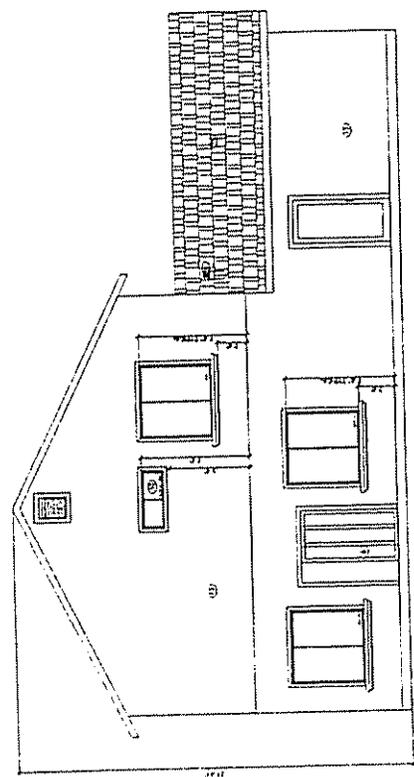
LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

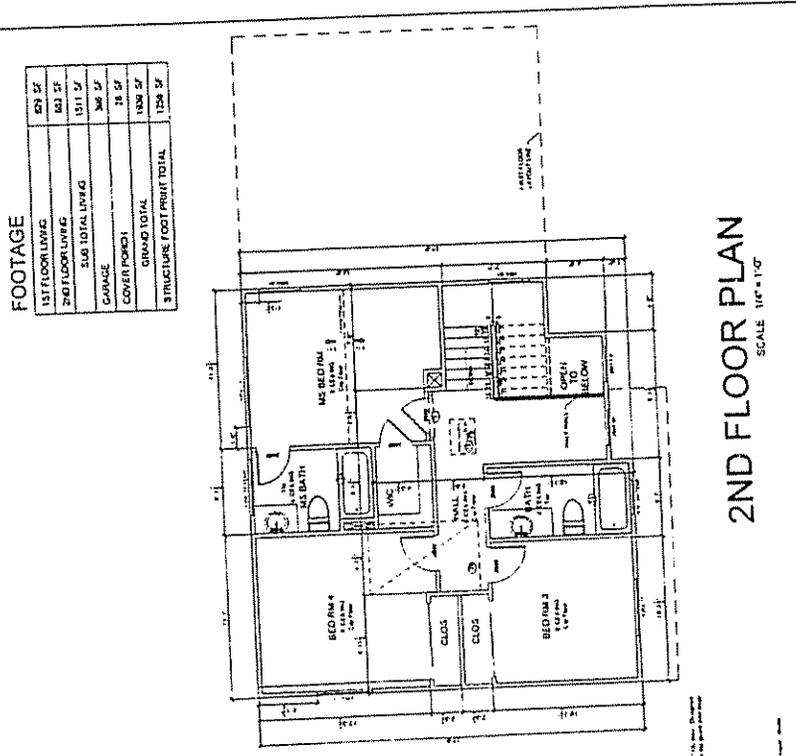


REAR ELEVATION
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

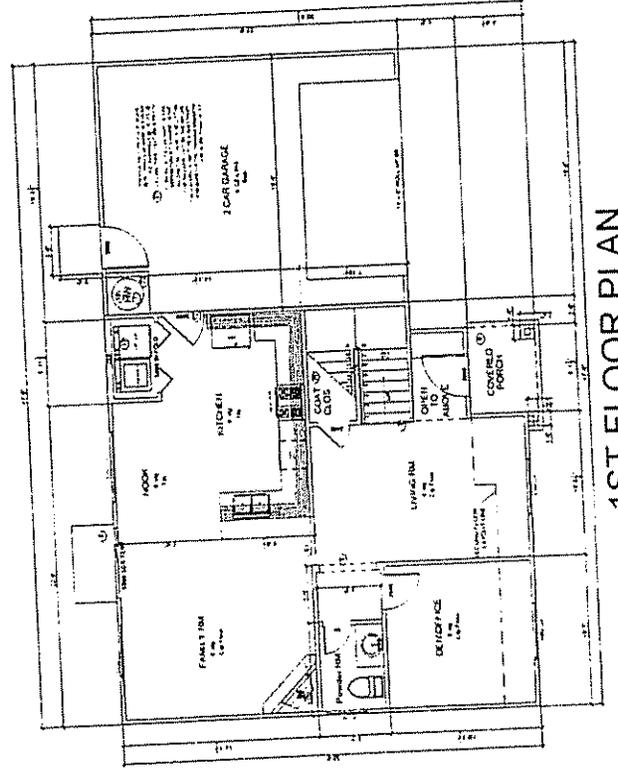
Area	Volume	Area	Volume
100	100	100	100
100	100	100	100
100	100	100	100
100	100	100	100

Attachment 11 – Floor Plan Lot 7



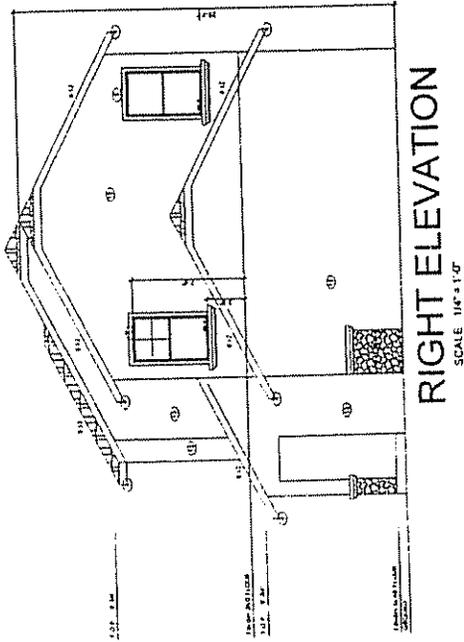
2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

- NOTES:**
- 1) All dimensions are in feet and inches.
 - 2) All areas are to be finished.
 - 3) All areas are to be finished.
 - 4) All areas are to be finished.
 - 5) All areas are to be finished.
 - 6) All areas are to be finished.
 - 7) All areas are to be finished.
 - 8) All areas are to be finished.
 - 9) All areas are to be finished.
 - 10) All areas are to be finished.

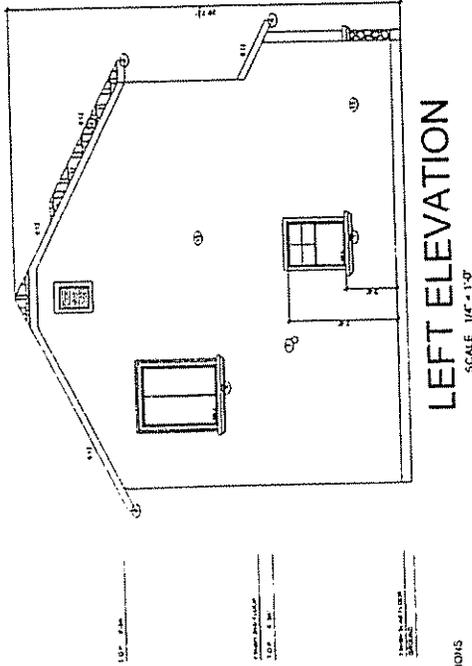


1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

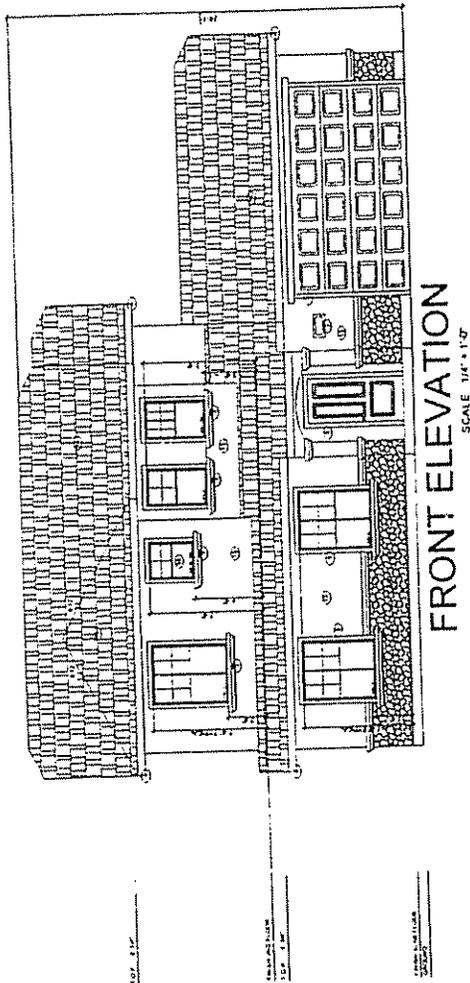
Attachment 12 – Elevations Lot 7



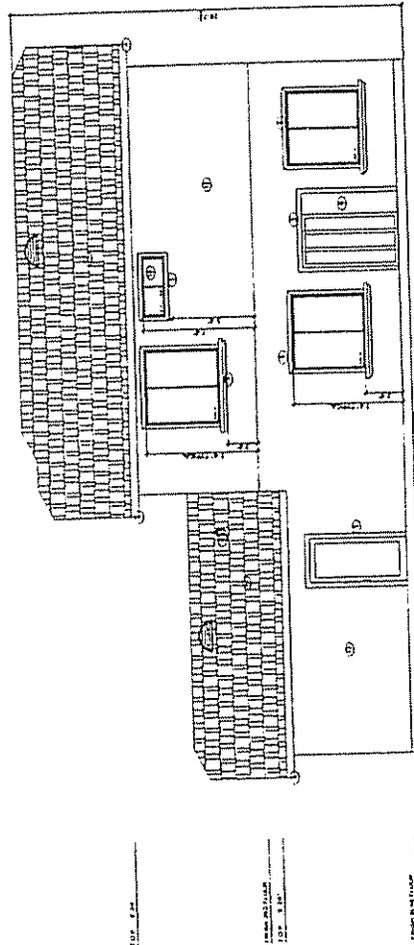
RIGHT ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

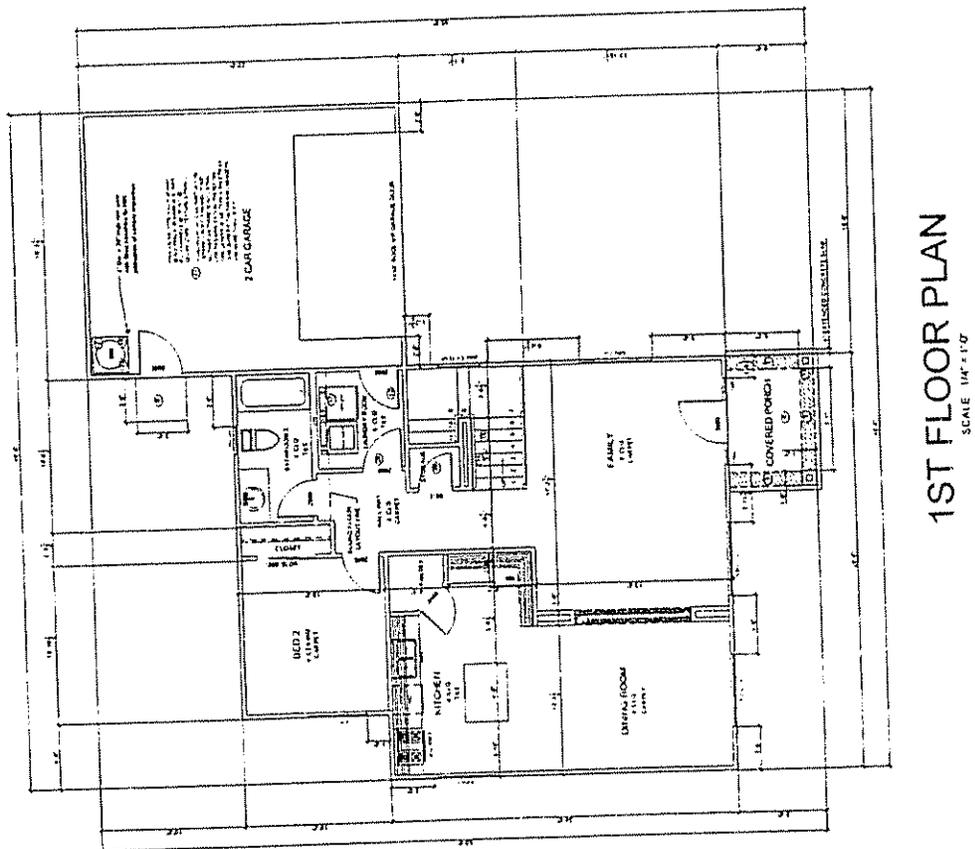
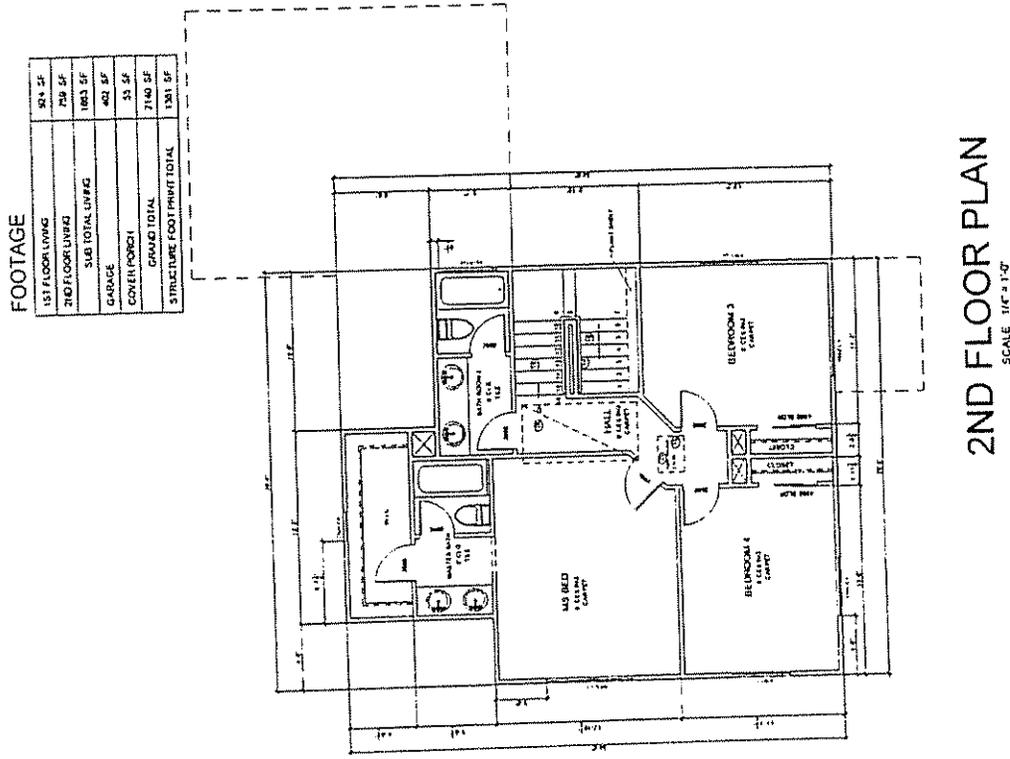


REAR ELEVATION
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

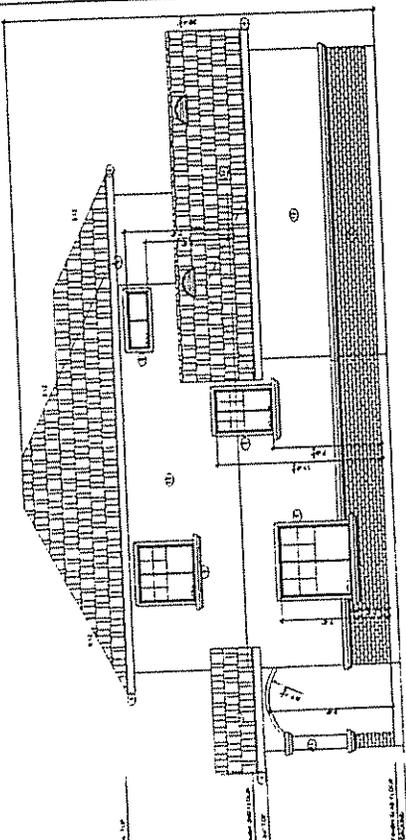
Area	Volume	Area	Volume
Attic	1,000	Attic	1,000
Roof	1,000	Roof	1,000
Walls	1,000	Walls	1,000
Floors	1,000	Floors	1,000
Windows	1,000	Windows	1,000
Doors	1,000	Doors	1,000
Chimney	1,000	Chimney	1,000
Other	1,000	Other	1,000
Total	10,000	Total	10,000

Attachment 13 – Floor Plan Lot 12

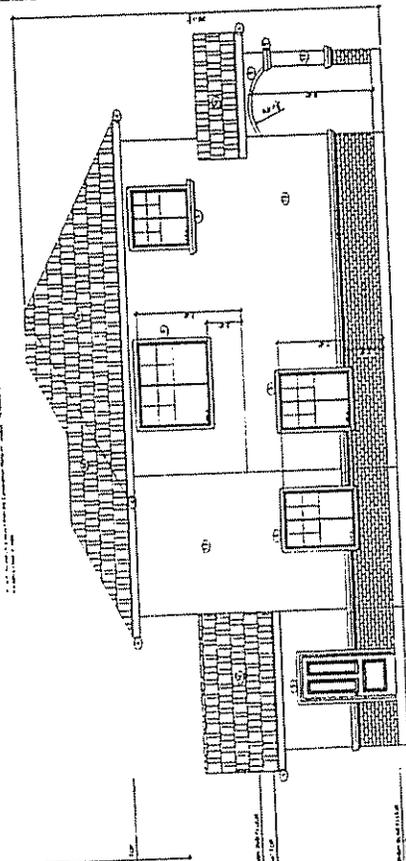


DETAILS

Attachment 14 – Elevations Lot 12



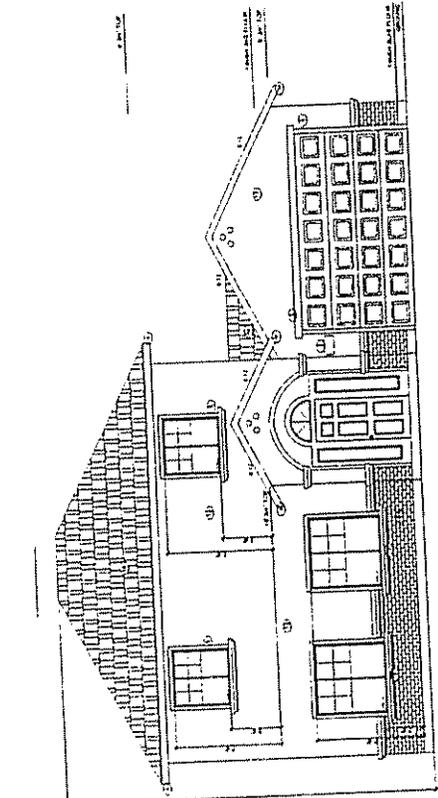
RIGHT ELEVATION PLAN
SCALE 1/4" = 1'-0"



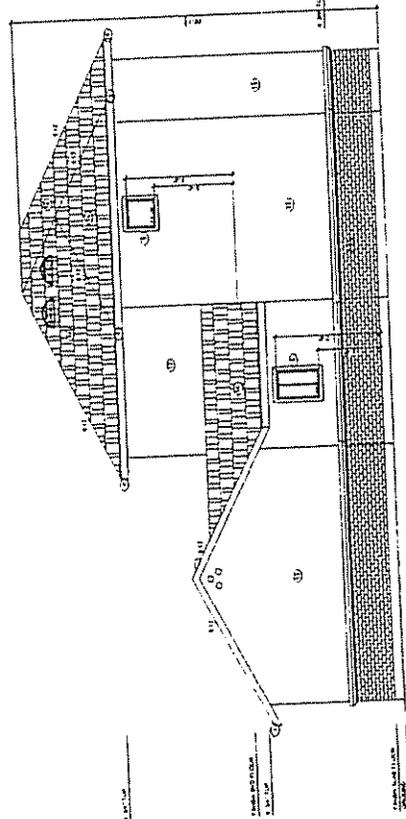
LEFT ELEVATION PLAN
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

Item	Area	Volume	Notes
Attic Floor Area	1,200 sq ft		
Attic Ceiling Area	1,200 sq ft		
Attic Volume		12,000 cu ft	
Roof Area	1,500 sq ft		
Roof Volume		15,000 cu ft	
Total Volume		27,000 cu ft	
Required Ventilation		1,350 sq ft	
Actual Ventilation		1,350 sq ft	



FRONT ELEVATION PLAN
SCALE 1/4" = 1'-0"



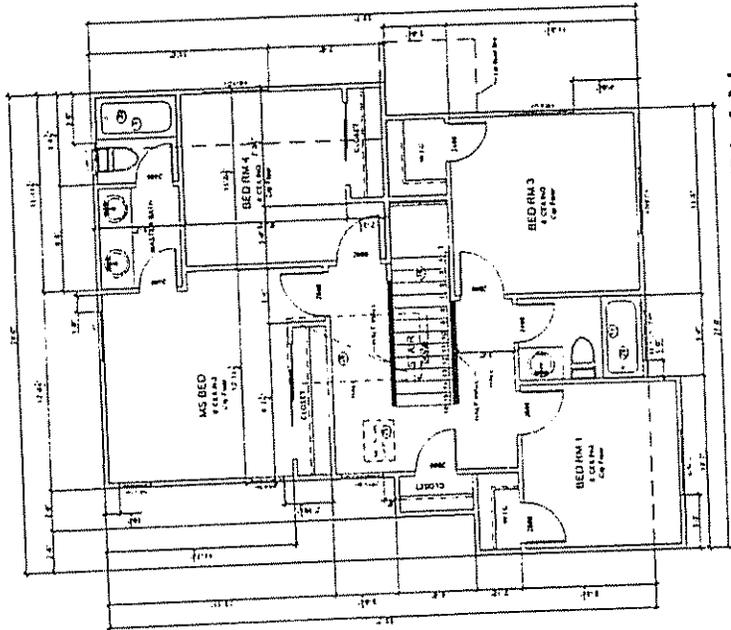
REAR ELEVATION PLAN
SCALE 1/4" = 1'-0"

Attachment 15 – Floor Plan Lot 13

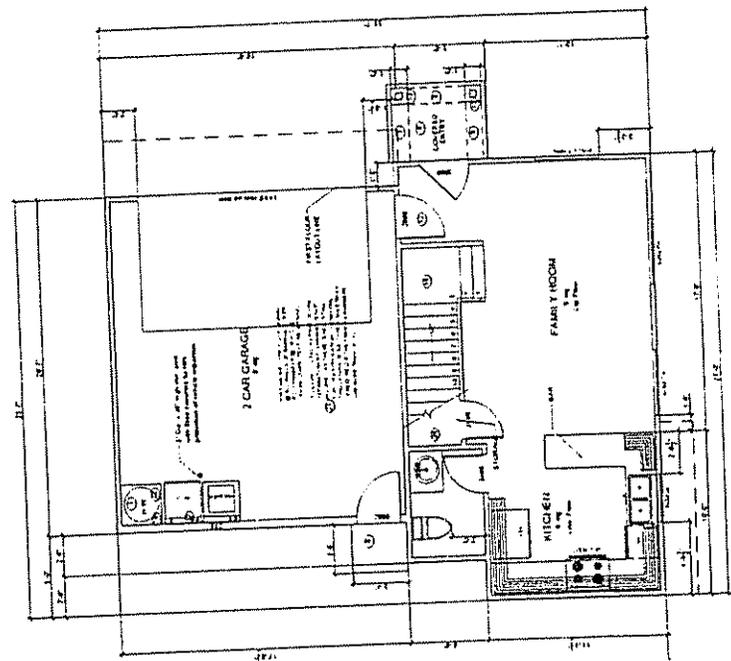
FOOTAGE

1ST FLOOR LIVING	418 SF
2ND FLOOR LIVING	800 SF
SUBI TOTAL LIVING	1218 SF
GARAGE	365 SF
COVER PORCH	25 SF
GRAND TOTAL	1608 SF
STRUCTURE FOOT PRINT TOTAL	806 SF

- KEY NOTES:**
- 1) ARCH DOOR TO BATH #10
 - 2) CLOSET
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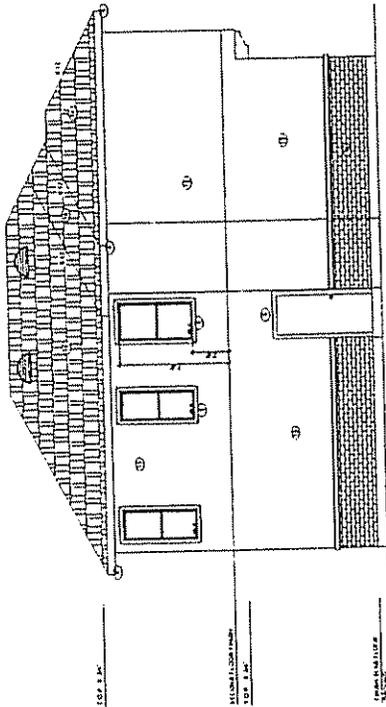


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

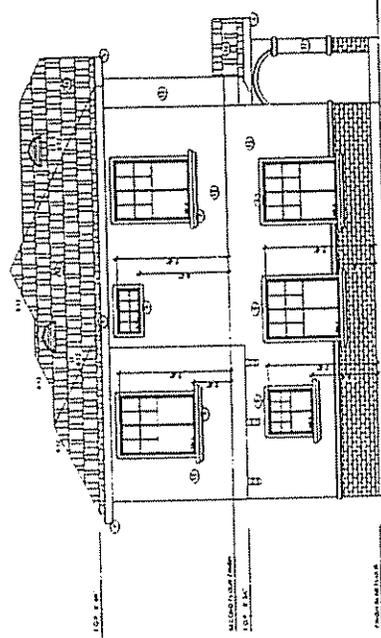


FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

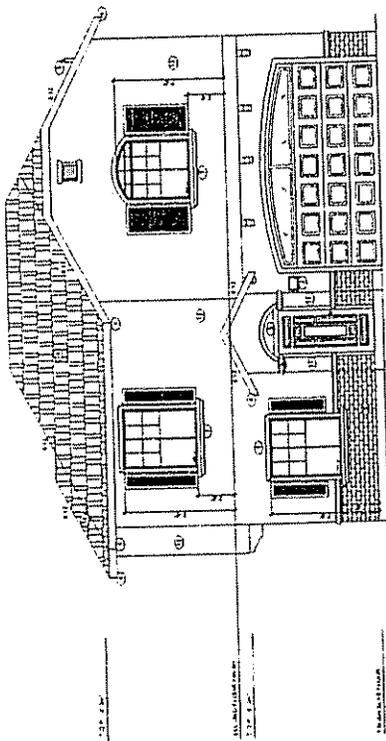
Attachment 16 – Elevations Lot 13



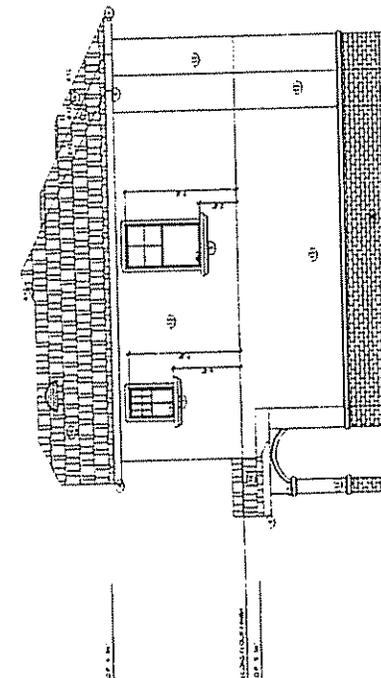
REAR ELEVATION PLAN
SCALE 1/4" = 1'-0"



LEFT ELEVATION PLAN



FRONT ELEVATION PLAN
SCALE 1/4" = 1'-0"



RIGHT ELEVATION PLAN

ATTIC ROOF VENTILATION CALCULATIONS

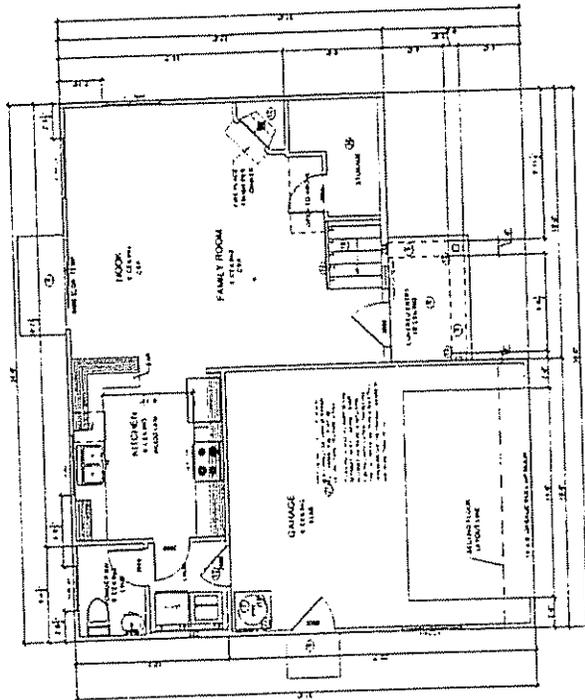
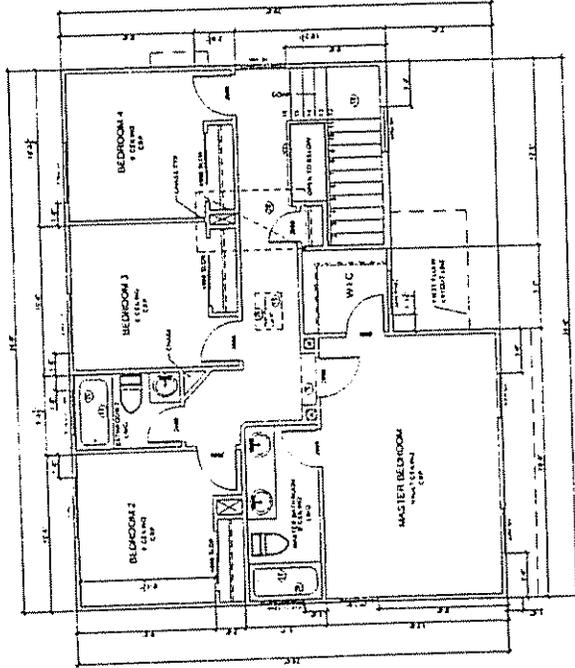
Item	Area	Volume	Notes
Attic Floor Area	1,200 sq ft		
Attic Ceiling Area	1,200 sq ft		
Attic Wall Area	1,200 sq ft		
Attic Roof Area	1,200 sq ft		
Attic Volume		1,200 cu ft	
Attic Vent Area	100 sq ft		
Attic Vent Volume		100 cu ft	
Attic Vent Ratio		1:12	

Attachment 17 – Floor Plan Lot 14

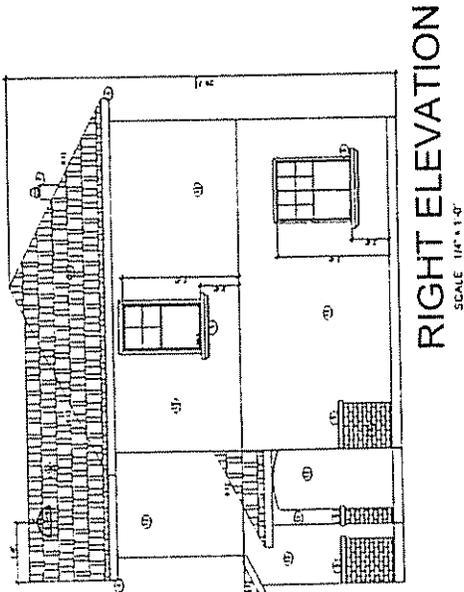
FOOTAGE

1ST FLOOR LIVING	892 SF
2ND FLOOR LIVING	845 SF
2ND FLOOR LIVING	147 SF
SUB TOTAL LIVING	210 SF
GARAGE	41 SF
COVER PORCH	184 SF
GRAND TOTAL	845 SF
STRUCTURE FOOT PRINT TOTAL	845 SF

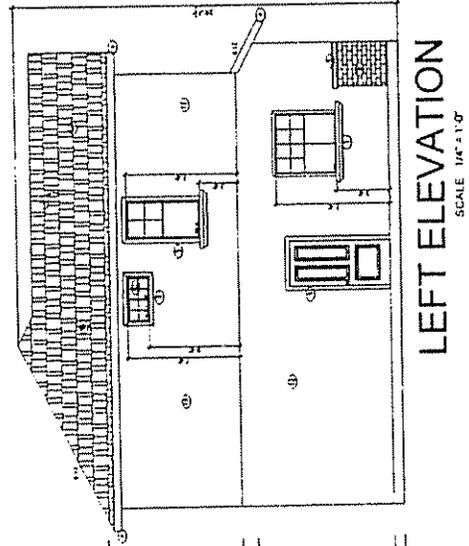
- KEY NOTES**
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. FINISHES TO BE DETERMINED BY OWNER.
 3. FINISHES TO BE DETERMINED BY OWNER.
 4. FINISHES TO BE DETERMINED BY OWNER.
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 49. FINISHES TO BE DETERMINED BY OWNER.
 50. FINISHES TO BE DETERMINED BY OWNER.



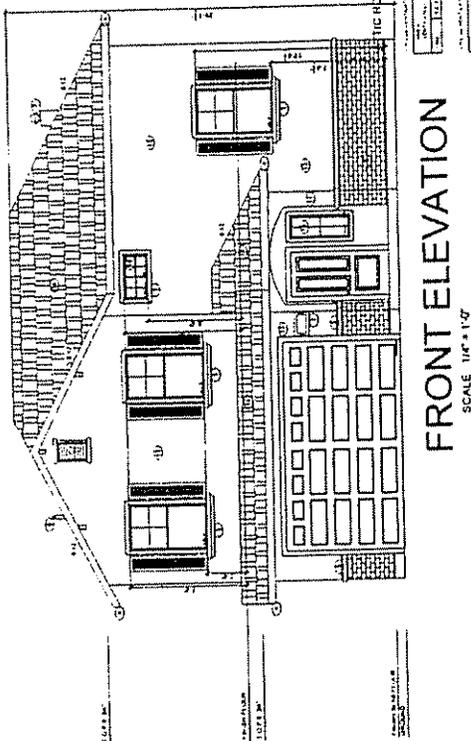
Attachment 18 – Elevations Lot 14



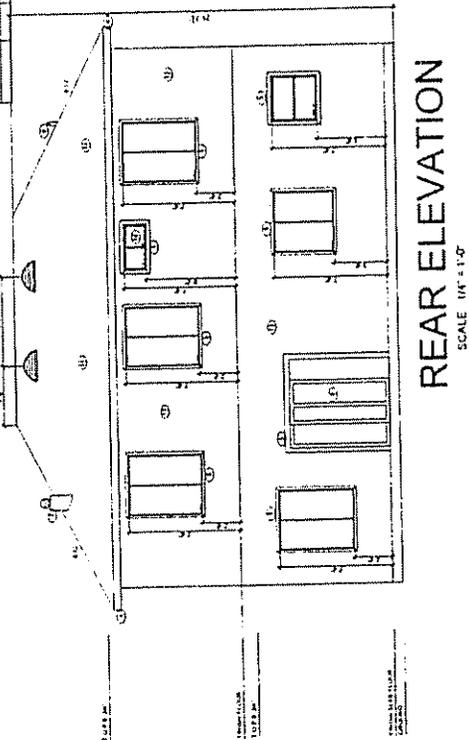
RIGHT ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

TYPIC ROOF VENTILATION CALCULATIONS

Roof Area (sq. ft.)	Volume (cu. ft.)	Area (sq. ft.)	Volume (cu. ft.)	Area (sq. ft.)	Volume (cu. ft.)
100	1000	100	1000	100	1000
200	2000	200	2000	200	2000
300	3000	300	3000	300	3000
400	4000	400	4000	400	4000
500	5000	500	5000	500	5000
600	6000	600	6000	600	6000
700	7000	700	7000	700	7000
800	8000	800	8000	800	8000
900	9000	900	9000	900	9000
1000	10000	1000	10000	1000	10000

NOTES:
1. THESE CALCULATIONS ARE BASED ON A ROOF PITCH OF 12/12.
2. THE VOLUME OF AIR IN A ROOM IS DIRECTLY RELATED TO THE ROOF AREA AND THE ROOF PITCH.
3. THE AREA OF THE ROOF IS DIRECTLY RELATED TO THE ROOF PITCH AND THE ROOF AREA.
4. THE VOLUME OF AIR IN A ROOM IS DIRECTLY RELATED TO THE ROOF AREA AND THE ROOF PITCH.

