

RESOLUTION NO. 2006-300

Adopted by the Sacramento City Council

May 4, 2006

**CONSIDERING THE MITIGATED NEGATIVE DECLARATION
AND MITIGATION MONITORING PLAN FOR THE PROPERTY
LOCATED AT 1650 ARCADE BOULEVARD (P05-072)
(APN: 265-0060-049), COUNCIL DISTRICT 3**

BACKGROUND

- A. On March 23, 2006, the City Planning Commission considered the Mitigated Negative Declaration and Mitigation Monitoring Plan;
- B. On May 4, 2006, the City Council heard and considered evidence in the above-mentioned matter.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

- Section 1. At the regular meeting of May 4, 2006, the City Council heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the City Council took the following actions for the location listed above:
- A. Adopted the Mitigated Negative Declaration;
 - B. Adopted the Mitigation Monitoring Plan.

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. Mitigated Negative Declaration: The City Council **approves** the Mitigated Negative Declaration, based upon the following findings:
 - 1. The Mitigated Negative Declaration was prepared and circulated for the above-identified project pursuant to the requirements of CEQA;
 - 2. The proposed Mitigated Negative Declaration and comments received during the public review process were considered prior to action being taken on the project, and

3. Based upon the Initial Study and the comments received during the public review process, there is no substantial evidence that the project will have a significant effect on the environment.

B. Mitigation Monitoring Plan: The Mitigation Monitoring Plan is **approved** based upon the following findings of fact:

1. One or more mitigation measures have been added to the above-identified project;
2. A Mitigation Monitoring Plan has been prepared to ensure compliance and implementation of the mitigation measures for the above-identified project, a copy of which is attached as Exhibit 1A;
3. The Mitigation Monitoring Plan meets the requirements of Public Resources Code Sec. 21081.6; and
4. The Mitigation Monitoring Plan is approved, and the mitigation measures shall be implemented and monitored as set forth in the Plan.

Table of Contents:

Exhibit A: Mitigation Monitoring Plan -- 11 pages

Adopted by the City of Sacramento City Council on May 4, 2006 by the following vote:

Ayes: Councilmembers Cohn, Fong, Hammond, Sheedy, Tretheway, Waters, and Mayor Fargo.

Noes: None.

Abstain: None.

Absent: Pannell, McCarty.

Mayor Heather Fargo

Attest:

Shirley Concolino, City Clerk

MITIGATION MONITORING PLAN

FOR
HAGGINWOOD ESTATES (P05-072)

**TYPE OF ENVIRONMENTAL DOCUMENT:
INITIAL STUDY/ NEGATIVE DECLARATION**

PREPARED FOR:
CITY OF SACRAMENTO, DEVELOPMENT SERVICES DEPARTMENT

DATE:
March 9, 2006

ADOPTED BY:
CITY OF SACRAMENTO
CITY PLANNING COMMISSION

DATE:

ATTEST:

**HAGGINWOOD ESTATES (P05-072)
MITIGATION MONITORING PLAN**

This Mitigation Monitoring Plan (MMP) has been required by and prepared for the City of Sacramento Development Services Department, Environmental Planning Services, 2101 Arena Blvd, Suite 200, Sacramento, CA 95834, pursuant to CEQA Guidelines Section 21081.6.

SECTION 1: PROJECT IDENTIFICATION

Project Name / File Number: Hagginwood Estates / P05-072
Owner/Developer- Name: Camille N. Beshara
Address: 4224 Tyrone Way
Carmichael, CA 95608

Project Location / Legal Description of Property (if recorded):

The proposed project is located at 1650 Arcade Boulevard in the North Sacramento Community Plan area of the City of Sacramento, Sacramento County (APN: 265-0060-049).

Project Description:

The proposed project consists of entitlements to allow the development of twelve (12) single family residences and two (2) halfplex lots on 1.57 ± net acres in the proposed Single Family Alternative (R-1A) zone located at 1650 Arcade Boulevard; (APN 265-0060-049). Specific entitlements include:

- A. Rezone** of 1.57 ± net acres from the Multi-Family (R-2A) zone to 1.57 ± net acres of the Single Family Alternative Residential (R-1A) zone;
- B. Tentative Subdivision Map** to subdivide 1.57 ± net acres into fourteen (14) single family lots;
- C. Special Permit** to construct fourteen single family residences within the Single Family Alternative (R-1A) zone.

SECTION 2: GENERAL INFORMATION

The Plan includes mitigation for Biological Resources, Noise, and Cultural Resources. The intent of the Plan is to prescribe and enforce a means for properly and successfully implementing the mitigation measures as identified within the Initial Study for this project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this Plan shall be funded by the owner/developer identified above. This Mitigation Monitoring Plan (MMP) is designed to aid the City of Sacramento in its implementation and monitoring of mitigation measures adopted for the proposed project.

The mitigation measures have been taken from the Initial Study and are assigned the same number they have in the document. The MMP describes the actions that must take place to implement each mitigation measure, the timing of those actions, and the entities responsible for implementing and monitoring the actions. The developer will be responsible for fully understanding and effectively implementing the mitigation measures contained with the MMP. The City of Sacramento will be responsible for ensuring compliance.

**HAGGINWOOD ESTATES (P05-072)
MITIGATION MONITORING PLAN**

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
7. BIOLOGICAL RESOURCES					
BR-1. Prior to issuance of any grading permits, the applicant shall submit all grading and trenching plans to the Urban Forest Services' City Arborist for review to ensure protection of Heritage trees located on site. The City Arborist will provide written verification and additional protection measures not available at this time to the City's Development Services Department prior to issuance of the grading permit.	Applicant / Developer	City Development Services Department, City Urban Forest Services	Verification of compliance from the Urban Forest Services Arborist shall be provided to Development Services Staff prior to issuance of grading permits.	Measures shall be implemented prior to issuance of any grading or building permits or as agreed upon by the Urban Forest Services Arborist	
BR-2. Heritage trees identified by the City Arborist (listed in the Arborist Report as numbers 14, 18, 19, 23, 26, and 27), both on- and off-site, are recommended for preservation to the extent feasible without substantially altering the project site plan. If trees should require removal, the applicant/developer shall obtain authorization through a tree removal permit from the City Urban Forest Services. The project	Applicant / Developer	City Development Services Department, City Urban Forest Services	Verification of compliance from the Urban Forest Services Arborist shall be provided to Development Services Staff prior to issuance of grading permits.	Measures shall be implemented prior to issuance of any grading or building permits or as agreed upon by the Urban Forest Services Arborist	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>applicant/developer shall coordinate with the City of Sacramento Urban Forest Services Division to identify any trees able to be preserved. If trees are identified for preservation, the applicant/developer shall coordinate with the Urban Forest Services Division in preparation of a preservation plan for any and all trees identified for preservation. The preservation plan shall include, but not be limited to the following measures BR-3 thru BR-6 to prevent impacts to the trees during construction of the proposed project:</p>					
<p>BR-3. The contractor shall hire an International Society of Arboriculture (ISA) certified arborist to perform any required pruning for equipment clearance. The contractor shall contact the City Arborist (Duane Goosen 808-4996) for a root inspection(s) for trenching activities within the dripline(s) of trees to be saved.</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
<p>BR-4. If during excavation for the project, tree roots greater than two inches in diameter are</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications	Measures shall be implemented prior to and during	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>encountered, work shall stop immediately until the City Arborist can perform an on-site inspection. All roots shall be cut clean and the tree affected may require supplemental irrigation/fertilization and pruning as a result of the root cutting. The contractor will be responsible for any costs incurred. Depending upon the amount of roots encountered and the time of year, wet burlap may be required along the sides of the trench.</p>			and Plans	grading and construction activities as agreed upon by the Urban Forest Services Arborist	
<p>BR-5 The contractor shall be held liable for any damage to existing trees, i.e. trunk wounds, broken limbs, pouring of any deleterious materials, or concrete washout under the dripline of the trees. Damages will be assessed using the "Guide to Plant Appraisal" eighth edition, published by the International Society of Arboriculture. An appraisal report shall be submitted for review by the City Arborist.</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
<p>BR-6 No lawn irrigation system shall be installed within 8 feet of the trunk of any</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications	Measures shall be implemented prior to and during	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
BR-7. Heritage tree that is to be preserved unless otherwise approved by Urban Forest Services No planting of landscaping within 6 feet of the trunk of any Heritage tree that is to be preserved unless otherwise approved by Urban Forest Services.	Applicant / Developer	City Development Services Department, City Urban Forest Services	and Plans Mitigation Measures, shall be included on the Construction Specifications and Plans	grading and construction activities as agreed upon by the Urban Forest Services Arborist	
BR-8. No trenching activity within 8 feet of the trunk of any Heritage tree that is to be preserved unless otherwise approved by Urban Forest Services	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
BR-9. No grading activity within 6 feet of the trunk of any Heritage tree that is to be preserved unless otherwise approved by Urban Forest Services. In the absence of an approved grading plan, the applicant/developer shall agree to mitigate for the loss of any Heritage tree that the City Arborist determines has been irreparably damaged by grading or other construction activity.	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon by the Urban Forest Services Arborist	
BR-10. City Ordinances 12 56.060 (Protection of trees), 12 64 040 (Protection of Heritage trees during construction activities), and 12 64 050	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	Measures shall be implemented prior to and during grading and construction activities as agreed upon	

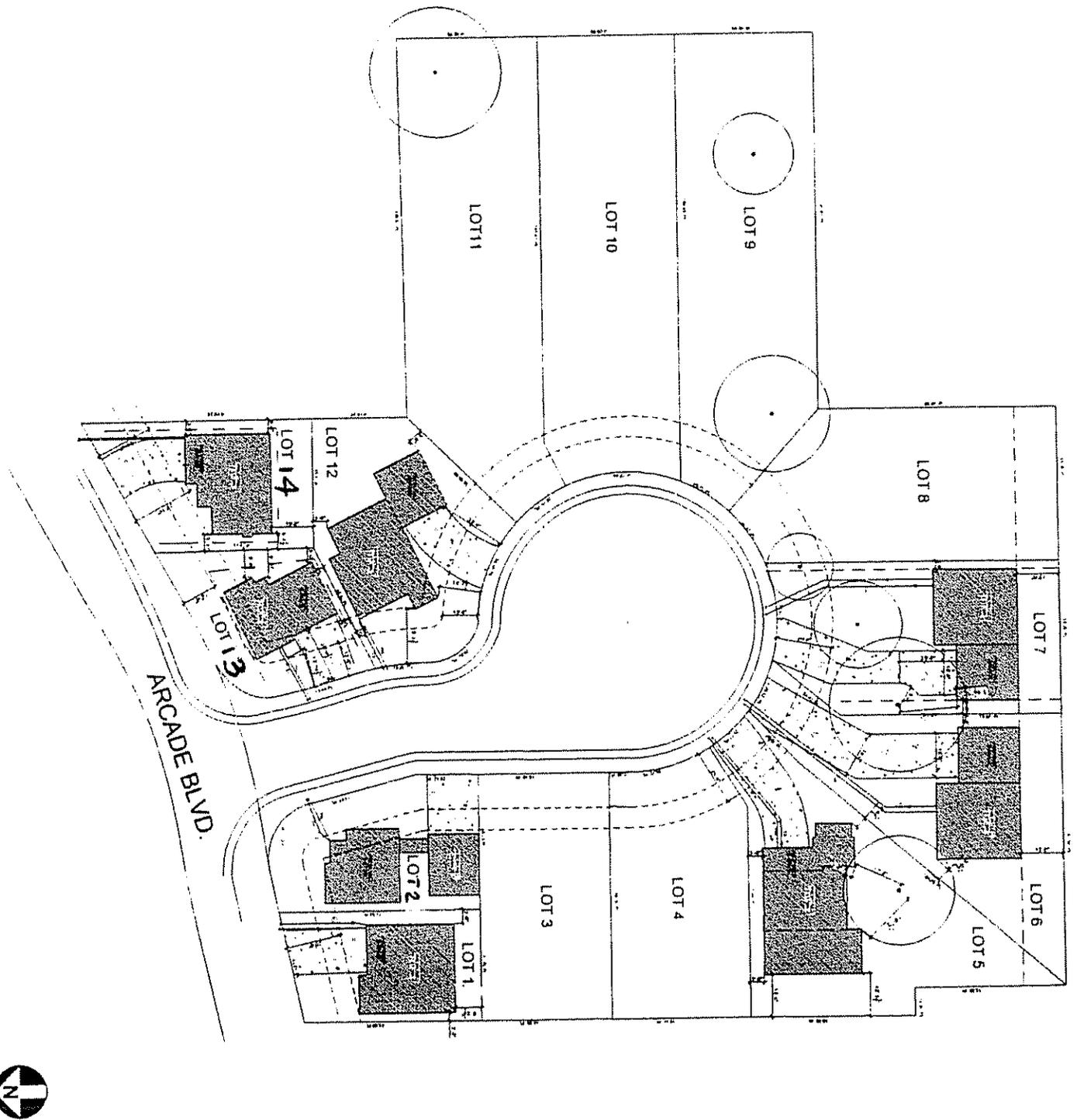
			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>(Maintenance responsibility – Permits for activities affecting Heritage trees) must be followed at all phases of construction.</p> <p>BR-11 Tree protection methods noted above shall be identified on all construction plans for the project.</p>	Applicant / Developer	City Development Services Department, City Urban Forest Services	Mitigation Measures, shall be included on the Construction Specifications and Plans	by the Urban Forest Services Arborist	
BR-12 For Heritage Trees (Tree #15, Tree #16, and Tree #17) that are unable to be preserved, prior to removal of these trees, the project applicant/developer shall coordinate with City of Sacramento Urban Forest Services Division to obtain the necessary permits for removal of the trees in accordance with the Heritage Tree Ordinance (City Code 12.64) The City Arborist has calculated a mitigation value that totals \$20,300.00 for the removal of trees #15 (\$6,000.), #16 (\$10,300.), and #17 (\$4,000.) Verification of payment shall be provided to the Development Services Department. This value would be used to provide planting and care of replacement trees. If some trees can be saved, this	Applicant / Developer	City Development Services Department, City Urban Forest Services	Verification of compliance from the Urban Forest Services Arborist shall be provided to Development Services Staff prior to issuance of grading permits.	Measure shall be implemented prior to issuance of any grading or building permits or as agreed upon by the Urban Forest Services Arborist.	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>value will be reduced by the value of the tree to be saved as provided by the City Arborist. Additionally, the Landscape Plan may provide on-site mitigation, which will be credited at a rate of \$300 per planted 15 gallon tree subject to the following City of Sacramento Urban Forest Services conditions:</p> <ul style="list-style-type: none"> • mitigation planting is limited to separated sidewalk planters unless otherwise approved by Urban Forest Services • irrigation design and programming reviewed and approved by Urban Forest Services • review and approval of species by Urban Forest Services • inspection of nursery stock (prior to planting) by Urban Forest Services <p>a post-planting inspection by Urban Forest Services.</p>					
10. NOISE					
N-1. Prior to issuance of final building permits,	Applicant / Developer	City Development Services Department	Mitigation Measures shall be included on	Prior to finaling of building	

			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>the applicant/developer shall, for lots siding directly towards Arcade Boulevard (Lot 13), a minimum 6-foot high, solid wood fence without gaps between the boards shall be constructed at a minimum along the line representing the extension of the north facing wall of the residential unit (siding on to Arcade Boulevard) extending to the rear property boundary (eastern boundary) providing a barrier to the rear yard area of the lot</p> <p>N-2 Prior to issuance of final building permits, the applicant/developer shall install air conditioning or mechanical ventilation systems for all residential units adjacent to Arcade Boulevard</p>	Applicant / Developer	City Development Services Department	<p>the Map and within the Standard Construction Specifications</p> <p>Verification of compliance shall be provided to the Development Services Staff</p> <p>Verification of compliance shall be provided to the Development Services Staff</p>	<p>permits</p> <p>Prior to finaling of building permits</p>	
<p>14. CULTURAL RESOURCES:</p> <p>CR-1. If subsurface archaeological or historical remains are discovered during construction, work in the area shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any</p>	Applicant / Developer	City Development Services Department	<p>Mitigation Measures shall be included on the Map and within the Standard Construction Specifications</p> <p>Verification of compliance shall be provided to the Development Services Staff</p>	Measures shall be implemented in field during grading and construction activities	

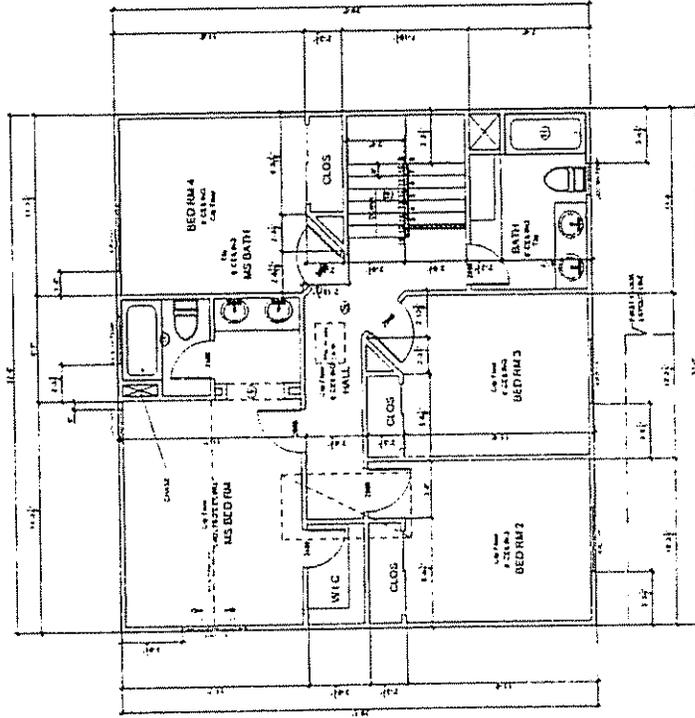
			VERIFICATION OF COMPLIANCE		
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials / Date)
<p>archaeological impact to a less-than-significant level before construction continues.</p> <p>CR-2 If human burials are encountered, all work in the area shall stop immediately and the Sacramento County Coroner's office shall be notified immediately. If the remains are determined to be Native American in origin, both the Native American Heritage Commission and any identified descendants must be notified and recommendations for treatment solicited (CEQA Section 15064.5); Health and Safety Code Section 7050.5; Public Resources Code Section 5097.94 and 5097.98</p>	Applicant / Developer	City Development Services Department	Mitigation Measures shall be included on the Map and within the Standard Construction Specifications. If required, verification of compliance shall be provided to the Development Services Staff	Measures shall be implemented in field during grading and construction activities.	

Attachment 2 – Site Plan

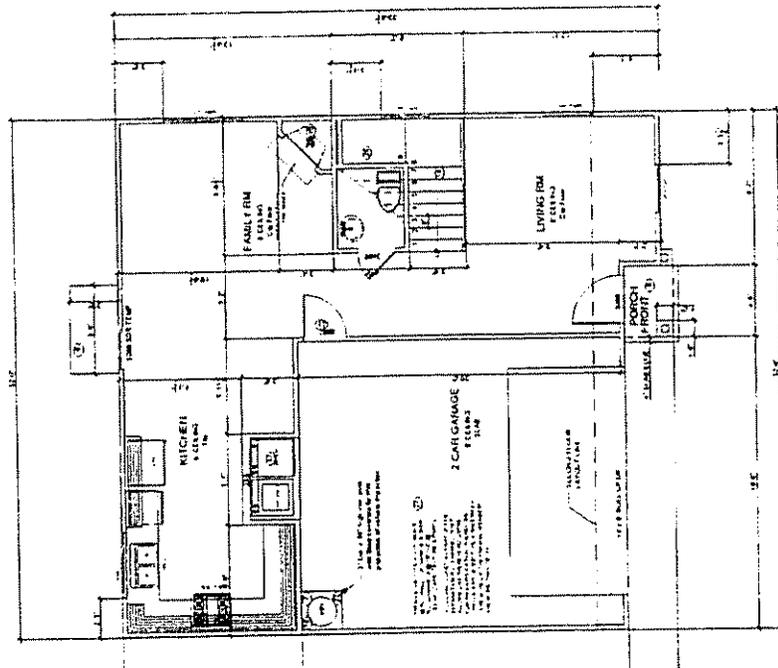


FOOTAGE

1ST FLOOR LIVING	646 SF
2ND FLOOR LIVING	603 SF
SUB TOTAL LIVING	1249 SF
GARAGE	201 SF
COVER PORCH	13 SF
GRAND TOTAL	1463 SF
STRUCTURE FOOT PRINT TOTAL	1000 SF



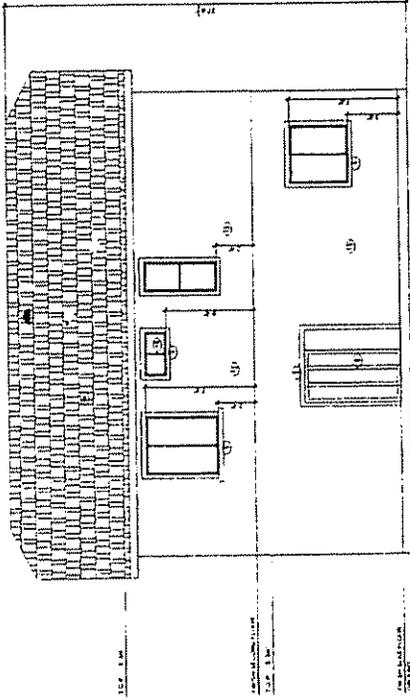
2ND FLOOR PLAN
SCALE 1/4" = 1'-0"



1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

KEY NOTES

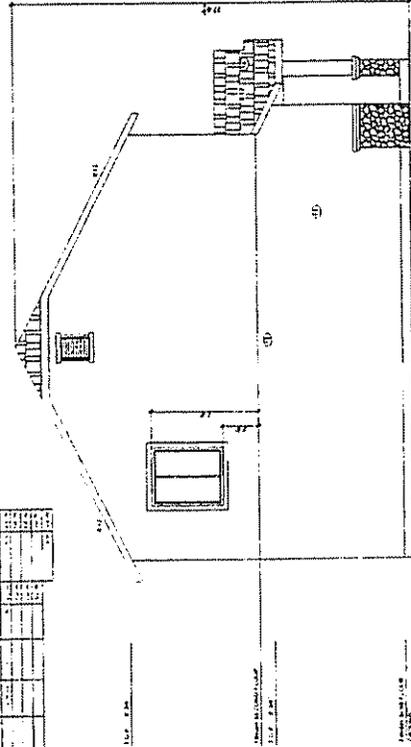
- 1) ALL DOOR ENTRY
- 2) CLIP THE HOLDING PAD
- 3) CLOSET DOOR AT 1/2" FROM TOP OF CASE
- 4) CLOSET DOOR AT 1/2" FROM TOP OF CASE
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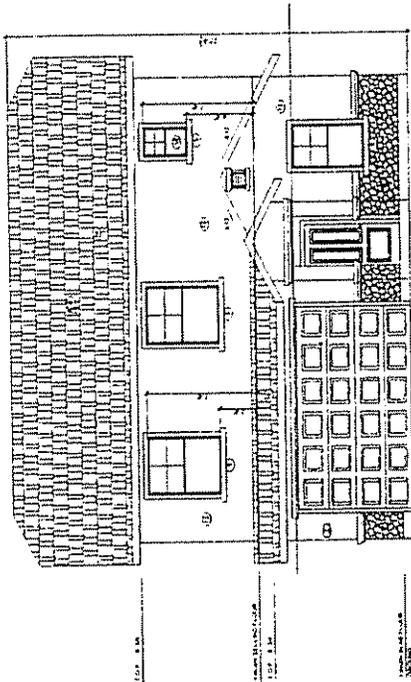
REAR ELEVATION
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

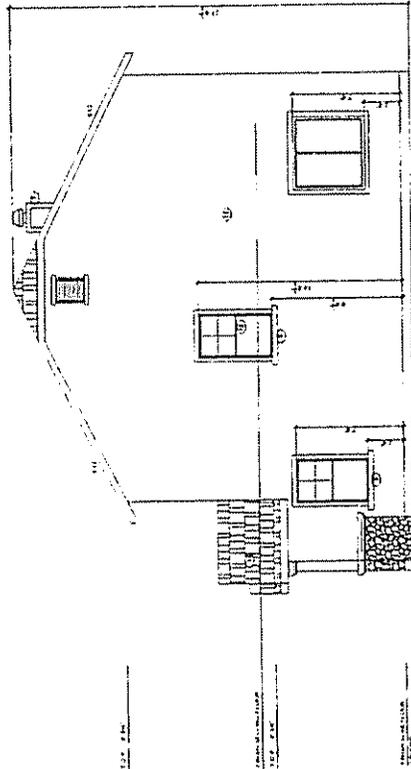
Item	Area (sq. ft.)	U-Value	Loss (BTU/hr)
Attic Floor	1,200	0.15	180
Attic Ceiling	1,200	0.15	180
Attic Walls	1,200	0.15	180
Attic Windows	100	0.30	30
Attic Doors	100	0.30	30
Attic Roof	1,200	0.15	180
Total	4,900	0.15	600



LEFT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"



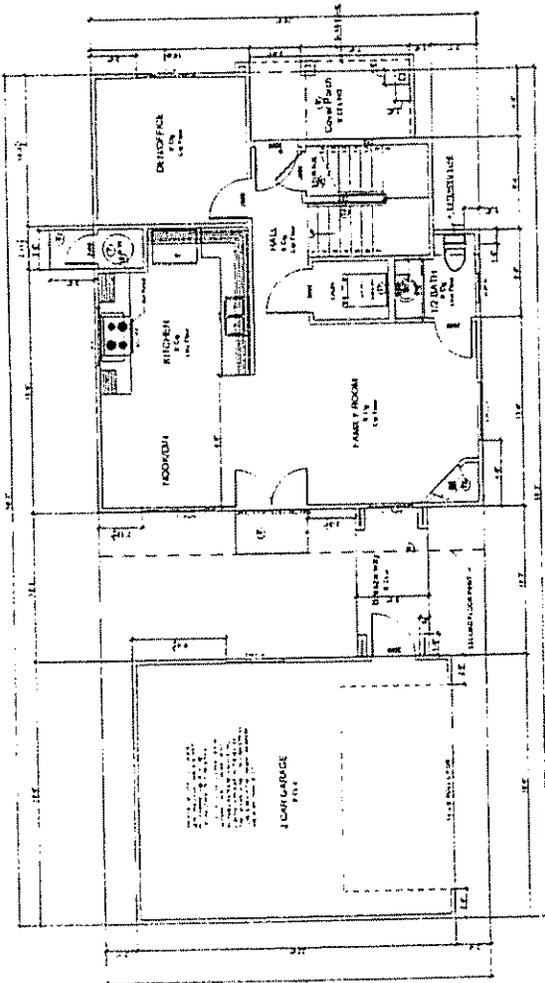
RIGHT ELEVATION
SCALE 1/4" = 1'-0"

FOOTAGE

1ST FLOOR LIVING	720 SF
2ND FLOOR LIVING	1782 SF
1ST FLOOR TOTAL LIVING	1418 SF
GARAGE	306 SF
CORNER PORCH & BREEZE WAY	110 SF
GRAND TOTAL	1834 SF
STRUCTURE FOOTPRINT TOTAL	1308 SF

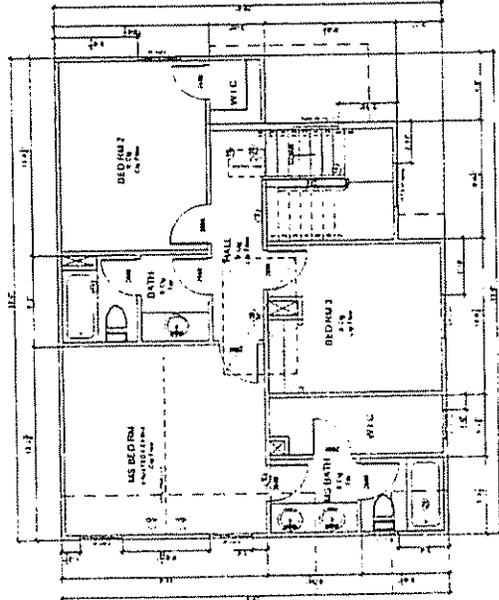
LEGEND

- 1. All dimensions are in feet and inches.
- 2. All dimensions are to the center of the wall unless otherwise noted.
- 3. All dimensions are to the center of the door unless otherwise noted.
- 4. All dimensions are to the center of the window unless otherwise noted.
- 5. All dimensions are to the center of the column unless otherwise noted.
- 6. All dimensions are to the center of the beam unless otherwise noted.
- 7. All dimensions are to the center of the slab unless otherwise noted.
- 8. All dimensions are to the center of the ceiling unless otherwise noted.
- 9. All dimensions are to the center of the floor unless otherwise noted.
- 10. All dimensions are to the center of the wall unless otherwise noted.
- 11. All dimensions are to the center of the door unless otherwise noted.
- 12. All dimensions are to the center of the window unless otherwise noted.
- 13. All dimensions are to the center of the column unless otherwise noted.
- 14. All dimensions are to the center of the beam unless otherwise noted.
- 15. All dimensions are to the center of the slab unless otherwise noted.
- 16. All dimensions are to the center of the ceiling unless otherwise noted.
- 17. All dimensions are to the center of the floor unless otherwise noted.
- 18. All dimensions are to the center of the wall unless otherwise noted.
- 19. All dimensions are to the center of the door unless otherwise noted.
- 20. All dimensions are to the center of the window unless otherwise noted.
- 21. All dimensions are to the center of the column unless otherwise noted.
- 22. All dimensions are to the center of the beam unless otherwise noted.
- 23. All dimensions are to the center of the slab unless otherwise noted.
- 24. All dimensions are to the center of the ceiling unless otherwise noted.
- 25. All dimensions are to the center of the floor unless otherwise noted.



1ST FLOOR PLAN

SCALE 1/4" = 1'-0"



2ND FLOOR PLAN

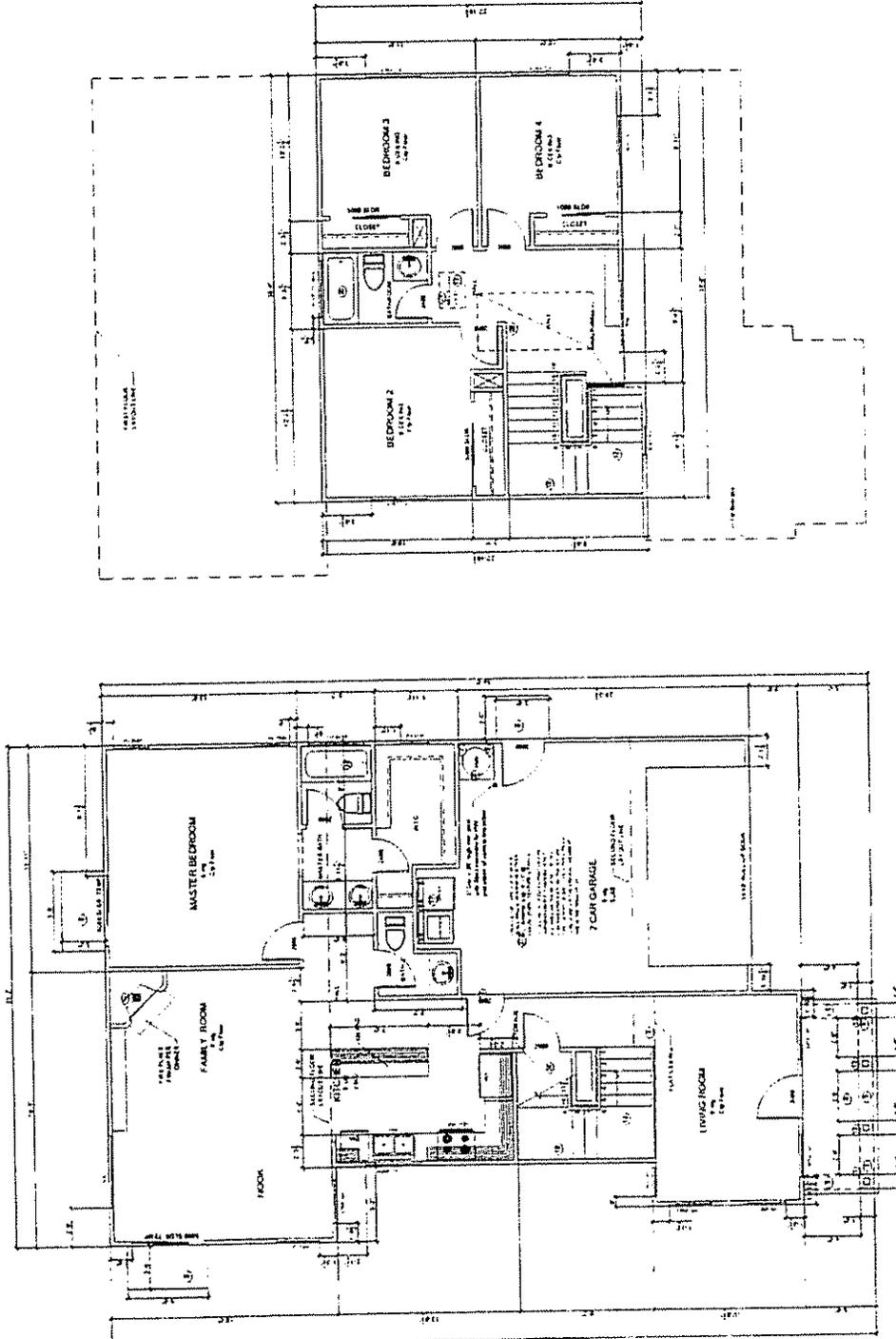
ALL OF THE FIRE TENDR WALLS OF BEDROOMS ARE INDICATED WITH RED FOR SMOKE BARRIER TYPICAL.

FOOTAGE

1ST FLOOR LIVING	1133 SF
2ND FLOOR LIVING	572 SF
SUB TOTAL LIVING	1725 SF
GARAGE	303 SF
COVER PORCH	65 SF
GRAND TOTAL	2113 SF
STRUCTURE FOOTPRINT TOTAL	1506 SF

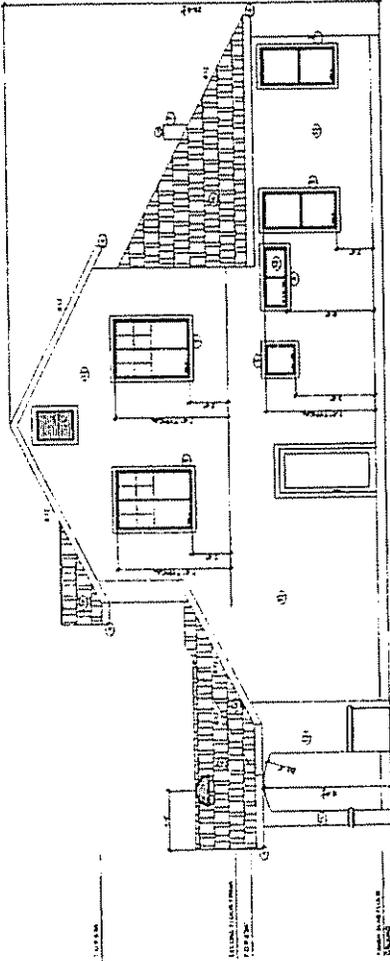
KEY NOTES

- 1) Floor areas are based on finished floor elevations being used for building permits.
- 2) Area within lines.
- 3) Actual 2017.7 sq. ft. area.
- 4) Common hallway and stairs.
- 5) Common on floor area to be used.
- 6) Area within lines shown on this plan.
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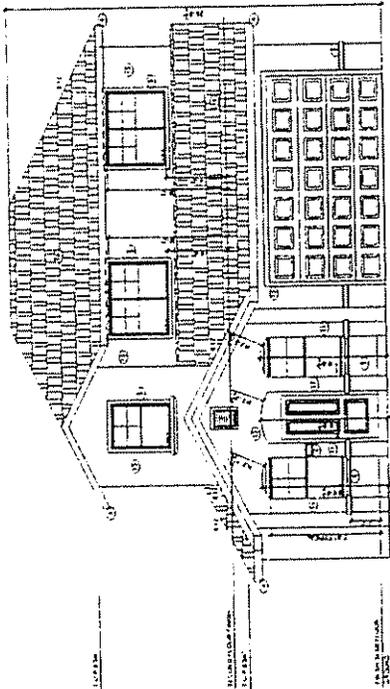


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

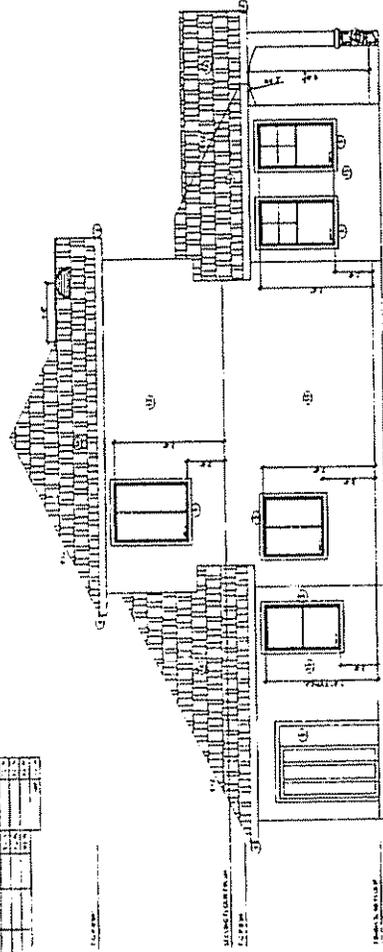
FIRST FLOOR PLAN



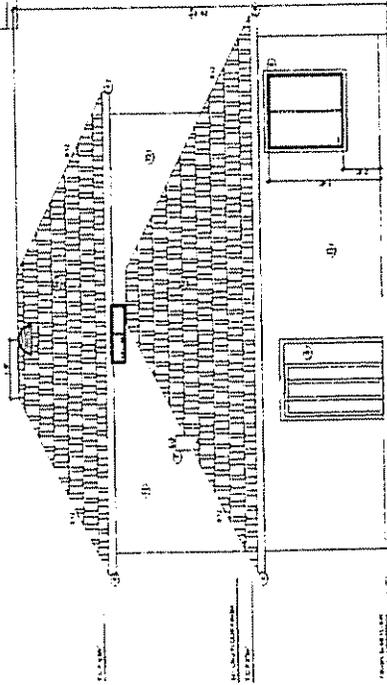
RIGHT ELEVATION PLAN
SCALE 1/4" = 1'-0"



FRONT ELEVATION PLAN
SCALE 1/4" = 1'-0"



LEFT ELEVATION PLAN
SCALE 1/4" = 1'-0"



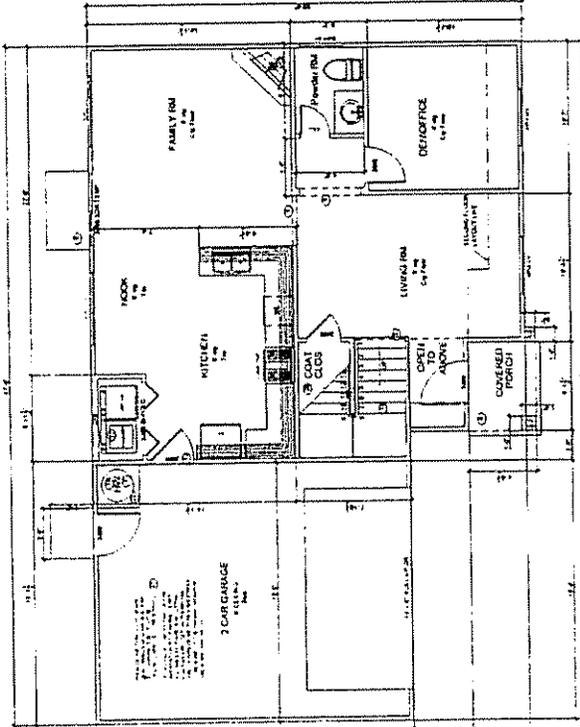
REAR ELEVATION PLAN

ATTIC ROOF VENTILATION CALCULATIONS

ITEM	DESCRIPTION	AREA (SQ. FT.)	VENT. COEFF.	VENT. AREA (SQ. FT.)
1	Attic Roof	1,200	0.001	1.2
2	Attic Floor	1,200	0.001	1.2
3	Attic Wall	1,200	0.001	1.2
4	Attic Ceiling	1,200	0.001	1.2
5	Attic Window	100	0.001	1.0
6	Attic Door	100	0.001	1.0
7	Attic Vent	100	0.001	1.0
8	Attic Hatch	100	0.001	1.0
9	Attic Stair	100	0.001	1.0
10	Attic Landing	100	0.001	1.0
11	Attic Hall	100	0.001	1.0
12	Attic Room	100	0.001	1.0
13	Attic Bath	100	0.001	1.0
14	Attic Kitchen	100	0.001	1.0
15	Attic Living	100	0.001	1.0
16	Attic Dining	100	0.001	1.0
17	Attic Bedroom	100	0.001	1.0
18	Attic Closet	100	0.001	1.0
19	Attic Storage	100	0.001	1.0
20	Attic Utility	100	0.001	1.0
21	Attic Laundry	100	0.001	1.0
22	Attic Entry	100	0.001	1.0
23	Attic Porch	100	0.001	1.0
24	Attic Deck	100	0.001	1.0
25	Attic Terrace	100	0.001	1.0
26	Attic Balcony	100	0.001	1.0
27	Attic Staircase	100	0.001	1.0
28	Attic Landing	100	0.001	1.0
29	Attic Hall	100	0.001	1.0
30	Attic Room	100	0.001	1.0
31	Attic Bath	100	0.001	1.0
32	Attic Kitchen	100	0.001	1.0
33	Attic Living	100	0.001	1.0
34	Attic Dining	100	0.001	1.0
35	Attic Bedroom	100	0.001	1.0
36	Attic Closet	100	0.001	1.0
37	Attic Storage	100	0.001	1.0
38	Attic Utility	100	0.001	1.0
39	Attic Laundry	100	0.001	1.0
40	Attic Entry	100	0.001	1.0
41	Attic Porch	100	0.001	1.0
42	Attic Deck	100	0.001	1.0
43	Attic Terrace	100	0.001	1.0
44	Attic Balcony	100	0.001	1.0
45	Attic Staircase	100	0.001	1.0
46	Attic Landing	100	0.001	1.0
47	Attic Hall	100	0.001	1.0
48	Attic Room	100	0.001	1.0
49	Attic Bath	100	0.001	1.0
50	Attic Kitchen	100	0.001	1.0
51	Attic Living	100	0.001	1.0
52	Attic Dining	100	0.001	1.0
53	Attic Bedroom	100	0.001	1.0
54	Attic Closet	100	0.001	1.0
55	Attic Storage	100	0.001	1.0
56	Attic Utility	100	0.001	1.0
57	Attic Laundry	100	0.001	1.0
58	Attic Entry	100	0.001	1.0
59	Attic Porch	100	0.001	1.0
60	Attic Deck	100	0.001	1.0
61	Attic Terrace	100	0.001	1.0
62	Attic Balcony	100	0.001	1.0
63	Attic Staircase	100	0.001	1.0
64	Attic Landing	100	0.001	1.0
65	Attic Hall	100	0.001	1.0
66	Attic Room	100	0.001	1.0
67	Attic Bath	100	0.001	1.0
68	Attic Kitchen	100	0.001	1.0
69	Attic Living	100	0.001	1.0
70	Attic Dining	100	0.001	1.0
71	Attic Bedroom	100	0.001	1.0
72	Attic Closet	100	0.001	1.0
73	Attic Storage	100	0.001	1.0
74	Attic Utility	100	0.001	1.0
75	Attic Laundry	100	0.001	1.0
76	Attic Entry	100	0.001	1.0
77	Attic Porch	100	0.001	1.0
78	Attic Deck	100	0.001	1.0
79	Attic Terrace	100	0.001	1.0
80	Attic Balcony	100	0.001	1.0
81	Attic Staircase	100	0.001	1.0
82	Attic Landing	100	0.001	1.0
83	Attic Hall	100	0.001	1.0
84	Attic Room	100	0.001	1.0
85	Attic Bath	100	0.001	1.0
86	Attic Kitchen	100	0.001	1.0
87	Attic Living	100	0.001	1.0
88	Attic Dining	100	0.001	1.0
89	Attic Bedroom	100	0.001	1.0
90	Attic Closet	100	0.001	1.0
91	Attic Storage	100	0.001	1.0
92	Attic Utility	100	0.001	1.0
93	Attic Laundry	100	0.001	1.0
94	Attic Entry	100	0.001	1.0
95	Attic Porch	100	0.001	1.0
96	Attic Deck	100	0.001	1.0
97	Attic Terrace	100	0.001	1.0
98	Attic Balcony	100	0.001	1.0
99	Attic Staircase	100	0.001	1.0
100	Attic Landing	100	0.001	1.0

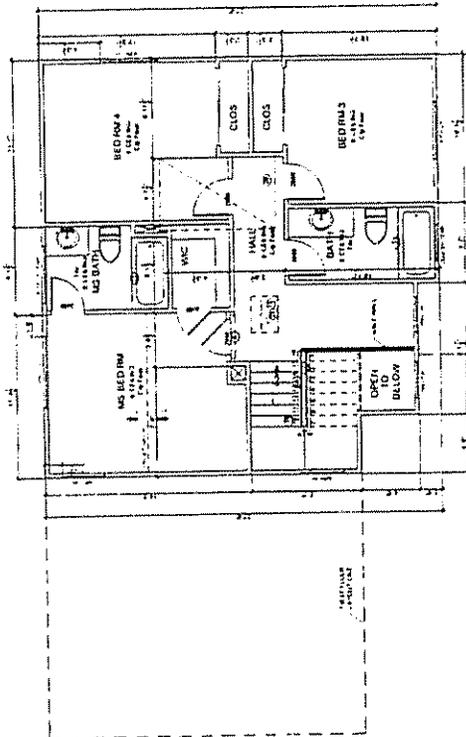
FOOTAGE

1ST FLOOR LIVING	878 SF
2ND FLOOR LIVING	143 SF
SUB TOTAL LIVING	1021 SF
GARAGE	246 SF
COVER PORCH	74 SF
GRAND TOTAL	1341 SF
STRUCTURE FOOT PRINT TOTAL	1263 SF

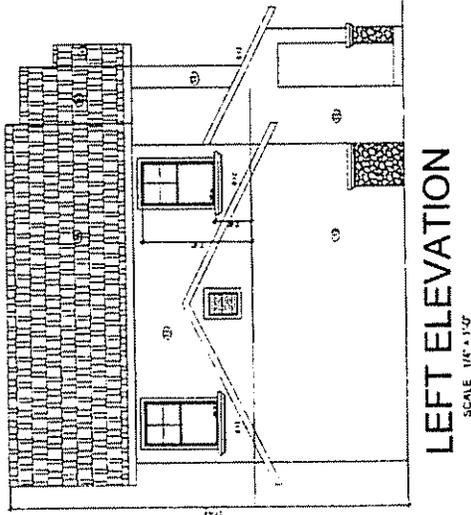


1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

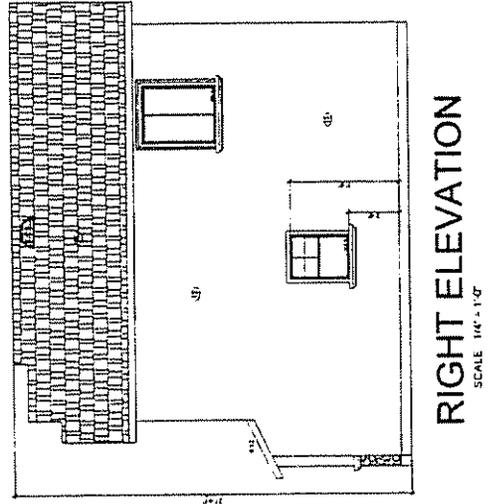
- NOTES:**
1. All dimensions are in feet and inches.
 2. All areas are to be finished.
 3. All areas are to be finished.
 4. All areas are to be finished.
 5. All areas are to be finished.
 6. All areas are to be finished.
 7. All areas are to be finished.



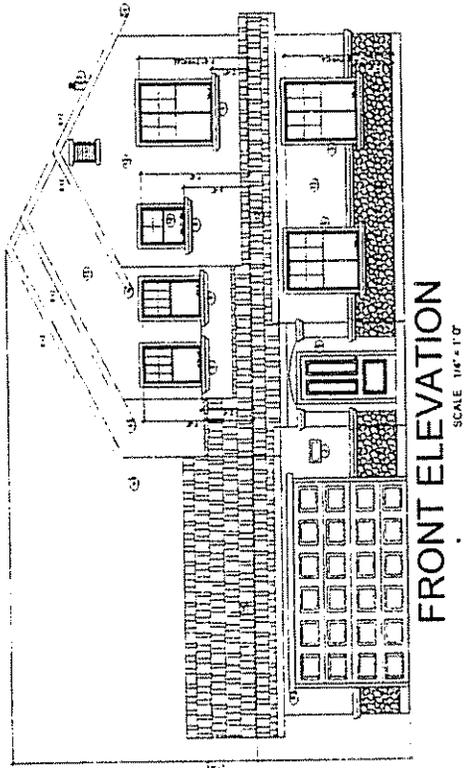
2ND FLOOR PLAN
SCALE 1/4" = 1'-0"



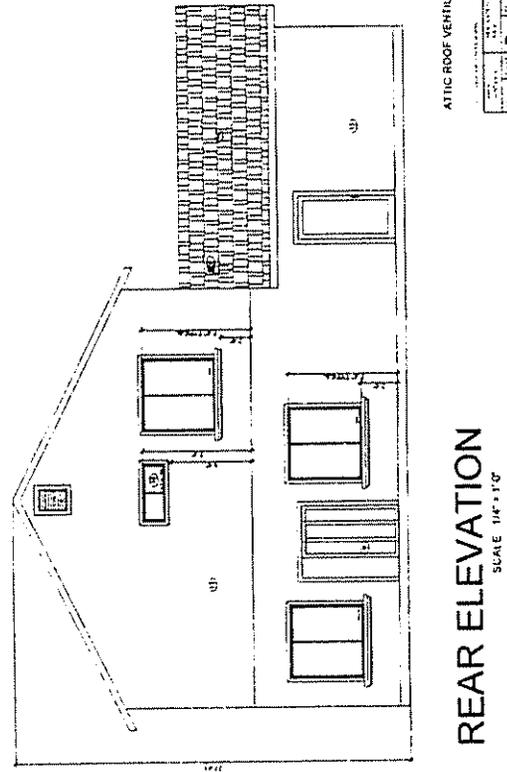
LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"



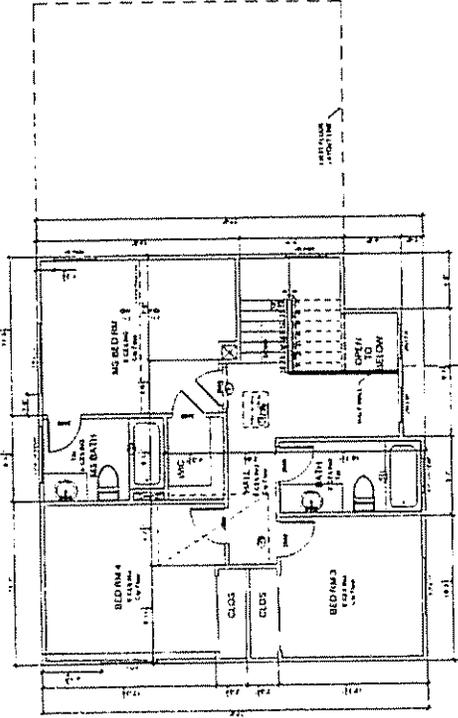
REAR ELEVATION
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

AREA	100.00	100.00	100.00
PERCENT	100.00	100.00	100.00
TOTAL	100.00	100.00	100.00

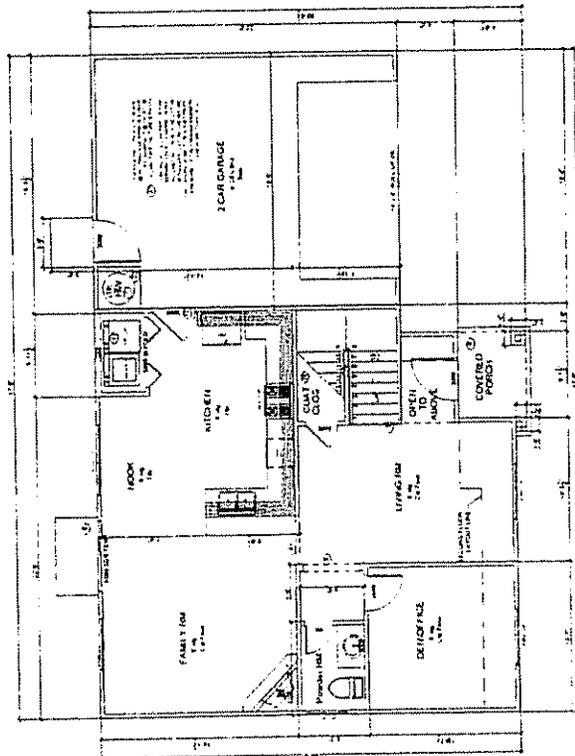
FOOTAGE

1ST FLOOR LIVING	629 SF
2ND FLOOR LIVING	642 SF
2ND FLOOR LIVING	1511 SF
SUB TOTAL LIVING	2782 SF
GARAGE	206 SF
COVER PORCH	78 SF
GRAND TOTAL	3266 SF
STRUCTURE FOOT PRINT TOTAL	1258 SF



2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

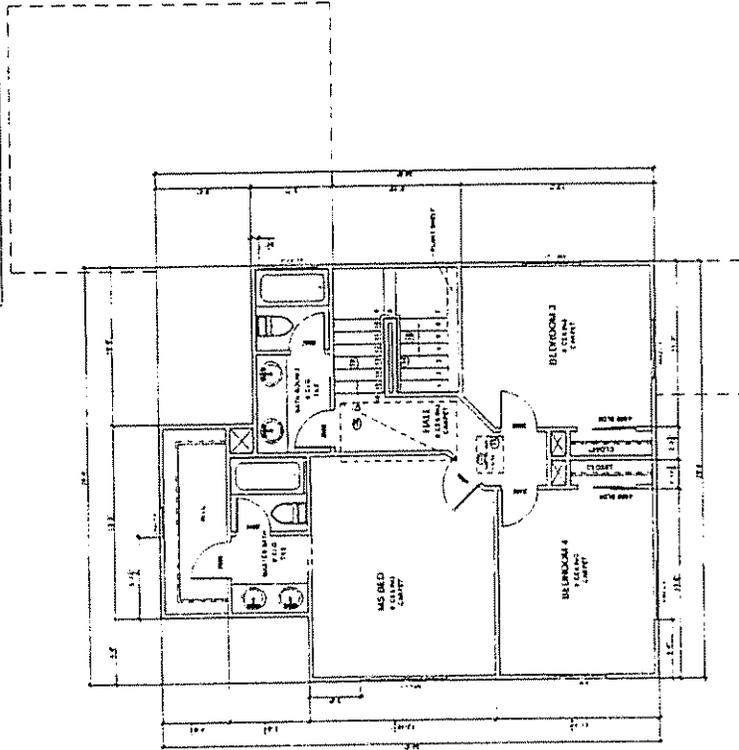
- KEY/SCHEDULE**
- 1. Shows the location of all doors and windows. All doors are shown swinging in the direction of the arrow.
 - 2. Shows the location of all stairs.
 - 3. Shows the location of all closets.
 - 4. Shows the location of all built-in furniture.
 - 5. Shows the location of all built-in appliances.
 - 6. Shows the location of all built-in fixtures.
 - 7. Shows the location of all built-in equipment.
 - 8. Shows the location of all built-in accessories.
 - 9. Shows the location of all built-in finishes.
 - 10. Shows the location of all built-in materials.
 - 11. Shows the location of all built-in products.
 - 12. Shows the location of all built-in services.
 - 13. Shows the location of all built-in systems.
 - 14. Shows the location of all built-in technologies.
 - 15. Shows the location of all built-in utilities.
 - 16. Shows the location of all built-in vehicles.
 - 17. Shows the location of all built-in vessels.
 - 18. Shows the location of all built-in vehicles.
 - 19. Shows the location of all built-in vessels.
 - 20. Shows the location of all built-in vessels.



1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

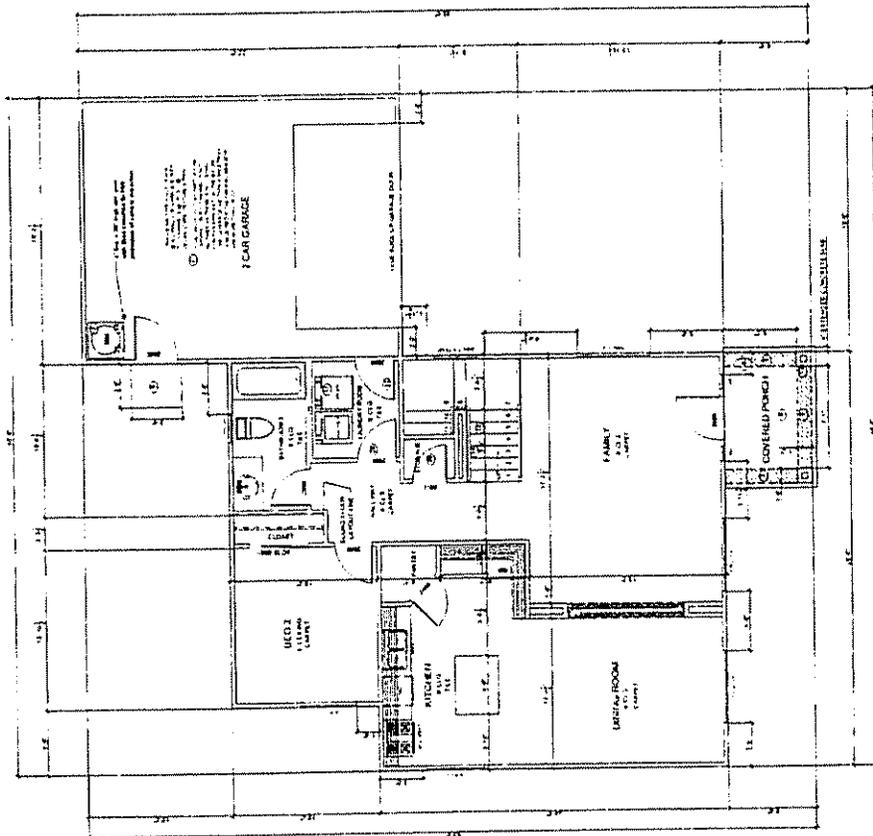
FOOTAGE

1ST FLOOR LIVING	914 SF
2ND FLOOR LIVING	758 SF
SUB TOTAL LIVING	1672 SF
GARAGE	401 SF
COVER PORCH	53 SF
GRAND TOTAL	2146 SF
STRUCTURE FOOTPRINT TOTAL	1361 SF

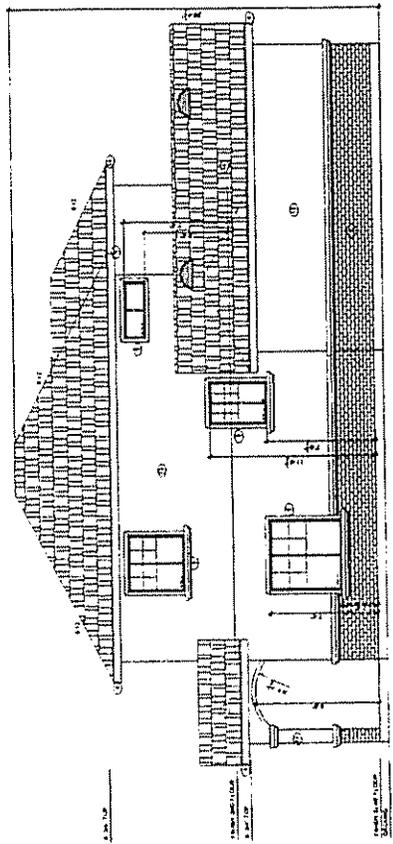


2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

JEFF/SJL



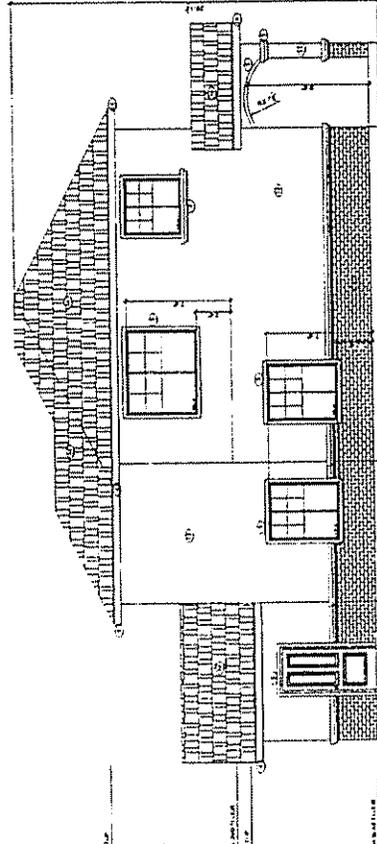
1ST FLOOR PLAN
SCALE 1/4" = 1'-0"



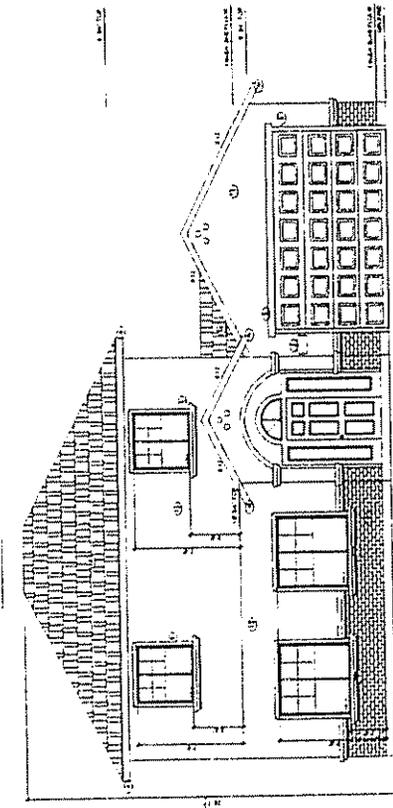
RIGHT ELEVATION PLAN
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

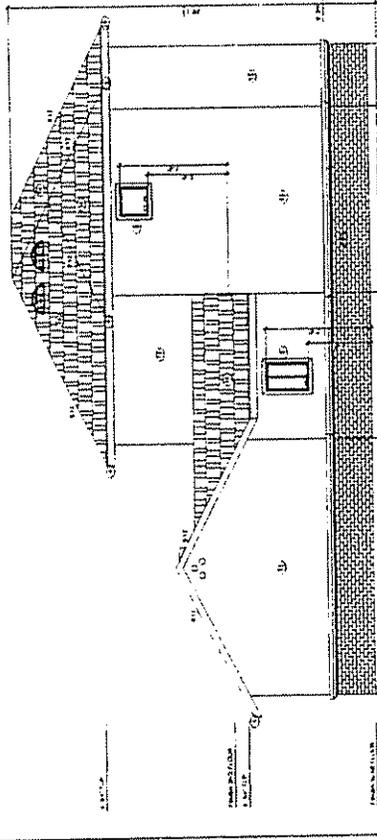
Item	Area	Volume	Notes
Attic Floor Area	1,200 sq. ft.		
Attic Ceiling Area	1,200 sq. ft.		
Attic Volume		12,000 cu. ft.	
Roof Area	2,400 sq. ft.		
Roof Slope	12/12		
Roof Area (Horizontal Projection)	2,400 sq. ft.		
Roof Area (Actual)	3,200 sq. ft.		
Roof Volume		32,000 cu. ft.	
Total Volume		44,000 cu. ft.	
Volume per sq. ft. of Roof Area		13.75 cu. ft./sq. ft.	



LEFT ELEVATION PLAN
SCALE 1/4" = 1'-0"



FRONT ELEVATION PLAN
SCALE 1/4" = 1'-0"



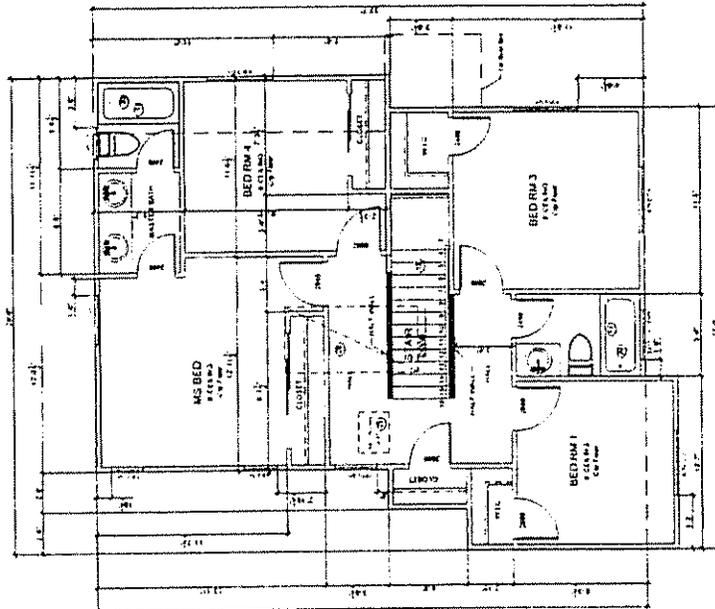
REAR ELEVATION PLAN
SCALE 1/4" = 1'-0"

FOOTAGE

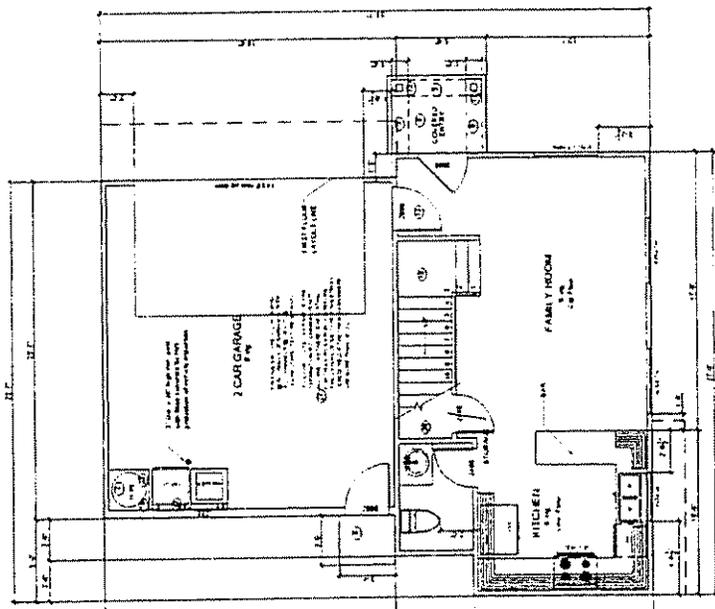
1ST FLOOR LIVING	416 SF
2ND FLOOR LIVING	600 SF
SUB TOTAL LIVING	1200 SF
GARAGE	305 SF
COURT PORCH	25 SF
GRAND TOTAL	1630 SF
STRUCTURE FOOT PRINT TOTAL	906 SF

KEY NOTES

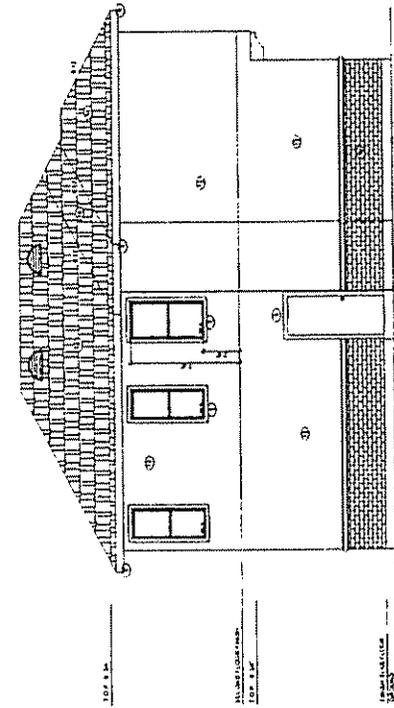
1. ALL DIMENSIONS UNLESS NOTED OTHERWISE
2. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
3. ALL DIMENSIONS TO CENTERLINE UNLESS NOTED OTHERWISE
4. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
5. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
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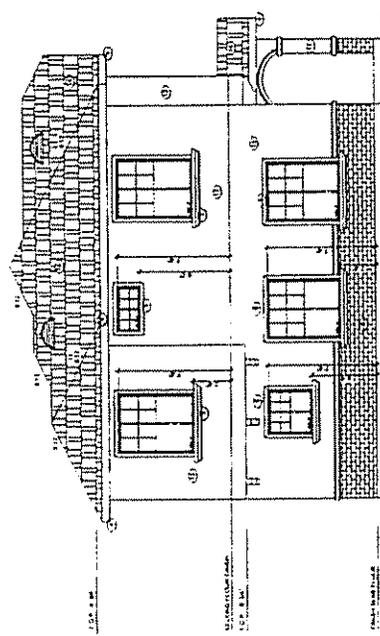
SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



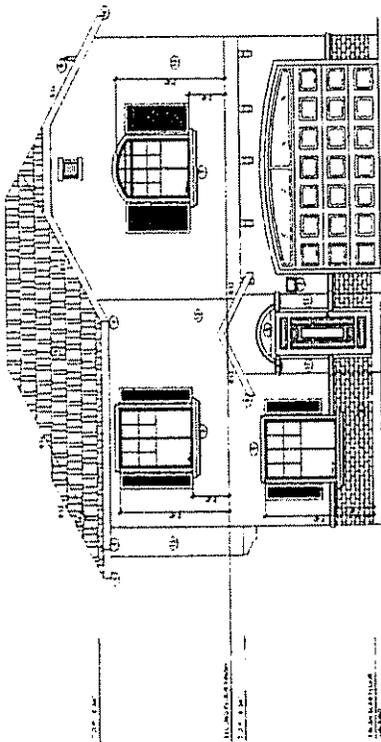
FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



REAR ELEVATION PLAN
SCALE 1/4" = 1'-0"



LEFT ELEVATION PLAN



FRONT ELEVATION PLAN
SCALE 1/4" = 1'-0"

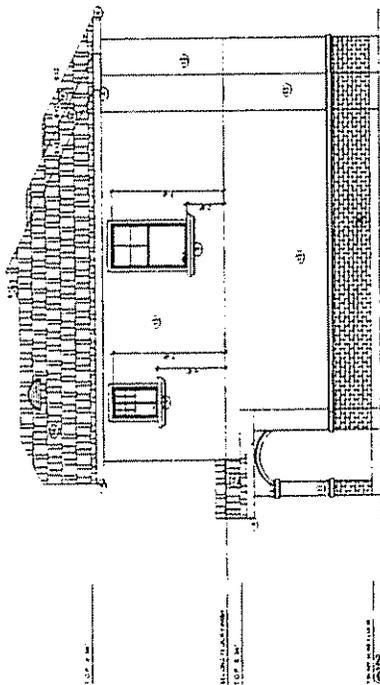
ATTIC ROOF VENTILATION CALCULATIONS

Room	Area (sq. ft.)	Volume (cu. ft.)	Notes
Attic	1,200	12,000	
Roof	1,200	12,000	
Total	2,400	24,000	

Room	Area (sq. ft.)	Volume (cu. ft.)	Notes
Attic	1,200	12,000	
Roof	1,200	12,000	
Total	2,400	24,000	

Notes: 1. All rooms are assumed to be occupied during the day. 2. The volume of the attic is assumed to be 12,000 cu. ft. 3. The volume of the roof is assumed to be 12,000 cu. ft. 4. The total volume is assumed to be 24,000 cu. ft.

Room	Area (sq. ft.)	Volume (cu. ft.)	Notes
Attic	1,200	12,000	
Roof	1,200	12,000	
Total	2,400	24,000	

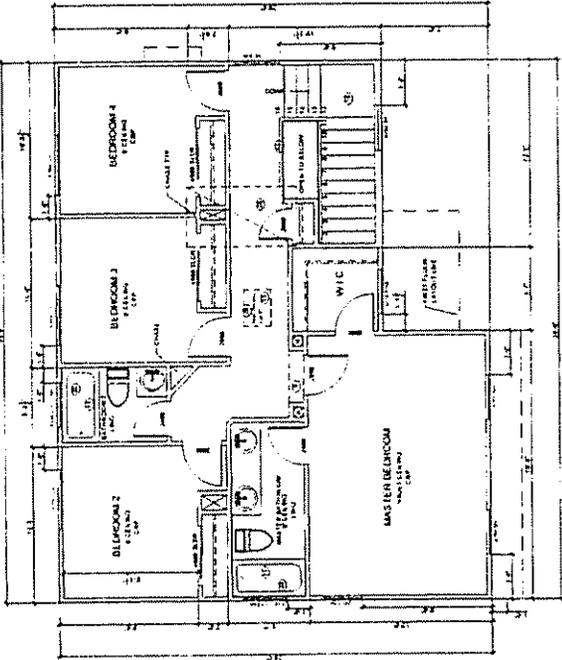


RIGHT ELEVATION PLAN

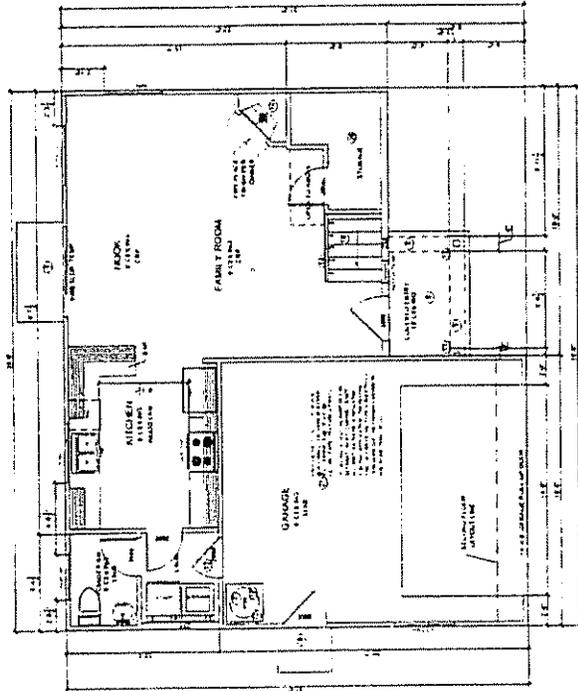
FOOTAGE

1ST FLOOR LIVING	302 SF
2ND FLOOR LIVING	643 SF
SUB TOTAL LIVING	1447 SF
GARAGE	370 SF
COVER PORCH	41 SF
GRAND TOTAL	1849 SF
STRUCTURE FOOTPRINT TOTAL	184 SF

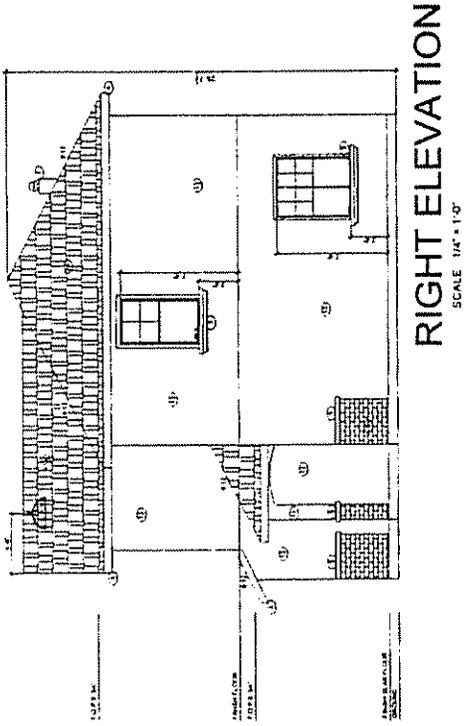
- NOTES:**
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. FINISHES TO BE DETERMINED BY OWNER.
 3. ALL WALLS TO BE 1/2" GYP BOARD ON STUDS TO PERMIT FINISHES TO BE DETERMINED BY OWNER.
 4. ALL FLOORING TO BE DETERMINED BY OWNER.
 5. ALL CEILING TO BE 1/2" GYP BOARD ON JOISTS TO PERMIT FINISHES TO BE DETERMINED BY OWNER.
 6. ALL ROOFING TO BE DETERMINED BY OWNER.
 7. ALL EXTERIOR FINISHES TO BE DETERMINED BY OWNER.
 8. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
 9. ALL MECHANICAL SYSTEMS TO BE DETERMINED BY OWNER.
 10. ALL ELECTRICAL SYSTEMS TO BE DETERMINED BY OWNER.
 11. ALL PLUMBING SYSTEMS TO BE DETERMINED BY OWNER.
 12. ALL PAINT TO BE DETERMINED BY OWNER.
 13. ALL GLASS TO BE DETERMINED BY OWNER.
 14. ALL STAIRS TO BE DETERMINED BY OWNER.
 15. ALL HANDICAP ACCESS TO BE DETERMINED BY OWNER.
 16. ALL SLOPES TO BE DETERMINED BY OWNER.
 17. ALL ELEVATIONS TO BE DETERMINED BY OWNER.
 18. ALL FINISHES TO BE DETERMINED BY OWNER.
 19. ALL DIMENSIONS TO BE DETERMINED BY OWNER.
 20. ALL FINISHES TO BE DETERMINED BY OWNER.



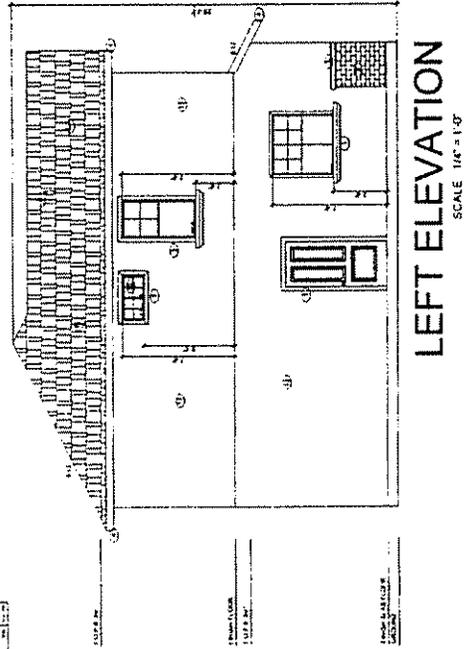
SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



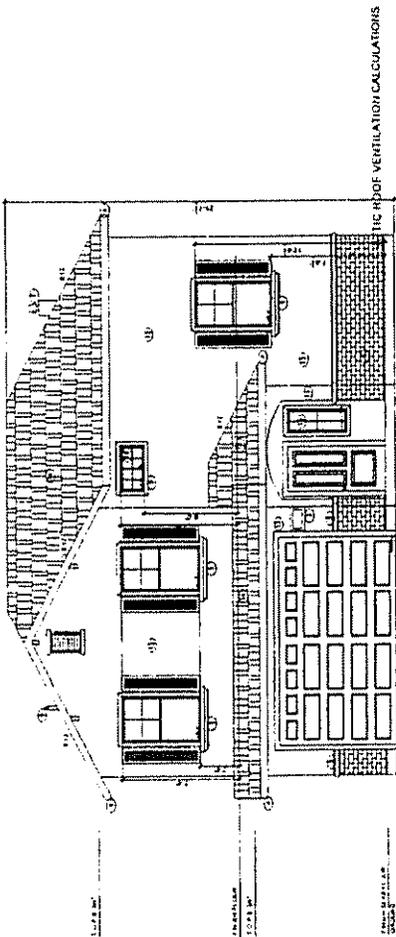
FLOOR PLAN
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



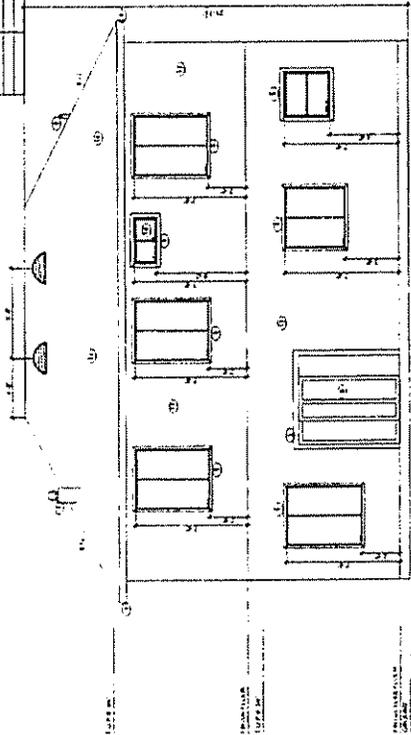
LEFT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

1/2" ROOF VENTILATION CALCULATIONS

Room	Area (sq ft)	Volume (cu ft)	CFM	Notes
Living Room	1200	12000	100	
Dining Room	1000	10000	80	
Kitchen	800	8000	60	
Bathroom	500	5000	40	
Bedroom	1000	10000	80	
Garage	1500	15000	120	
Attic	2000	20000	160	
Total	7000	70000	560	



REAR ELEVATION
SCALE 1/4" = 1'-0"