



REPORT TO DESIGN COMMISSION City of Sacramento

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915 I Street, Sacramento, CA 95814-2671

PUBLIC HEARING
May 19, 2010

To: Members of the Design Commission

Subject: **625 H Street (DR10-033)** Located at the northwest corner of 7th and H Streets, a request to develop an eight story mid-rise 150 unit residential tower including 2,800+/- s.f. ground floor retail and 6,000 s.f. health clinic on 0.55+/- acres in the Central Business District Special Planning District (C-3-SPD) zone.

- A. Environmental Determination: Exempt per 15332, Infill Development
- B. Design Review of an eight story housing community including ground floor retail and clinic.

Location:

Address: 625 H Street, Sacramento, CA
Assessor's Parcel Number: 002-0141-001, -002, -003, -004, and -007
Council District 1
Central Core Design Review District

Recommendation: Staff recommends the Design Commission approve the request based on the findings of fact and subject to the conditions listed in Attachment 1. The Design Commission has final approval authority over *items A & B* above, and its decision may be appealed to City Council.

Contact: Matthew Sites, Associate AIA, LEED AP, Design Review Staff, (916) 808-7646
Luis R. Sanchez, AIA, LEED AP, Senior Architect (916) 808-5957

Applicant: Rich Ciraulo, Mercy Housing California, (916) 414-4460, 3120 Freeboard Drive, Suite 202, West Sacramento, CA 95691.

Owner: Redevelopment Agency Of The City Of Sacramento, (916) 444-9210, 801 12th Street, Sacramento, CA 95814.

SUMMARY: This project was previously heard at the April 21, 2010 Design Commission Hearing. The development consists of an eight story mixed-use building at the northwest corner of 16th and N Streets. The building will accommodate 3,900 square feet of commercial retail space, 3,800 square feet of clinic space, and 150 residential units. The proposed 150 units would include 122 studio and 28 one bedroom units. Second floor landscaped terraces are being provided as well as double height lounges at the 3rd, 5th, and 7th floors as community amenities. Sixteen parking spaces will be provided through alley access at the ground level. This project is the first mid-rise residential tower in the newly redefined Central Core District, and the first project to use the new Urban Design Guidelines.

This project has been defined by the many constraints of the location including the substation to the northwest, the County jail across the street, an existing RT light rail line located along the north side of H Street, and a future RT line proposed on the east side of the 7th Street. The building is oriented to minimize the potential visual interaction and communications with the jail while still maintaining view corridors of the Railyard Area and Central Business District. The Design Team and City Staff toured the jail together to understand the concerns that were provided by the jail including visual communications and views into the residential units. The building will utilize high quality materials in a style that contrasts and brightens an area filled with monolithic uninspiring state and county buildings.

The Design Commission made the following statements on April 21, 2010 in regards to the proposed project.

1. Plantings that are proposed at the terrace level seem better suited for wetter climates. The solar reflection of the building may impact these plantings and the amount of water that is required to support them. Please coordinate these comments on the plantings with the landscape architect prior to the next submittal. Also please confirm that there is enough soil volume for the green screen plantings.
2. The residential entry along H Street could use further attention and accentuation as an entry.
3. West masonry wall could use further articulation and interest on both the interior and exterior sides.
4. The building corner at 7th and H Streets does not need further articulation as requested by staff. The corner visible from the east bound traffic along H Street should be further articulated and should be coordinated with the work on the west masonry wall.
5. West elevation needs additional articulation as it is a very public side.
6. Proposed color palette is acceptable considering the quality and use of materials provided.
7. The prevalent views from I-5, Railyards, and general city skyline will require additional refinement/treatments of the building top and mechanical penthouses. Please provide revised plans incorporating the mechanical penthouse and the building top (cornice) as an integral part of the building regardless of the PV array as the proposed elements need further refinement and articulation.
8. Consider all areas of refinement as recommended by the staff report.

The applicant has provided a response to these comments in Attachment 4. Staff believes the intent of the Design Commission's comments have been largely addressed through the applicants response and updated plans. Please see the Staff Recommendations to Commission below for further elaboration.

The project will require Planning Commission approval of entitlements for Environmental, Special Permit – Major Project to allow the construction of a 8 story mixed use building, which is over 75,000 Square Feet in the Central Business District (C-3) zone, Special Permit to establish a residential hotel, also known as a single room occupancy hotel (SRO), Special Permit to exceed the one hundred twenty-five (125) unit maximum in the Central Business District (C-3) zone, Variance to allow compact parking spaces that are more than 40% of the total parking. The Planning Commission is scheduled to hear this project on May 13, 2010 for Final action. The project is located in the Central Core Design Review District and is subject to Design Review.

Table 1: Project Information
Existing zoning of site: C-3 (Central Business District)
Existing use of site: Vacant
Property dimensions/area: Approximately 0.55 acres
Building square footage: 113,285 ± square feet
Building height: 74'-7" highest occupiable level, 84'-2" to top plate, 96'-2" to top of photovoltaic panels.
Exterior building materials: brick, matte finished metal panels, perforated metal panel, CMU block, silver anodized aluminum storefront systems with low-e ³ clear glazing, aluminum sunshades, and green screen.

PUBLIC/NEIGHBORHOOD OUTREACH AND COMMENTS: Staff mailed an Early Notice to property owners and neighborhood associations within a 300 foot radius on March 11, 2010, a Hearing Notice on April 5, 2010 for the April 21, 2010 Design Commission Review and Comment, and a hearing notice on May 4, 2010 for the May 19, 2010 Design Commission Hearing. The following organizations were contacted; Alkali and Mansion Flats Historic Neighborhood Association, SOCA, River District, and the Downtown Sacramento Partnership. The applicant has contacted property owners and neighborhood associations during the initial planning and design phase, and has provided a history in the Statement of Intent (Attachment 6, April 21, 2010 Review and Comment staff report). Only one comment has been received regarding the parking permit type, which has been forwarded to Planning Commission. No other comments have been received at the time this report had been written.

ENVIRONMENTAL CONSIDERATIONS: The Community Development Department, Environmental Planning Services Division has reviewed this project and determined that this is exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15332, In-fill Development Projects. The project consists of the construction of a building that

occurs in an urban area served by utilities and public services, on a site that is less than 5 acres, has no habitat value, is consistent with all applicable land uses, and would not result in any significant effects to traffic, noise, air, or water quality.

SUSTAINABILITY CONSIDERATIONS: The City has adopted a Sustainability Master Plan to complement the City's General Plan. This was done to ensure that the City set the standard for the practices of sustainability within its own organization as well as becoming a model for any construction projects within the City. Projects should consider the following goals adopted by the City as projects are proposed within the City: reduce consumption of materials, encourage the reuse and local recycling of materials, reduce the use of toxic materials; establish and continuously improve "green" building standards for both residential and commercial development--new and remodeled, reduce dependence on the private automobile by working with community partners to provide efficient and accessible public transit and transit supportive land uses, reduce long commutes by providing a wide array of transportation and housing choices near jobs for a balanced, healthy city; improve the health of residents through access to a diverse mix of wellness activities and locally produced food, promote "greening" and "gardening" within the City, create "Healthy Urban Environments" through Restorative Redevelopment, and maintain and expand the urban forest.

Staff supports the applicant's desire to achieve LEED Silver as provided in the Statement of Intent (Attachment 6, April 21, 2010 Review and Comment staff report). Staff recommends the use of a Construction Waste Management Plan, energy efficient designs, and the use of local materials as a minimum standard for this project.

POLICY CONSIDERATIONS: While the City's General Plan is being updated, the City Council has adopted a vision for the future of the City as well as several guiding principles to help achieve this vision. This was done to ensure that new developments submitted during the ongoing update comply with the goals and policies that are being incorporated into the General Plan through the update. The proposal complies with the following guiding principles. Use the existing assets of infrastructure and public facilities to increase infill and re-use, while maintaining important qualities of community character. Promote strategic development of vacant, underutilized, and infill land, especially along transportation and commercial corridors, to improve the city's economic outlook. Create and maintain a broad range of jobs that are accessible to all residents that provides opportunities for advancement. Encourage sustainable levels of energy and resource consumption through efficient land-use, transportation, building design, construction techniques, waste management, and other infrastructure systems.

This proposed project is consistent with the Sacramento Central Business District Urban Design Plan. Staff is supportive of the design and recommends Design Commission review and discussion on the following items to assist the Applicant with further project development.

Design Policy Considerations: Context: Allow for creative architectural solutions that acknowledge contextual design through emulation, interpretation, or contrast in character. Character: Complement the architectural character of existing historic building enclaves

and promote harmony in the visual relationships and transitions between new and older buildings. Scale: Relate the bulk of new buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction. Pedestrian: Enhance the pedestrian experience. Materials: Promote efforts to utilize high quality building materials, detailing & landscaping. Integrated Services: Promote functional & aesthetic integration of building services, vehicular access and parking facilities. Sustainable Design: Promote sustainability in building design, construction and operation.

Design Guidelines Considerations: Applicant proposes the highest occupiable space as 74'-7" in order to remain under the 75'-0" maximum height limit for the last occupied floor as this will subject the building to the high rise section of the building code. Staff has confirmed with the applicant that any additional height will subject the building to the high rise portion of the code. Ground level uses: Should be residential or mixed. Transparency: Any nonresidential ground floor use (except parking and servicing) shall have walls at least 60% transparent. Articulation of street-wall: Articulations should be spaced no further than 20' o.c. Lighting: Should be appropriate to the ground floor uses, and respectful of adjacent property uses. Entries: Entry locations should be obvious, easy to find, clearly visible from the sidewalk, and safe. Double height entries encouraged. Recessed entries are discouraged. Fenestration: To provide human scale to buildings, windows shall be well-proportioned, varied across a project, articulate the wall system, and be operable where appropriate. Roofs and mechanical penthouse enclosures: Mechanical equipment located at roof level should be integrated into the building design, e.g. as a screened volume. Sustainability: Development should meet the criteria required for LEED certification (or another appropriate rating system) at a minimum.

STAFF RECOMMENDATIONS TO COMMISSION: Staff is supportive of this project and recommends some refinements to the overall design as noted below. Staff has continued to partner and coordinate the Design Commission comments with the design team. Due to the quick turnaround and short timeline constraints this project has, the package is not as complete as possible. The design team has reviewed the Design Commission comments and provided a response letter with details. Staff requests that the Design Commission approve the proposed project, and allow staff to finalize outstanding issues which the Design Commission believes require further attention by the design team.

Site Comments:

1. The setbacks have been modified from the previous submittal to accommodate the relocation of the residential entry along 7th Street and the expansion of the clinic along H Street, and still meet the setbacks for this building style. Staff supports the modifications as it presents a more urban form with the reduction of planters due to the reduced setbacks.
2. Landscaping has been provided along the 7th and H Streets Public Right of Way as well as along the building edges. Staff supports the design provided on the architectural plans, and recommends the applicant revise the landscape plans to

match the proposed changes. Staff requests the Design Team to provide revised plans to the Design Commission and Staff prior to final action.

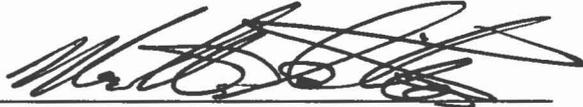
3. Staff would like further clarification where light poles and RT poles are located. These pole locations have a potential to conflict with the street trees and street parking areas as currently configured. Staff requests the Commission comment on street trees, on street parking, and pole locations.
4. Green screen walls are provided at the gazebo areas and continue down to the ground level with 4' wide wing walls where new deeper planters are being provided to sustain the green screen vegetation (Attachment 4). Staff recommends that these walls be brick and not concrete since the vegetation will take some time to establish itself.
5. Staff has concerns that the trash compactor and recycling will be difficult to access from the alley as a 3' man door has been provided. Staff recommends an 8' wide roll up door be provided for adequate access to the trash and recycling from the alley.

Building Comments:

6. A standard aluminum storefront system is proposed with minimal breaks of brick and green screen at the street level. Staff recommends the continued use of brick at the ground level storefront sills alluding to brick provided at the upper floors.
7. As per previous staff comments, the revised elevations have not reflected the request to provide a shadow line above the window similar to that of the aluminum louvered sunshades provided at the south elevation. The previous response detail proposed a course of inset dark brick to simulate the shadow line created by the awning is still supported by Staff.
8. The design team has provided a pop out at the 7th and 8th floors west elevation. Staff supports this addition as it presents articulation and interest at the southwest corner requested by the Design Commission.
9. Metal cladding with additional fenestration is proposed at the northwest stair tower instead of brick. Staff supports the changes in material at the northwest corner stair as it further articulates the north and west façades. Staff recommends the design team provide samples of the material at the Design Commission Hearing.
10. Perforated metal mechanical screening and a renewed possibility of the photovoltaic panel system are the solutions provided to finish the building top. These modifications still seem short of what the Design Commission requested. Staff recommends that solid metal paneling provided on the lower floors of the building be utilized in place of the perforated metal screening, due to the varying sizes and locations of the

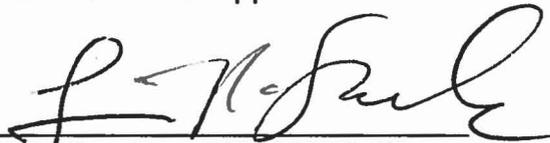
mechanical systems. Staff recommends additional articulation of the cornice and mechanical penthouse if the PV array is removed from the project.

Respectfully submitted by:



Matthew Sites, Associate AIA, LEED AP
Design Review Staff

Recommendation Approved:



Luis R. Sanchez, AIA, LEED AP
Senior Architect



William Crouch, AIA, FRAIA, NCARB, LEED AP
Urban Design Manager

Attachments:

Attachment 1

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Attachment 2

Page 15 Vicinity Map

Attachment 3

Page 16 April 21, 2010 Design Commission Comment Letter

Attachment 4

Page 17-28 May 3, 1010 Design Team's Response letter and details

Attachment 5

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Page 30	District Context
Page 31	Site Analysis
Page 32	Site Context
Page 33	Context Photos
Page 34	Site Plan
Page 35	Floor Plan - Level 2
Page 36	Floor Plan - Levels 3-8
Page 37	Prototypical Enlarged Unit Plans
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Page 39	Roof Plan without PV
Page 40	East Elevation with PV
Page 41	East Elevation without PV
Page 42	South Elevation with PV
Page 43	South Elevation without PV
Page 44	Not Used
Page 45	North Elevation with PV
Page 46	North Elevation without PV
Page 47	West Elevation with PV
Page 48	West Elevation - Courtyard wall emphasis
Page 49	West Elevation without PV
Page 50	Exterior Perspective Looking North/West from H Street
Page 51	Not Used
Page 52	Materials and Colors
Page 53-54	Signage
Page 55-56	Not Used
Page 57	Perspective - Common Room at 3 rd level
Page 58	Perspective - Common Room from 4 th level
Page 59	Landscape Concept – Level 1
Page 60	Landscape Concept – Level 2
Page 61	Not Used

Attachment 6

Page 62-126	April 21, 2010 Design Commission Review and Comment Staff Report.
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Attachment 1
Proposed Findings of Fact and Conditions of Approval
625 H Street (DR10-033)
625 H Street, Sacramento, CA 95814

Findings Of Fact

- A. Environmental Determination:** Exemption - Based on the determination and recommendation of the City's Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the Project, the Planning Commission finds that the Project is exempt from review under Section **15332, In-Fill Development Projects** of the California Environmental Quality Act (CEQA) Guidelines as follows:

The project consists of the construction of a building that occurs in an urban area served by utilities and public services, on a site that is less than 5 acres, has no habitat value, is consistent with all applicable land uses, and would not result in any significant effects to traffic, noise, air, or water quality.

- B. The Design Review** *request to develop an eight story mid-rise 150 unit residential tower including 2,800+/- s.f. ground floor retail and 6,000 s.f. health clinic is approved, subject to the following Findings of Fact and Conditions of Approval:*

1. The project is based upon sound principles of land use, in that the proposed use is allowed in the Central Core Design District (C-3) zone.
2. The proposed use will be consistent with the objectives of the City of Sacramento General Plan.
3. The project, as conditioned, will complement structures in the vicinity, and conforms to the design criteria set forth by the Design Commission.

Conditions Of Approval

The Design Review request to develop an eight story mid-rise 150 unit residential tower including 2,800+/- s.f. ground floor retail and 6,000 s.f. health clinic is hereby approved subject to the following conditions:

- A. The design of the site (see plans attached) is hereby approved subject to the following conditions. These conditions must be met prior to the building permit submittal:**
1. The buildings shall be sited as indicated in the report and exhibits.

2. Auto access and site layout shall be as indicated in the report and exhibits. The Applicant shall coordinate with the appropriate agencies regarding alley improvements associated with the overall project.
3. The project shall have building entries and setbacks as indicated in the exhibits.
4. The project shall include landscaping elements as indicated on the reports and exhibits. Automatic irrigation shall be provided for all planting and landscaping. **Final landscape plans and details shall be reviewed and approved by Design Review staff prior to Building Permit submittal.**
5. Existing street trees along 7th and H Streets shall be removed and replaced as indicated on the reports, exhibits, and per Urban Forest requirements.
6. A 4'-0" brick wing wall with attached green screen shall be provided at the southwest corner of the ground floor. An 18" wide and deep raised brick planter shall be provided at the wing wall base in order to provide sufficient space for green screen vegetation to grow. Raised brick planters shall be provided adjacent to the building. **Final plans and details shall be reviewed and approved by Design Review staff prior to Building Permit submittal.**
7. Brick gazebos with attached green screen shall be provided at the second floor southwest and northeast corners. Colored pavers and water fountain feature shall be provided at the second floor. Landscape planters and podium parapet shall be provided per attached details with precast concrete coping. Second level terraces shall be revised to match architectural sheet and provided at final hearing (applicant shall work with staff on final second level landscape terraces) **Final landscape plans and furniture cut sheets for the second floor shall match architectural plans and elevations and be provided to Design Review staff for final review and approval prior to Building Permit submittal.**
8. Sidewalks shall be city standard concrete with a 2' by 2' grid pattern. Bicycle parking shall be provided at the residential entry. **Street planters and sidewalks shall be provided per Development Engineering standards and reviewed by Development Engineering, Urban Forest, and Design Review staff prior to Building Permit submittal.**
9. A basket weave pattern similar to the west façade brickwork on the building shall be provided at the first 80' of the west elevation CMU wall and feathered into striped design. The balance of the CMU wall length shall be the striped pattern per approved detail. **The applicant shall submit final west elevation CMU pattern for review and approval by Design Review staff prior to Building Permit submittal.**
10. Applicant shall provide a site lighting plan for review and approval by Design Review staff prior to submitting for Building Permit. Exterior lighting style and design shall be compatible and consistent with the building design, and the site

should be adequately illuminated for safety and security with a minimum 1.0 foot candle throughout. Street lighting shall be provided per Development Engineering standards and reviewed by Development Engineering and Design Review staff prior to Building Permit submittal. Appropriate lighting should light up wall surfaces and/or landscape areas. **The applicant shall submit all site light fixtures cut sheets and plan locations for review and approval by Design Review staff prior to submitting for Building Permit.**

11. Site mechanical equipment and utility vaults shall be incorporated into the project site as provided including generators, SMUD transformers, fire pump, etc. Backflow prevention devices shall be placed along the alley to minimize street and pedestrian views. **The applicant shall submit final site mechanical locations for review and approval by Design Review staff prior to Building Permit submittal.**
12. Trash enclosure shall be provided in the service area inside the building as indicated on the plans. An 8'-0" wide prefinished metal roll up garage shall be provided at north elevation.
13. Any outdoor furniture proposed for the exterior seating shall be provided to Design Review Staff for review and approval prior to Building Permit issuance or at the time of tenant improvement Building Permit submittal.

B. The design of the new building (see plans attached) is hereby approved subject to the following conditions:

14. The design of the building shall be as indicated in the report and exhibits.
15. Final heights and massing shall be as indicated in the report and exhibits.
16. The building elevations shall have a consistency of detail and quality as indicated in the report and exhibits.
17. The materials provided at ground level shall be two colored full size brick, clear anodized aluminum storefront systems and doors with clear glazing and brick sills (applicant shall work with staff on final brick pattern), prefinished metal roll-up garage doors, exterior cast in place concrete columns (applicant shall work with staff on final column design and material), clear anodized aluminum louvered canopies, clear anodized aluminum solid panels, and green screen. **Final plans, color and material board shall be submitted to Design Review staff for final review and approval prior to Building Permit submittal.**
18. The materials provided at the upper levels shall be two colored full size running bond brick with modified pattern per plans, metal panel northwest stair tower with corrugated metal panel and vertical metal sunshade (applicant shall work with staff on final stair materials), clear finished aluminum casement residential windows, precast concrete residential window sills with brick headers (applicant shall work with

staff on final brick pattern), prefinished silver metal mesh balcony railing, clear anodized aluminum louvered sunshade, clear anodized aluminum cornice, and clear anodized aluminum solid panel mechanical parapet to match solid panel provided elsewhere. **Final plans, color and material board shall be submitted to Design Review staff for final review and approval prior to Building Permit submittal.**

19. Exterior lighting style and design shall be compatible and complementary to the building design. **Final building lighting plans and light fixture cut sheets shall be reviewed and approved by Design Review staff prior to Building Permit submittal.**
20. The photovoltaic system shall extend a maximum of 4'-0" from the face of building, and 6'-0" where building jogs. Any changes to photovoltaic panel sizes shall be submitted to Design Review staff prior to Building Permit submittal. Additional articulation of the mechanical penthouses and roof top stair access shall be provided. **Final roof plan with photovoltaic system and mechanical equipment locations, a section through the photovoltaic systems and building, and cutsheets shall be reviewed and approved by Design Review staff prior to Building Permit submittal.**
21. The HVAC system has not yet been chosen for this project, but it shall be incorporated within the mechanical parapet, so as not to be visible from any street or significant views. Additional articulation of the mechanical penthouses and roof top stair access shall be provided. **Final roof plan with mechanical equipment locations, a section through the HVAC unit and building, and cutsheets shall be reviewed and approved by Design Review staff prior to Building Permit submittal.**

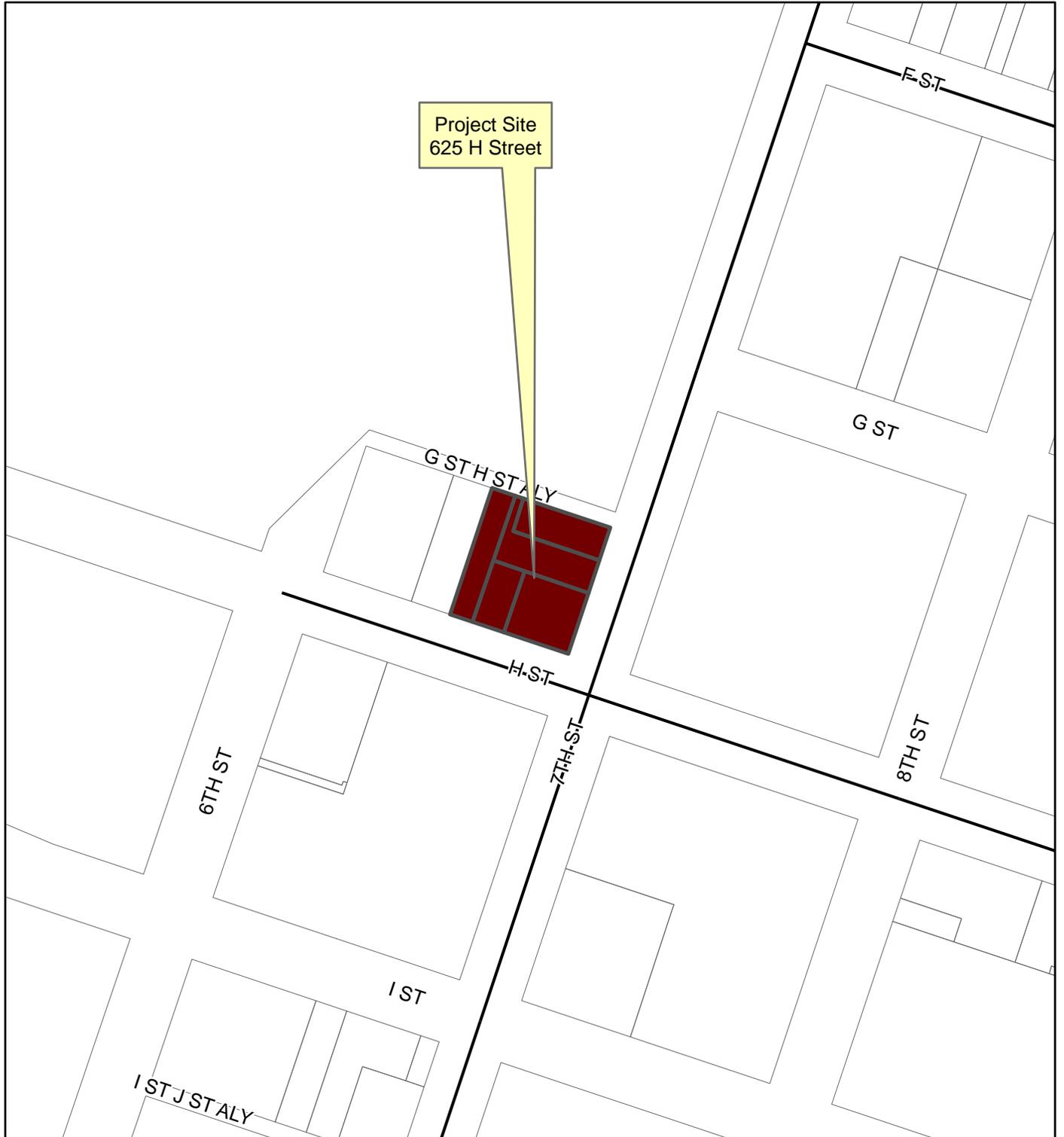
C. The design of the signage is hereby approved subject to the following conditions:

22. High quality signage with a design and materials that complements the architecture is required and shall meet the sign ordinance. **Final signs shall be submitted to Design Review staff and the City Sign Coordinator for review and approval prior to issuance of a Sign Permit.**
23. Staff recommends the use of internally illuminated individual channel letters with a maximum 24" in height and a maximum of 70% of retail frontage, mounted on the front edge of the ground level sun shading. Raceways shall be hidden behind sun shading or minimized in height to reduce any street or pedestrian views.
24. 12" deep internally illuminated suspended metal signs with dimensional lettering and logos aligned with storefront vertical mullions shall be provided for pedestrian reference.
25. Exposed conduits shall be not be visible from any street or pedestrian views.

D. General Conditions

26. All final details affecting the exterior building design that are not determined at the time of the Design Commission final review shall be reviewed and approved by Design Review staff prior to Building Permit submittal.
27. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any changes to the final set of plans stamped by Design Review staff shall be subject to review and approval prior to Building Permit submittal. Applicant shall comply with all current building code requirements.
28. Any major revisions to the final approved design are subject to review and approval by the Design Commission.
29. Any tenant improvement that would modify this approval shall be submitted to Design Review staff for review and approval prior to Building Permit submittal.
30. **All required new and revised plans shall be submitted for review and approval by Design Review staff prior to building permit submittal. A set of the appropriate plans (reduced to 11 x 17 set) along with a Letter of Compliance indicating how the project is in compliance with each Condition of Approval with detailed sheet references shall be submitted directly to Design Review Staff two weeks prior to Building Permit submittal. A final 3D model (Sketchup preferred) shall be provided to Design Review staff prior to building permit submittal.**
31. **All necessary entitlements and City Requirements shall have been approved by the Planning Commission (P10-007), Development Engineering, Urban Forest and Utilities prior to final Design Review sign-off of plans.**
32. **An encroachment agreement will be required for the balconies, sunshades and photovoltaic systems that overhang into the Public Right of Way. The encroachment agreement shall be completed and approved prior to issuance of the Building Permit.**
33. The approval shall be deemed automatically revoked unless required permits have been issued and construction begun within three years of the date of the approval. Prior to expiration, an extension of time may be granted by the Design Commission upon written request of the applicant.
34. **The Design Commission decision may be appealed to City Council. Appeals must be filed within 10 calendar days of written notice of the Design Commission action.**
35. No building permit shall be issued until the expiration of the 10 day appeal period. If an appeal is filed, no permit shall be issued until final approval is received.

36. Final occupancy shall be subject to approval and involve an on-site inspection by Design Review Staff.
37. **The Record of Decision shall be scanned and inserted into the final set as a general sheet to be submitted for building permit.**
38. **A signed copy of the Affidavit of Zoning Code Development Standards shall be scanned and inserted into the final set as a general sheet to be submitted for building permit.**



Development Services
Department

Geographic
Information
Systems

Vicinity Map
APN #: 002-0141-001,-002,
-003,-004,-007
DR10-033





**CITY OF SACRAMENTO
CALIFORNIA**

COMMUNITY DEVELOPMENT
DEPARTMENT

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SACRAMENTO, CA
95814
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DESIGN COMMISSION COMMENTS

Project Name: 625 H Street
File Number: DR10-033
Applicant: Rich Ciraulo
Date of Notice: April 29, 2010
Staff Contact: Matthew Sites, 808-7646

Design Commission has made the following comments regarding the proposed project.

1. Plantings that are proposed at the terrace level seem better suited for wetter climates. The solar reflection of the building may impact these plantings and the amount of water that is required to support them. Please coordinate these comments on the plantings with the landscape architect prior to the next submittal. Also please confirm that there is enough soil volume for the green screen plantings.
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8. Consider all areas of refinement as recommended by the staff report.

Matthew Sites, Associate AIA, LEED AP
Design Review Staff



MEMORANDUM

DATE: 5/3/2010

TO: **Mathew Sites, Design Review Staff, City of Sacramento**
cc: Elise Gumm, City of Sacramento Planning Department

FROM: Renner Johnston, AIA, LEED AP **PROJECT:** **7H: Mixed Use** **JOB #:** 208058
 DR10-033

SUBJECT: Response to Design Review Comment Letter dated 4/29/10, the letter summarizes the 4/21 Design Commission "Review and Comment Hearing"

The Project Team thanks the Design Review Commission for their observations on 4/21/10 in the City Council Chamber. The design team has been working very hard over the last 2 weeks to address the comments from the Commission while keeping the project financially viable.

The Commission will notice that that the team has significantly altered the ground floor plan to accommodate a clinic space that is 2,000 s.f. larger than in the previous scheme. A commitment from the Effort for the added lease space is very important to make the project more financially strong.

This programmatic change gave us the opportunity to address the Commission's insightful comment to unify the residential entry with the iconic tower element of the East "balcony tower" and our desire to decouple the daily residential experience from the unpleasant sounds of the jail. By shifting the residential entry, it is possible for many of the residents to have little or no, direct contact with the jail, making the environment a more pleasant place to live.

The Café/Retail space is still located on the 7th & H corner, and a second retail space is still at the north east corner of the building at 7th Street.

The clinic space remains on the south end of the building on H Street. This gives the excellent opportunity to a provide large, sunny reception and waiting area, and office work stations with excellent natural light along H street and many eyes on the street during the day. Above, there are still many eyes on the street from the residences.

The Café kitchen is one point of compromise that the clinic shift has created. Because of the need to large shear walls and the placement of the residential lobby and the clinic between the café and the trash area, it is not possible to develop a reasonable internal trash connection.

At the north retail space, we are showing a door connection direct to the alley to avoid the sidewalk, this proved to be a far more efficient use of space while avoiding the movement of trash on the sidewalk.

The Commission will also notice that the team has added a fire control room at the alley side of the building as well to accommodate the complexities of diesel fire pump requirements, and exhaust clearances.

I:\JOBS\208058 7th & H Streets\3.1 Planning Entitlements\5-3-10 Response to Design Review\Design Review Response memo_5-3-10.doc



MEMORANDUM

From an urban design perspective, the ground floor is still very transparent with almost all glass along 7th and H streets.

The Team is pleased with the design improvements and hope that the solutions are acceptable to the Commission.

Responses are numbered per the 4/29/10 summary letter from Mathew Sites:

1. Landscape: Summary: Plantings need to be better suited to the Sacramento climate, especially the west terrace, the street plantings need to reflect the comments pervious comments.
 - a. The ground floor landscape plan has been revised and is included in the **revised package, page 24 of drawing set.**
 - b. The planting material choices for the terrace have been revised for a drier climate, **on revised page 25 of drawing set.**
 - c. The typical planters on the terrace will have at least 18" depth. **See sketches in attached exhibit DR2-1.** The tree planters on the terrace will be detailed in a similar way but with a soil depth of 3'-6".
2. The residential entry has been shifted to 7th street and is now located under the "balcony tower" (see introduction comments above concerning the ground floor change) creating a much stronger identity for the residences – a request of the Commission. Further, the design team intends to use indentations and breaks in the landscape to distinguish the other entries.
3. The west masonry at the SMUD property line has been articulated more with colored CMU placed in alternating horizontal bands and textures. We intent to use an 8" darker course, with a 24" lighter course in colors that are sympathetic to the building's brick color. The wall will not be as rich in color as the masonry because we would like this wall not to call too much attention to itself and let it feel more like it is part of the SMUD wall, not the building. A drawing of this masonry coursing and material color samples will be presented at the 5/19 hearing. **See attached exhibit DR2-2.**
4. We are honored that the Commission recognized the merits of the aesthetic developed for the 7th & H corner with the constraints of the presence of the jail. See number 5 below for west wall elevation discussion – concerning "east bound traffic".
5. The West elevation needs to be improved and more articulated because of the east bound traffic on H street.
 - a. This elevation consumed more of the design team's effort – with dozens of sketches and hours of discussion. The challenge is to develop an interesting change in the building, while not compromising the disciplined brick pattern. While trying to stay within budget, the team considered adding massive metal expressions in the skin, tower elements, pop-outs of multiple shapes, exotic sun-shading devises, etc. We



MEMORANDUM

finally settled on the revised design that is a little “zoomy” while still using the “language” that the rest of the building skin.

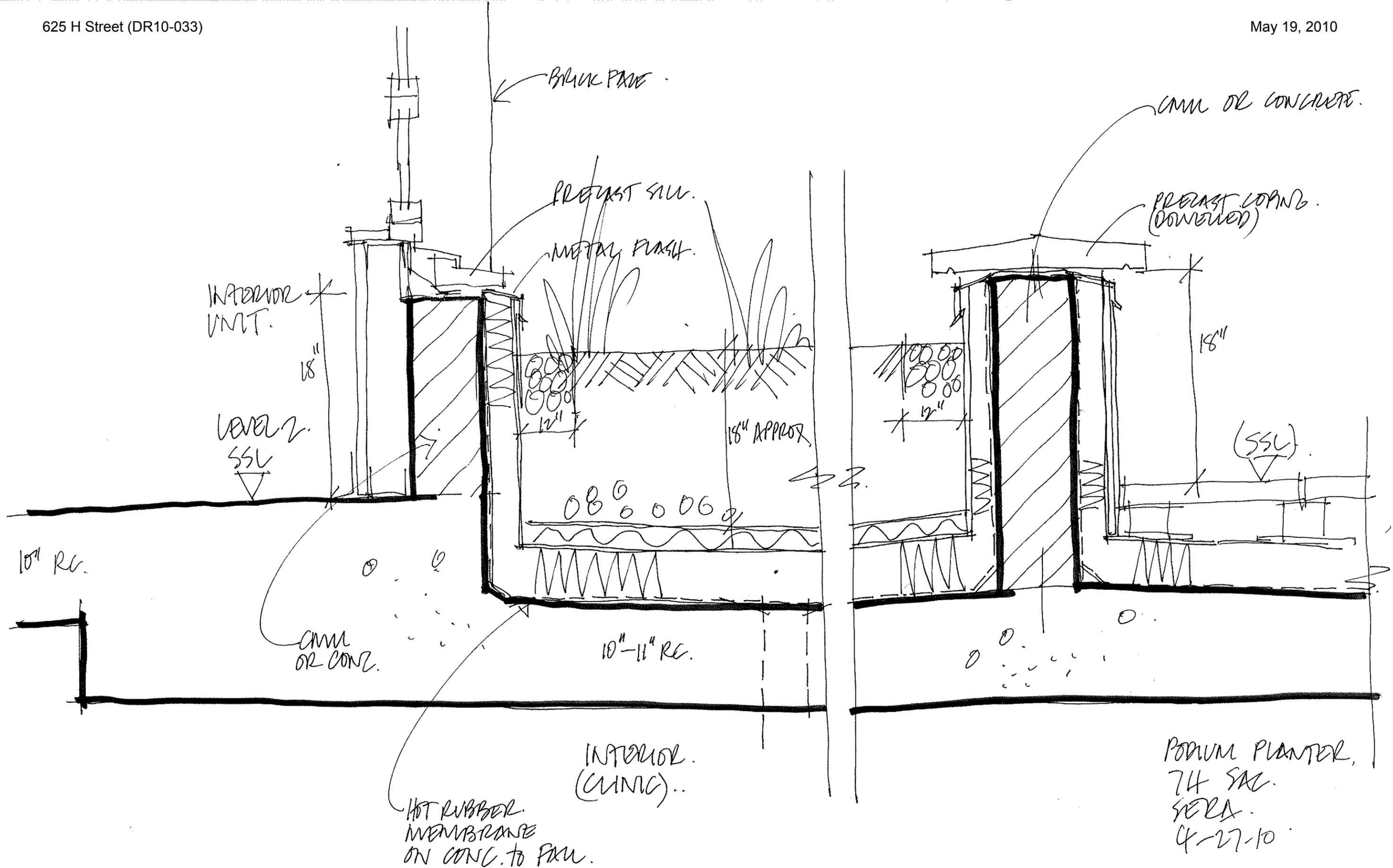
- b. A wedge-shaped pop-out punctuates the top two floors of the building creating the sense of that the “horizontal weave” brick pattern is peeling back from the building. This creates a triangular shadow on the west elevation, shades some of the windows below, and sets the building into a horizontal motion, giving it drama.
 - c. The metal panel element at the inside corner has also be raised up above the parapet with extended walls back into the roof to break the cornice and make it more interesting. The metal extends back into the room to give the illusion that it is a metal tower emerging from the room. This will be most visible in a revised sketch perspective of the west wall –to be presented in the 5/19 hearing.
 - d. At the same time, the team recognized that there is a need to indicate, reference the sense of activity on the terrace below tall wall. This breaks the scale, while further defining the 5th and 6th floors as a horizontal band underneath the brick “peel back” pop-out.
 - e. In addition, we noticed that the tree canopy was not rendered high enough on the west elevation, showing the trees (on top of a 3’-6” tall planter) to be only 8 or 9 feet tall. Realistically, we should expect a canopy at about 18’ above the terrace so this has been changed in the elevation.
 - f. Overall we feel that this is a much stronger west elevation and hope that the commission agrees. **See revised west elevation page 14 of drawing set.**
6. We are glad that that color material pallet is acceptable.
 7. This item is addressing two related issues on the building: The mechanical screening and the cornice – as relating to the PV alternative.
 - a. The mechanical screening:
 - i. **WITH THE SOLAR ARRAY:** The applicant agrees and is committed to providing adequate mechanical screening for the equipment on the roof. The intent, and is that this screening will be primarily accomplished with a “floating” PV array. The array floats approximately 12’ above the roof slab so that most of the mechanical equipment: vents, most of the fan exhausts, etc. can be placed below that field of panels. It is our hope that virtually the entire roof would be covered with a floating array. Where some of the equipment pops above the array, the team will use galvanized metal screening mesh that would vary transmission of light – to create a more playful element at the top of the building. **See the attached photos of the of the galvanized metal screening effect that are developing DR2-3.** The galvanized finish would relate to the other metallic elements on the building. Our hesitation about complete screening AND the PV array is simply the burden of cost. **We feel that it is**



MEMORANDUM

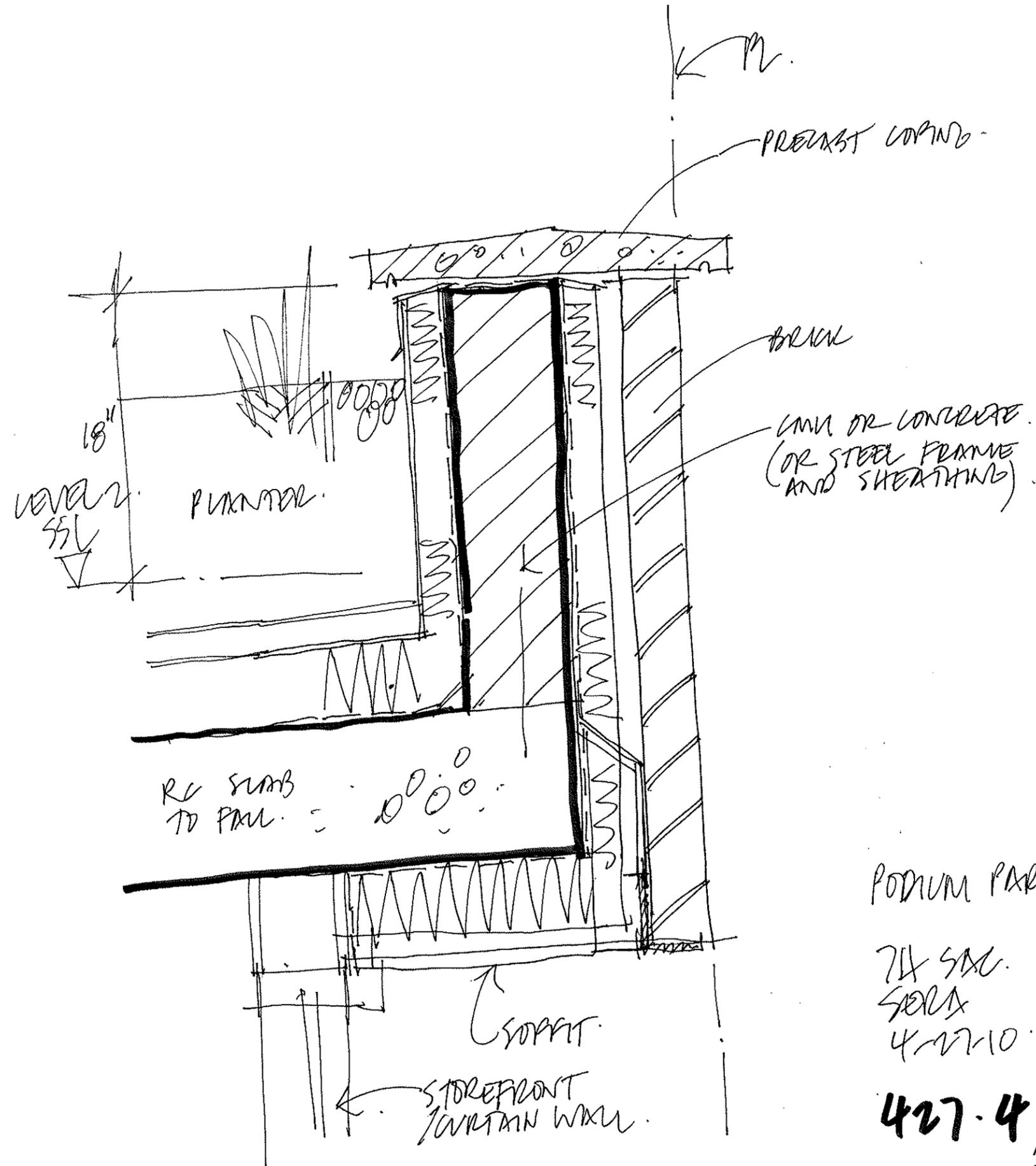
reasonable to consider the PV array as most of the mechanical screening – except for the elements that are taller than the array.

- ii. **WITHOUT SOLAR ALTERNATIVE:** If the solar array is not constructed, the team is committed to screening the mechanical equipment per the attached screening plan sketch – **see DR2-4**. The screening would also be constructed of the metallic screening described above and illustrated similar images attached. The team is still developing sketches for this screening concepts, to be submitted at the 5/19 hearing.
 - b. The cornice (“building top”): With or without the solar array, the cornice has been altered to include a 2’ tall metal coping with a deep reveal to create a shadow line. A detail sketch of the parapet has been added to the submittal. **See exhibit DR2-5**.
 - c. **WITH THE SOLAR ARRAY:** The deep shadowing from the PV panels creates an enormous cornice, and shadow line at the top of the building. We think that this is ample cornice overhang for the building to work.
 - d. **WITHOUT SOLAR:** in the event that the PV array is not on the building, the team proposes to do a brick patterning change near the top of the building to add complexity, and additional weight to the façade. Please see the attached brick pattern enlargement to illustrate this concept – **exhibit DR2-6**. Please note that the enlargement illustrates the color closer to the material samples than the small elevations.
8. We look forward to continue to work with staff after Commission approval to make the best building possible.



PODIUM PLANTER,
 74 SAC.
 SERA.
 4-27-10

427.5



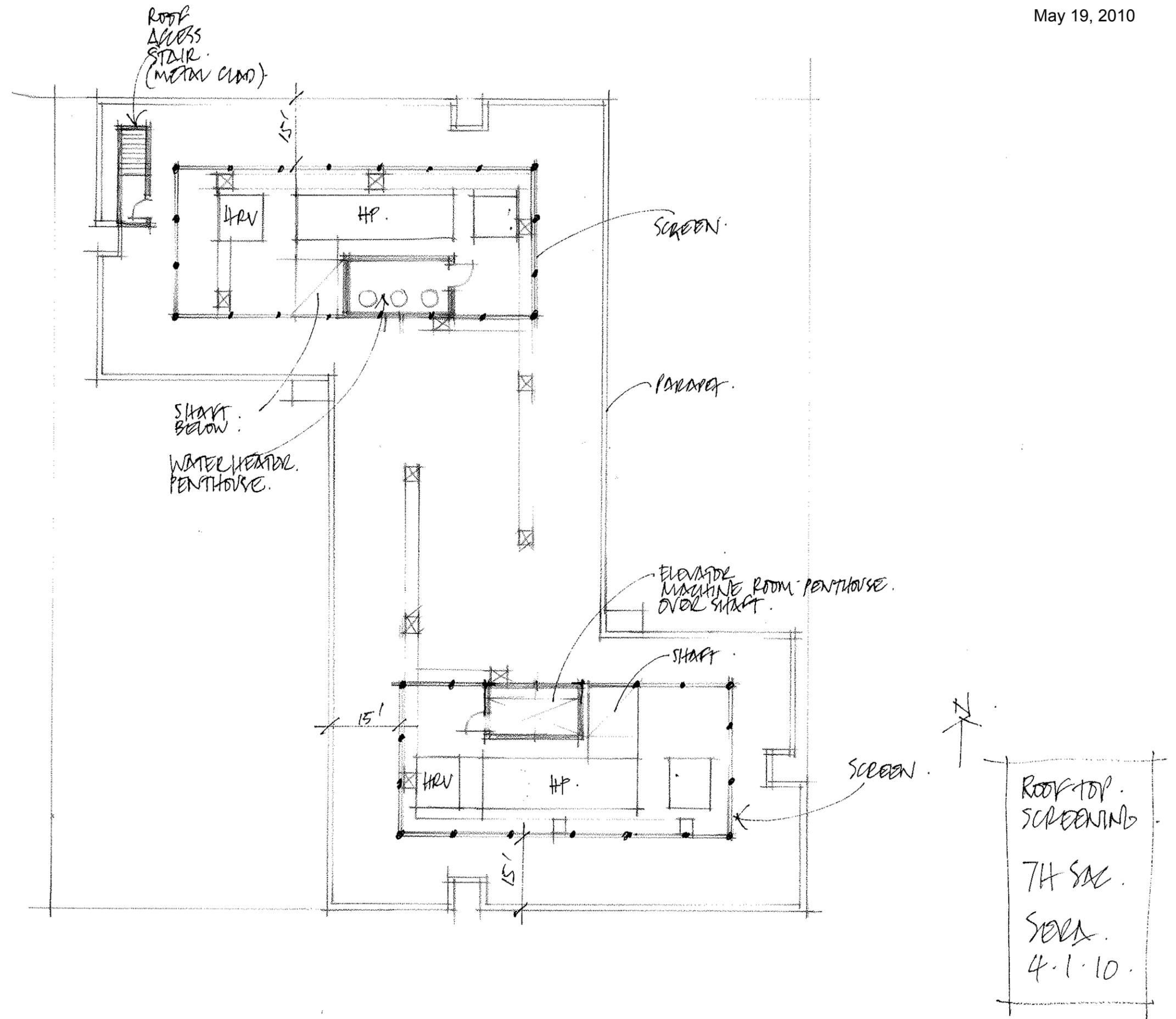
PODIUM PARAPET.

7/4 SFL.
SFLA
4-27-10

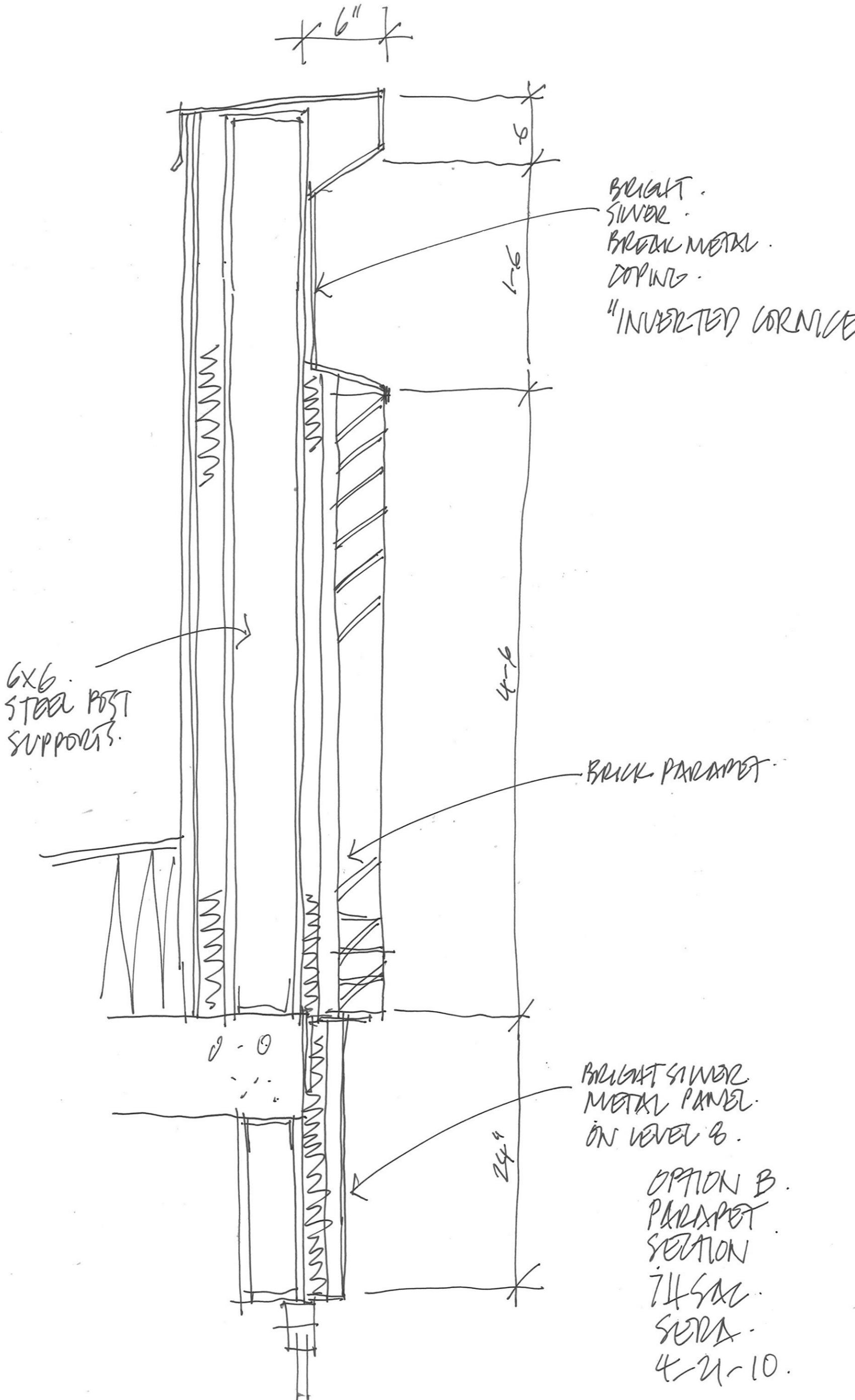
427.4



D2-2





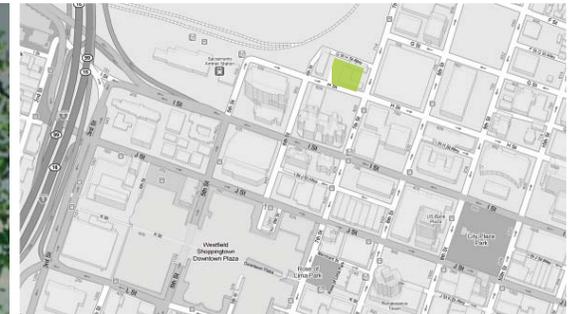




[Return to Table of Contents](#)



RENDERING_ LOOKING NORTH/ WEST FROM H STREET



7TH & H

Connecting a Neighborhood_ connecting to and activating the surrounding neighborhood and beyond.

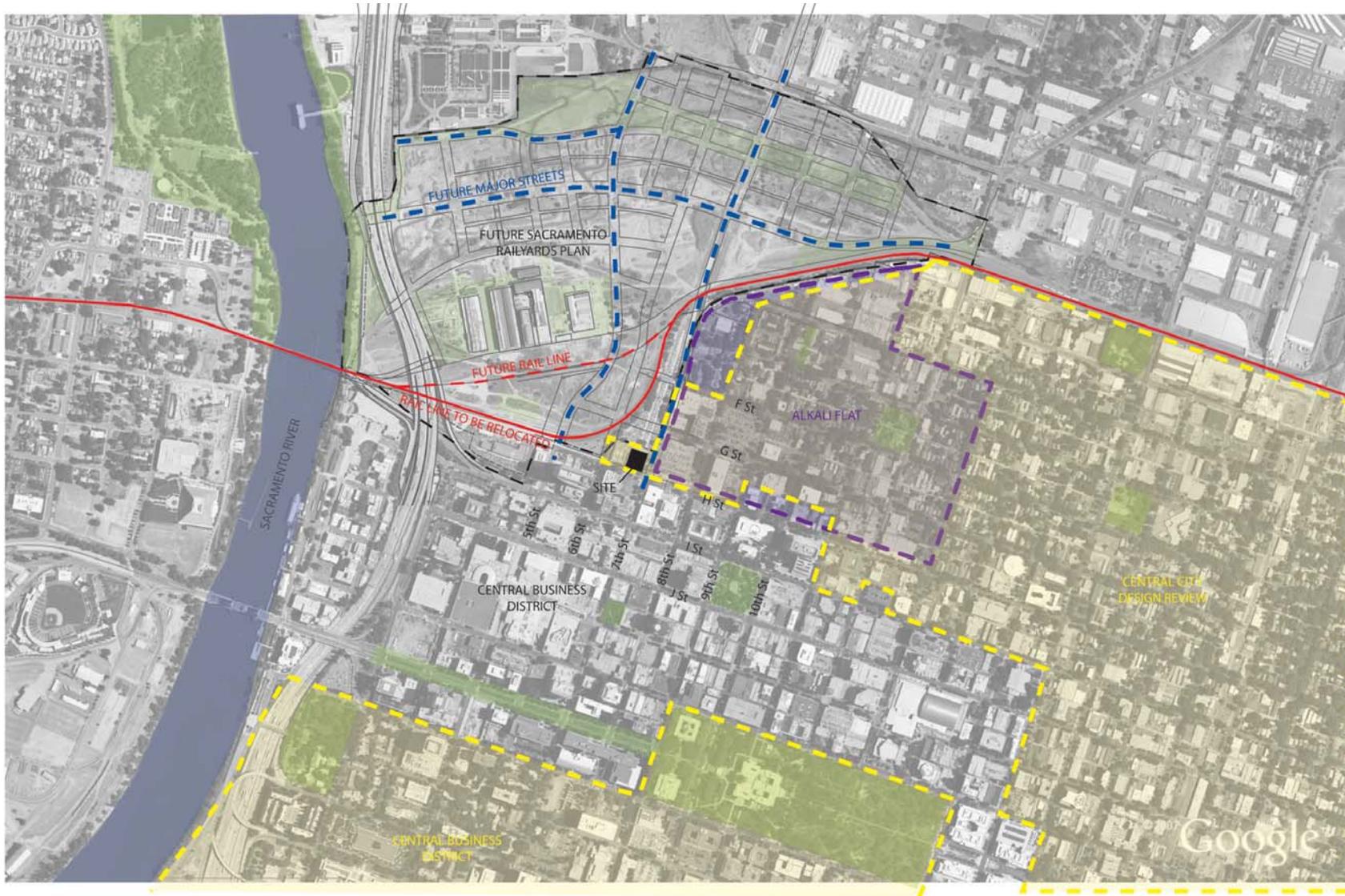
Building a Community_ fostering social interaction and a community within the building.

Integrating Sustainability_ minimizing operational costs and providing a healthy and durable environment

DR REVISED SET

2010.05.10





7TH & H
District Context
2010.05.10



1



SITE ANALYSIS

NATURAL VENTILATION

Allow summer breezes to penetrate the site and flow thru the building

NOISE REDUCTION

Minimize noise on South West side to mitigate noise from transit streets, rail, and electrical substation

TRANSIT CONNECTIONS

Provide bicycle storage, lockers and changing facilities for building employees and residents

PASSIVE DESIGN - BUILDING ORIENTATION

Rotate the buildings in the east / west direction to maximize passive solar and daylight penetration. Orient building 32 degrees west of south for maximum solar collection

STORM WATER MANAGEMENT

Vegetated roof, over ground floor will retain stormwater to mitigate stormwater effects

GREEN CORRIDOR

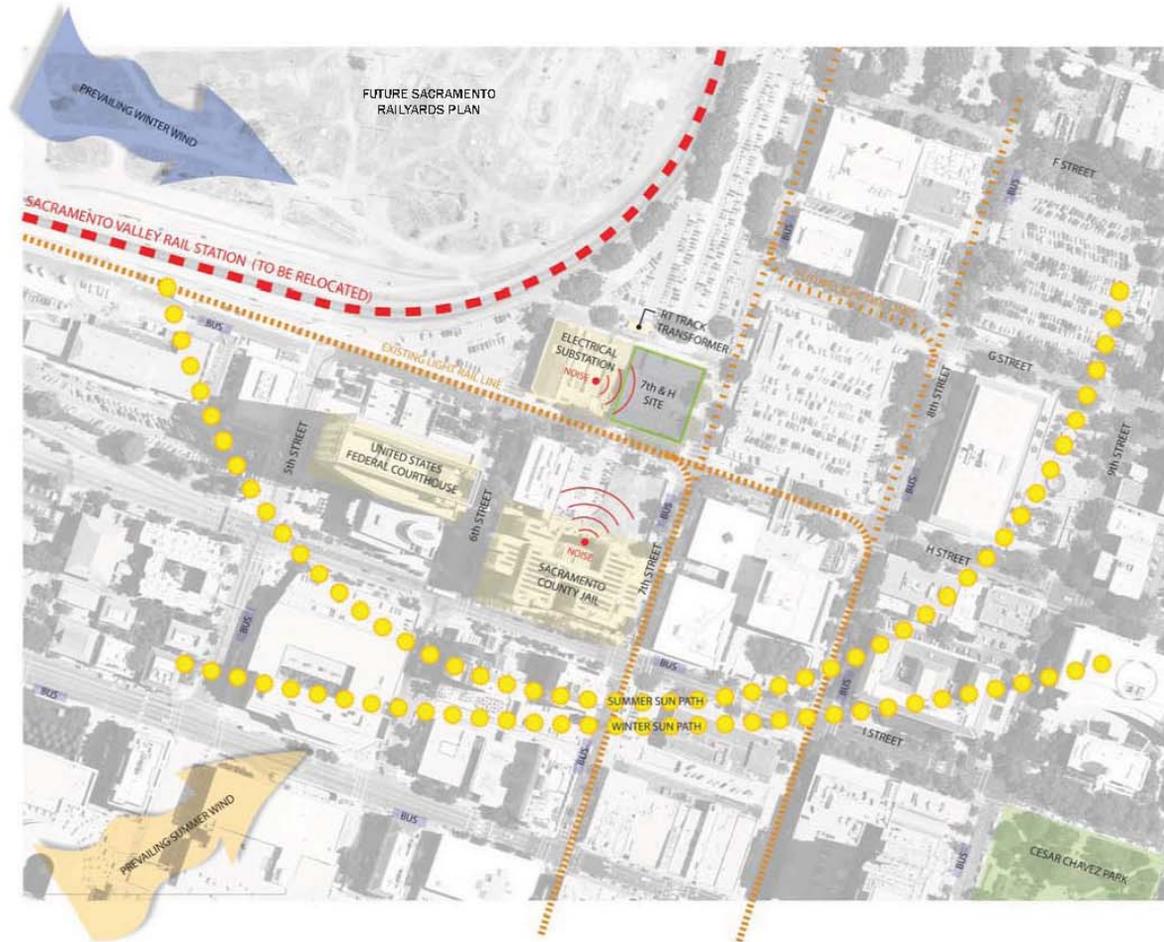
Provide open corridors for connection between site and the future adjacent site Riverfront District

NEIGHBORHOOD CENTER

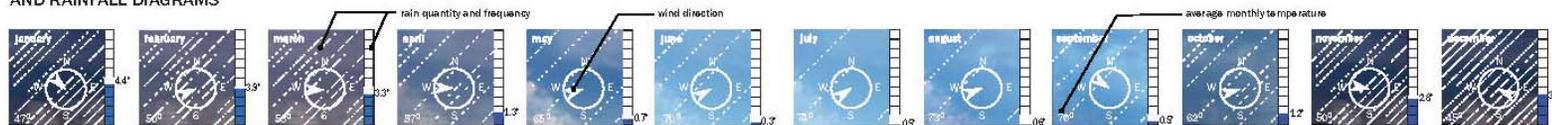
Take advantage of central location to provide a bridge between downtown and future rail yard site development

RAIN WATER COLLECTION

Potential to use rainwater for irrigation or other greywater uses



AVERAGE TEMPERATURE WIND AND RAINFALL DIAGRAMS

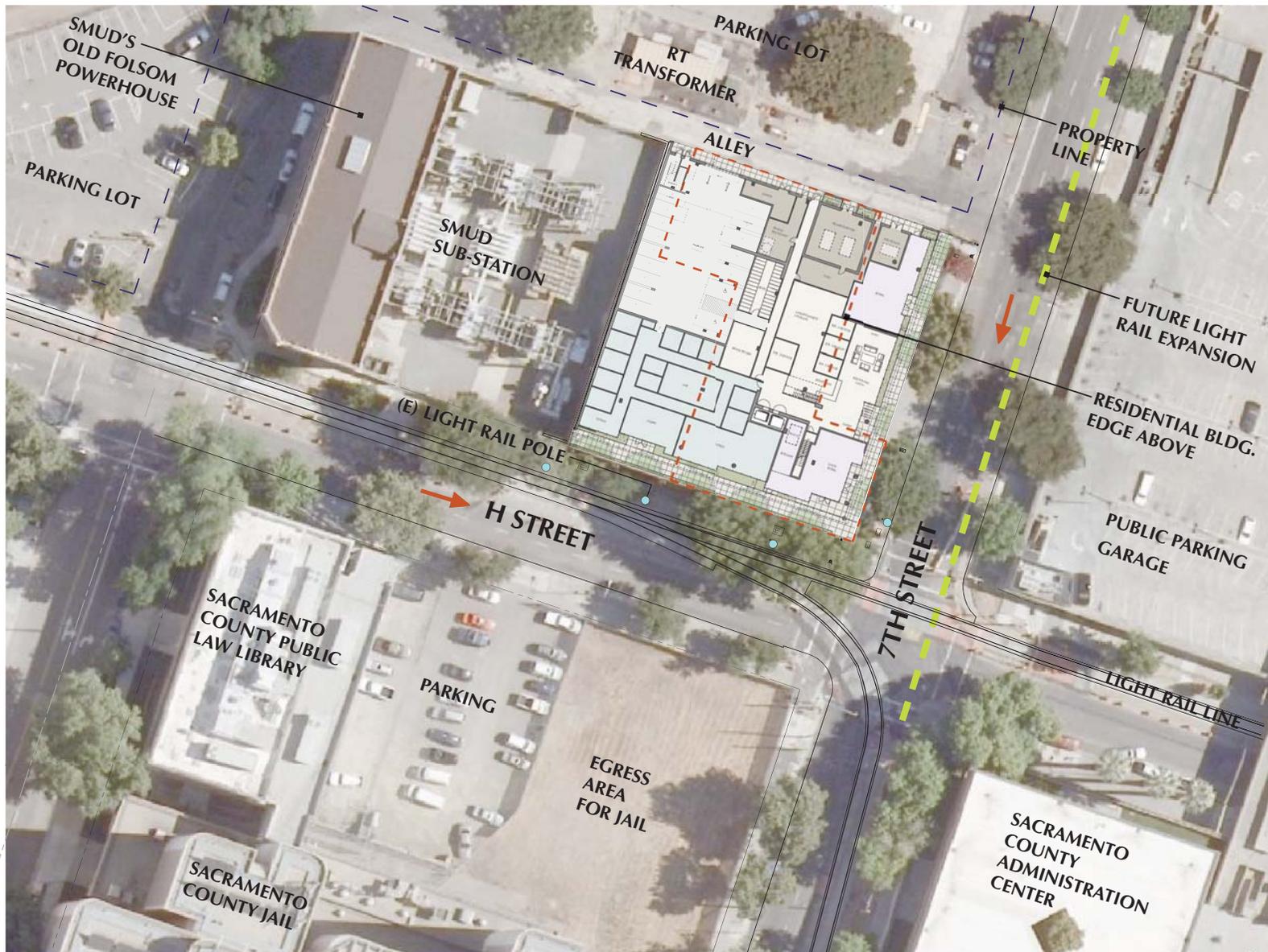


7TH & H
Site Analysis
2010.05.10



2





7TH & H
Site Context
2010.05.10
scale: N.T.S.



3





Views of SMUD Sub-Station Building and Alley:
 [Looking North] [Looking South] [Looking East]



H Street- Looking South: Views of County Jail Overflow Lot



H Street- Looking North/East: Views of Adjacent SMUD Utilities and Project Site



Corner of 7th & H Streets- Views of Project Site



7th Street- Looking West: Views of Covered Paking Area Off alley



Alley- Looking North/West: Views of Fenced RT Transformer and SMUD Utilities
 [RT] [SMUD]



Intersection of 7th & H Streets- Views of County Parking Structure

7TH & H
 Context Photos
 2010.05.10





PROJECT TOTALS

*square footages are approximate

Site Area:	150' x 160'	24,000 sf (0.55 acre)
Units Total:	150 units total	
Studio Efficiencies:	369sf -	482sf gross sf
1-Bedroom Apts.:	600	grosssf
Retail:	2,800sf	(approx.)
Clinic:	6,000sf	(approx.)

PROJECT AREA TABULATION (6.22.09)

1st Floor	21,184 sf
2nd Floor	13,533 sf + Roof Garden (8,563sf)
3rd Floor	13,268 sf
4th Floor	12,788 sf
5th Floor	13,268 sf
6th Floor	12,788 sf
7th Floor	13,268 sf
8th Floor	12,788 sf
Roof	400 sf
Total Conditioned	113,285 sf

Unit Mix	Parking Spaces: 16 spaces including 2 ADA spaces
Studios 122	
1- Bedrooms 28	
Total 150	

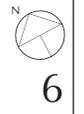
- FUTURE LIGHT RAIL EXPANSION COMPLETION 10/2010
- BIKE PARKING
- STREET TREES (see landscape drawings)
- SCORED SIDEWALK
- (E) TREE TO BE REMOVED
- METAL CANOPY ABOVE
- PLANTER PER LANDSCAPE
- BLDG. EDGE ABOVE
- (E) TREE TO BE REMOVED

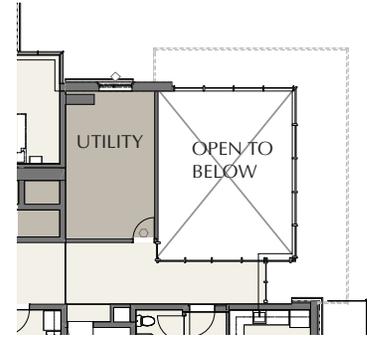
7TH & H
 Site Plan
 2010.05.10
 scale: 1"= 20'-0"





7TH & H
 Level 2
 2010.05.10
 scale: 1" = 20'-0"





COMMON ROOM AT LEVELS 4, 5, AND 6

DOUBLE HEIGHT LOUNGE- SEE UPPER LEVEL

7TH & H
 Levels 3 - 8
 2010.05.10
 scale: 1"= 20'-0"



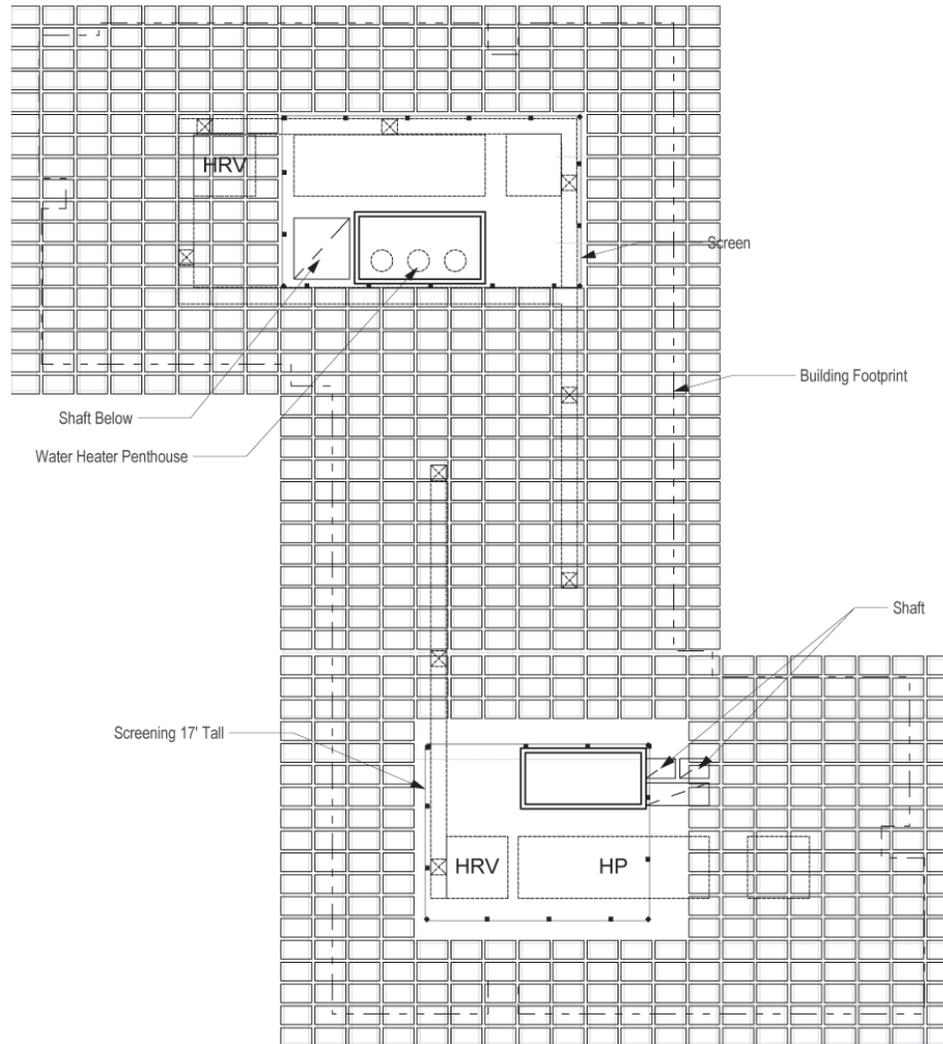
7





UNIT PLANS ENLARGED

7TH & H
Prototypical Enlarged Unit Plans
2010.05.10
scale: 1/2" = 1'-0"

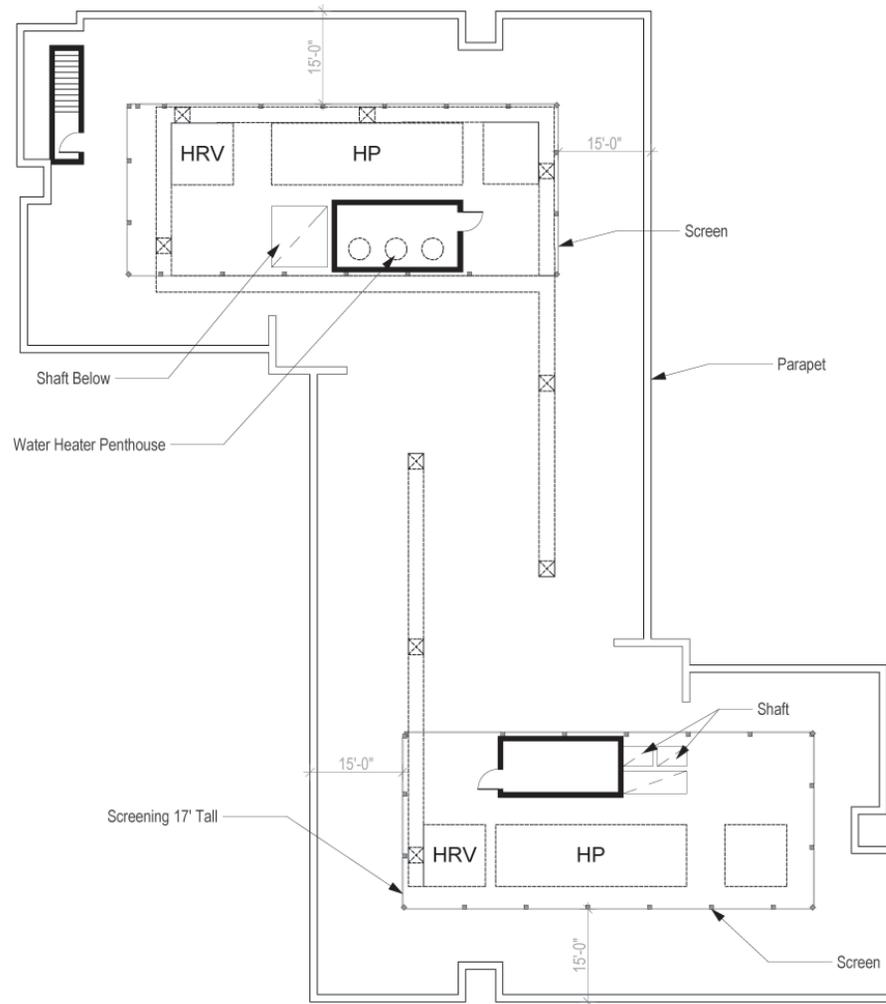


7TH & H
Roof Level
2010.05.10
scale: 1" = 20'-0"



9





7TH & H
Roof Level without PV
2010.05.10
scale: 1" = 20'-0"

9A



LEGEND

- BRICK A
 - BRICK B
 - METAL PANEL
- * SEE MATERIAL BOARD



H STREET

BRICK B OR
CONCRETE

ALLEY

EAST ELEVATION
SCALE: 1/16" = 1'-0"

**7TH & H
10**



LEGEND

- BRICK A
- BRICK B
- METAL PANEL

* SEE MATERIAL BOARD



EAST ELEVATION **WITHOUT PV**
SCALE: 1/8" = 1'-0"

**7TH & H
10A**



LEGEND

- BRICK A
 - BRICK B
 - METAL PANEL
- * SEE MATERIAL BOARD



SMUD SUBSTATION

7TH STREET

SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

7TH & H
11



LEGEND

- BRICK A
 - BRICK B
 - METAL PANEL
- * SEE MATERIAL BOARD



SMUD SUBSTATION

7TH STREET

SOUTH ELEVATION WITHOUT PV

SCALE: 1/8" = 1'-0"

**7TH & H
11A**



7TH & H
2010.05.10

NOT USED
12



LEGEND

- BRICK A
- BRICK B
- METAL PANEL

* SEE MATERIAL BOARD



7TH STREET

STEEL DOOR

ALLEY

STEEL DOORS W/
LOUVERS ABOVE

ALUM. ROLL UP GRILL

SMUD SUBSTATION

STEEL DOORS AT TRANSFORMERS
W/ LOUVERS ABOVE

7TH & H
13

NORTH ELEVATION

SCALE: 1/16" = 1'-0"



LEGEND

- BRICK A
 - BRICK B
 - METAL PANEL
- * SEE MATERIAL BOARD



7TH STREET

STEEL DOOR

ALLEY

STEEL DOORS W/
LOUVERS ABOVE

ALUM. ROLL UP GRILL

SMUD SUBSTATION

STEEL DOORS AT TRANSFORMERS
W/ LOUVERS ABOVE

NORTH ELEVATION WITHOUT PV

SCALE: 1/8" = 1'-0"

**7TH & H
13A**

LEGEND

- BRICK A
 - BRICK B
 - METAL PANEL
- * SEE MATERIAL BOARD



ALLEY

SMUD SUBSTATION IN FOREGROUND

H STREET

WEST ELEVATION OVERALL

SCALE: 1/16" = 1'-0"

7TH & H
14



LEGEND

- BRICK A
 - BRICK B
 - METAL PANEL
- * SEE MATERIAL BOARD



ALLEY

SMUD SUBSTATION IN FOREGROUND

H STREET

WEST ELEVATION COURTYARD WALL EMPHASIS
 SCALE: 1/16" = 1'-0"

**7TH & H
14A**



LEGEND

- BRICK A
 - BRICK B
 - METAL PANEL
- * SEE MATERIAL BOARD



WEST ELEVATION OVERALL **WITHOUT PV**
SCALE: 1/16" = 1'-0"

7TH & H
14B





LOOKING NORTH/ WEST FROM H STREET

7TH & H
15



7TH & H
2010.05.10

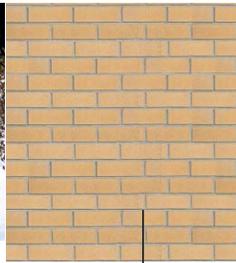
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16





Existing Building Example

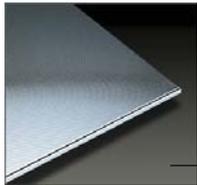


Muddox Brick:
- Summer Wheat
- Norman Size
- Dark Grout

Muddox Brick:
- Ebony
- Norman Size
- Dark Grout



Existing Building Example



Panel Cladding
- Silver Metallic
(Matte)



Aluminum Windows
- Anodised Silver

Balcony Mesh



Exterior Green Wall



G-SKY GREEN WALL SYSTEM

7TH & H
Materials & Colors
2010.05.03



SIGNAGE_ EAST ELEVATION



SIGNAGE_ EAST PERSPECTIVE

**MEDIUM FLAG TYPE SIGNS
(BELOW SUNSHADE)**
 12" HIGH WITH 6" LETTERING PERPENDICULAR TO THE BUILDING FACE FOR PEDESTRAINS WALKING ALONG THE SIDEWALK. THESE ARE INTENDED TO ALIGN WITH STOREFRONT VERTICAL MULLIONS.

LARGE LETTERS PARALLEL TO THE BUILDING FRONTAGE (ABOVE SUNSHADE)
 14" CUTOUT LETTERS, MOUNTED ON THE FRONT EDGE OF THE GROUND LEVEL SUN SHADING. THESE WILL READ BEST FOR THOSE TRAVELING BY CAR OR ACROSS THE STREET.

7TH & H
 Site Plan
 2010.05.03



SIGNAGE_ SOUTH ELEVATION



SIGNAGE_ SOUTH PERSPECTIVE

NUMERICAL ADDRESS IDENTIFICATION
 LOCATED IN THE TRANSOM AREA ABOVE ALL ENTRANCES,
 6" LETTERS TO IDENTIFY THE NUMERIC ADDRESS.

7TH & H
 Site Plan
 2010.05.03

7TH & H
2010.05.10

NOT USED

20



7TH & H
2010.05.10

NOT USED

21





COMMON ROOM CONCEPT AT 3RD FLOOR
LOOKING NORTH

7TH & H
22





INTERIOR CONCEPT OF COMMON ROOM
FROM LEVEL FOUR ELEVATOR AREA

7TH & H
23



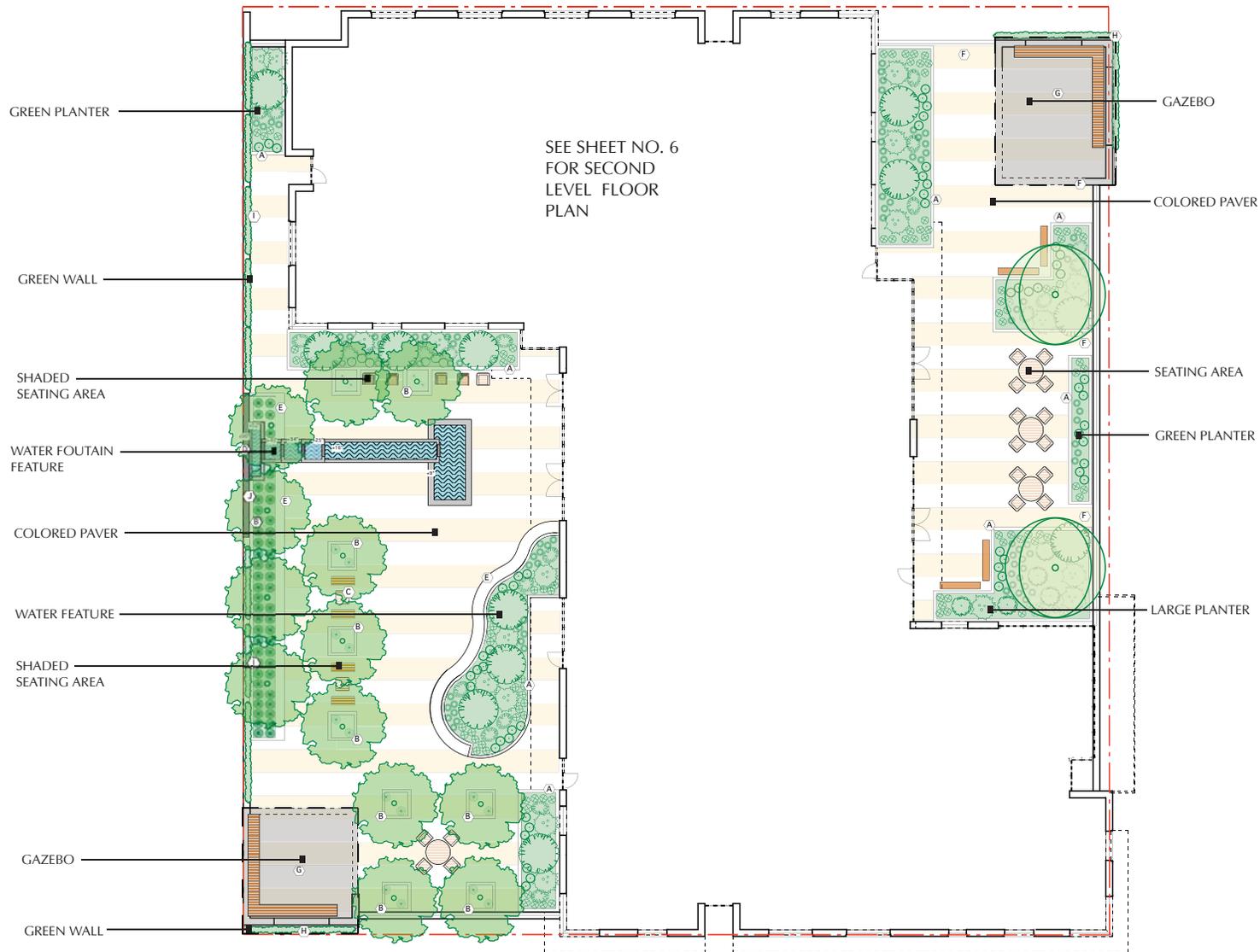


PLANTING LEGEND (NEW PLANTS)			
SYMBOL	BOTANICAL NAME	SIZE	SPACING
	<i>Acer nigrum</i> 'Greencolumn'	24" BOX	30"
	<i>Dicksonia antarctica</i>	24" BOX	N/A
	<i>Lyonothamnus</i> f. 'splenifolius'	15 GAL	N/A
	<i>Clivia miniata</i>	5 GAL	2"
	<i>Grevillea lavandulifera</i> 'Penola'	5 GAL	5"
	<i>Limonium perezii</i>	1 GAL	2'-6"
	<i>Helictotrichon sempervirens</i>	5 GAL	3'-6"
	<i>Pittosporum tobira</i> 'Wheeler's Dwarf'	5 GAL	3'-6"
	<i>Nandina domestica</i>	5 GAL	3'-6"
	<i>Parthenocissus tricuspidata</i>	15 GAL	10"
	<i>Trachelospermum jasminoides</i>	1 GAL	4"

AMENITIES LEGEND	
SYMBOL	DESCRIPTION
	EXISTING LIGHT RAIL POLE
	EXISTING FIRE HYDRANT
	BOLLARDS ALONG ALLEY
	BICYCLE RACKS (ACCOMMODATES 16)
	NEW CONCRETE TO MATCH CITY STANDARDS
	NEW ASPHALT
	ENHANCED PAVING
	ORGANIC MULCH
	NEW STREET PARKING SPACE
	CLINIC ENTRY
	RESIDENTIAL ENTRY
	COMMERCIAL ENTRY
	CONTINUOUS PLANTER
	BICYCLE RACKS
	OVERHEAD PROJECTION

7TH & H
 Landscape Concept
 Level 1
 2010.05.03
 scale: 1" = 20'-0"





PLANTING LEGEND			
SYMBOL	BOTANICAL NAME	SIZE	SPACING
	<i>Olea Europaea</i> 'Swan Hill'	24" BOX	30'
	<i>Chionanthus retusus</i>	24" BOX	N/A
	<i>Rosmarinus officinalis</i>	15 GAL	N/A
	<i>Buddleja alternifolia</i>	5 GAL	2'
	<i>Chondropetalum tectorum</i>	5 GAL	5'
	<i>Mimulus</i>	1 GAL	2'-6"
	<i>Cistus incanus</i>	5 GAL	3'-6"
	<i>lavandula angustifolia</i>	5 GAL	3'-6"
	<i>Artemesia 'Powis Castle'</i>	5 GAL	3'-6"
	<i>Phornium t. 'Tom Thumb'</i>	15 GAL	7'
	<i>Myoporium p. 'Prostratum'</i>	15 GAL	10'
	<i>Parthenocissus tricuspidata</i>	1 GAL	4'

AMENITIES LEGEND	
SYMBOL	DESCRIPTION
	CONTRASTING BANDS OF HIGH ALBEDO CONCRETE TOPPING SLAB
	WOOD SLAT TABLES, CHAIRS, AND BENCHES
	TIMBER SLAB BENCH
	CONCRETE RAISED PLANTER
	CONCRETE RAISED PLANTER BOX WITH SHADE TREES
	GAME TABLES
	CASCADING WATER FEATURE AND RILL TO POOL
	CONCRETE SEAT WALL
	PROSPECT OPPORTUNITY TO STREET BELOW & CITY VIEW
	OUTDOOR PAVILION
	GREEN SCREEN VINE TRELLIS
	8'-0" SOUND WALL PLANTED WITH VINES
	8'-0" SOUND WALL WITH ENHANCED FACING MATERIAL

7TH & H
 Landscape Concept
 Level 2
 2010.05.03
 scale: 1" = 20'-0"



25



7TH & H
2010.05.10

NOT USED

26





REPORT TO DESIGN COMMISSION City of Sacramento

4

915 I Street, Sacramento, CA 95814-2671

[REVIEW AND COMMENT](#)
April 21, 2010

To: Members of the Design Commission

Subject: **625 H Street (DR10-033)** Located at the northwest corner of 7th and H Streets, a request to develop an eight story mid-rise 150 unit residential tower with ground floor retail and health clinic on 0.55+/- acres in the Central Business District Special Planning District (C-3-SPD) zone.

- A. Environmental Determination: Exempt per 15332, Infill Development
- B. Design Review of an eight story housing community with ground floor retail and clinic.

Location:

Address: 625 H Street, Sacramento, CA
Assessor's Parcel Number: 002-0141-001, -002, -003, -004, and -007
Council District 1
Central Core Design Review District

Recommendation: Staff recommends the Commission **review and comment** on the proposed design. No action will be taken at this time. When the project returns at a later date, the Commission will have final approval authority over items A and B above, and its decision is appealable to City Council.

Contact: Matthew Sites, Associate AIA, LEED AP, Design Review Staff, (916) 808-7646
Luis R. Sanchez, AIA, LEED AP, Senior Architect (916) 808-5957

Applicant: Rich Ciraulo, Mercy Housing California, (916) 414-4460, 3120 Freeboard Drive, Suite 202, West Sacramento, CA 95691.

Owner: Redevelopment Agency Of The City Of Sacramento, (916) 444-9210, 801 12th Street, Sacramento, CA 95814.

SUMMARY: The project is before the Design Commission for the first time. The development consists of an eight story mixed-use building at the northwest corner of 16th and N Streets. The building will accommodate 3,900 square feet of commercial retail space, 3,800 square feet of clinic space, and 150 residential units. The proposed 150 units would include 122 studio and 28 one bedroom units. Second floor landscaped terraces are being provided as well as double height lounges at the 3rd, 5th, and 7th floors as community amenities. Sixteen parking spaces will be provided through alley access at the ground level. This project is the first mid-rise residential tower in the newly redefined Central Core District, and the first project to use the new Urban Design Guidelines.

This project has been defined by the many constraints of the location including the substation to the northwest, the County jail across the street, an existing RT light rail line located along the north side of H Street, and a future RT line proposed on the east side of the 7th Street. The building is oriented to minimize the potential visual interaction and communications with the jail while still maintaining view corridors of the Railyard Area and Central Business District. The Design Team and City Staff toured the jail together to understand the concerns that were provided by the jail including visual communications and views into the residential units. The building will utilize high quality materials in a style that contrasts and brightens an area filled with monolithic uninspiring state and county buildings.

The project will require Planning Commission approval of entitlements for Environmental, Tentative Map to combine existing 5 parcels into one lot for commercial condominium purpose, Special Permit – Major Project to allow the construction of a 8 story 102 foot tall mixed use building, which is over 75,000 Square Feet in the Central Business District (C-3) zone, Special Permit to establish a residential hotel, also known as a single room occupancy hotel (SRO), Special Permit to exceed the one hundred twenty-five (125) unit maximum in the Central Business District (C-3) zone, Variance to allow compact parking spaces that are more than 40% of the total parking. The Planning Commission is scheduled to hear this project on May 6, 2010 for Final action. The project is located in the Central Core Design Review District and is subject to Design Review.

Table 1: Project Information
Existing zoning of site: C-3 (Central Business District)
Existing use of site: Vacant
Property dimensions/area: Approximately 0.55 acres
Building square footage: 113,285 ± square feet
Building height: 74'-7" highest occupiable level, 84'-2" to top plate, 96'-2" to top of photovoltaic panels.
Exterior building materials: brick, matte finished metal panels, silver anodized aluminum storefront systems with low-e clear glazing, and green screen.

PUBLIC/NEIGHBORHOOD OUTREACH AND COMMENTS: Staff mailed an Early Notice to property owners and neighborhood associations within a 300 foot radius on March 11, 2010,

a Hearing Notice on April 5, 2010 for the April 21, 2010 Design Commission Review and Comment. The following organizations were contacted; Alkali and Mansion Flats Historic Neighborhood Association, SOCA, River District, and the Downtown Sacramento Partnership. The applicant has contacted property owners and neighborhood associations during the initial planning and design phase, and has provided a history in the Statement of Intent (Attachment 2, Page 19). No comments have been received at the time this report had been written.

ENVIRONMENTAL CONSIDERATIONS: This project is exempt per CEQA 15332(b), “the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.”

SUSTAINABILITY CONSIDERATIONS: The City has adopted a Sustainability Master Plan to complement the City’s General Plan. This was done to ensure that the City set the standard for the practices of sustainability within its own organization as well as becoming a model for any construction projects within the City. Projects should consider the following goals adopted by the City as projects are proposed within the City: reduce consumption of materials, encourage the reuse and local recycling of materials, reduce the use of toxic materials; establish and continuously improve “green” building standards for both residential and commercial development--new and remodeled, reduce dependence on the private automobile by working with community partners to provide efficient and accessible public transit and transit supportive land uses, reduce long commutes by providing a wide array of transportation and housing choices near jobs for a balanced, healthy city; improve the health of residents through access to a diverse mix of wellness activities and locally produced food, promote “greening” and “gardening” within the City, create “Healthy Urban Environments” through Restorative Redevelopment, and maintain and expand the urban forest.

Staff supports the applicant’s desire to achieve LEED Silver as provided in the Statement of Intent (Attachment 2, Page 6-8). Staff recommends the use of a Construction Waste Management Plan, energy efficient designs, and the use of local materials as a minimum standard for this project.

POLICY CONSIDERATIONS: While the City’s General Plan is being updated, the City Council has adopted a vision for the future of the City as well as several guiding principles to help achieve this vision. This was done to ensure that new developments submitted during the ongoing update comply with the goals and policies that are being incorporated into the General Plan through the update. The proposal complies with the following guiding principles. Use the existing assets of infrastructure and public facilities to increase infill and re-use, while maintaining important qualities of community character. Promote strategic development of vacant, underutilized, and infill land, especially along transportation and commercial corridors, to improve the city’s economic outlook. Create and maintain a broad range of jobs that are accessible to all residents that provides opportunities for advancement. Encourage sustainable levels of energy and resource consumption through efficient land-use,

transportation, building design, construction techniques, waste management, and other infrastructure systems.

This proposed project is consistent with the Sacramento Central Business District Urban Design Plan. Staff is supportive of the design and recommends Design Commission review and discussion on the following items to assist the Applicant with further project development.

Design Policy Considerations: Context: Allow for creative architectural solutions that acknowledge contextual design through emulation, interpretation, or contrast in character. Character: Complement the architectural character of existing historic building enclaves and promote harmony in the visual relationships and transitions between new and older buildings. Scale: Relate the bulk of new buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction. Pedestrian: Enhance the pedestrian experience. Materials: Promote efforts to utilize high quality building materials, detailing & landscaping. Integrated Services: Promote functional & aesthetic integration of building services, vehicular access and parking facilities. Sustainable Design: Promote sustainability in building design, construction and operation.

Design Guidelines Considerations: Applicant proposes the highest occupiable space as 74'-7" in order to remain under the 75'-0" maximum height limit for the last occupied floor as this will subject the building to the high rise section of the building code. Staff has confirmed with the applicant that any additional height will subject the building to the high rise portion of the code. Ground level uses: Should be residential or mixed. Transparency: Any nonresidential ground floor use (except parking and servicing) shall have walls at least 60% transparent. Articulation of street-wall: Articulations should be spaced no further than 20' o.c. Lighting: Should be appropriate to the ground floor uses, and respectful of adjacent property uses. Entries: Entry locations should be obvious, easy to find, clearly visible from the sidewalk, and safe. Double height entries encouraged. Recessed entries are discouraged. Fenestration: To provide human scale to buildings, windows shall be well-proportioned, varied across a project, articulate the wall system, and be operable where appropriate. Roofs and mechanical penthouse enclosures: Mechanical equipment located at roof level should be integrated into the building design, e.g. as a screened volume. Sustainability: Development should meet the criteria required for LEED certification (or another appropriate rating system) at a minimum.

STAFF RECOMMENDATIONS TO COMMISSION: Staff is supportive of this project and recommends some refinements to the overall design as noted below. Staff has had several productive meetings and has been partnering with the design team to facilitate a design that can meet the Design Guidelines and the owner's needs. Staff provided the design team a list of comments attached at the end of this report. The design team has reviewed the comments and provided a narrative regarding the comments and how they have addressed them. Staff requests that the Design Commission review and comment on the proposed project design as well as the following points.

Site Comments:

1. The setbacks are minimal and vary along each frontage as there is no requirement to setback at this location. The setback along 7th Street varies from 3' to 6', and 4' to 10' along H Street. The larger setbacks on the ground level provide an outdoor seating/cafe area to activate the base of the building as well as the retail space. Staff supports the proposed configuration as it allows the accoutrements of a smaller downtown retail environment yet the feel of the nearby residential neighborhood.
2. Two parallel parking spaces are provided along 7th Street to help activate the retail spaces. Staff supports the proposed parking spaces as the tree canopy would not be affected along the street and further activates the ground level.
3. Landscaping has been provided along the 7th and H Streets Public Right of Way as well as along the building edges. Staff supports the design provided on the architectural plans, and recommends the applicant revise the landscape plans to match the proposed changes. Staff requests the Design Team to provide revised plans to the Design Commission and Staff prior to final action.
4. Existing street trees are proposed to be removed and replanted due to the poor current conditions and poor pruning from installation of RT line. Staff feels that after meeting with the Design Team that the proposed street tree planting and sidewalk configuration is an appropriate replacement for the existing trees and sidewalks. Staff would like further clarification where light poles and RT poles are located. These pole locations have a potential to conflict with the street trees and street parking areas. Urban Forestry Staff has provided the following comments regarding the street trees.
 - o The spacing and canopy habit of the existing street trees is a poor match for a building this tall that has little to no set back or step back.
 - o The trees on H Street are not in good shape after recent light rail improvement impacts.
 - o The trees on 7th are poor specimens struggling in marginal growing conditions.
 - o Trees on H Street and on 7th street will be negatively impacted by the proposed construction activity.

Staff requests the Commission review and comment on street trees, on street parking, and pole locations.

5. Two terrace areas on both the east and west sides have been proposed at the second level with a ground floor courtyard provided at the west side of the building. Extensive hardscape and landscaping are provided including several gazebos and a water feature. Green screen walls are provided at the gazebo areas and continue down to the ground level. Staff supports the proposed design but has some concerns that the *Alnus Oregona* may not be the proper species to plant at this level due to size issues, and the amount of particulate matter generated by the tree which may come to rest on exterior building features. Staff requests the Commission comment on the terrace areas.

Building Comments:

6. A formal material palette of two tones of full size brick, aluminum panel, aluminum sunshades, and metal mesh balcony rails has been provided for this project. Staff supports this material palette as proposed, but requests the Design Team to consider different variations of brick size and/or coursing where possible.
7. A standard aluminum storefront system is proposed with minimal breaks of brick and green screen at the street level. Staff recommends the continued use of brick at the ground level storefront sills alluding to brick provided at the upper floors. Staff also supports the proposed ground level experience as it is broken vertically by the louver metal awnings above that also serve as a light shelf for the ground level spaces.
8. What is currently shown as the upper level lounge areas along 7th Street was relocated to its current location from the formal corner of 7th and H Streets as requested by the Sheriff's Department for reduced visual communication with the jail. Staff feels that the corner at 7th and H should be strengthened through vertical continuation of the window systems, contrasting brick work either through color or coursing, or some other means as it does conform with the Corner principle in the UDG. . Chapter 4, Section 4.d – Façades – Corners, Principle: *Building corners are a placemaking element that should be designed to accentuate the unique location of the urban corner.* Staff requests that the Design Commission comment on this element.
9. The Police and Sheriff's office had concerns with the residential window system operations and glazing, as they felt the units facing the jail would be capable of visual communications with the jail and had recommended either mirrored or glazing as dark as possible on those units. The Design Team has provided a response letter stating the proposed glazing would minimize this issue, and provided exhibits that show what conditions would look like with similar glazing materials. Staff supports the materials and design as proposed with no modifications after reviewing the Design Teams response letter and visiting the jail.
10. Aluminum louvered sunshades have been provided in select locations to assist with the passive solar design of the building. The same level of detail over the other windows has not been provided. The Design Team has provided a sketch DR 2 (Attachment 4, Page 32) that would integrate a course of inset dark brick to simulate the shadow line created by the awning. Staff feels that this inset brick coursing is a step in the right direction, but should be offset to create a similar shadow casting effect as the sunshades. Staff requests the Commission to comment on this item.
11. The proposed top of building does not seem to conform with the Distinctive Top principle without the PV panels, and even to a point the elevator penthouse itself seems out of scale with the PV panels in place. Although the argument can be made that the mechanical systems will not be visible at street level, staff believes the building top does not contribute to our diverse and interesting skyline and should be

reviewed by the Commission. This building is important as begins to bridge the Central Business District with Railyards as well as introducing new views and view corridors between the two areas. The applicant has requested that the Commission review the project without the PV panels (Attachment 4, Page 25, Comment 5.b). Chapter 4, Section 3.d – Bulk Controls –A Distinctive Top, Principle: *Buildings shall terminate with a distinctive top, to contribute to an architecturally dynamic city skyline.* Staff requests the Commission to review and comment on this item as well as item # 12 and 13 as these staff comments interrelate. Staff also requests that the Design Team elaborate on the type of materials proposed (i.e. anodized aluminum, galvanized steel, etc.) to support the PV equipment if this became a later addition.

12. A simple notch with metal coping has been provided as the buildings cornice in the proposal without PV. The Design Team has also proposed a metal panel above the 8th floor windows to create a transition to the building cornice and top. Staff is concerned that without better articulation of the cornice the building will not meet the intent of the distinctive top required by the Urban Design Guidelines. Staff requests further detailing of the proposed building cornice possibly a projecting cornice or crenellated brick cornice. Chapter 4, Section 4.h – Façades – Projecting Elements & Encroachment, Item #5 Cornices: *Projecting cornices are encouraged to help form a distinct profile to the building's top edge. They may project up to 5' of the right of way.*
13. Staff suggests that mechanical system penthouses be further integrated into the building design regardless of installation of photovoltaic panels as they seem out of scale and unfinished. Introducing brick and the same building cornice is one possibility of integration for the mechanical penthouses. Staff recommends that cross-sections and details of the mechanical parapet walls and the associated mechanical equipment be provided to the Design Commission and staff prior to the final action by the Design Commission.

Signage Comments:

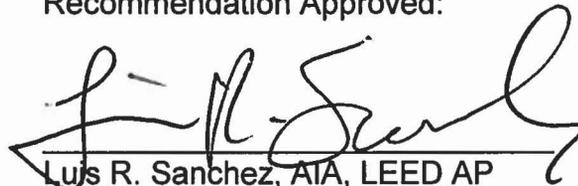
14. Staff supports the proposed internally illuminated suspended and individual channel letter signs on the ground level canopy. Staff recommends that further layering of the text or logo of tenant be provided on the suspended signs (i.e. no applied first surface vinyl).

Respectfully submitted by:

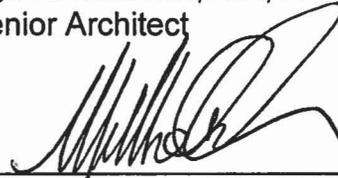


Matthew Sites, Associate AIA, LEED AP
Design Review Staff

Recommendation Approved:



Luis R. Sanchez, AIA, LEED AP
Senior Architect



William Crouch, AIA, FRAIA, NCARB, LEED AP
Urban Design Manager

Attachments:

Attachment 1

Page 9 Vicinity Map

Attachment 2

Page 10-20 Statement of Intent

Attachment 3

Page 21 Staff Comment Letter

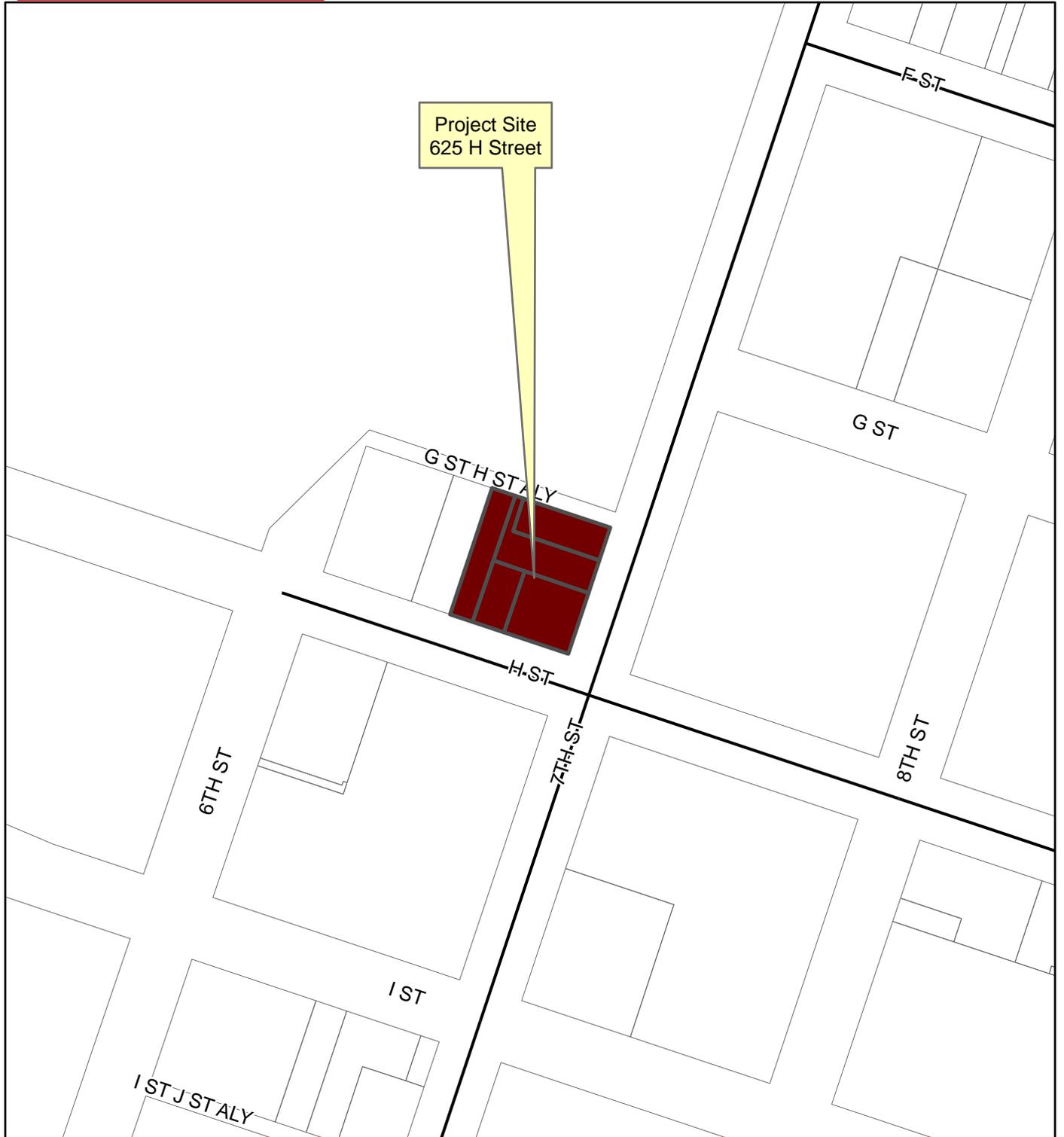
Attachment 4

Page 22-37 Design Team's Response letter and exhibits

Attachment 5

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Page 40	Site Analysis
Page 41	Site Context
Page 42	Context Photos
Page 43	Site Plan
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Page 45	Floor Plan - Levels 3-8
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Page 47	Roof Plan
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Page 49	South Elevation with PV's
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Page 53-54	Perspectives
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Development Services
Department

Geographic
Information
Systems

Vicinity Map
 APN #: 002-0141-001,-002,
 -003,-004,-007
 DR10-033



Statement of Intent

7th & H

General Project Description

Mercy Housing California is proposing 7th & H to be a signature affordable housing community that will include 150 studio and one bedroom units, extensive community space, comprehensive resident services, a health clinic, and ground floor retail in an eight-story building located in close proximity to public transit and a number of neighborhood amenities.

The development is designed to meet the City of Sacramento's, the Sacramento Housing and Redevelopment Agency's, and Mercy Housing's goals of:

- Reducing homelessness through the provision of high quality, service enriched housing in fulfillment of the City of Sacramento's 10-Year Plan to End Chronic Homelessness;
- Replacing SRO units in the downtown in realization of the City of Sacramento's SRO Strategy;
- Building affordable, safe, and attractive workforce housing in the downtown area;
- Creating a gateway and connection between the downtown and the future Railyards redevelopment.

Mercy Housing will be the developer, owner, and property management agent for the entire development. The Effort will operate the Federally Qualified Health Center (FQHC) / health clinic and will hold a long-term lease. The retail will be designed to accommodate a small café, coffee shop, or restaurant.

Entitlements Requested

Special Permit, Design Review, Parking Variance, and Tentative Parcel Map (merger of existing five parcels, no further subdivision is proposed).

Design Approach

The design approach is focused on meeting goals. Our inclusive team-orientated focus incorporates not just the economic, programmatic, and schedule goals but the less tangible goals such as social and community connectivity, and the ability to inspire and delight.

7th & H is about building community — community within the building itself, rebuilding a community in the neighborhood, and connecting wider communities. This is achieved through a variety of means, ranging from an activated streetscape to well-designed public spaces to community spaces throughout the building. All of these things and more must be woven together into a building that is beautiful and complimentary to the City of Sacramento and the developing Railyards neighborhood, while also providing a healthy and enriching home to its residents.

Our team's concept includes 150 studio and one-bedroom units, with communal facilities throughout the building. 3,900 square feet of retail space is provided at the ground floor, together with The Effort's 3,750 sf health clinic, the residential lobby, and a structured parking garage.

The first two floors of the proposed building fill out almost the full site, but the six stories of residential units above, which are set back from the street, respond to different opportunities and constraints. Primarily, the building above is strategically shaped around two separate second floor roof gardens, which optimizes solar exposure throughout the day, sets the residences away from the adjacent transformer substation, and gives all units an equitable "room with a view".

The resulting "Z" shape form is not only functional and efficient, but provides a striking basis for the design of the building. This approach will offer a dynamic design that matches SHRA's, the City of Sacramento's, and the development team's goal of providing a signature high quality building -- one that will exceed expectations, and match the vision of the 2006 Sacramento's Ten Year Plan to End Chronic Homelessness.

The project site is surrounded by many public buildings that are clad in grey, pre-cast, concrete panels. The public buildings include the County parking structure to the east, the County administrative building to the south-east, and the County jail to the south. The SMUD substation wall to the west is constructed of concrete blocks. To the far west, across the metallic transmission structures of the substation, is the Historic Landmark Folsom Powerhouse Building.

We chose brick as the primary cladding material for our building to speak to the history of the Powerhouse and to strike a residential feel in the midst of the context of the monumental concrete buildings. The brick is substantial enough to stand up to the monumental qualities of the surrounding buildings, but provides a residential feel, critical to creating a sense of neighborhood.

Other materials on the building include metal panels integrated into limited curtain wall areas. The panels give the quality of lightness where appropriate and emphasize certain windows at the upper common rooms located on the east side of the building, they also allowing inside corner units to have larger windows.

The building utilizes landscaped “green screens” at the south-west and north-east corner pavilions to give the sense of a “green tower” rising from the ground. The green screen is a very durable metal lattice that allows vines to climb. Landscaping part of the walls further contrasts with the surrounding concrete structures and emphasizes that this building is part of a community.

Recognizing that the proposed building utilizes the entire site and that outdoor gathering space is important for the residents, we have provided two large roof terraces that extend the indoor common space into landscape. The outdoor spaces are arranged with shaded seating, a water feature to mask the low hum from the SMUD sub-station and other urban sounds. An 8-foot tall, block wall, on the second floor, softened with more Green Screens provides secure separation from the SMUD substation.

Project Details

❖ Location:

- Northwest corner of 7th & H streets in downtown Sacramento
- Parcel numbers: 002-0141-001, -002, -003, -004, -007
- Site is approximately 150' x 160'

❖ Current zoning: M2 / C3

❖ Proposed Uses

- 150 units of studio and one-bedroom apartments: 122 studios (≈ 325 sf), 28 one-bedrooms (≈ 500 sf)
- 3,900 sf ground floor retail
- 3,750 sf medical clinic

❖ On-Site Amenities

- Direct connection between residential lobby and on-site clinic
- On-site management and resident services offices
- Extensive common space which includes: large community room, community kitchen, computer room, conference room, laundry facilities, roof top patios on the second floor, resident lounges and balconies
- 3,900 sf retail on ground floor
- Structured secure parking

❖ Unit Amenities

- Self-contained units complete with full bathrooms and kitchens with energy-star appliances and wood cabinetry.
- Well-designed interior space
- Independently controlled, yet efficient, heating and cooling
- Excellent ventilation and fresh air circulation

❖ Property Management and Staffing – Residential

- 24/7 front desk receptionist
- Full-time on-site property manager

- Full-time on-site assistant property manager
- Three full-time on-site resident services coordinators
- One full-time maintenance staff
- One full-time janitor

❖ Health Clinic

- The 3,750 sf ground floor health clinic will be a Federally Qualified Health Center (FQHC) open to the general public, but designed to primarily serve the residents of 7th & H. Hours of operation are yet to be finalized, but it is currently envisioned to be open approximately four hours per day.
- The clinic will focus on Medi-Cal patients, the working poor and other uninsured/underinsured populations. The clinic's philosophy is to provide quality medical care to every client regardless of gender, race, age, lifestyle, or social status. This non-judgmental atmosphere allows patients who would normally avoid obtaining medical care to come in and have their problems identified and dealt with in a professional manner. The clinic will be staffed with physicians, family nurse practitioners, physician assistants, and medical assistants.
- The clinic's services will include:
 - Primary Care Services – including Family Practice, family planning, immunizations, sexually transmitted disease diagnosis and treatment, HIV testing and counseling, and breast cancer screening
 - Behavioral Health Services – including mental health services and substance abuse recovery support. However, this facility will not be licensed or operate as a methadone clinic.

❖ Resident Services

- Mercy Housing offers a comprehensive range of on-site services and connections to community resources to assist its residents in a broad variety of areas. These services include:

- Education – e.g. tutoring, educational programming, leadership programming
 - Health and Wellness – e.g. assessment of primary and behavioral health needs, recovery support activities, transition plans to and from hospital/institution, individual action planning, and case management.
 - Community Development – e.g. community gardens, community activities, community safety initiatives, volunteer opportunities
 - Economic Development – e.g. seminars on financial literacy, employment counseling, rental assistance, lease education, and linkages with cash assistance
- A site-specific services plan will be developed and tailored to the population living at 7th & H. Once the population is in place, Resident Services Coordinators will perform a needs analysis to best determine what specific services to offer.

❖ Green / Sustainable Features

- The 7th and H project is being designed to a LEED-Silver Standard. The project is registered with the US Green Building Council. A great deal of thinking has gone into developing appropriate green strategies for this site, climate, tenant population and the economic realities that every project must face. Some clear principals have been critical in the development of the design:
- Living and income equity: Building systems are designed to provide a high level of comfort, indoor air quality, day lighting, and occupant satisfaction at a very low operation costs. This contributes to living and income equity.
 - Resource efficiency and building value: the building systems are being evaluated for life cycle and cost benefit combinations. Through integrated design process, the building value is being maximized for the budget through a component and systems cost transfer exercise.
 - Resource stewardship and environmental responsibility: This building's design targets are the highest levels of conservation and efficiency to be on a clear path towards the larger long term goals of Architecture 2030 challenge, Carbon Reduction, and water resource protection.

- Achieving and operating an energy-efficient building is essential for non-profit building owners to hedge against rising energy costs. Our goal is to reduce the building's operating costs considerably from a conventional code building.
- Transportation and Location: Transportation connections to this downtown project are excellent: Light Rail, the Sacramento Valley AMTRAK Station and many bus lines pass within a quarter mile of the site. The resources and services of the entire downtown are within walking distance. Because the project is mixed use, some trips will be contained within the building itself.
- Integrating Sustainability with Passive and Active Systems:
 - Integrated Design: Traditionally, a building system has a single function in a building. "Integrated Design" seeks to make the building system more efficient by serving more than one necessary function. A few examples of integrated design on the 7th and H project:
 - On a typical building, the structure holds up the building and the HVAC heats and cools it. On the 7&H project, the concrete structure of the building will be exposed to the interior to take advantage of the thermal storage capacity of concrete that will stabilize the building temperature. Exposing "thermal mass" on the ceilings, columns and some walls will allow enormous energy savings over the life of the building.
 - The landscape planters at the 2nd floor will collect rainwater from the roof to reduce Stormwater run off and reduce irrigation water needs.
 - Passive Design: The 7th & H design optimizes the building's envelope, one of the main systems that will last the life of the building. Envelope design efforts have focused on air tightness, sun shading of windows and glazing materials. We have optimized total glazing and glazing placement to maximize interior day lighting while minimizing heat gain. Envelope energy efficiency is achieved through insulation design and eliminating details and systems where the outdoor and indoor temperatures are directly connected through conductive materials.

- Active Design: “Active” mechanical design elements on the 7th & H project include:
 - Minimized electric lighting loads through the use of occupancy sensors, variable light levels, timers and energy star rated fixtures.
 - Minimized energy plug loads through energy star appliances,
 - Switched outlets, occupancy sensors and resident education programs.
 - Renewable energy generation through building-integrated solar photovoltaic (PV) panels mounted on the roof.
 - Efficient hot water production through a solar thermal system integrated into the PV array on the roof.
 - Efficient hot water usage through water saving fixtures and appliances
 - Efficient, variable-speed fans to enhance indoor air quality
 - Water efficient fixtures and appliances
 - The design team has been working extensively with SMUD to develop the most efficient electric systems
 - Continuous ventilation from the units for optimum indoor air quality
 - Whole building heat recovery ventilation
- Building Materials: The project is following the LEED checklists for materials and indoor air quality. The project team has developed a green outline specification that includes critical elements like recycled materials, recycled content, materials that have been manufactured close to the region, and are low emitting of volatile organic compounds such as urea-formaldehyde.

❖ Security

- One of the most important goals of 7th & H is providing a safe environment for its residents. Currently there are no “eyes on the street” at this block on either H Street or 7th Streets. For a number of reasons, this section of H Street is currently

perhaps one of the least-pedestrian friendly streets in Downtown Sacramento. Many public employees and other members of the community walk this unfriendly “blind” section of H Street daily to get to their parking spaces. It is our intention to significantly improve the sense of safety on the street at this location.

To maximize the number of “Eyes on the Street”, we have positioned the reception desk with a clear view of H Street. The lobby will be staffed 24 hours a day, 7 days a week. The reception desk will look onto H Street through 50’ of floor to ceiling glazing.

Trained Mercy staff is required to be present day and night monitoring the area in front of this building. This is a powerful deterrent to crime on H Street. To further street presence, we have placed the clinic lobby and reception area in full view of H Street for natural surveillance. 7th Street will have retail space and transparent walls connecting ground level eyes and other interests to the happenings on the street. Above the ground level, 7 stories of residences, common rooms, common outdoor spaces and balconies, all look out onto 7th and H Streets from an elevated position.

Careful lighting design will be incorporated with the best security practices. Recorded video surveillance is also planned on the streets, alley and within the buildings. Visitors to the property will be buzzed in by Mercy staff, must sign in and can only leave the lobby area when escorted by a resident of the building.

❖ Trees

- There are a number of existing street trees in sidewalk planters. Trees on H Street have been aggressively trimmed to accommodate the relatively new light-rail overhead wires. The team understands the importance of street trees in an urban environment. The proposed landscape plan maintains as many of the existing street trees as possible.

❖ Community Outreach

- As early as 2007, the Sacramento Housing and Redevelopment started a comprehensive process of community outreach meetings to present the project to the broader community. The main intent of these meetings was to present the project concept and solicit feedback from community members. Below is a table listing the presentations that have been given to-date:

Organization	Meeting Date	Meeting Type
City of Sacramento Planning Department	August 2007	Internal Meeting
Alkali Flat Redevelopment Advisory Committee	September 2007	Public Presentation
Alkali and Mansion Flats Historic Neighborhood Association	September 2007	Public Presentation
Downtown Sacramento Partnership	September & October 2007	Public Presentation
The River District Board	September 2007	Public Presentation
Interagency Council to End Chronic Homelessness	October 2007	Public Presentation
City of Sacramento Economic Development Department	June 2008	Internal Meeting
The Railyards – Thomas Enterprises	June 2008	Internal Meeting
Sacramento Housing & Redevelopment Commission	July 2008 & February 2009	Public Presentation
7 th & H Developer Selection Committee	December 2008	Internal Meeting
City of Sacramento City Council and City of Sacramento Redevelopment Agency Board	August 2008 and March 2009	Public Presentation

- In June 2009, Mercy Housing and members of its design team met with Sacramento City Police and the Sheriff's Department staff who assist in managing the jail. This meeting yielded a number of important considerations for the design team. We are fully committed to continue this process and meet their recommendations to create the safest environment possible. The design as presented in this application was modified to incorporate Police and Staff concerns about the possibility of "visual communication" with the jail. We moved the common rooms on the residential floors to face north-east from the 7th and H corner. We have limited the number of units facing the jail to 19% of the total and with these units, horizontally projection sunshades will help limit the visual connection to the taller jail.

In addition, landscape plan places trees at the south end of the 2nd floor garden to block as much view of the jail as possible. The "green screen tower" at the south-

west covers the large opening in the pavilion to allow Sacramento's refreshing breeze to pass through and light filter through the leaves and reduce undesired visual connections.

On March 31, 2010, staff from the Sacramento Police Department, the County Jail, City Planning and Design Review, Mogavero Notestine Architects, and Mercy Housing toured the interior of the jail to determine the views in question and to review mitigations that could be reasonably implemented.

- Mercy Housing is committed to continuing the community outreach process to present the design as included in this application, solicit input for improvements, and to hear out concerns that may arise about the development.



**CITY OF SACRAMENTO
CALIFORNIA**

COMMUNITY DEVELOPMENT
DEPARTMENT
PHONE 916-808-5656

300 Richards Blvd.
SACRAMENTO, CA
FAX 916-808-1901

DESIGN REVIEW COMMENT LETTER

Address: 625 H Street
APN: 002-0141-001, -002, -003, -004, -007
File Number: DR10-033
Description: New residential mid-rise

Applicant: Rich Ciraulo
Date of Notice: March 12, 2010
Staff Contact: Matthew Sites, 808-7646

Staff has reviewed the proposed project, and requests the applicant to consider the following changes:

1. Relocate transformers from current location to the corner of 7th Street and the alley, allowing the retail to be grouped together.
2. Strengthen the corner at 7th and H through a vertical continuation of the window systems and/or contrasting brick work.
3. Additional variations in the mullion patterning and glazing materials with units that have direct view of the jail and outdoor activity area.
4. Provide deeper sills and add lintels to windows that do not have sunscreens (south elevation) to further articulate the fenestration on other elevations.
5. Lower height of PV panels in relation to building and mechanical systems. In the instance that PV will not be provided, a cornice or some form of articulation of the parapet and integration of the mechanical penthouse would be required.
6. Continue the screening of the south side of the roof garden with additional green screen or trellis.
7. Verify the species of tree provided on the second floor patio will be able to withstand the microclimate and wind loads for the location, as well as the depth of planter needed.
8. Provide planters flanking the ground floor entries.
9. Provide an additional set of doors at the community room, so when the partition is closed the outdoor space would still be accessible from the other side.
10. Show locations of the backflow preventers and fire standpipes.
11. Provide a night rendering and lighting cutsheets for staff and Commission review.

Matthew Sites, Associate AIA, LEED AP
Design Review Staff



MEMORANDUM

DATE: April 5, 2010
TO: Mathew Sites, Design Review Staff, City of Sacramento
 cc: Elise Gumm, City of Sacramento Planning Department
FROM: Renner Johnston, AIA, LEED **PROJECT:** 7H: Mixed Use **JOB #:** 208058
 DR10-033
SUBJECT: Response to Design Review Comment Letter dated 3/12/10

The 7H design team has reviewed the Design Review Comment Letter and would like to thank staff for the opportunity to meet in person twice to consider staff's comments. Please find the following responses, numbered to match the DR letter:

1. DR Comment: "Relocate the transformers from 7th Street to the Alley to make continuous retail frontage on 7th street:
 - a. Background: The transformers were originally placed on 7th street to avoid some trenching on the alley that is filled with high-voltage underground lines that serve the existing substation and RT track transformer to the west of the project. There is concern that the amount of viable retail at this location will be limited.
 - b. The ground floor has been altered to move the transformer to the alley, see the revised site plan, East Elevation facing 7th Street and the North elevation at the Alley. **This change added approximately 45' of "storefront" glazing at the ground level, increasing the transparency to the street by a significant amount.**
 - c. Inset parking: To make the retail move viable at this location, we have added two inset parking spaces on 7th street – now shown on the site plan. This concept was discussed with staff in the DR meeting. We are proposing inset parking, because it is our understanding that the new RT light rail line on the east side of 7th street, will prevent on-site parallel parking on the west side. Street parking at retail is critical.
2. DR Comment: "Strengthen the corner at 7th and H through vertical continuation of the window systems and/or contrasting brick work":
 - a. The design aesthetic for the building was to create a **horizontal weave** vocabulary with intentional vertical breaks at specified locations, expressing the concrete frame that does not have the typical columns at the perimeter like an office building.
 - b. The design intent was to make the common balcony the vertical expression and it was not located at the corner so that it would be facing away from the jail – and not call further attention to the presence of the imposing jail structure.

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MEMORANDUM

- c. Putting a vertical break at the corner would interfere with the horizontal weave vocabulary and compete with the adjacent balcony and glazing system of the Community lounges and balconies.
 - d. The design team would prefer to leave the corner as designed.
 - e. To emphasize the corner, the Team did step back the retail at this location to allow for the possibility of seating at the corner for café space. This will emphasize the corner at the pedestrian level.
3. DR Comment: "Additional variations in the mullion patterning and glazing materials with units that have direct view of the jail and outdoor activity areas."
- a. Background: This comment is in response to the jail's concern with "visual communication" between prisoners in the jail and residents in the building.
 - b. Background: In June of 2009, at the request of the Sherriff's Department, design team moved the common balconies on the 3rd, 5th and 7th floors away from the corner of 7th&H streets that would have been visible to the jail. The balconies are now shown facing north to avoid visual communication with the jail.
 - c. It is our understanding that the Sherriff's department is concerned about views from the recreation areas at the north side of the building – typically used during the daytime.
 - d. Mercy Housing, the design team and planning staff toured the jail on 3/31/10 to get a clearer understanding of views out of the jail. We were surprised to learn that the jail structure has commanding views to the North, South, East and West. The views are through heavy glass from the eating areas, and the upper bunks of each of the cells. View from the jail look into windows in a number of directions, many of these windows are only 80' away. The recreation areas at multiple floors in the building face north and have recently been retrofitted with nylon fabric to block much of the view of prisoners from these areas. Gaps in the fabric still allow an "eye ball" view of the street, but it is no longer possible to see prisoners from the street as was the case prior to the retrofit.
 - e. The closest windows on the 7H project are more than 260' from the jail's recreation areas, and roughly 230' from the cell windows.
 - f. 19% of the units at 7H face the jail on H Street, 4 units per floor.
 - g. The glazing planned for 7H project includes low-e3 dual pane glazing for excellent heat reflectance. This heat reflectance is achieved with 3 metallic films on 3 of the 4 glass surfaces with the window glazing system. This reflectance creates a somewhat complex mirrored effect with depth, because there are multiple faces reflecting light.
 - h. To study what a similar window in a parallel condition would look like, we searched for a similar condition already built in Sacramento. We attach photographs of what a



MEMORANDUM

low e-3 window looks like from 260' away, from an elevated position, with a non-solid sunshade, facing south. See attached Exhibit **DR 1**

- i. As illustrated in the exhibit, it would be difficult to see someone through the glass during the daytime at that distance. While the elevation and architectural rendering styles typically show the windows as "light" during the day, in reality residential windows are much darker in the daytime because outdoor ambient light is usually hundreds of times brighter than interior spaces.
 - j. It should be noted that ALL of the residential units are provided with window blinds that can block off the views at any time for full privacy.
 - k. It is important to note that transparent windows from any residence, and commercial space (the jail possibly excepted) is critical to developing natural surveillance from the residents by putting the maximum number of "**eyes on the street**". It is very important that the employees, customers, and residents at 7H have good views to the outside at 7th & H Street and the alley to make this the safest place possible.
 - l. We will continue to work with the Sherriff's department to make this the safest place possible for everyone.
4. DR Comment: "Provide deeper sills and add lintels to windows that do not have sunscreens (south elevation) to further articulate the fenestration on other elevations."
- a. We chose brick with the weight of full thickness, as the primary cladding material for our building to speak to the history of the Powerhouse and to strike a residential feel in the midst of this context of monumental concrete buildings. The brick is substantial enough to stand up to the monumental qualities of the surrounding buildings, but provides a residential feel, critical to creating a sense of neighborhood.
 - b. The high level of detail on the brick makes for a highly textured facade. There are "L" shaped reveal bricks 6" deep at the corners and recessed coursing at the head and sill in the ebony brick to give more shadow lines.
 - c. Pre-cast concrete sills create color and texture change at each window providing a 6" deep show line at each of the windows. The client has going to great limits to include this premium building cladding that will continue to look great in 100 years.
 - d. We have attached typical sill detail sketches of the brick at sills, window heads and the parapet to show the depth of the shadow lines that are not fully depicted from a perspective view at 150' from the building. Please note the metal coping cap at the top of the parapet - also detailed - that creates a strong shadow line at the top of the building for more texture. See attached exhibit **DR 2**
 - e. To further address the request of DR staff, we have added a metal inset panel treatment to the top floor windows to maintain the horizontal weave feeling - but also to give the building a stronger "ending" at the top. This is most visible in the newly added night

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MEMORANDUM

rendering and the elevations. This revision has not yet been added to the daytime perspectives.

5. DR Comment: "Lower height of PV panels in relation to building and mechanical systems. In the instance that PV will not be provided, a cornice or some form of articulation of the parapet and integration of the mechanical penthouse would be required."
 - a. Design Team has lowered the height of the PV array by 2' and removed the outer row of PV panels to reduce the size of the overhang. The elevations and night rendering added on the cover reflects this change. We have not yet updated the daytime perspectives.
 - b. PV funding will not be known for some time. **We requesting that the Design Review Council approve the alternate, shown on page 12 of the drawing set, without the PV array, in the event that funding is not later secured.** With the addition of the top floor window, brick and metal panel changes, we believe that the building could work well without the PV array if necessary.
 - c. If the PV array is removed from the project and the alternate cornice is used, we request that the Design Review Commission provide staff with the authority to review the rooftop mechanical equipment screening designs at that time. We have attached a photograph of a similar rooftop screening design that we would propose if needed. See Exhibit **DR 3**
6. DR Comment: "Continue the screening of the south side of the roof garden with additional green screen or trellis."
 - a. Background: This is another item that the jail has requested to prevent visual communication between someone in the courtyard and a prisoner in the jail rec. courtyard.
 - b. The landscape plan shows trees on the courtyard to grow up and block much of the courtyard view from the recreation areas of the jail.
 - c. It is our intent to move the tables further from the south side of the SW terrace, and increase the buffer of the landscape at this location.
 - d. Mercy is committed to being a good neighbor and will work with the Sherriff's department to minimize any potential communication with the jail.
7. DR Comment: "Verify the species of tree provided on the second floor patio will be able to withstand the microclimate and wind loads for the location, as well as depth of planter needed."
 - a. We appreciate the suggestions of DR staff and the City arborist on this matter. Our landscape architect has reviewed this information and had agreed to comply with this request in future submissions of the project. The design will comply with properly

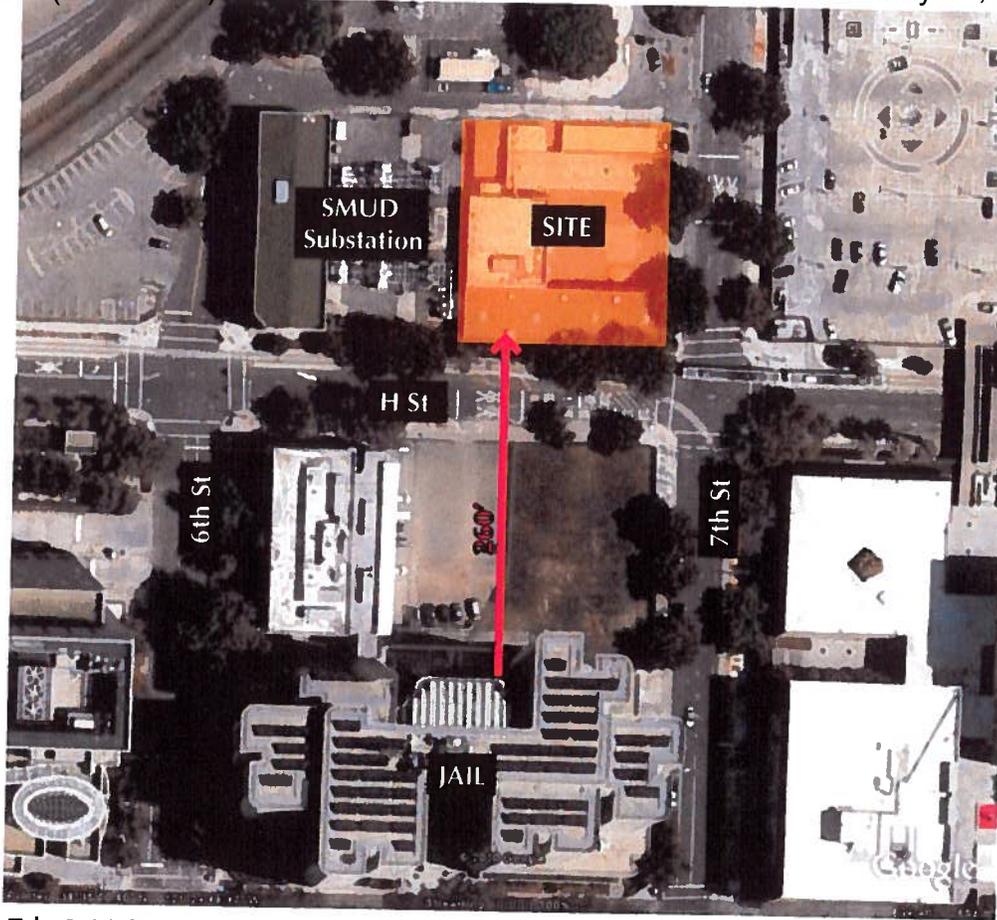


MEMORANDUM

bracing the trees and providing adequate planter area, and sufficient bracing if necessary to protect the trees planted at this location and all of the terraces.

8. DR Comment: "Provide planters flanking the ground floor entries." ... to define and add minor emphasis to the main entry while redirecting pedestrians away from storefront at ground level on H Street.
 - a. Planters were added to each side of the doors on the site plan. The landscape plan will be updated to reflect this change in future submissions.
9. DR Comment: "Provide an additional set of doors at the community room, so when the partition is closed the outdoor space would still be accessible from the other side."
 - a. MNA: Doors were obscured in color plan and have been fixed on the second floor plan.
10. DR Comment: "Show locations of the backflow preventers and fire standpipes."
 - a. Background: DR: Doesn't want to see these located out in the sidewalk planter in the City R.O.W. The best location would be off of the alley in the back of the building.
 - b. The backflow preventers were planned for in water room connected the alley.
 - c. It is understood that DR wants the BFP to be inside the buildings – out of site.
 - d. The standpipes will be located in the rear egress stair at the North end of the building.
11. DR Comment: "Provide a night rendering and lighting cut sheets for staff and Commission review."
 - a. Preliminary cut sheets from the exterior lighting fixtures have been provided and a night rendering concept has been provided on the cover of the revised drawing packet. See attached Exhibit **DR 4**

DR 1

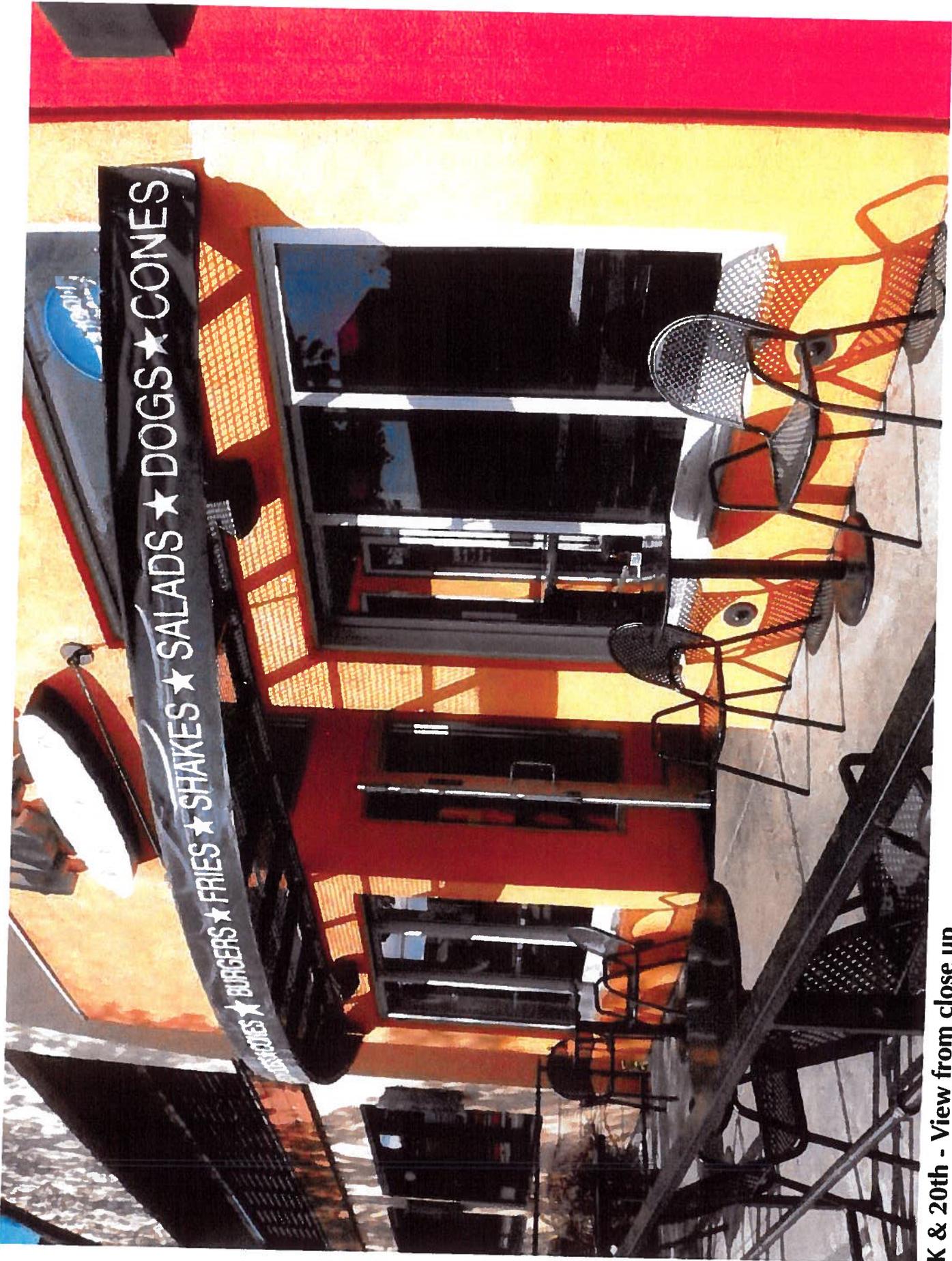


7th & H Street - Aerial



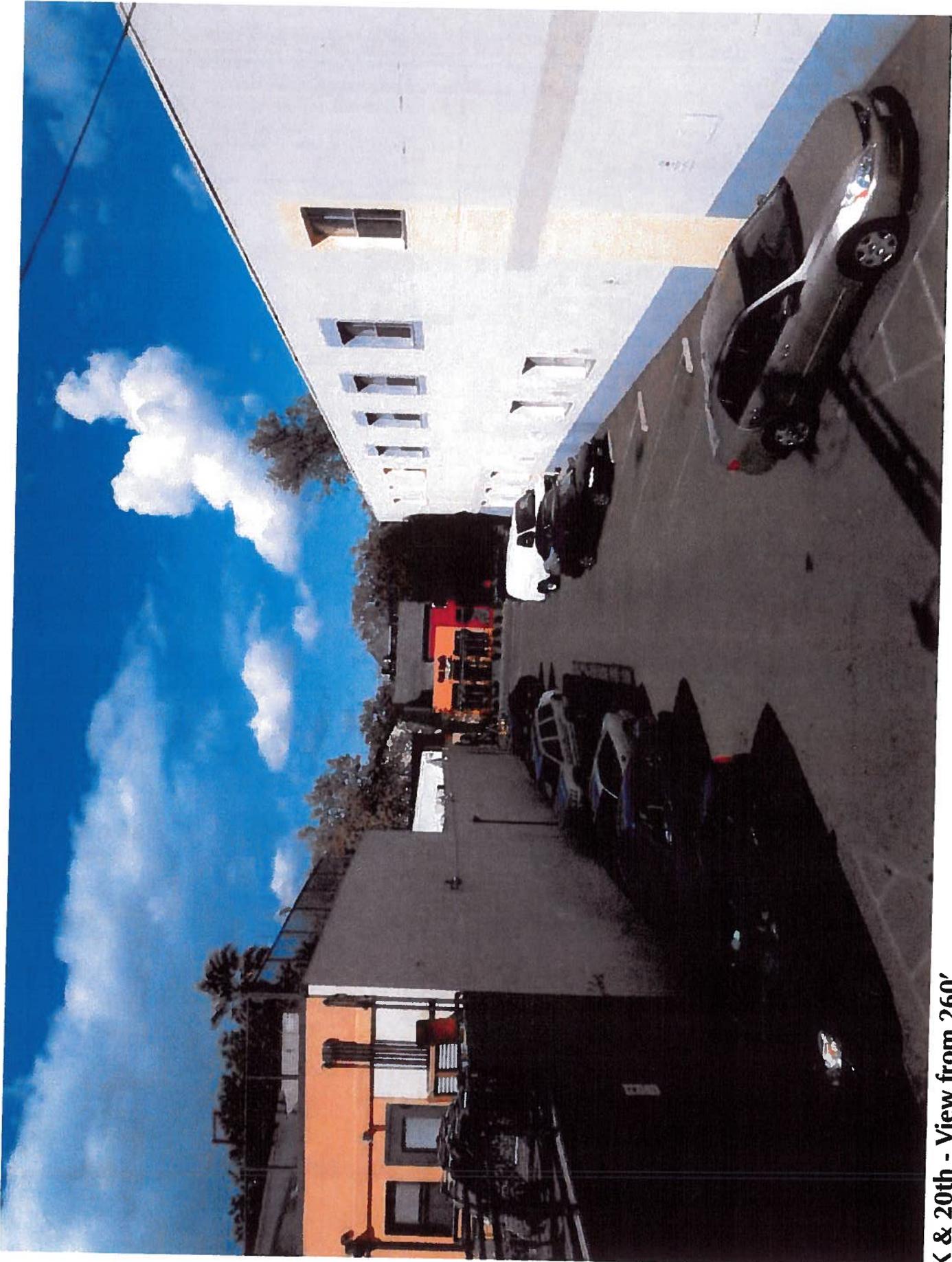
K & 20th Street - Aerial

DR 1



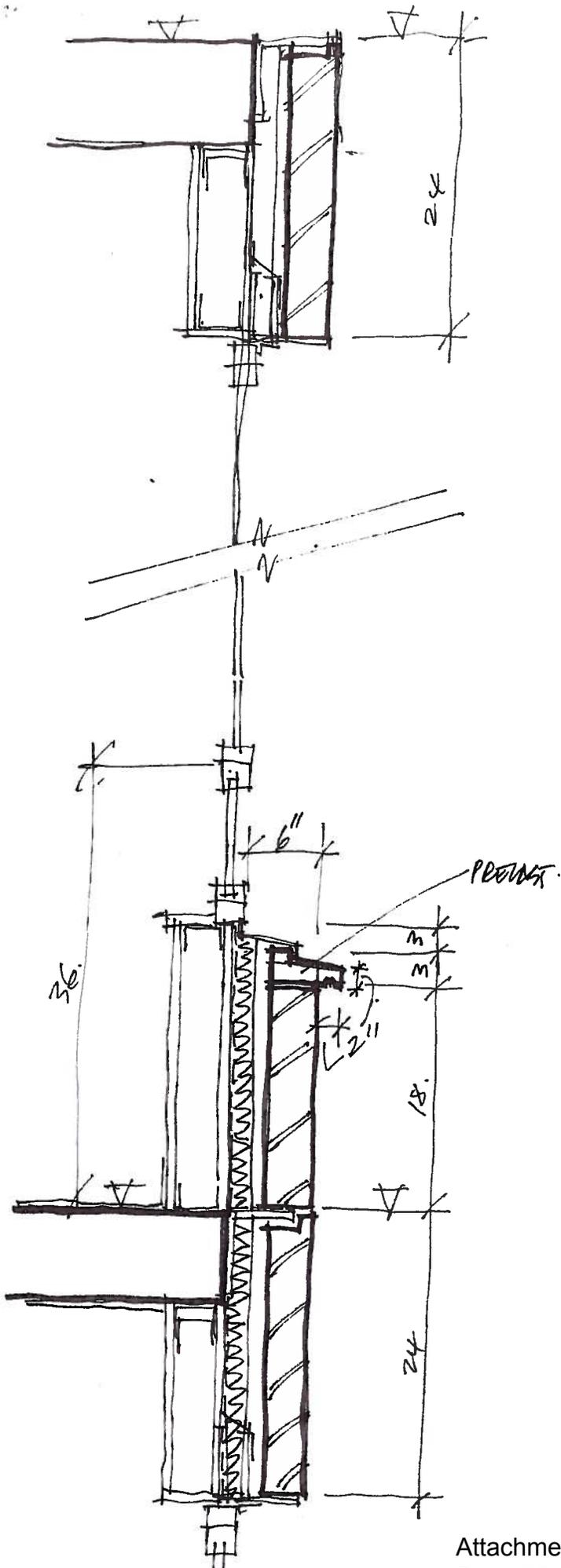
**K & 20th - View from close up
4pm - 3/31/10**

DR 1

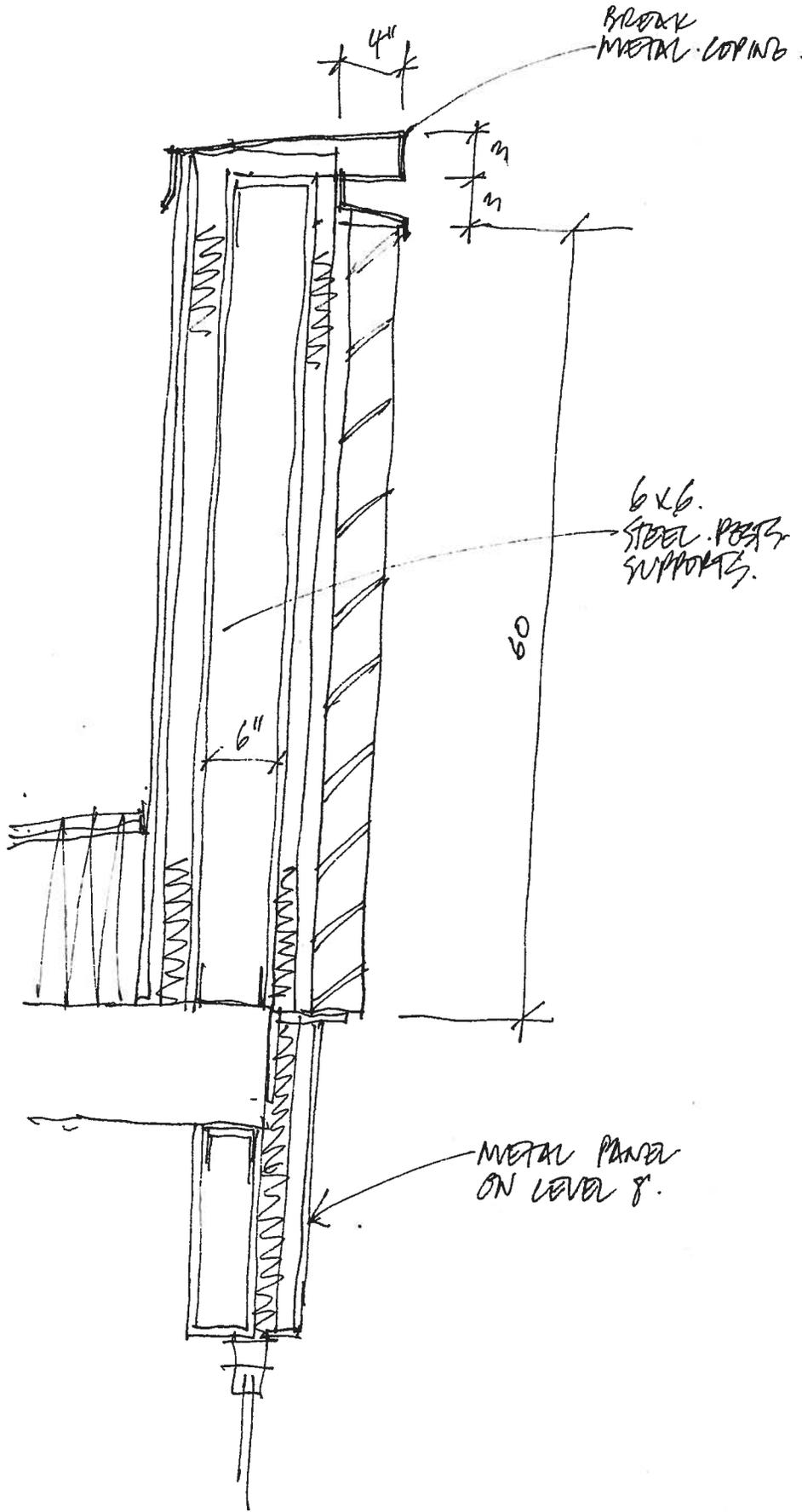


**K & 20th - View from 260'
4pm - 3/31/10**

DR 2

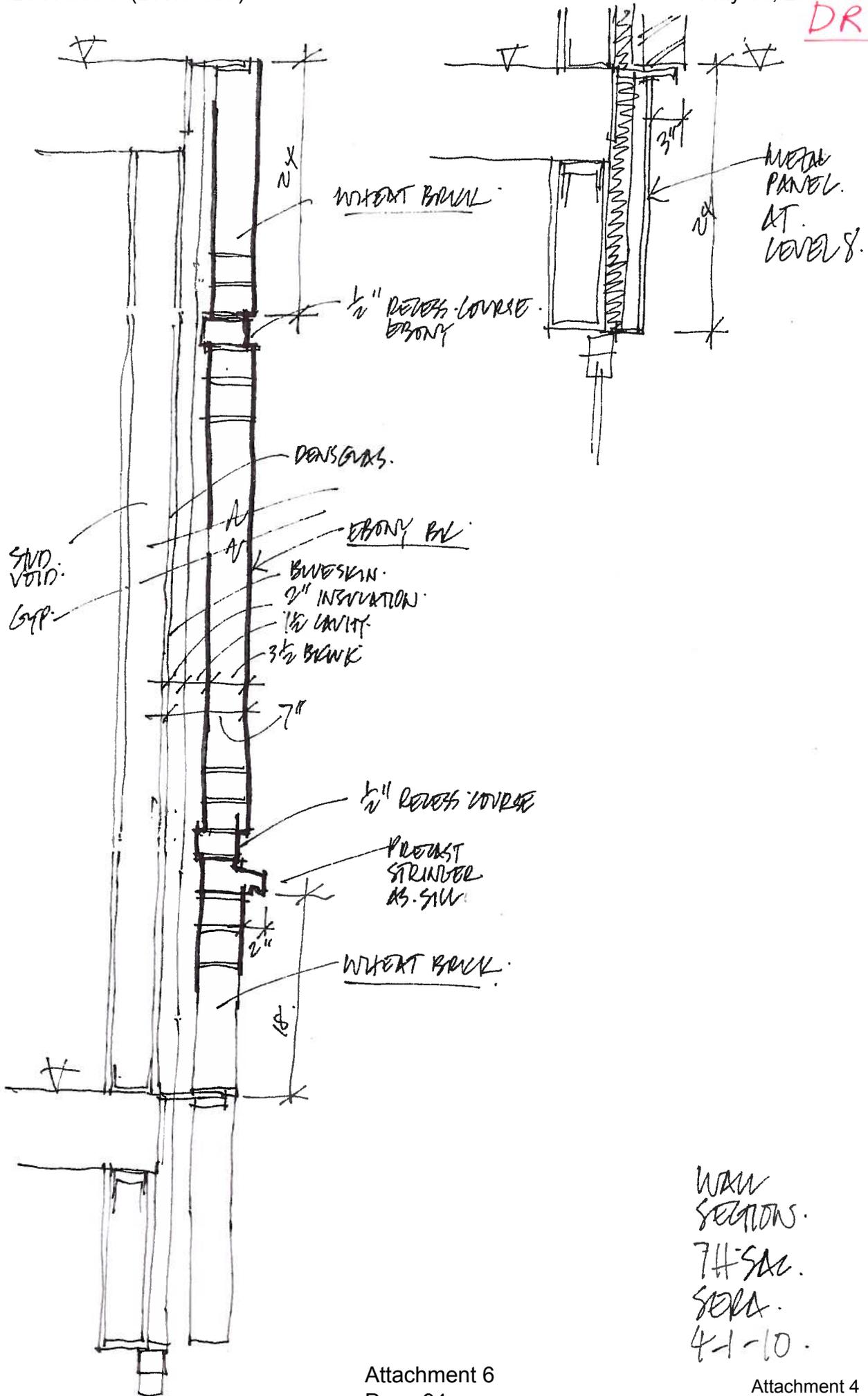


WINDOW
SECTION
THSAC
SERV.
4-1-10



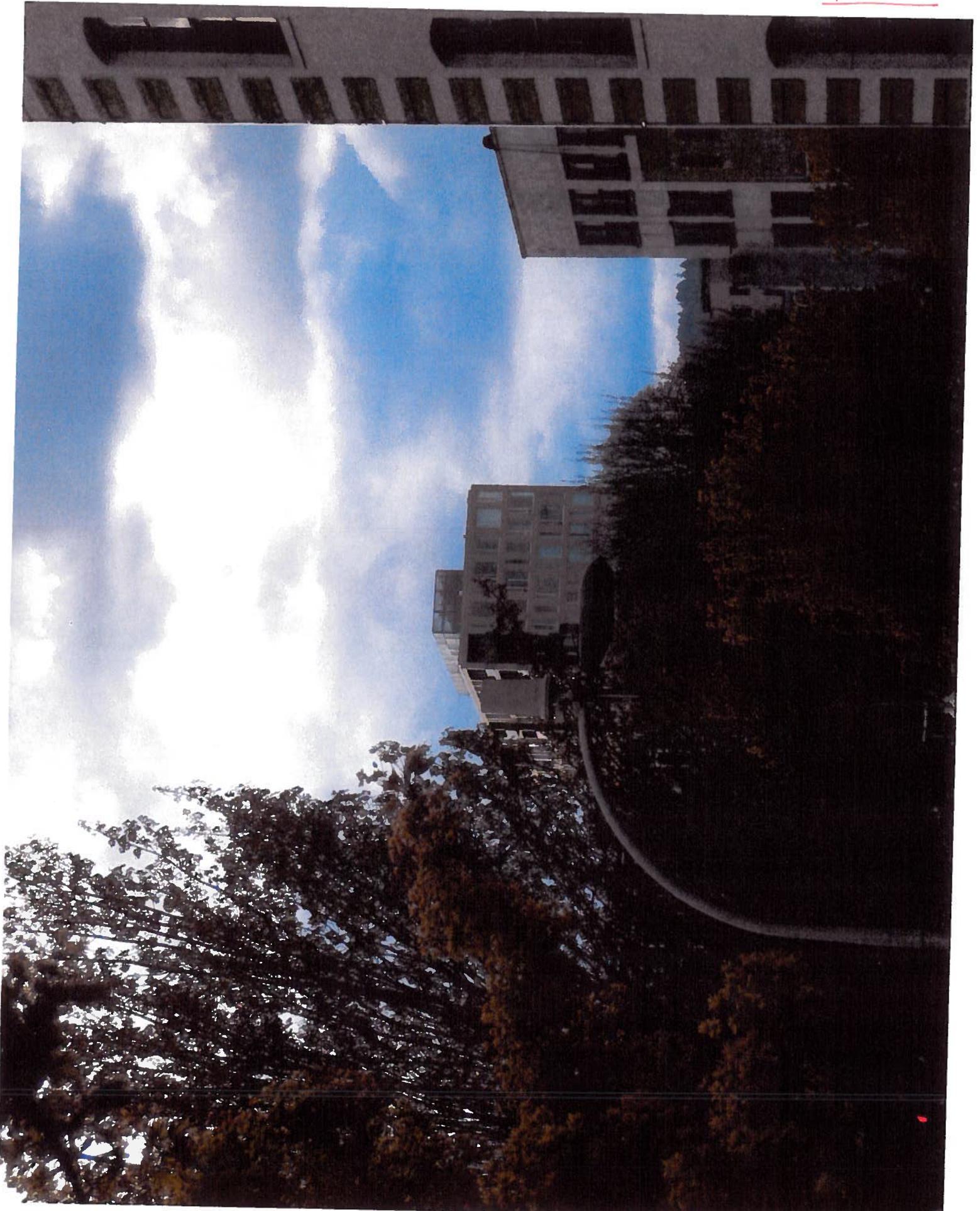
PARAPET SECTION
7H SAE
SOCA
4-1#10

DR 2



WALL
 SECTIONS.
 7# SAC.
 SOLA.
 4-1-10.

DR 3



BAFLUX 213/8



PHOTOMETRIC REPORT

Report No. 33604. Original Independent Testing Laboratories, Inc. (ITL) test report furnished upon request.

Luminaire 20 gauge ballast housing and white enamel top reflector;
specular formed main reflector, specular parabolic cross-baffle
Lamps two Sylvania Dulux S/E 13-watt compact fluorescent, 4-pin, 2GX7 base, 800 lumens ea
Efficiency 58.5%
Spacing Criteria 0°-1.3, 90°-1.5, 180°-1.2

BALLAST INFORMATION

Voltage	120	277
Input Watts	35	35
Line Current [A]	.32	.15
Power Factor (%)	>90	>90
Min. Starting Temp* (°F)	-20	-20

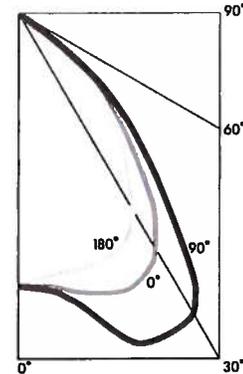
* Consult lamp manufacturers for specific temperatures.

ZONAL LUMEN SUMMARY

Zone	Lumens	% Lamp	% Fixture
0 - 30°	489	27.1	46.4
0 - 40°	796	44.2	75.6
0 - 60°	1046	58.1	99.4
0 - 90°	1052	58.5	100.0
90 - 180°	0	0.0	0.0
0 - 180°	1052	58.5	100.0

CANDLEPOWER DISTRIBUTION (Candela)

Vertical Angle	Horizontal Angle				
	0.0	45.0	90.0	135.0	180.0
0	519	519	519	519	519
5	523	531	527	516	505
15	552	582	619	550	496
25	552	630	670	601	472
35	425	535	524	514	347
45	245	302	274	261	209
55	65	51	42	31	22
65	4	6	4	4	4
75	0	0	0	0	0
85	0	0	0	0	0
90	0	0	0	0	0



LUMINANCE DATA (Candela/m²)

Vertical Angle	Average 0° Longitude	Average 90° Longitude
45	10343	11566
55	3361	2203
65	315	315
75	0	0
85	0	0

To convert cd/m² to footlamberts, multiply by 0.2919.

COEFFICIENTS OF UTILIZATION - ZONAL CAVITY METHOD

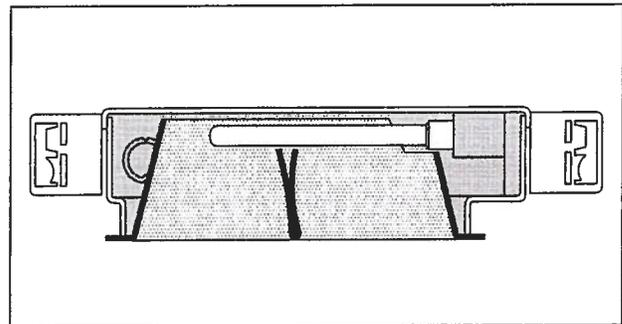
Effective Floor Cavity Reflectance 20%

Ceiling Reflectance (%)	80				70				50			30			10			0
Wall Reflectance (%)	70	50	30	10	70	50	30	10	50	30	10	50	30	10	50	30	10	0
Room Cavity Ratio																		
0	70	70	70	70	68	68	68	68	65	65	65	62	62	62	60	60	60	58
1	66	64	63	61	65	63	62	60	61	60	59	59	58	57	57	56	55	54
2	63	60	57	55	61	59	57	55	57	55	53	55	54	52	53	52	51	50
3	59	55	52	50	58	54	52	49	53	51	49	51	50	48	50	49	47	46
4	56	51	48	45	55	51	47	45	49	47	44	48	46	44	47	45	43	42
5	53	47	44	41	52	47	43	41	46	43	40	45	42	40	44	42	40	39
6	49	44	40	37	49	43	40	37	42	39	37	42	39	37	41	38	36	35
7	46	40	36	34	45	40	36	33	39	36	33	38	35	33	38	35	33	32
8	43	37	33	30	42	37	33	30	36	32	30	35	32	30	35	32	30	29
9	40	34	30	27	39	33	30	27	33	29	27	32	29	27	32	29	27	26
10	37	31	27	24	37	31	27	24	30	27	24	30	26	24	29	26	24	23

BAFLUX 213/8 WW

WALLWASH INFORMATION

Distance From Ceiling (Feet)	2'6" From Wall; 2'6" O.C.		3' From Wall; 3' O.C.		4' From Wall; 3'6" O.C.	
	Below Fixture	Between Fixtures	Below Fixture	Between Fixtures	Below Fixture	Between Fixtures
1	7	7	4	4	2	2
2	14	14	7	8	3	4
3	17	20	11	13	5	6
4	18	19	12	14	7	9
5	15	15	12	13	8	9
6	12	12	11	11	8	9
7	9	9	9	9	8	8
8	7	7	7	7	7	7
9	6	6	6	6	6	6



All vertical footcandles are initial values with no contribution from ceiling or floor reflectances. Computation performed with a total of five wallwashers.

BAFLUX[®] 213/8

COMPACT
FLUORESCENT
1-212

recessed compact fluorescent baffled downlight/wallwasher

FEATURES

Baflux 213/8 is an efficient compact fluorescent downlight with an 8" aperture. Its unique parabolic reflector and cross-baffle assembly provide precise optical control and very low aperture brightness. Shielding angles are 32° parallel and 40° perpendicular to the lamps. Recess depth is only 3 3/16".

One housing allows interchangeable use of downlight and wallwash reflectors, permitting housings to be installed first and reflectors to be installed or changed at any time.

Baflux 213/8 uses two 13-watt, 4-pin lamps providing 1800 lumens (more than a 100-watt incandescent), a 12,000-hour life, a color rendering index (CRI) of 82, and color temperatures as warm as 2700°K (nearly duplicating the color qualities of incandescent).

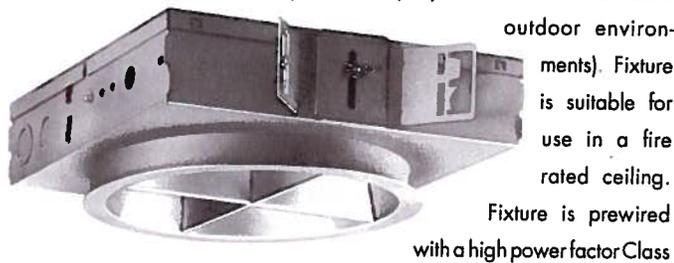
Reflector assemblies are available in clear, natural aluminum in three finishes: **EvenTone**, our standard clear finish, partially diffuse, anti-iridescent and gently luminous in appearance; **OptiTone**, specular and anti-iridescent, with minimum brightness and maximum efficiency; and **EasyTone**, diffuse and luminous. Additionally, reflectors are available in champagne gold, wheat, pewter, bronze, white and black. Wallwash reflectors are also available.

Baflux 213/8 includes a pair of mounting bars (3/4" x 27" C channel). Specialty bars for wood joist and T-bar installations are also available.

APPLICATIONS

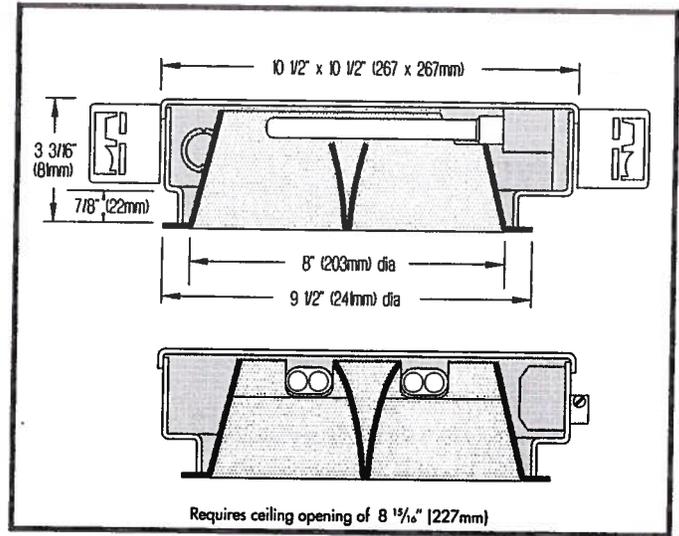
Fixture is recommended for downlighting or wallwashing in offices, lobbies, corridors, restrooms and public areas. Its shallow recess depth allows mounting in constricted plenum situations. Its appearance complements that of linear parabolic fluorescent fixtures.

Fixture is  listed for Damp Location (may not be suitable for some outdoor environments). Fixture is suitable for use in a fire rated ceiling.



Fixture is prewired with a high power factor Class P electronic ballast (minimum starting temperature -20°F), and approved for eight #12 wire 75°C branch lighting circuit pull-through wiring.

Access to ballast and wiring compartment is allowed by removing a snap-in cover. Access to plenum is allowed by opening a 5 1/4" square panel.



PRODUCT CODE

For complete product code, list basic unit and select one item from each following box.

Basic Unit.....	BFX 213/8
Reflector Type	
Downlight.....	no suffix
Wallwash.....	WW
Voltage	
120 volt service.....	120
277 volt service.....	277
Reflector and Flange Color	
EvenTone Clear.....	VOL
OptiTone Clear.....	COL
EasyTone Clear.....	ECOL
Champagne Gold.....	GOL
Wheat.....	WHOL
Pewter.....	POL
Bronze.....	ZOL
White.....	WOL
Black.....	BOL
Other reflector finishes are available on special order.	
Standard reflector flange continues reflector finish. White painted flanges and custom painted flanges are available on special order. Add WF (white flange) or CCF (custom color flange).	

► Flush trim not available.

OPTIONS

Specify by adding to the basic unit.

Magnetic ballast and sockets for GX-23 base (2-pin) lamps.....	- MG
Emergency battery pack operates one lamp in event of power outage. Recess depth increases to 5 1/16" (129mm), plus an additional 3 1/2" (89mm) to remove EM pack through aperture. Not for outdoor application.....	- EM
1/8" (3mm) thick prismatic acrylic lens within reflector.....	- P
1/8" (3mm) thick diffuse white acrylic within reflector.....	- D
1/8" (3mm) thick clear acrylic shield within reflector.....	- PS

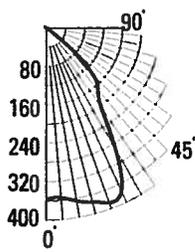
► Dimming ballast not available.



6" AF Cross Baffle

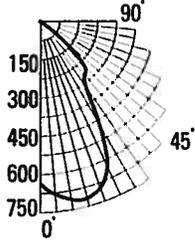
Distribution curve Distribution data Output data Coefficient of utilization Illuminance Data at 30" Above Floor for a Single Luminaire

AF 1/18TRT 6CB, (1) CF18DT/E/IN/835, 1200 lumens per lamp, 1.2 s/mh, test no. LTL9601



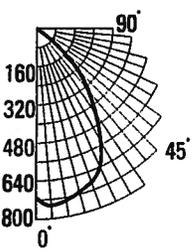
From 0°	cp.	Lumens	Zone	Lumens	%lamp	pf	Coefficient of Utilization				Mount height	Initial fc at beam center	50% beam angle 61.9°		10% beam angle 92.5°			
							80%	30%	20% 70%	50%			30%	50%	30%	Beam diameter	fc at beam edge	Beam diameter
0°	357		0°-30°	302.3	25.2	pc	50%	49%	49%	48%	47%	46%						
5°	354	33	0°-40°	438.9	36.6	pw	50%	44%	45%	43%	44%	42%	8'	11.8	6.6	5.9	11.5	1.2
15°	375	105	0°-60°	543.3	45.3		46%	44%	45%	43%	44%	42%	10'	6.3	9.0	3.2	15.7	0.6
25°	375	164	0°-90°	545.0	45.4		42%	40%	42%	39%	40%	38%	12'	4.0	11.4	2.0	19.9	0.4
35°	201	137	90°-180°	0.0	0.0		43%	36%	38%	36%	37%	35%	14'	2.7	13.8	1.3	24.0	0.3
45°	142	89	0°-180°	545.0	45.4*		36%	33%	35%	33%	35%	32%	16'	2.0	16.2	1.0	28.2	0.2
55°	11	16	*Efficiency				33%	30%	33%	30%	32%	29%						
65°	1	1					30%	28%	30%	27%	30%	27%						
75°	0	0					29%	25%	28%	25%	28%	25%						
85°	0	0					27%	24%	26%	23%	26%	23%						
90°	0	0					25%	22%	25%	22%	24%	22%						

AF 1/26TRT 6CB, (1) CF26DT/E/IN/835, 1800 lumens per lamp, 1.2 s/mh, test no. LTL9600



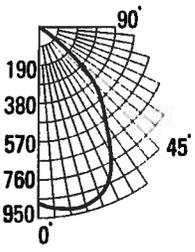
From 0°	cp.	Lumens	Zone	Lumens	%lamp	pf	Coefficient of Utilization				Mount height	Initial fc at beam center	50% beam angle 60.5°		10% beam angle 92.2°			
							80%	30%	20% 70%	50%			30%	50%	30%	Beam diameter	fc at beam edge	Beam diameter
0°	634		0°-30°	514.8	28.6	pc	50%	55%	56%	54%	54%	53%						
5°	680	61	0°-40°	746.9	41.5	pw	50%	50%	51%	49%	50%	48%	8'	21.0	6.4	10.5	11.4	2.1
15°	718	180	0°-60°	928.1	51.6		48%	45%	47%	45%	46%	44%	10'	11.3	8.8	5.6	15.6	1.1
25°	627	274	0°-90°	931.1	51.7		44%	41%	44%	41%	42%	40%	12'	7.0	11.1	3.5	19.7	0.7
35°	314	232	90°-180°	0.0	0.0		44%	41%	44%	41%	42%	40%	14'	4.8	13.4	2.4	23.9	0.5
45°	242	155	0°-180°	931.1	51.7*		35%	32%	35%	31%	34%	31%	16'	3.5	15.8	1.7	28.0	0.3
55°	15	26	*Efficiency				38%	34%	37%	34%	37%	34%						
65°	2	2					35%	32%	35%	31%	34%	31%						
75°	1	1					32%	29%	32%	29%	32%	29%						
85°	0	0					30%	27%	30%	27%	30%	27%						
90°	0	0					28%	25%	28%	25%	28%	25%						

AF 1/32TRT 6CB, (1) CF32DT/E/IN/835, 2400 lumens per lamp, 1.2 s/mh, test no. LTL9604



From 0°	cp.	Lumens	Zone	Lumens	%lamp	pf	Coefficient of Utilization				Mount height	Initial fc at beam center	50% beam angle 61.4°		10% beam angle 92.1°			
							80%	30%	20% 70%	50%			30%	50%	30%	Beam diameter	fc at beam edge	Beam diameter
0°	707		0°-30°	579.7	24.2	pc	50%	48%	48%	47%	46%	45%						
5°	745	68	0°-40°	856.1	35.7	pw	45%	43%	44%	42%	43%	41%	8'	23.4	6.5	11.7	11.4	2.3
15°	710	200	0°-60°	1066.6	44.4		45%	43%	44%	42%	43%	41%	10'	12.6	8.9	6.3	15.6	1.3
25°	640	312	0°-90°	1070.5	44.6		41%	39%	41%	38%	39%	38%	12'	7.8	11.3	3.9	19.7	0.8
35°	436	276	90°-180°	0.0	0.0		38%	35%	38%	35%	37%	34%	14'	5.3	13.7	2.7	23.9	0.5
45°	246	177	0°-180°	1070.5	44.6*		35%	32%	35%	32%	34%	31%	16'	3.9	16.0	1.9	28.0	0.4
55°	36	34	*Efficiency				32%	29%	32%	29%	31%	29%						
65°	2	3					30%	27%	30%	27%	29%	27%						
75°	1	1					28%	25%	28%	25%	27%	24%						
85°	0	0					26%	23%	26%	23%	25%	23%						
90°	0	0					24%	21%	24%	21%	24%	21%						

AF 1/42TRT 6CB, (1) CF42DT/E/IN/835, 3200 lumens per lamp, 1.2 s/mh, test no. LTL9605



From 0°	cp.	Lumens	Zone	Lumens	%lamp	pf	Coefficient of Utilization				Mount height	Initial fc at beam center	50% beam angle 62.0°		10% beam angle 92.1°			
							80%	30%	20% 70%	50%			30%	50%	30%	Beam diameter	fc at beam edge	Beam diameter
0°	876		0°-30°	735.4	23.0	pc	47%	46%	46%	45%	44%	43%						
5°	903	83	0°-40°	1095.1	34.2	pw	43%	41%	42%	40%	41%	39%	8'	29.0	6.6	14.5	11.4	2.9
15°	918	257	0°-60°	1360.0	42.5		43%	41%	42%	40%	41%	39%	10'	15.6	9.0	7.8	15.6	1.6
25°	837	395	0°-90°	1364.7	42.6		40%	37%	39%	37%	38%	36%	12'	9.7	11.4	4.9	19.7	1.0
35°	590	360	90°-180°	0.0	0.0		36%	34%	36%	33%	35%	33%	14'	6.6	13.8	3.3	23.9	0.7
45°	388	225	0°-180°	1364.7	42.6*		34%	31%	33%	30%	32%	30%	16'	4.8	16.2	2.4	28.0	0.5
55°	66	40	*Efficiency				31%	28%	31%	28%	30%	28%						
65°	4	4					29%	26%	28%	26%	28%	25%						
75°	1	1					27%	24%	26%	24%	26%	23%						
85°	0	0					25%	22%	25%	22%	24%	22%						
90°	0	0					23%	20%	23%	20%	23%	20%						

NOTES:

- For electrical characteristics, refer to electrical data tab.
- Tested to current IES and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory data and actual field measurements. Dimensions and specifications are based on the most current available data and are subject to change without notice.

DR 4

FEATURES

OPTICAL SYSTEM

- Reflector - Self-flanged, specular clear or semi-diffuse reflector. Fluted vertical upper section works in conjunction with Bounding Ray Optical Principle to provide lamp before lamp image and smooth transition from top of reflector to bottom. Minimum flange matches reflector finish. White painted flange optional.
- Cross baffle offers superior optical cut-off with a clean aperture appearance.
- Hinged lampdoor seals upper trim for optimal fixture efficiency and the reduction of stray light in the plenum.

MECHANICAL

- 16-gauge galvanized steel mounting/plaster frame with integral brackets to retain optical system. Maximum 1-1/2" ceiling thickness.
- Mounting bars are 16-gauge galvanized steel with continuous 4" vertical adjustment, held in place with toolless, integral cam-action locking system. Post installation adjustment possible without the use of tools from above or below the ceiling. Shipped pre-installed.
- Galvanized steel junction box with bottom-hinged access covers and spring latches. Two combination 1/2"-3/4" and three 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out) No. 12 AWG conductors, rated for 90°C.

ELECTRICAL SYSTEM

- Horizontally-mounted, four-pin, positive-latch thermoplastic socket.
- Class P, thermally-protected high power factor electronic ballast mounted to the junction box (CP and EL ballast mounted on ballast tray).

LISTING

- Fixtures are UL listed for thru-branch wiring, recessed mounting and damp locations. Listed and labeled to comply with Canadian Standards (see Options).

ENERGY

LER.D0L	Annual Energy Cost	Lamps	Lamp Lumens	Ballast Factor	Input Watts
34	\$7.06	1/26TRT	1800	.98	27

Calculated in accordance with NEMA standard LE-5.

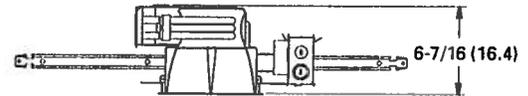
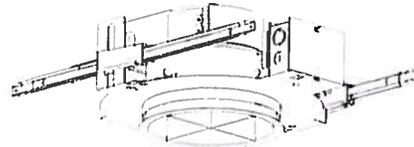
Type

Catalog number

Compact Fluorescent Lighting

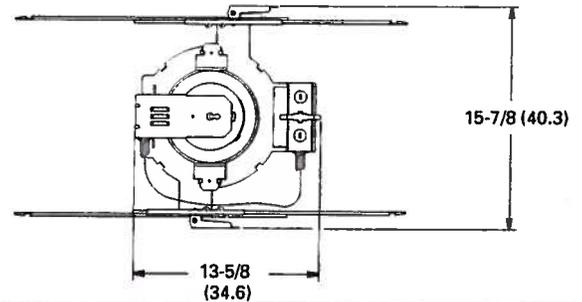
6" AF

CROSS BAFFLE
Horizontal Lamp
Triple-Tube



Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

All dimensions are inches (centimeters).



ORDERING INFORMATION

Example: AF 1/26TRT 6CB CGL MVOLT

Choose the boldface catalog nomenclature that best suits your needs and write it on the appropriate line. Order accessories as separate catalog number (shipped separately).

AF		6CB									
Series	Wattage/Lamp	Reflector/Color	Finish ²	Lens Type	Voltage	Ballast	Options				
AF	1/18TRT 1/26TRT 1/32TRT 1/42TRT	6CB Clear ¹	(blank) Specular low iridescent LD Semi-diffuse low iridescent	(blank) No lens (standard) CGL Clear glass lens CAL Clear acrylic lens PCL Clear polycarbonate lens T73 Tempered prismatic lens A12 Prismatic acrylic lens PPC Prismatic polycarbonate lens	MVOLT ³ 120 277 347	(blank) GEB10 standard. Electronic ballast. DMHL ⁴ Lutron Hi-Lume electronic dimming ballast. ADEZ ⁴ Advance Mark X electronic dimming ballast.	WLP With 35°K lamp (shipped separately). TRW White flange. ELR Emergency battery pack. Remote test switch provided. GMF Single, slow-blow fuse (not available with MVOLT). RIF Radio Interference Filter. LRC Provides compatibility with Lithonia Reloc System. QDS Quick Disconnect for easy ballast replacement. Not available with EL or ELR option. CP Chicago Plenum (consult factory). CSA CSA Certified.				
		Accessories Order as separate catalog number.									
		SC6FL	Sloped ceiling adaptor. Degree of slope must be specified (10D, 15D, 20D, 25D, 30D). Ex: SC6FL 10D								

NOTES:

- 1 Consult factory for additional reflector options.
- 2 Cross baffle blades specular (standard) or diffuse with LD reflector.
- 3 Multi-volt electronic ballast capable of operating on any line voltage from 120-277V.
- 4 Consult factory for specific availability.



GOTHAM ARCHITECTURAL DOWNLIGHTING
A DIVISION OF ACUITY LIGHTING GROUP, INC.
1400 Lester Road Conyers Georgia 30012
P 800 315 4982 F 770 860 3129
www.gothamlighting.com

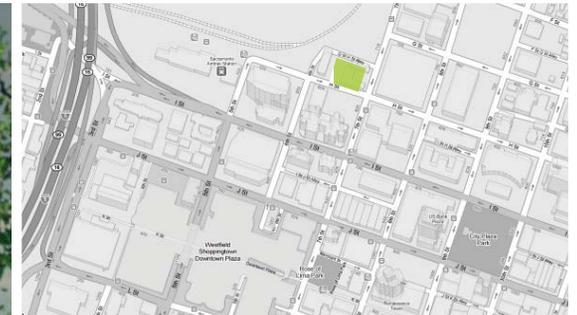
AF 6 TRT CB DCF-120

Attachment 4

Page 37



RENDERING_ LOOKING NORTH/ WEST FROM H STREET



7TH & H

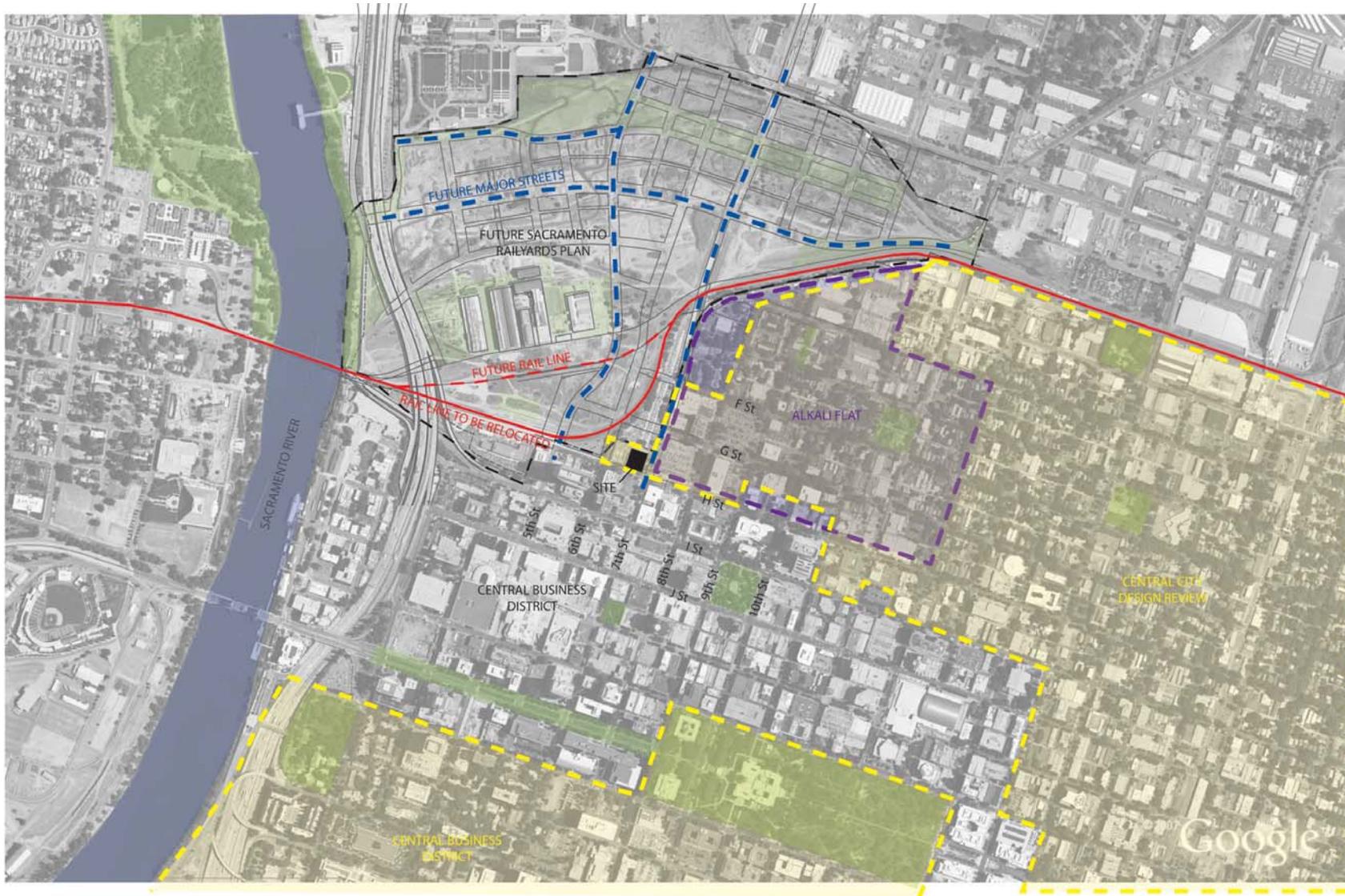
Connecting a Neighborhood_ connecting to and activating the surrounding neighborhood and beyond.

Building a Community_ fostering social interaction and a community within the building.

Integrating Sustainability_ minimizing operational costs and providing a healthy and durable environment

2010.04.06





7TH & H
 District Context
 2010.04.06
 scale: 1" = 20'-0"



SITE ANALYSIS

NATURAL VENTILATION

Allow summer breezes to penetrate the site and flow thru the building

NOISE REDUCTION

Minimize average on South West side to mitigate noise from transit streets, rail, and electrical substation

TRANSIT CONNECTIONS

Provide bicycle storage, lockers and changing facilities for building employees and residents

PASSIVE DESIGN - BUILDING ORIENTATION

Rotate the buildings in the east / west direction to maximize passive solar and daylight penetration. Orient building 32 degrees west of south for maximum solar collection

STORM WATER MANAGEMENT

Vegetated roof, over ground floor will retain stormwater to mitigate stormwater effects

GREEN CORRIDOR

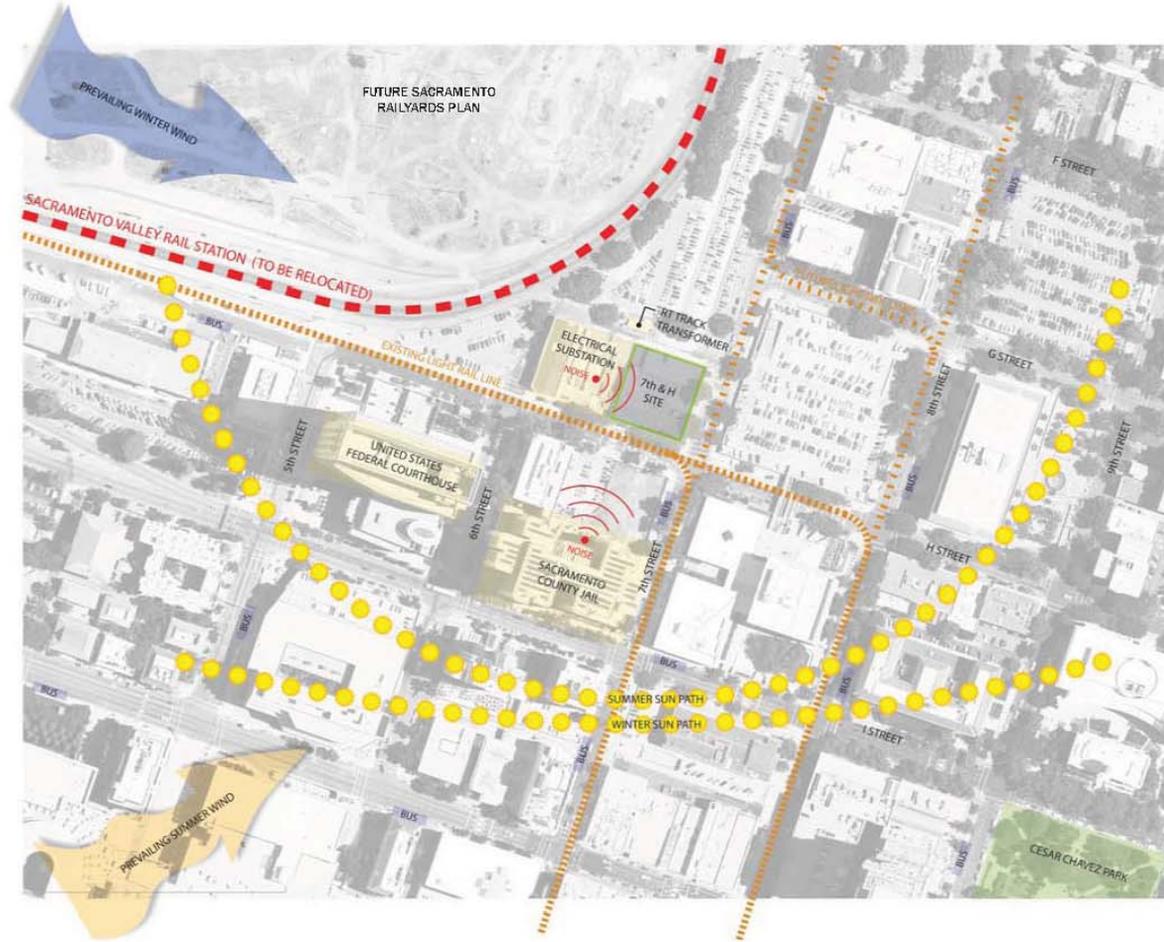
Provide open corridors for connection between site and the future adjacent site Riverfront District

NEIGHBORHOOD CENTER

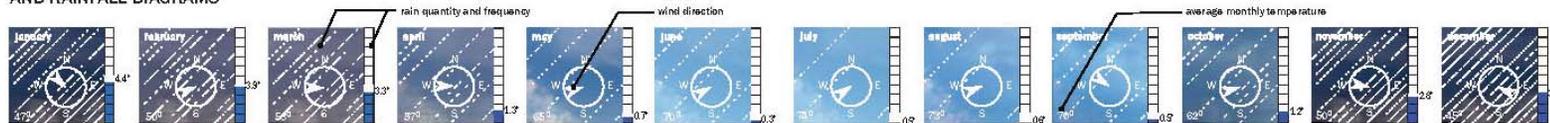
Take advantage of site location to provide a bridge between downtown and future rail yard site development

RAIN WATER COLLECTION

Potential to use rainwater for garden irrigation or other greywater uses



AVERAGE TEMPERATURE WIND AND RAINFALL DIAGRAMS

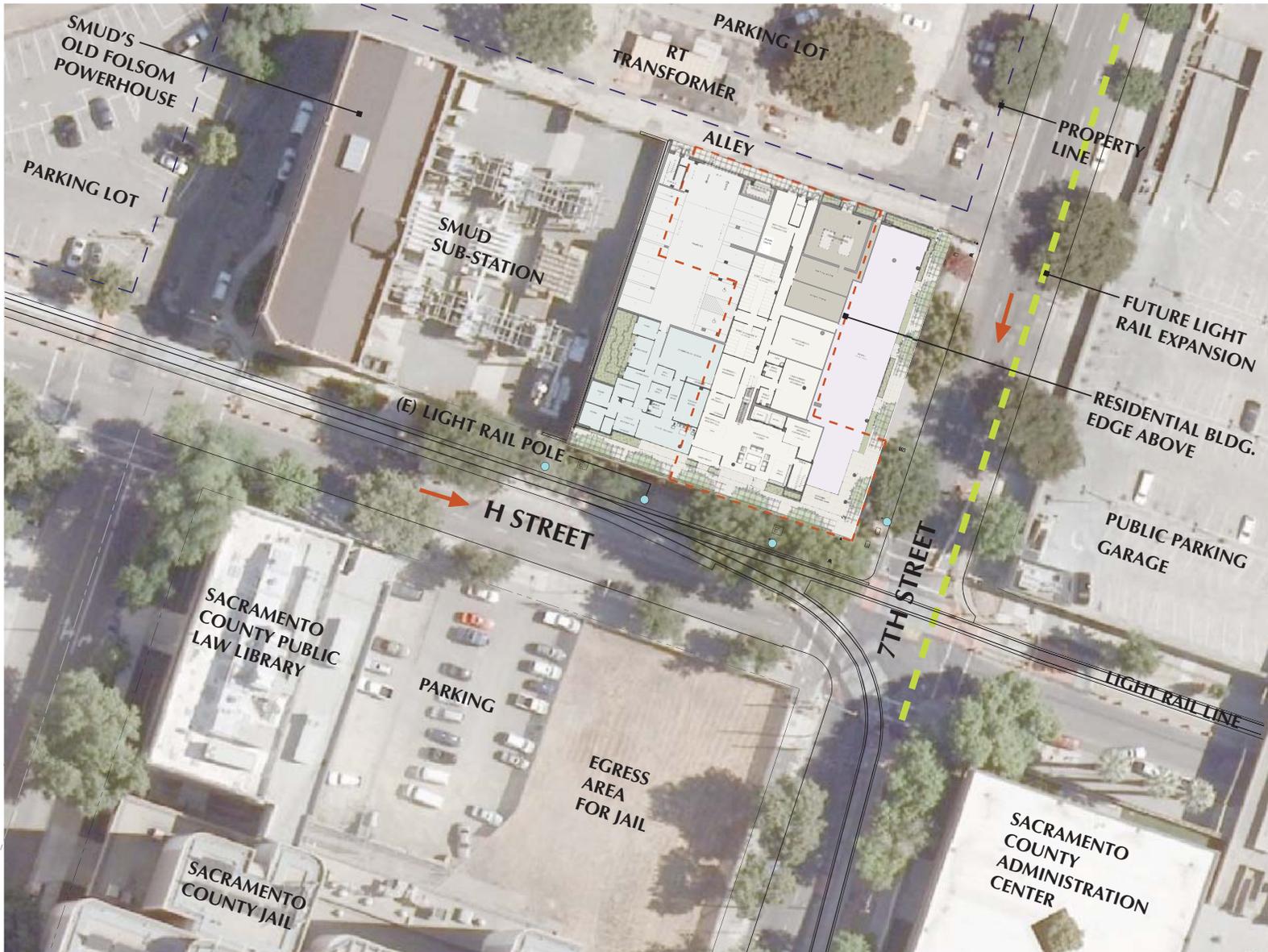


7th & H
 Site Analysis
 2010.04.06
 scale: 1" = 20'-0"



2





7th & H
 Site Context
 2010.04.06
 scale: 1" = 50'-0"



3





Views of SMUD Sub-Station Building and Alley:
[Looking North] [Looking South] [Looking East]



H Street- Looking South: Views of County Jail Overflow Lot



H Street- Looking North/East: Views of Adjacent SMUD Utilities and Project Site



Corner of 7th & H Streets- Views of Project Site



7th Street- Looking West: Views of Covered Paking Area Off alley



Alley- Looking North/West: Views of Fenced RT Transformer and SMUD Utilities
[RT] [SMUD]



Intersection of 7th & H Streets- Views of County Parking Structure

7TH & H
Context Photos
2010.04.06
scale: 1"= 20'-0"





PROJECT TOTALS

*square footages are approximate

Site Area:	150' x 160'	24,000 sf (0.55 acre)
Units Total:	150 units total	
Studio Efficiencies:	369sf - 482sf gross sf	
1-Bedroom Apts.:	600 grosssf	
Retail:	3,900sf (approx.)	
Clinic:	3,750sf (approx.)	

PROJECT AREA TABULATION (6,22.09)

1st Floor	21,184 sf
2nd Floor	13,533 sf + Roof Garden (8,563sf)
3rd Floor	13,268 sf
4th Floor	12,788 sf
5th Floor	13,268 sf
6th Floor	12,788 sf
7th Floor	13,268 sf
8th Floor	12,788 sf
Roof	400 sf
Total Conditioned	113,285 sf

Unit Mix	Parking Spaces: 16 spaces including 2 ADA spaces
Studios 122	
1-Bedrooms 28	
Total 150	

FUTURE LIGHT RAIL EXPANSION COMPLETION 10/2010

STREET TREES (see landscape drawings)

SCORED SIDEWALK

(E) TREE TO BE REMOVED

METAL CANOPY ABOVE

PLANTER PER LANDSCAPE

BLDG. EDGE ABOVE

(E) TREE TO BE REMOVED

(E) LIGHT RAIL OVERHEAD WIRE SUPPORT

7TH & H
 Site Plan
 2010.04.06
 scale: 1"= 20'-0"

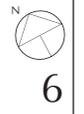


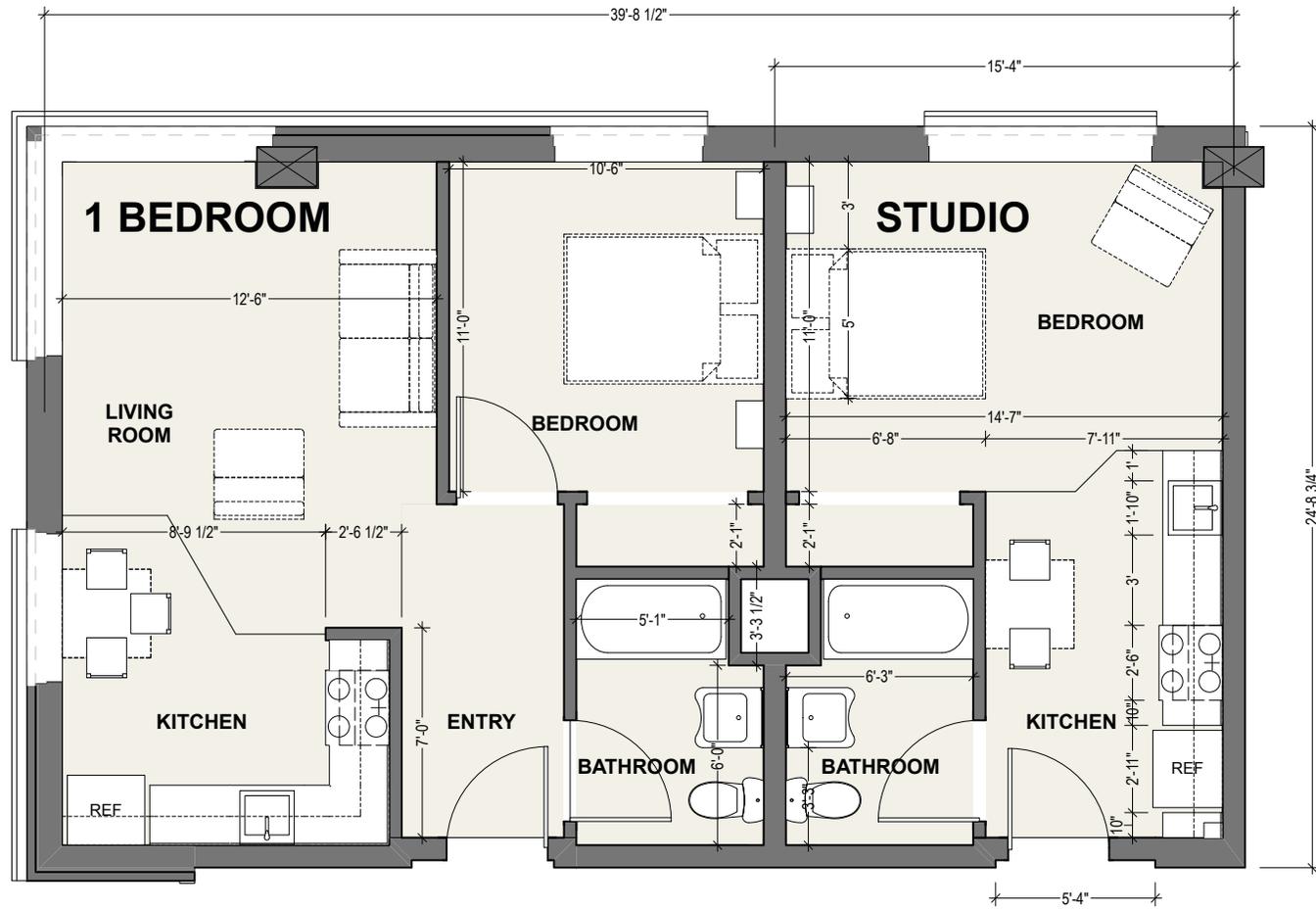
5





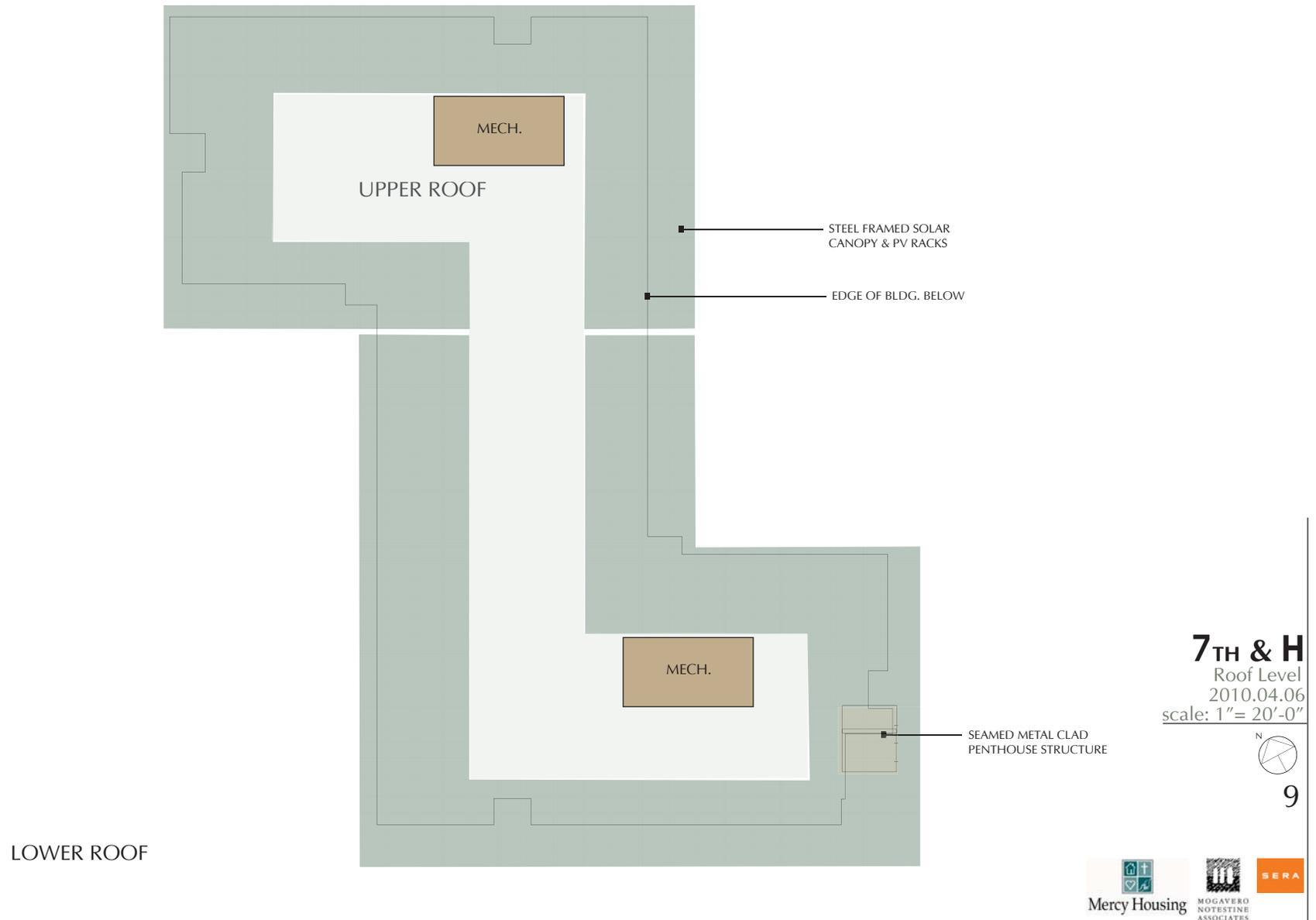
7TH & H
 Level 2
 2010.04.06
 scale: 1" = 20'-0"





UNIT PLANS ENLARGED

7TH & H
 Prototypical Enlarged Unit Plans
 2010.04.06
 scale: 1/2" = 1'-0"



LEGEND

- BRICK A
- BRICK B
- METAL PANEL

* SEE MATERIAL BOARD



H STREET

ALLEY

EAST ELEVATION

SCALE: 1/16" = 1'-0"

**7TH & H
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SOUTH ELEVATION (shown with PVs)
SCALE: 1/16" = 1'-0"

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SOUTH ELEVATION (shown without PVs)
SCALE: 1/16" = 1'-0"

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LEGEND

- BRICK A
- BRICK B
- METAL PANEL

* SEE MATERIAL BOARD



NORTH ELEVATION
SCALE: 1/16" = 1'-0"

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LEGEND

- BRICK A
- BRICK B
- METAL PANEL

* SEE MATERIAL BOARD



ALLEY

SMUD SUBSTATION IN FOREGROUND

H STREET

WEST ELEVATION
SCALE: 1/16" = 1'-0"

**7TH & H
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LOOKING NORTH/ WEST FROM H STREET

7TH & H
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LOOKING SOUTH/ WEST FROM 7TH STREET



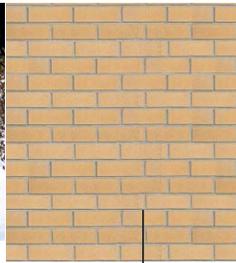
LOOKING NORTH/ EAST FROM H STREET

7TH & H
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Existing Building Example



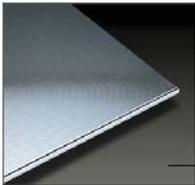
Muddox Brick:
- Summer Wheat
- Norman Size
- Dark Grout



Muddox Brick:
- Ebony
- Norman Size
- Dark Grout



Existing Building Example



Panel Cladding
- Silver Metallic
(Matte)



Aluminum Windows
- Anodised Silver

Balcony Mesh



Exterior Green Wall



7TH & H
Materials & Colors
2010.04.06



SIGNAGE_ EAST ELEVATION



SIGNAGE_ EAST PERSPECTIVE

**MEDIUM FLAG TYPE SIGNS
(BELOW SUNSHADE)**
 12" HIGH WITH 6" LETTERING PERPENDICULAR TO THE BUILDING FACE FOR PEDESTRAINS WALKING ALONG THE SIDEWALK. THESE ARE INTENDED TO ALIGN WITH STOREFRONT VERTICAL MULLIONS.

LARGE LETTERS PARALLEL TO THE BUILDING FRONTAGE (ABOVE SUNSHADE)
 14" CUTOUT LETTERS, MOUNTED ON THE FRONT EDGE OF THE GROUND LEVEL SUN SHADING. THESE WILL READ BEST FOR THOSE TRAVELING BY CAR OR ACROSS THE STREET.

7TH & H
 Site Plan
 2010.04.06
 scale: 1"= 20'-0"





SIGNAGE_ SOUTH ELEVATION



SIGNAGE_ SOUTH PERSPECTIVE

NUMERICAL ADDRESS IDENTIFICATION
 LOCATED IN THE TRANSOM AREA ABOVE ALL ENTRANCES,
 6" LETTERS TO IDENTIFY THE NUMERIC ADDRESS.

7TH & H
 Site Plan
 2010.04.06
 scale: 1"= 20'-0"





GROUND FLOOR ENTRY LOUNGE CONCEPT
LOOKING EAST FROM ENTRY

7TH & H
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INTERIOR LOBBY_ LOUNGE CONCEPT LOOKING WEST
TO RESIDENTIAL ENTRY

7TH & H
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COMMON ROOM CONCEPT AT 3RD FLOOR
LOOKING NORTH

7TH & H
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INTERIOR CONCEPT OF COMMON ROOM
FROM LEVEL FOUR ELEVATOR AREA

7TH & H
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PLANTING LEGEND			
SYMBOL	BOTANICAL NAME	SIZE	SPACING
	(E) Zelkova serrata		
	(N) Zelkova serrata 'Musashino'	24" BOX	30'
	Dicksonia antarctica	24" BOX	N/A
	Lyonothamnus f. 'asplenifolius'	15 GAL	N/A
	Clivia miniata	5 GAL	2"
	Grevillea lavandulacea 'Penola'	5 GAL	5'
	Limonium perezii	1 GAL	2'-6"
	Helictotrichon sempervirens	5 GAL	3'-6"
	Pittosporum tobira 'Wheeler's Dwarf'	5 GAL	3'-6"
	Nandina domestica	5 GAL	3'-6"
	Parthenocissus tricuspidata	15 GAL	10'
	Trachelospermum jasminoides	1 GAL	4'

AMENITIES LEGEND	
SYMBOL	DESCRIPTION
	EXISTING LIGHT RAIL POLE
	EXISTING FIRE HYDRANT
	BOLLARDS ALONG ALLEY
	BICYCLE RACKS (ACCOMMODATES 16)
	NEW CONCRETE TO MATCH CITY STANDARDS
	NEW ASPHALT
	ENHANCED PAVING
	ORGANIC MULCH
(A)	CLINIC COURTYARD GARDEN
(B)	CLINIC ENTRY
(C)	RESIDENTIAL ENTRY
(D)	COMMERCIAL ENTRY
(E)	CONTINUOUS PLANTER
(F)	BICYCLE RACKS
(G)	OVERHEAD PROJECTION

7TH & H
 Landscape Concept
 Level 1
 2010.04.06
 scale: 1" = 20'-0"





PLANTING LEGEND

SYMBOL	BOTANICAL NAME	SIZE	SPACING
	<i>Olea Europaea 'Swan Hill'</i>	24" BOX	30'
	<i>Alnus Oregona</i>	24" BOX	N/A
	<i>Rosmarinus officinalis</i>	15 GAL	N/A
	<i>Cornus stolonifera</i>	5 GAL	2'
	<i>Mahonia aquifolium 'Compacta'</i>	5 GAL	5'
	<i>Mimulus</i>	1 GAL	2'-6"
	<i>Vaccinium ovatum</i>	5 GAL	3'-6"
	<i>Juncus patens 'Elk Blue'</i>	5 GAL	3'-6"
	<i>Carex tumulicola</i>	5 GAL	3'-6"
	<i>Iris clarkei</i>	15 GAL	7'
	<i>Myoporum p. 'Prostratum'</i>	15 GAL	10'
	<i>Parthenocissus tricuspidata</i>	1 GAL	4'

AMENITIES LEGEND

SYMBOL	DESCRIPTION
	CONTRASTING BANDS OF HIGH ALBEDO CONCRETE TOPPING SLAB
	WOOD SLAT TABLES, CHAIRS, AND BENCHES
	TIMBER SLAB BENCH
	A CONCRETE FLOW THRU PLANTER (STORMWATER DIRECTED FROM ROOF)
	B CONCRETE RAISED PLANTER BOX WITH SHADE TREES
	C OUTDOOR PAVILION
	D GREEN SCREEN VINE TRELLIS
	E CONCRETE SEAT WALL
	F PROSPECT OPPORTUNITY TO STREET BELOW
	G GAME TABLES
	H CASCADING WATER FEATURE AND RILL TO POOL
	I 8'-0" SOUND WALL PLANTED WITH VINES
	J 8'-0" SOUND WALL WITH ENHANCED FACING MATERIAL

7TH & H
 Landscape Concept
 Level 2
 2010.04.06
 scale: 1" = 20'-0"



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LOOKING NORTH/WEST FROM 7TH STREET

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