



REPORT TO DESIGN COMMISSION City of Sacramento

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915 I Street, Sacramento, CA 95814-2671

PUBLIC HEARING
September 15, 2010

To: Members of the Design Commission

Subject: 3820 Broadway (P10-042) Located at the southeast corner of Broadway and Martin Luther King Jr, Boulevard, a request to develop a three story 56 unit residential with ground floor retail on 1.2+/- acres in the Broadway/Stockton and Oak Park Special Planning District (C-1-SPD) zone.

- A. Environmental Determination: Exempt per 15332, Infill Development
- B. Design Review request to develop a 56 unit senior residential facility with 4,000 s.f. of retail space in the Broadway/Stockton & Oak Park Design Review Districts.

Location:

Address: 3820 Broadway, Sacramento, CA
Assessor's Parcel Number: 014-0171-001, -017, -018, -019, -020, -025
Council District 5
Broadway/Stockton and Oak Park Design Review Districts

Recommendation: Staff recommends the Design Commission approve the request based on the findings of fact and subject to the conditions listed in Attachment 1. The Design Commission has final approval authority over *items A & B* above, and its decision may be appealed to City Council.

Contact: Matthew Sites, Associate AIA, LEED AP, Design Review Staff, (916) 808-7646
Luis R. Sanchez, AIA, LEED AP, Senior Architect (916) 808-5957

Applicant: Steven Oh, Related Companies, (949) 660-7272, 18201 Von Carmen Avenue, Suite 900, Irvine, CA 92612.

Owner: Redevelopment Agency Of The City Of Sacramento, (916) 444-9210, 801 12th Street, Sacramento, CA 95814.

SUMMARY: This project was previously heard at the August 18, 2010 Design Commission Hearing. The development consists of a three story residential building with retail at the southeast corner of Broadway and Martin Luther King Jr. Boulevard. The building will accommodate approximately 4,000 square feet of commercial retail space, 56 senior living residential units, 42 parking spaces, and a large landscaped area at the rear of the project. Forty-two parking spaces will be provided with access through two driveways along Martin Luther King Jr. Boulevard.

This project has been through several iterations over the past several years, and the developer and SHRA have now been able to find an appropriate scope and budget for this project. Due to some financing elements, this project was just recently submitted and has a very short timeline to receive entitlement approvals in order to proceed into construction documents and receive financial incentives they are applying for. This building is located at a very prominent corner in Oak Park and the uses complement those of the surrounding area. The Design Team, SHRA, City Staff have been working diligently to meet the needs and deadlines of the owner and developer to make this a feasible project. The project generally meets the criteria of the Broadway/Stockton and Oak Park Design Guidelines and is supported by staff per the conditions of approval.

The Design Commission made the following statements on August 18, 2010 regarding the proposed project.

1. The corner element needs further refinement and integration into the design of the building. The recessed element appears dark and should be studied further to provide a more inviting and active atmosphere.
2. Study spacing of columns and possibly push the outside columns closer to the building to open space up. The third floor corner unit could benefit from the visual continuation of the columns up through and integrated into the plaster wall element. Possibly enhance the corner by changing the window sizes to an atypical size instead of the standard size used at the other elevations. The tall ceiling at corner might be an issue, look at curved walls at corner.
3. Suggest that applicant look at changing the brick height up to halfway between the 2nd and 3rd floors, this would allow a visual separation of the retail and residential spaces.
4. The Broadway elevation needs a better relationship between styles and elements at the corner as they seem disparate. The massing of the column bases appear over scaled and could use some further study and refinement.
5. Blue vertical residential elements along Broadway appear too dark and could use some lighter colors.
6. Monolithic color scheme at the courtyard area is supported by the Commission.
7. Agree with staff that additional landscaping is needed along the front elevations.
8. Blade signs seem appropriate for the use, but night sky issues should also be taken into consideration when choosing the appropriate lighting of the signs.
9. Applicant requested to revisit fenestration pattern that appears different from others as indicated by staff in the report.
10. The fountain and barbeque should not be changed from the current locations.
11. All staff comments in the report were good and should be considered and worked on to resolve issues.

The applicant has provided a response to these comments in Attachment 4.

After the hearing staff met with the applicant and discussed the Design Commission comments. Staff reviewed the revised set of plans and has the following comments:

- The overall site plan and project is very strong, and the landscape plan is very well designed.
- The corner is arguably one of the most visually important corners in the city with the direct axial alignment of Broadway, and therefore, as the architect intends, needs to be significant and articulated with care and finesse. The intention to reference the Bank Building on Broadway in the Oak Park Business District is laudable but can be problematic. Such a literal reference to the bank building on Broadway will tend to diminish the significance of both, whereas an icon used to inspire a new interpretation will make both stronger. An important distinction between the Bank Building is that it occurs on an acute corner, not a more orthogonal intersection as this project provides, therefore the corner is not quite as 'free' as the architect would like it to be. Furthermore, the Martin Luther King, Jr. /Broadway intersection has a long view shed from Broadway, and mass of the corner should read well from a great distance. In this vein, the parapet could be raised above the adjoining cornices and a more solid form introduced below the third level.
- With the frontal view of the corner from Broadway, the architect might consider a more planar form facing the axis directly, instead of the soft rounded corner. The columns could be better integrated into the structure of the building and the vehicle barriers could be incorporated architecturally at the base as well. As it is now, the form of this corner is forced to fit into the dominate orthogonal architecture.
- Although there was no consensus at the August 18, 2010 Design Commission Review and Comment, some Design Commissioners commented that the corner loggia may be problematic as a two-story open volume, and staff recommends lowering the soffit height of the open ground floor volume or other option that could resolve the Design Commission comments.

The project will require Planning Commission approval of entitlements for Environmental, Special Permit – Residential to allow residential development within Limited Commercial C1-SPD that is over 40,000 sf., Special Permit – Parking Reduction of approximately 60% of parking required, Variance – Setback from 5' to 0' along Broadway, Variance – Setback from 20' to 0' along Martin Luther King Boulevard. The Planning Commission is scheduled to hear this project on September 23, 2010 for Final action. The project also requires City Council approval to abandon the alley at the rear of the project. A lot merger is also required to merge the six parcels and the abandoned alley way. The project is located in the Broadway/Stockton and Oak Park Central Core Design Review District and is subject to Design Review.

Table 1: Project Information
Existing zoning of site: C-1 (Limited Commercial)
Existing use of site: Vacant
Property dimensions/area: Approximately 1.2 acres
Building square footage: 52,934 ± square feet
Building height: 35'-6" to top plate, 46'-6" to top of parapet.
Exterior building materials: brick, smooth finished cement plaster, fiber cement horizontal lap siding, clear anodized aluminum storefront systems with low-e clear glazing, and operable vinyl windows.

PUBLIC/NEIGHBORHOOD OUTREACH AND COMMENTS: Staff mailed an Early Notice to property owners and neighborhood associations within a 300 foot radius on July 13, 2010, a Hearing Notice on August 2, 2010 for the August 18, 2010 Design Commission Review and Comment, and a Hearing Notice on August 31, 2010 for the September 15, 2010 Design Commission Public Hearing. The following organizations were contacted; Oak Park Neighborhood Association, Oak Park Business Association, and the Oak Park Redevelopment Advisory Committee (RAC). The applicant has contacted property owners and neighborhood associations during the initial planning and design phase, and have received general support for the project. Comments have been received by the Oak Park RAC and were attached in the first Review and Comment report to the Design Commission. No additional comments have been received since the August 18, 2010 Design Commission Hearing at the time this report was completed.

ENVIRONMENTAL CONSIDERATIONS: The Community Development Department, Environmental Planning Services Division has reviewed this project and determined that this is exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15332, In-fill Development Projects. The project consists of the construction of a building that occurs in an urban area served by utilities and public services, on a site that is less than 5 acres, has no habitat value, is consistent with all applicable land uses, and would not result in any significant effects to traffic, noise, air, or water quality.

SUSTAINABILITY CONSIDERATIONS: The City has adopted a Sustainability Master Plan to complement the City's General Plan. This was done to ensure that the City set the standard for the practices of sustainability within its own organization as well as becoming a model for any construction projects within the City. Projects should consider the following goals adopted by the City as projects are proposed within the City: reduce consumption of materials, encourage the reuse and local recycling of materials, reduce the use of toxic materials; establish and continuously improve "green" building standards for both residential and commercial development--new and remodeled, reduce dependence on the private automobile by working with community partners to provide efficient and accessible public transit and transit supportive land uses, reduce long commutes by providing a wide array of transportation and housing choices near jobs for a balanced, healthy city; improve the health

of residents through access to a diverse mix of wellness activities and locally produced food, promote “greening” and “gardening” within the City, create “Healthy Urban Environments” through Restorative Redevelopment, and maintain and expand the urban forest.

Although no sustainable methods have been proposed, staff recommends the use of a Construction Waste Management Plan, energy efficient designs, and the use of local materials as a minimum standard for this project.

POLICY CONSIDERATIONS: The proposal complies with the following guiding principles. Use the existing assets of infrastructure and public facilities to increase infill and re-use, while maintaining important qualities of community character. Promote strategic development of vacant, underutilized, and infill land, especially along transportation and commercial corridors, to improve the city’s economic outlook. Create and maintain a broad range of jobs that are accessible to all residents that provides opportunities for advancement. Encourage sustainable levels of energy and resource consumption through efficient land-use, transportation, building design, construction techniques, waste management, and other infrastructure systems.

This proposed project is consistent with the Broadway/Stockton and Oak Park Design Review Districts. Staff is supportive of the design and recommends Design Commission review and discussion on the following items to assist the Applicant with further project development.

Design Policy Considerations: Context: Allow for creative architectural solutions that acknowledge contextual design through emulation, interpretation, or contrast in character. Character: Complement the architectural character of existing historic building enclaves and promote harmony in the visual relationships and transitions between new and older buildings. Scale: Relate the bulk of new buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction. Pedestrian: Enhance the pedestrian experience. Materials: Promote efforts to utilize high quality building materials, detailing & landscaping. Integrated Services: Promote functional & aesthetic integration of building services, vehicular access and parking facilities. Sustainable Design: Promote sustainability in building design, construction and operation.

Design Guidelines Considerations: Ground level uses: Should be residential or mixed. Transparency: Any nonresidential ground floor use (except parking and servicing) shall have walls at least 60% transparent. Articulation of street-wall: Articulations should be spaced no further than 20’ o.c. Lighting: Should be appropriate to the ground floor uses, and respectful of adjacent property uses. Entries: Entry locations should be obvious, easy to find, clearly visible from the sidewalk, and safe. Double height entries encouraged. Recessed entries are discouraged. Fenestration: To provide human scale to buildings, windows shall be well-proportioned, varied across a project, articulate the wall system, and be operable where appropriate. Roofs and mechanical penthouse enclosures: Mechanical equipment located at roof level should be integrated into the building design, e.g. as a screened volume. Sustainability: Development should meet the criteria required for LEED certification (or another appropriate rating system) at a minimum.

STAFF RECOMMENDATIONS TO COMMISSION: Staff requests that the Design Commission approve the proposed project subject to the final conditions of approval.

Site Comments:

1. The setbacks have been reduced to maximize the footprint and provide substantial outdoor amenities for the proposed residential and retail uses. The project will require setback variances from 5' to 0' along Broadway and from 20' to 0' along Martin Luther King Jr. Boulevard. Although the setbacks are reduced to 0' at the corner, the building does setback along both street frontages to respect the intent of the requirement. Staff supports the setbacks as it focuses attention on the corner of the structure and softens the structures presence as it continues towards the adjacent residence.
2. Two driveways will be provided along Martin Luther King Jr. Boulevard with a separation median, so right in and right out only maneuvers may be made. The parking gates will also remain open during retail business hours for maneuvering as required by the Department of Transportation. A 35' pull out area will be provided along Broadway for residential drop off/pick up at the main entry. Staff supports these changes as it minimizes the impact on the proposed parking and provides better access to the main pedestrian entry to the structure.
3. The bollard configuration and design at the corner of Broadway and Martin Luther King Jr. Boulevard has been adjusted to utilize concrete and/or steel bollards in place of Corten steel planters. Staff supports the use of bollards instead of planters, but recommends articulation of the bollards that will better complement the design. Staff feels that the layering of bollards and columns makes the space uninviting, so attention to the articulation and layout of the bollards and columns is paramount. Staff recommends smaller bollards clad to complement building materials, and round column bases. Details and cut sheets of the bollards should be provided to the Design Commission at the hearing.
4. Brown colored, salt finished concrete with diagonal deep trowel pattern is called out on the plans at the main entry and retail logia. Staff is recommending that the colored concrete be provided at all locations of hardscape including areas like the Garden Getaway and Rose Walk, and that the colored concrete should be trimmed with brick pavers to match brick color provided on main building.
5. A separated sidewalk and generous street planters have been provided to replace the existing sidewalks. The applicant has provided additional landscaping along the Broadway elevation at the main pedestrian entry and both in front of and behind the residential separation walls. The largest possible canopy trees have been called out for 39th Street street edge, and the applicant will work with Urban Forest staff on final determination on species. The parking area has been reconfigured to provide 50.5% shading ratio, and conforms to the 50% shading requirement for parking. Staff is supportive of the revisions to the landscaping and parking shading.

6. The trellis element has been placed closer to the street to allow additional room for site mechanical systems. Staff recommends relocating the double check valve behind the trellis element, but should retain the Fire Department connection and post indicator valve at their present locations. The trellis element consists of brick columns with metal trellis and mesh for vines. Detail drawings of trellis have not been provided for staff review, and should be provided for review and action by the Design Commission at the hearing.
7. The applicant is proposing relief in the CMU separation wall at the south edge of the property adjacent to the residential zone, but has not provided exhibits reflecting this modification. Staff supports relief in the CMU wall, but requires exhibits be provided at the Design Commission hearing for review and action by the Commission.
8. A site lighting plan and cut sheets shall be provided at the hearing in order for the Design Commission to review and take action. Staff recommends that the light fixtures complement the building design; wall pack and shoebox style lighting shall be avoided. Pole lights shall be limited to a maximum of 14'-0" in height to the lens of the light fixture.

Building Comments:

9. A material palette of thin brick, smooth finished cement plaster, fiber cement horizontal lap siding, aluminum storefront, vinyl windows, aluminum sunshades, and tube steel balcony rails has been provided for this project. Staff generally supports the material palette with a revision to a lighter color at areas of blue. The contrast between the blue and grey appear dark and at a minimum the blue should be lightened. The applicant will provide revised colors at the hearing.
10. Due to the fast turnaround time, the corner element issues have not been resolved. The corner issue includes the use of brick, location and integration of columns, changes to column bases and capitals, and locations and design of bollards. The applicant has provided two options for the column base design and staff recommends Option B which includes a lower round base. Applicant should provide revised corner element detail at the hearings.
11. The applicant clarified at the last hearing that the aluminum storefront will only be utilized at the retail and common areas, and that single/double hung vinyl windows will be provided at the residential units. Staff is supportive of the window materials proposed. Staff recommends vinyl sliding doors be provided at the residential units, and aluminum doors in the storefront areas.

- 12. Similar to the corner element issues, the small section of fenestration to the east of the entry at the second and third floors was not resolved. Applicant should provide revised fenestration drawings at the hearings.

- 13. The applicant provided staff with a roof plan and cross-section regarding the mechanical system locations and heights. Staff is supportive of the HVAC locations as the small units will have minimal height and hidden behind the parapet, and the larger common space units will be located behind the entry parapet.

Signage Comments:

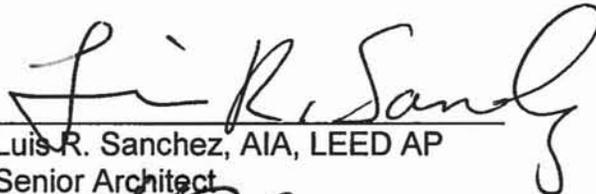
- 14. At the August 18, 2010, hearing the Design Commission felt that blade signs would be appropriate for the use, but that Dark Sky and adjacent residence issues should also be considered in their design. No further changes to signage were proposed.

Respectfully submitted by:



Matthew Sites, Associate AIA, LEED AP
Design Review Staff

Recommendation Approved:


Luis R. Sanchez, AIA, LEED AP
Senior Architect
William Crouch, AIA, FRAIA, NCARB, LEED AP
Urban Design Manager

Attachments:

Attachment 1

Page 10-15 Findings of Fact and Conditions of Approval

Attachment 2

Page 16 Vicinity Map

Attachment 3

Page 17 August 18, 2010 Design Commission Comment Letter

Attachment 4

Page 18-19 September 2, 2010 Design Team's Response Letter.

Attachment 5

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Page 21 District Content
Page 22 Site Analysis
Page 23 Project Context Photos
Page 24 Building Elevations
Page 25 Enlarged Elevations – Option A
Page 26 Enlarged Elevations – Option B
Page 27 Enlarged Elevations – Building Section
Page 28 Annotated Site Plan
Page 29 First Floor Plan
Page 30 Second Floor Plan
Page 31 Third Floor Plan
Page 32 Roof Plan
Page 33 Prototypical Unit Plan
Page 34 Preliminary Landscape Plan
Page 35 Setbacks & Easements

Attachment 6

Page 36-69 August 18, 2010 Design Commission Review and Comment Staff Report.

Attachment 1
Proposed Findings of Fact and Conditions of Approval
Oak Park Mixed Use Development (DR10-042)
3820 Broadway, Sacramento, CA 95814

Findings Of Fact

- A. Environmental Determination:** Exemption - Based on the determination and recommendation of the City's Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the Project, the Planning Commission finds that the Project is exempt from review under Section **15332, In-Fill Development Projects** of the California Environmental Quality Act (CEQA) Guidelines as follows:

The project consists of the construction of a building that occurs in an urban area served by utilities and public services, on a site that is less than 5 acres, has no habitat value, is consistent with all applicable land uses, and would not result in any significant effects to traffic, noise, air, or water quality.

- B. The Design Review** *request to develop a three story 56 unit residential with 4,000 s.f. ground floor retail is approved, subject to the following Findings of Fact and Conditions of Approval:*
1. The project is based upon sound principles of land use, in that the proposed use is allowed in the Limited Commercial (C-1) zone and the Stockton/Broadway and Oak Park Design Guidelines are met.
 2. The proposed use will be consistent with the objectives of the City of Sacramento General Plan.
 3. The project, as conditioned, will complement structures in the vicinity, and conforms to the design criteria set forth by the Design Commission.

Conditions Of Approval

The Design Review request to develop a three story 56 unit residential with 4,000 s.f. ground floor retail is hereby approved subject to the following conditions:

- A. The design of the site (see plans attached) is hereby approved subject to the following conditions. These conditions must be met prior to the building permit submittal:**
1. The buildings shall be sited as indicated in the report and exhibits.

2. Auto access and site layout shall be as indicated in the report and exhibits. The Applicant shall coordinate with the appropriate agencies regarding alley improvements associated with the overall project.
3. The project shall have building entries and setbacks as indicated in the exhibits.
4. The project shall include landscaping elements as indicated on the report and exhibits. Automatic irrigation shall be provided for all planting and landscaping. **Final landscape plans and details shall be provided for review and approval by Design Review staff prior to Building Permit submittal.**
5. Large canopy street trees along Broadway and Martin Luther King, Jr. Boulevard shall be provided as indicated in the report, exhibits, and per Urban Forest requirements.
6. Outdoor amenities including Rose Walk, pergola, Getaway Garden, fountain, and barbeque, shall be provided per approved plans. **Final pergola design shall complement the style of the proposed project, and be provided for review and approval by Design Review staff prior to Building Permit submittal.**
7. Low brick site walls with brick cap shall be provided along Broadway per approved plans. **Final site wall details shall be provided for review and approval by Design Review staff prior to Building Permit submittal.**
8. Bollards that complement building materials shall be provided at the corner of Broadway and Martin Luther King, Jr. Boulevard. **Where insufficient information is provided at hearing to allow Design Commission approval, Design Commission may relegate to staff that the final design and locations of bollards shall be provided for review and approval by Design Review staff prior to Building Permit submittal.**
9. Brick and prefinished metal trellis shall be provided per approved plans. **Where insufficient information is provided at hearing to allow Design Commission approval, Design Commission may relegate to staff that the final trellis element details shall be provided for review and approval by Design Review staff prior to Building Permit submittal.**
10. Prefinished metal rolling gate and fence shall be provided at parking area to match finish and color of metal used on the trellis element. **Final fence and gate design shall be provided for review and approval by Design Review staff prior to Building Permit submittal.**
11. A 6'-0" high CMU separation wall shall be provided along the southern property line. **Where insufficient information is provided at hearing to allow Design Commission approval, Design Commission may relegate to staff that the final wall design shall be provided for review and approval by Design Review staff prior to Building Permit submittal.**

12. Brown colored, salt finished concrete with diagonal deep trowel pattern and brick pavers to match color of building brick shall be provided at main entry, retail logia, and at all locations of hardscape at the rear of the project. **Final colored concrete and brick paver design and locations shall be provided for review and approval by Design Review staff prior to Building Permit submittal.**
 13. Sidewalks shall be city standard concrete with a 2' by 2' grid pattern. Bicycle parking shall be provided at the residential entry. **Street planters and sidewalks shall be provided per Development Engineering standards and reviewed by Development Engineering, Urban Forest, and Design Review staff prior to Building Permit submittal.**
 14. Applicant shall provide a site lighting plan for review and approval by Design Review staff prior to submitting for Building Permit. Exterior lighting style and design shall be compatible and consistent with the building design, and the site should be adequately illuminated for safety and security with a minimum 1.0 foot candle throughout. Pole lights shall be limited to a maximum of 14'-0" in height to the lens of the light fixture. Street lighting shall be provided per Development Engineering standards and reviewed by Development Engineering and Design Review staff prior to Building Permit submittal. Appropriate lighting should light up wall surfaces and/or landscape areas. **The applicant shall submit all site light fixtures cut sheets and plan locations for review and approval by Design Review staff prior to submitting for Building Permit.**
 15. Site mechanical equipment, SMUD transformers, fire pump, etc. shall be located per approved plans. Backflow prevention devices and double check valves shall be placed behind trellis elements to minimize street and pedestrian views. **The applicant shall submit final site mechanical locations for review and approval by Design Review staff prior to Building Permit submittal.**
 16. Trash enclosure shall be provided in the service area inside the building as indicated on the plans. A prefinished metal roll up garage door with glazing shall be provided at south elevation.
 17. Any outdoor furniture proposed for the exterior seating shall be provided to Design Review Staff for review and approval prior to Building Permit issuance or at the time of tenant improvement Building Permit submittal.
- B. The design of the new building (see plans attached) is hereby approved subject to the following conditions:**
18. The design of the building shall be as indicated in the report and exhibits.
 19. Final heights and massing shall be as indicated in the report and exhibits.

20. The building elevations shall have a consistency of detail and quality as indicated in the report and exhibits.
 21. Final configuration of the corner shall be redesigned per direction of the Design Commission at the hearing. **Final plans and configuration shall be provided for review and approval by Design Review staff prior to Building Permit submittal.**
 22. The materials provided shall be a tan thin brick veneer (applicant shall provide revisions to Design Review staff for review and approval of final use of brick at corner element including brick coursing), smooth finished cement plaster with metal screeds, smooth finished cement plaster columns and bases (Option B) (applicant shall provide revisions to Design Review staff for review and approval of final column design and materials), maximum 7" exposure horizontal fiber cement lap siding, **blue paint color shall be lightened**, clear anodized aluminum storefront systems and doors with clear glazing with fiber cement spandrel panels, tan vinyl single/double hung windows and sliding glass doors, prefinished metal roll-up garage door with glazing, prefinished metal sunshades, prefinished metal balcony railings, and painted metal entry canopy. **Where insufficient information is provided at hearing to allow Design Commission approval, Design Commission may relegate to staff that the final plans, color and material board shall be provided for review and approval by Design Review staff to ensure compliance prior to Building Permit submittal.**
 23. The small section of fenestration to the east of the entry at the second and third floors shall be reconfigured. **Where insufficient information is provided at hearing to allow Design Commission approval, Design Commission may relegate to staff that the final design shall be provided for review and approval by Design Review staff prior to Building Permit submittal.**
 24. Exterior lighting style and design shall be compatible and complementary to the building design. **Final building lighting plans and light fixture cut sheets shall be reviewed and approved by Design Review staff prior to Building Permit submittal.**
 25. The common residential area HVAC system shall be incorporated within the main entry parapet and the residential unit HVAC systems shall be located behind the parapet wall, so as not to be visible from any street views. **Final roof plan with mechanical equipment locations, a section through the HVAC unit and building, and cut sheets shall be reviewed and approved by Design Review staff prior to Building Permit submittal.**
- C. The design of the signage is hereby approved subject to the following conditions:**
26. Any blade sign proposed shall minimize the impact of lighting on residence and Dark Sky criteria. The blade signs shall provide dimensional copy through the use

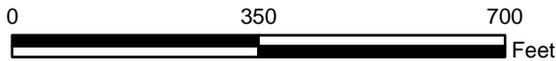
of attached individual channel letters or stud mounted cut letters/logos. The maximum height of letters shall be 24" and the blade sign shall be scaled to respect the structure. Exposed conduit is not allowed, and electrical connections shall not be visible from any street or pedestrian views.

27. High quality signage with a design and materials that complements the architecture is required and shall meet the sign ordinance. **Final signs shall be submitted to Design Review staff and the City Sign Coordinator for review and approval prior to issuance of a Sign Permit.**

D. General Conditions

28. All final details affecting the exterior building design that are not determined at the time of the Design Commission final review shall be reviewed and approved by Design Review staff prior to Building Permit submittal.
29. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any changes to the final set of plans stamped by Design Review staff shall be subject to review and approval prior to Building Permit submittal. Applicant shall comply with all current building code requirements.
30. Any major revisions to the final approved design are subject to review and approval by the Design Commission.
31. Any tenant improvement that would modify this approval shall be submitted to Design Review staff for review and approval by the Design Director prior to Building Permit submittal.
32. **All required new and revised plans shall be submitted for review and approval by Design Review staff prior to building permit submittal. A set of the appropriate plans (reduced to 11 x 17 set) along with a Letter of Compliance indicating how the project is in compliance with each Condition of Approval with detailed sheet references shall be submitted directly to Design Review Staff two weeks prior to Building Permit submittal. A final 3D model (Sketchup preferred) shall be provided to Design Review staff prior to building permit submittal.**
33. **All necessary entitlements and City Requirements shall have been approved by the Planning Commission (P10-042), Development Engineering, Urban Forest and Utilities prior to final Design Review sign-off of plans.**
34. **An encroachment agreement will be required for the balconies, sunshades and photovoltaic systems that overhang into the Public Right of Way. The encroachment agreement shall be completed and approved prior to issuance of the Building Permit.**

35. The approval shall be deemed automatically revoked unless required permits have been issued and construction begun within three years of the date of the approval. Prior to expiration, an extension of time may be granted by the Design Commission upon written request of the applicant.
36. **The Design Commission decision may be appealed to City Council. Appeals must be filed within 10 calendar days of written notice of the Design Commission action.**
37. Building permit shall not be issued until the expiration of the 10 day appeal period. If an appeal is filed, no permit shall be issued until final approval is received.
38. Final occupancy shall be subject to approval and involve an on-site inspection by Design Review Staff.
39. **The Record of Decision shall be scanned and inserted into the final set as a general sheet to be submitted for building permit.**
40. **A signed copy of the Affidavit of Zoning Code Development Standards shall be scanned and inserted into the final set as a general sheet to be submitted for building permit.**



Development Services
Department



Geographic
Information
System

July 08, 2010

P10-042
3280 Broadway
014-0171-001,-017,-018,-019,-020,-025

C-1-SPD zone
 Special Permit:
 Parking Waiver for residential & retail
 Residential development over 40,000 sf
 Variance:
 Setbacks along Broadway and MLK
 Broadway/Stockton, & Oak Park DR





COMMUNITY DEVELOPMENT
DEPARTMENT

CITY OF SACRAMENTO
CALIFORNIA

300 RICHARDS BLVD., 3rd FLOOR
SACRAMENTO, CA
95811

DESIGN COMMISSION COMMENTS

Project Name: 3820 Broadway
File Number: P10-042
Applicant: Steven Oh
Date of Notice: August 31, 2010
Staff Contact: Matthew Sites, Associate AIA, 916-808-7646

This is a summary of comments made by the Design Commission regarding the proposed project.

1. The corner element needs further refinement and integration into the design of the building. The recessed element appears dark and should be studied further to provide a more inviting and active atmosphere.
2. Study spacing of columns and possibly push the outside columns closer to the building to open space up. The third floor corner unit could benefit from the visual continuation of the columns up through and integrated into the plaster wall element. Possibly enhance the corner by changing the window sizes to an atypical size instead of the standard size used at the other elevations. The tall ceiling at corner might be an issue, look at curved walls at corner.
3. Suggest that applicant look at changing the brick height up to halfway between the 2nd and 3rd floors, this would allow a visual separation of the retail and residential spaces.
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Matthew Sites, Associate AIA, LEED AP
Design Review Staff

September 2, 2010

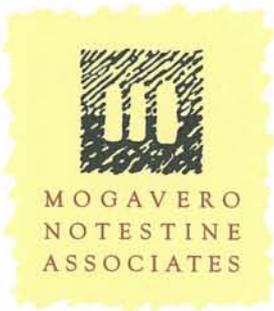
City of Sacramento Planning Department
300 Richards Blvd., 3rd Floor
Sacramento, CA 95811

Attention: Matthew Sites

Re: Response to Matt Sites Summary of the DRC Preliminary
comments for 3820 Broadway, P10-042

Comments 1, 2, 3 and 4 (all overlap) regarding the corner design:

- a. In general, we are willing to refine the design to achieve greater consistency between the corner and the balance of the building. However, we believe the refinements need to be subtle from the existing design concept. We have done limited exploration of alternatives and will share those sketches with the Commissioners the evening of the hearing. We would like to be able to complete this refinement during completion of the schematic design (SD) and early design development (DD) phases of design and thus delegate final review to staff.
- b. The recessed loggia or courtyard elements will be finished with colored brick and plaster. We believe the space will be bright during the day since the soffits (ceiling) will be approximately 25' high. Additionally, the space will be brightly lit at night. We estimate that the light in the loggia will be consistent with other properly covered urban environments and believe it will be an attractive space. The proportions of the space are also consistent with properly covered urban environments.
- c. We have explored further differentiating the fenestration in the curved 3rd floor element from the adjacent volumes but are unsatisfied. Currently, we believe that it will disconnect the curved corner from the adjacent volumes too much and reduce the overall presence of mass on the corner. We propose to explore this further during SD and DD.



- d. We believe the brick height on the corner is correct as shown in the 3rd submittal (that was presented to DRC for preliminary review). It coincides with defining the retail space clearly and coincides with the railing height for the second floor balconies thus providing a continuous horizontal line with the top of the brick that add to the strength of the corner mass.

Comment 5: We believe that lightening the colors to two tone darker elements at the east of the Broadway frontage would be inappropriate because:

- a. It would diminish the contrast between this area and the west end of the building, diminishing the emphasis of the corner, the retail and the main residential building entrance.
- b. This area has residential units on Broadway, thus we want it to recede.
- c. The horizontal lap siding with the darker colors is being used to increase compatibility with the other residential uses across Broadway at this end of the site.

Comment 6: Glad we agree on keeping back side quieter.

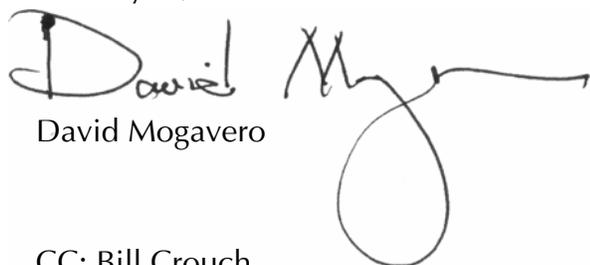
Comment 7: The low masonry walls have been moved closer to the sidewalk and the landscaping has been increased to include both sides of the low walls.

Comment 8: Night sky illuminations will be considered when developing the signage design with the signage vendor and retail tenants as the Project moves forward.

Comment 9: We believe the casual organization of the windows on the east side of the residential main entry adds to the importance of the entry "marquee" and assists in diminishing the mass of the building by differentiation.

Comment 10: No change to fountain and BBQ location.

Thank you,

A handwritten signature in black ink that reads "David Mogavero". The signature is stylized, with a large, looped "D" and a long, sweeping horizontal line extending to the right.

David Mogavero

CC: Bill Crouch
Luis Sanchez
Steven Oh



PROJECT INFORMATION

56	DWELLING UNITS
42	PARKING SPACES
3,000 - 4,000 SF	RETAIL/COMMERCIAL



DRAWING INDEX

01	ILLUSTRATIVE SITE PLAN
02	DISTRICT CONTENT
03	SITE ANALYSIS
04	PROJECT CONTEXT PHOTOS
05	BUILDING ELEVATIONS
06	ANNOTATED SITE PLAN
07	FIRST FLOOR PLAN
08	SECOND FLOOR PLAN
09	THIRD FLOOR PLAN
10	PRELIMINARY LANDSCAPE PLAN
11	REQUIRED SETBACKS & EASMENTS

BROADWAY AND STOCKTON BLVD. SHOPPING DISTRICT/GROCERY STORE/PHARMACY

SACRAMENTO COUNTY PRIMARY CARE CLINIC

UCD MEDICAL CENTER

HISTORIC OAK PARK SHOPPING AND BUISNESS DISTRICT

CURTIS PARK

AMERICAN LEGION HIGH SCHOOL

BANK OF AMERICA

MCCLATCHY PARK

OAK PARK CENTER



DISTRICT CONTENT
26.AUGUST.2010

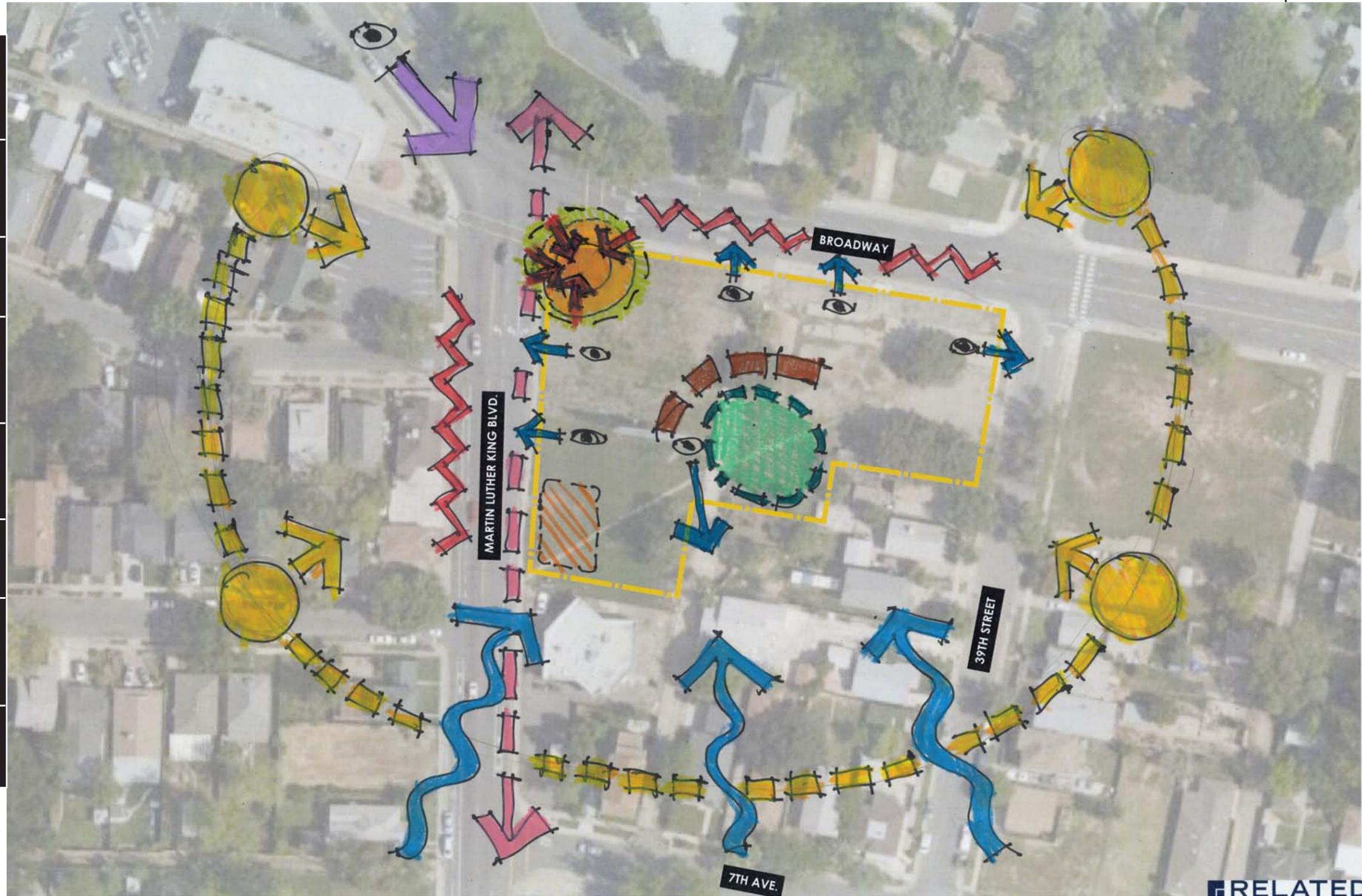
OAK PARK MIXED USE DEVELOPMENT



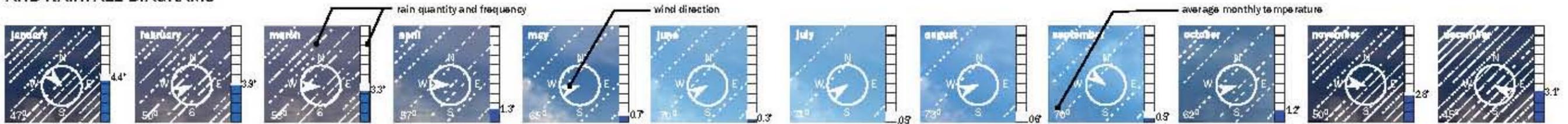


LEGEND

	MAJOR AUTOMOTIVE VIEW
	AUTOMOBILE PATH OF TRAVEL
	NOISE FROM STREET
	PRIVATE ENCLOSED GREEN SPACE
	PUBLIC PLAZA
	VIEW TO THE STREET
	PATH OF SUN
	COOLING DELTA BREEZE



AVERAGE TEMPERATURE WIND AND RAINFALL DIAGRAMS



RELATED



1 MLK looking north from 7th Ave.



2 MLK looking north from 7th Avenue



3 Bigler Way looking east to project site



4 From project site looking west to Bigler Way



5 From project site looking north down Broadway



6 From project site looking north to Americal Legion High School (on the left)



7 Broadway looking southeast to corner of project site



8 American Legion High School looking south to site



9 View south to center of project site



10 39th Street and Broadway looking east



11 39th Street looking southeast to the project site



12 39th Street and Broadway looking northwest



13 39th Street looking south to project site



14 Broadway at mid-site looking east



15 39th Street and Broadway looking southwest to project site



16 39th Street looking east



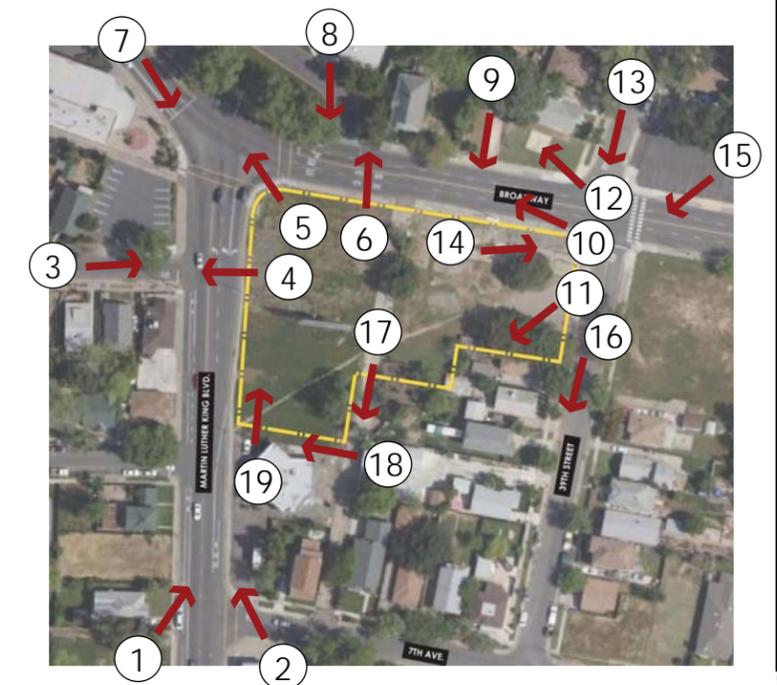
17 View down Alley looking south



18 South property line looking west



19 South corner of site looking north on MLK



NOTE:
ALUMINUM STOREFRONT WILL
BE USED AT RETAIL AND
RESIDENTIAL COMMON AREAS
ONLY; THE REST WILL BE VINYL
SINGLE-HUNG RESIDENTIAL
WINDOWS.



BROADWAY ELEVATION

0' 30'



MARTIN LUTHER KING ELEVATION

0' 30'

39TH STREET ELEVATION

0' 30'



COURTYARD ELEVATION

0' 30'

BUILDING ELEVATIONS
26.AUGUST.2010

OAK PARK MIXED USE DEVELOPMENT



BROADWAY ENLARGED ELEVATION - CORNER PLAZA | OPTION A



MARTIN LUTHER KING ENLARGED ELEVATION - CORNER PLAZA | OPTION A



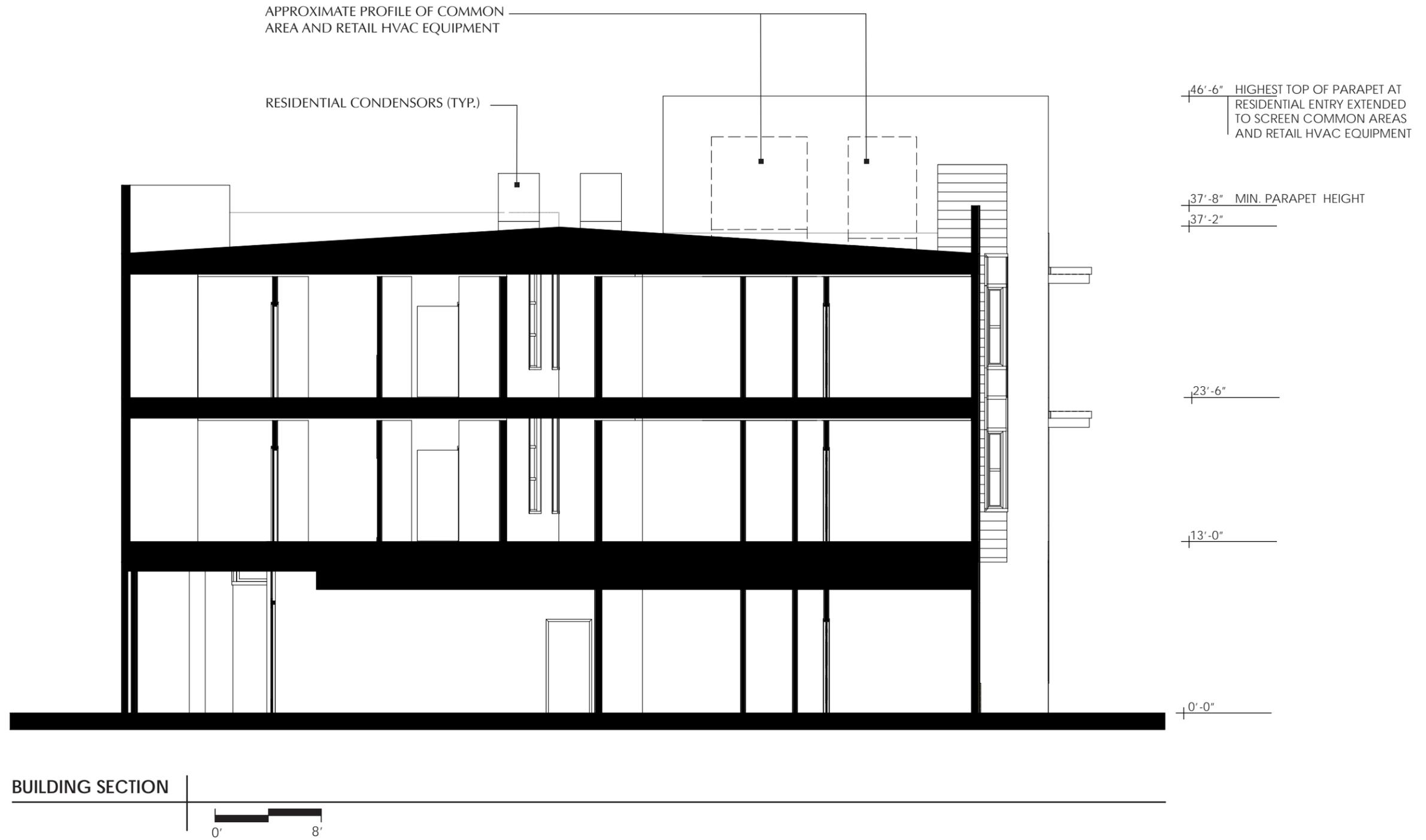


BROADWAY ENLARGED ELEVATION - CORNER PLAZA | OPTION B



MARTIN LUTHER KING ENLARGED ELEVATION - CORNER PLAZA | OPTION B

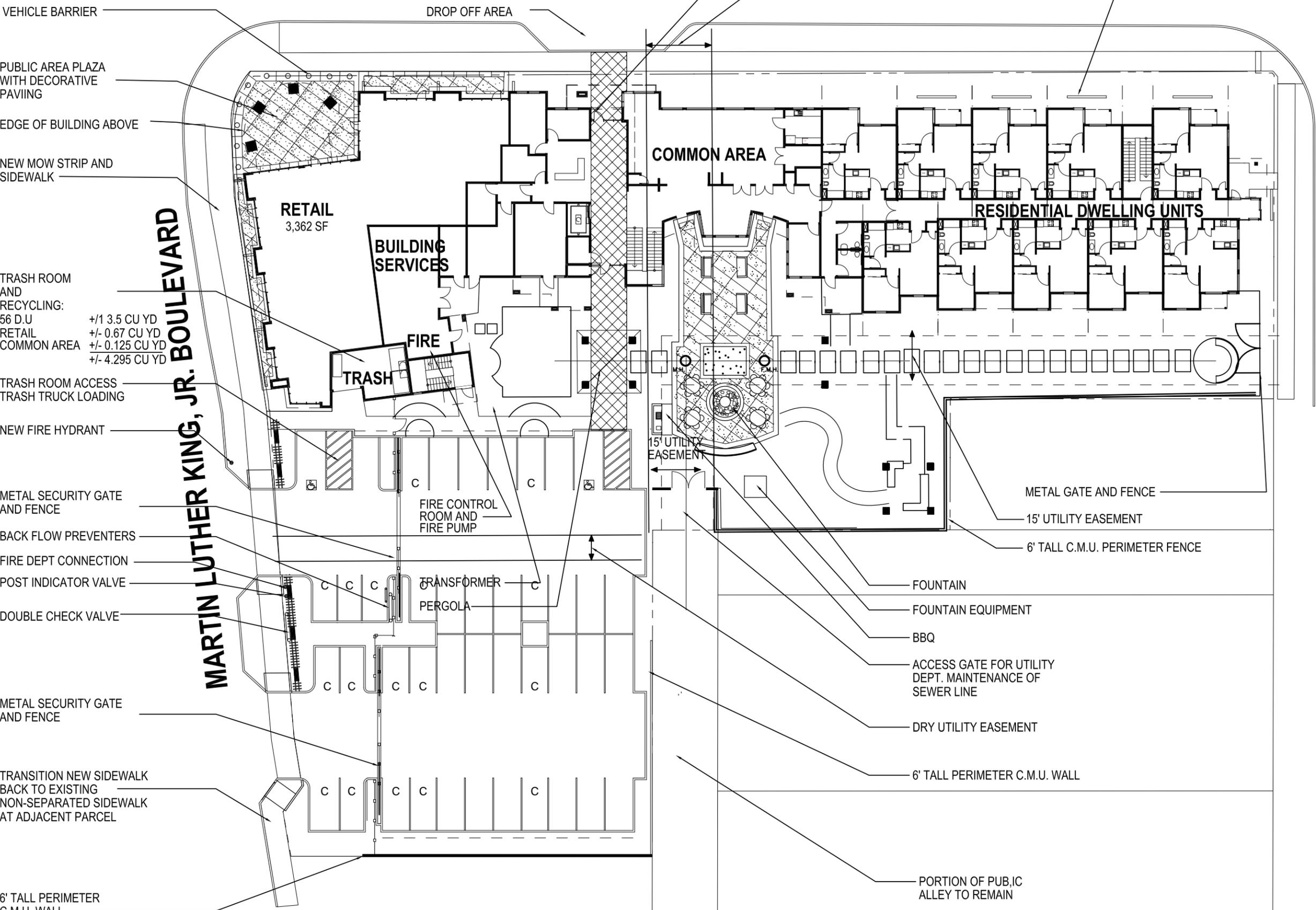
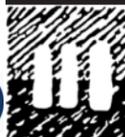




ENLARGED ELEVATIONS
26.AUGUST.2010

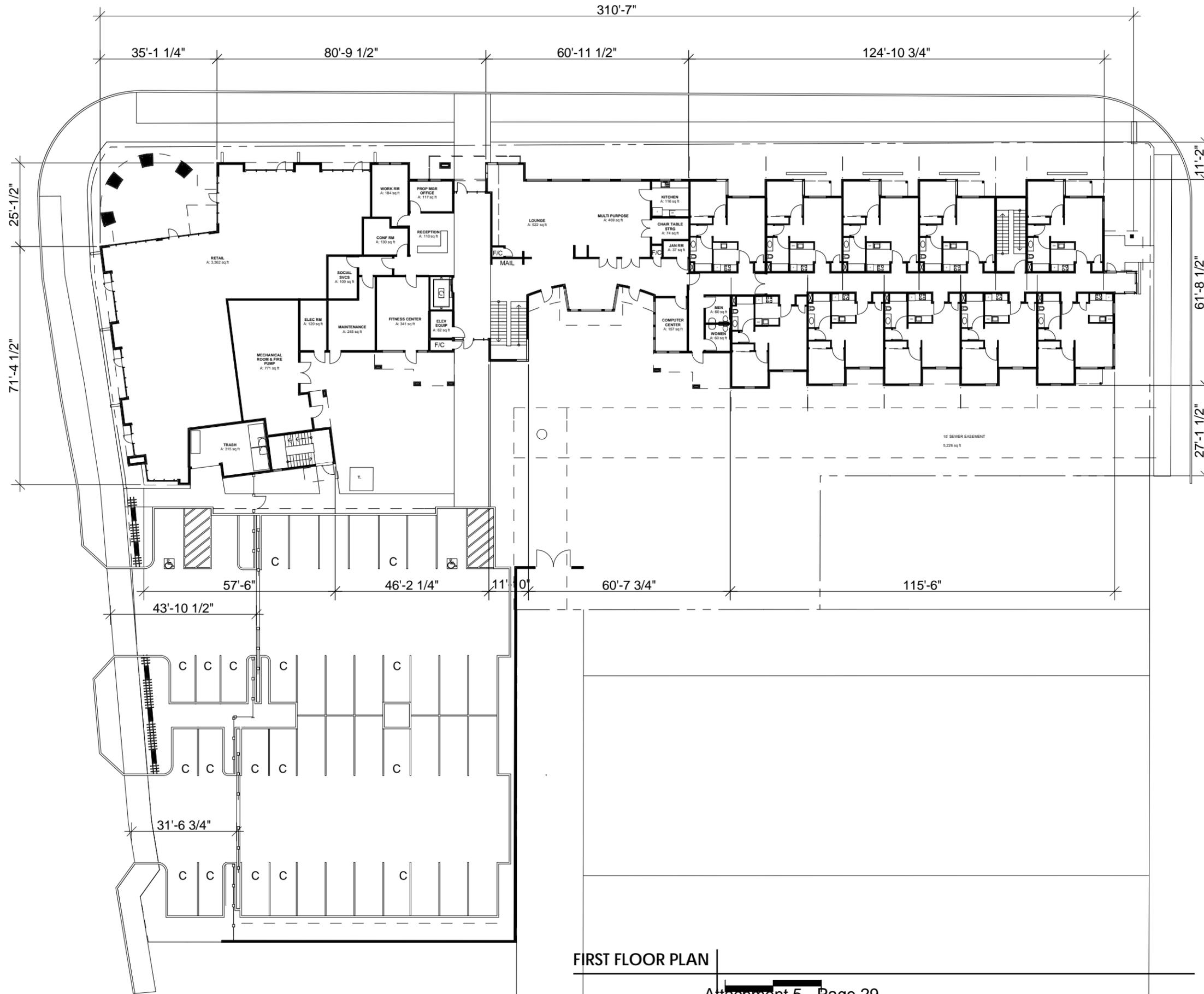
OAK PARK MIXED USE DEVELOPMENT





ANNOTATED SITE PLAN



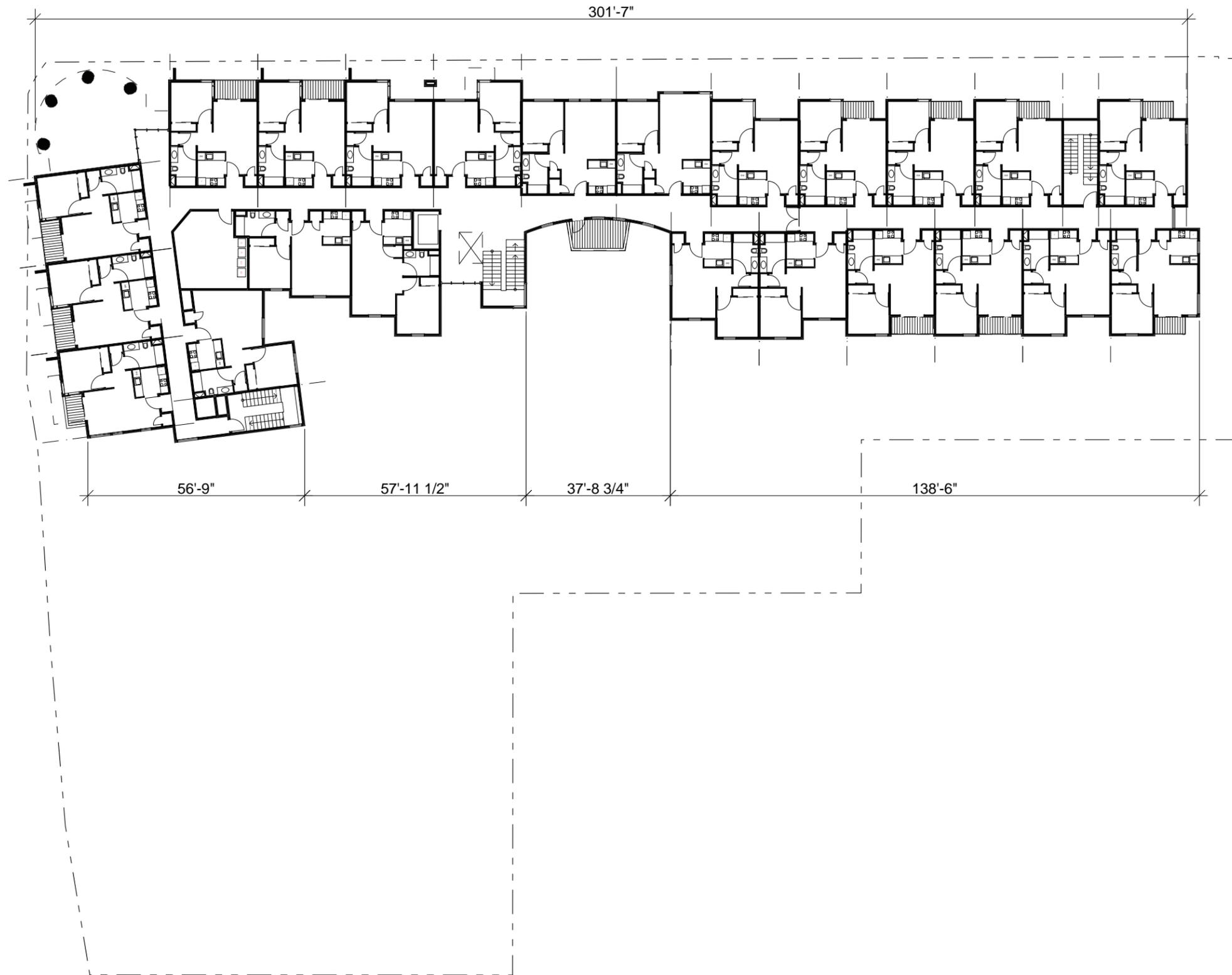


FIRST FLOOR PLAN
28 JULY 2010

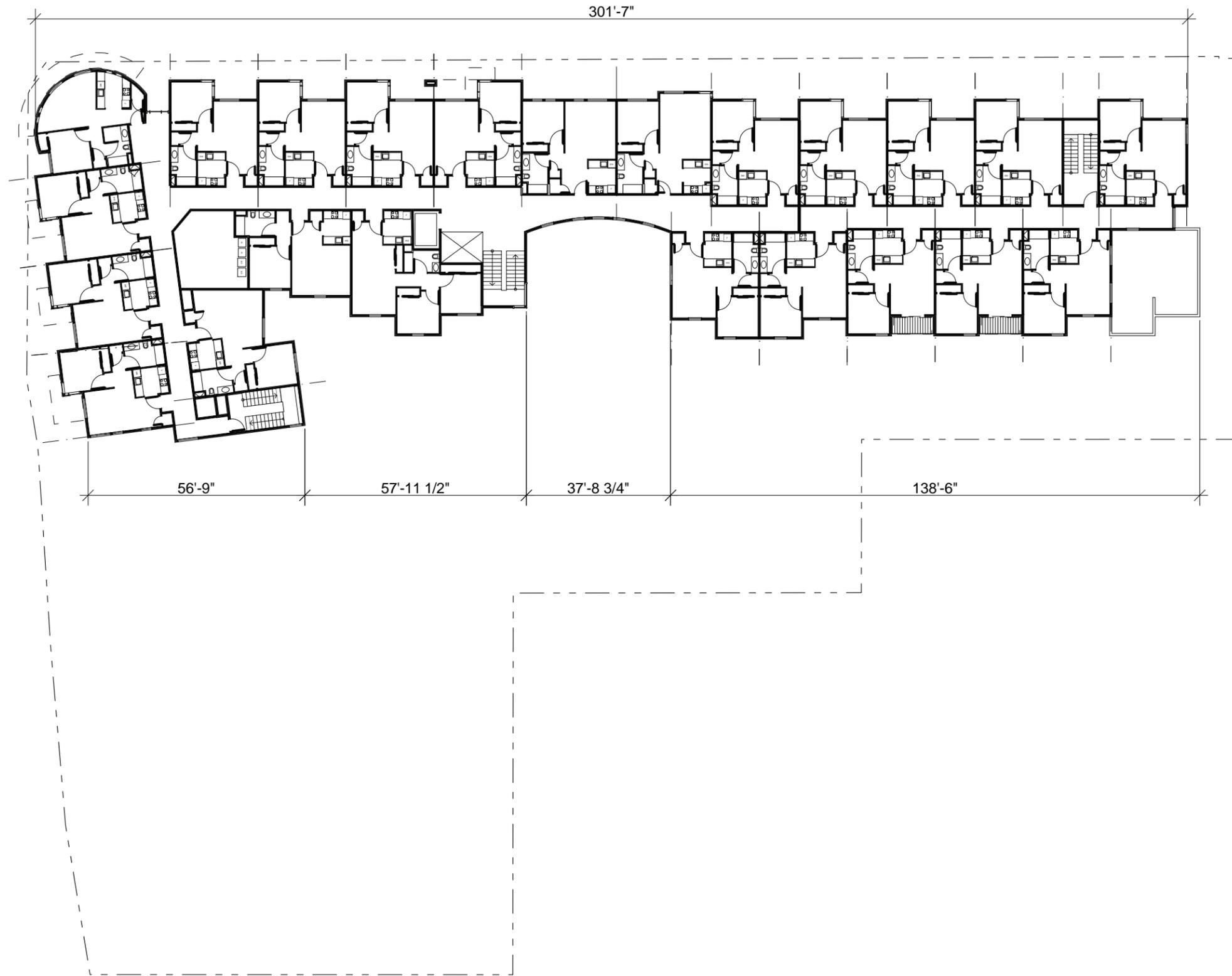
OAK PARK MIXED USE DEVELOPMENT

FIRST FLOOR PLAN



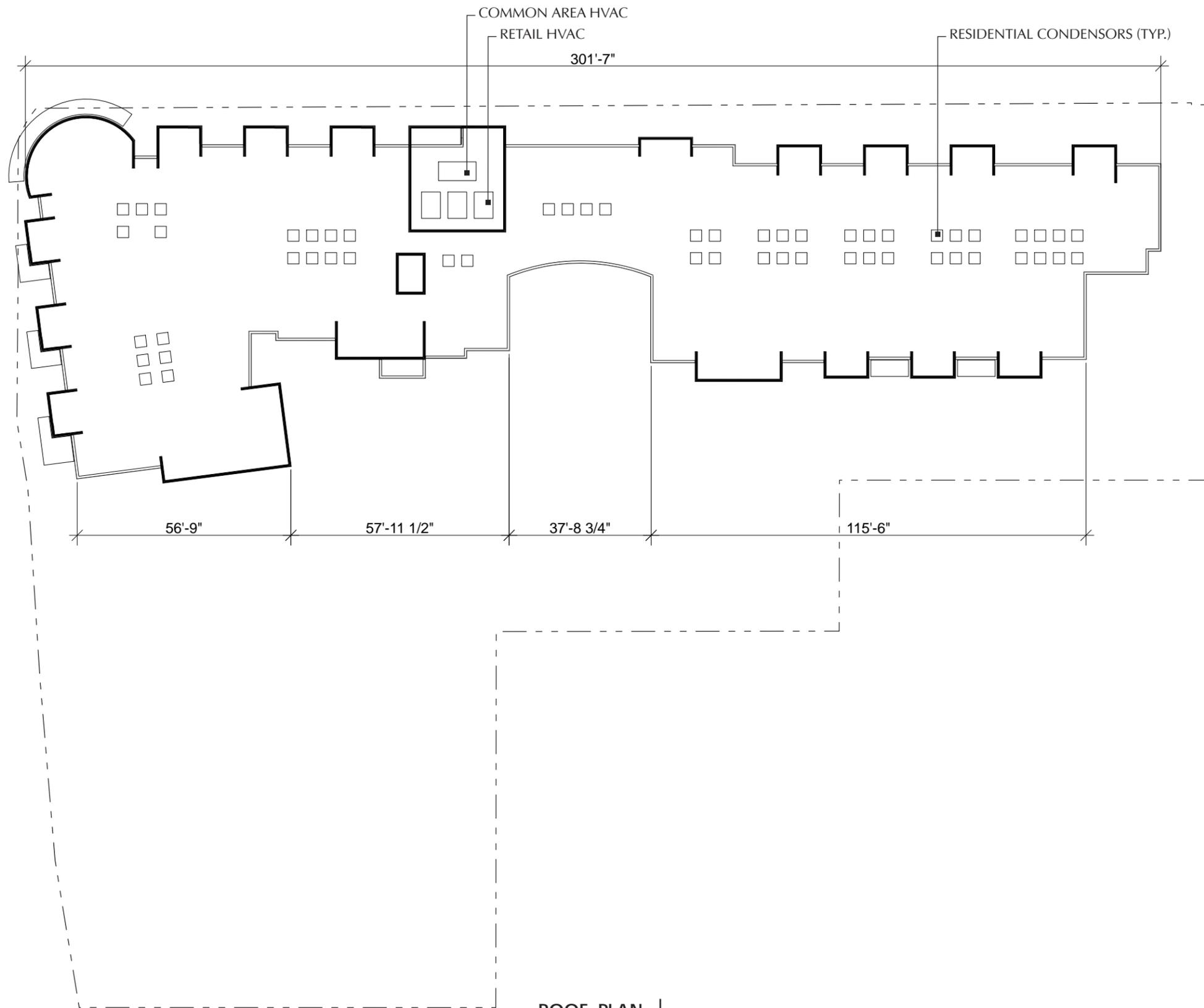


SECOND FLOOR PLAN



THIRD FLOOR PLAN

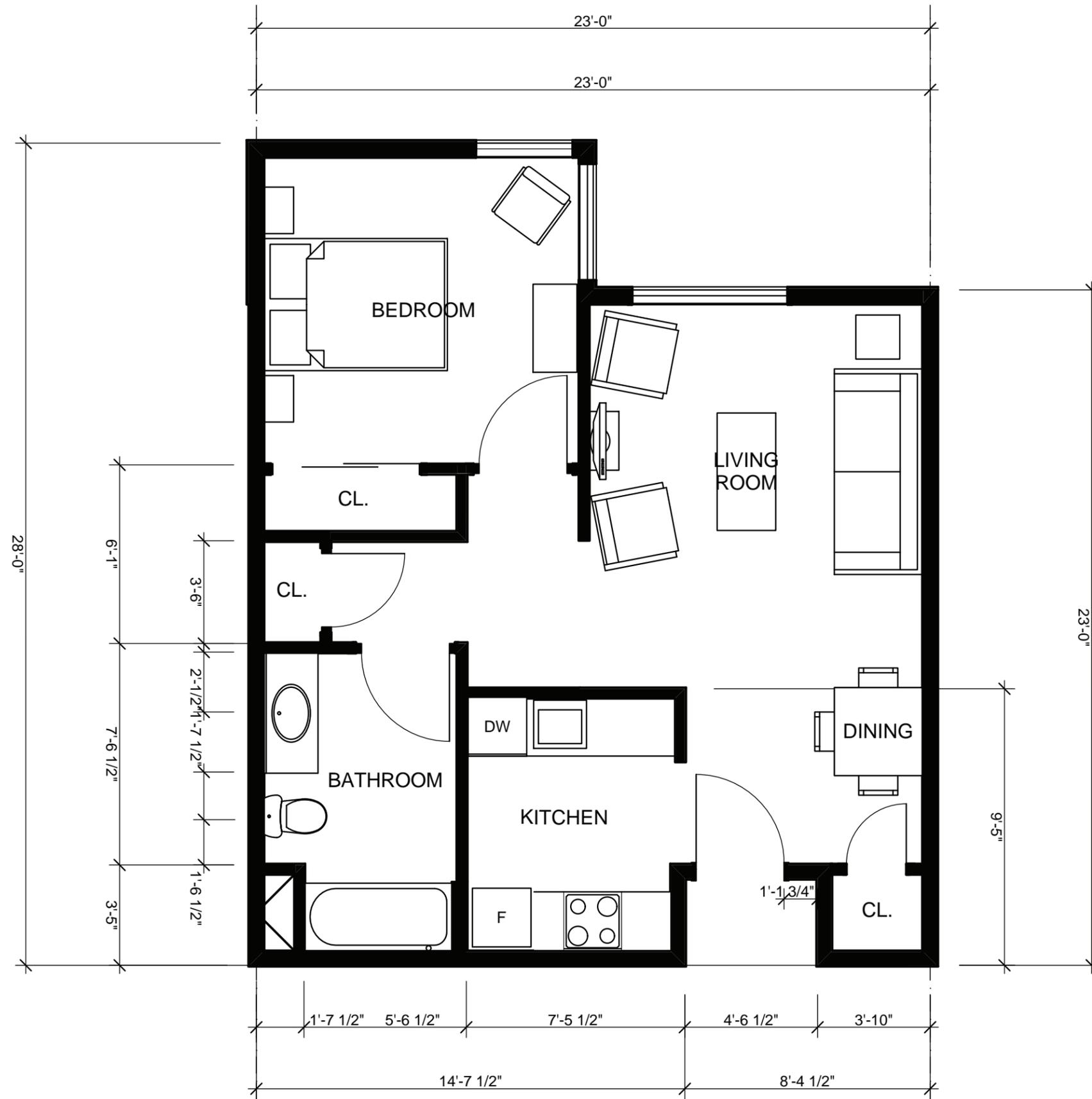




ROOF PLAN

Attachment 5⁰ Page 32





PROTOTYPICAL UNIT





POTENTIAL PLANT LIST

- TREES**
- VERTICAL TREE ALLE' OVER CARPET ROSES
 - 15 GAL CB CARRINUS BETULUS 'COLUMNARIIS', COLUMNAR EUROPEAN HORNBREAM
 - 15 GAL CB CARRINUS BETULUS 'COLUMNARIIS', COLUMNAR EUROPEAN HORNBREAM
 - STREET TREE IN LAWN STRIP
 - 15 GAL PL PLATANUS ACERIFOLIA 'YARWOOD' SYCAMORE OR
 - 15 GAL PL QUERCUS MACROCARPA, BURK OAK
 - PARKING SHADE TREE
 - 24" box PS PISTACHIA CHINENSIS, CHINESE PISTACHE OR
 - 24" box ZS ZELKOVA SERRATA, ZELKOVA
 - PATIO TREE IN TREE GRATES OVER PAVING
 - 15 GAL PK PYRUS KANAKAMI, EVERGREEN PEAR
 - 15 GAL
 - SMALL ACCENT TREE
 - 15 GAL AC ACER PALMATUS PURPUREUM, PURPLE LEAF JAPANESE MAPLE
 - 15 GAL RM RAPHIOLEPIS 'MAJESTIC BEAUTY' - STANDARD
 - 15 GAL CB CARRINUS BETULUS 'COLUMNARIIS', COLUMNAR EUROPEAN HORNBREAM
- SHRUBS**
- 5 GAL AZ AZALEA SOUTHERN INDICA - 'FELDERS WHITE'
 - 2 GAL BG BERGENIA CORDIFOLIA
 - 5 GAL CA CAMELLIA JAPONICA 'OLEOPATRA'
 - 5 GAL OR GARDENIA VICTORIS
 - 5 GAL LO LOROPETALUM CHINENSIS 'PURPUREA'
 - 5 GAL PK PACHYRHMIZON TENUIS 'TOM THUMB' FLAX
 - 2 GAL RC ROSA, PINK, RED, YELLOW AND WHITE CARPET ROSE
 - 5 GAL RA RAPHIOLEPIS INDICA 'ENCHANTRESS' INDIAN HAWTHORNE
 - 5 GAL RT ROSEMARINUS 'TUSCAN BLUE, ROSEMARY'
 - 5 GAL SY SYRINGA VILLOSA, LILAC 'LAVENDER LADY'
 - 5 GAL VT VIBURNUM THUNIS, DWARF LAURESTINUS
- GROUNDCOVERS**
- 1 gal @ 30" o.c. M MYOPORIUM PARVIFOLIUM
 - 1 gal @ 18" o.c. V VINCA MINOR
- LAWN AREA**
- 500 L 95% 'SHORT STOP' TURF TYPE - 5% MERT KENTUCKY BLUE GRASS

WATER USE CALCULATIONS

Estimated areas of water usage, for compliance with Water Conservation Ordinance Requirements.

Water Use	Area	Subtotal	Total
Low	15,250 S.F. X .4	= 6,100 S.F.	
MEDIUM	3,400 S.F. X .6	= 2,040 S.F.	
HIGH	4,950 S.F. X 1	= 4,950 S.F.	
Total:	23,600 S.F.		13,090 S.F.

(Site area greater than)

SHADE CALCULATIONS for less than 50 car parking lot

Total Paving:	12,360 S.F.
Paving Requiring Shade:	6,180 S.F.
Minimum 50% Shading Req:	6,252 S.F. (50.5%)
Plan Shows:	6,252 S.F.

PISTACHE OR ZELKOVA

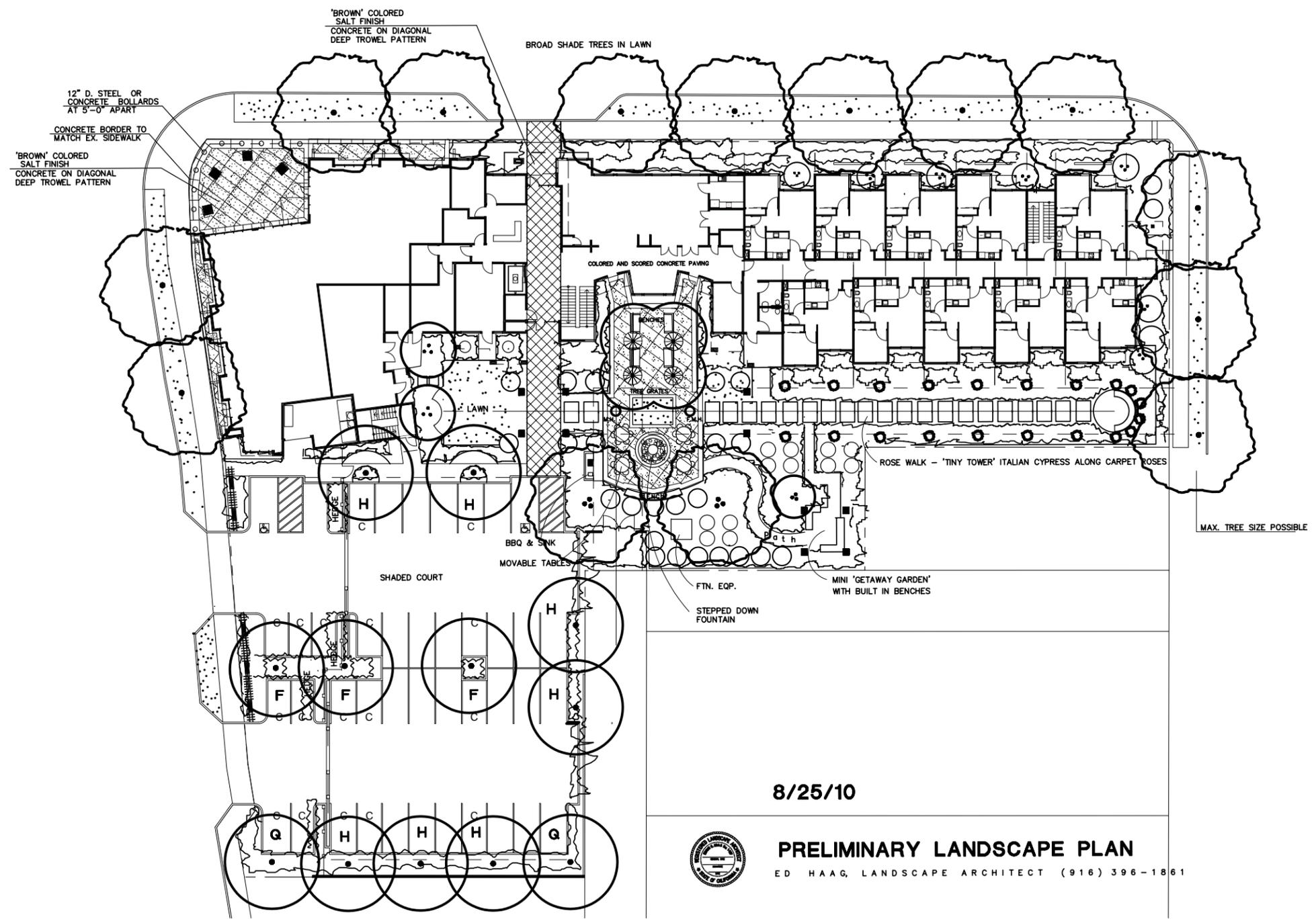
3 F @ 962 S.F.	= 2,886 S.F.
6 H @ 481 S.F.	= 2,886 S.F.
2 Q @ 240 S.F.	= 480 S.F.
TOTAL	= 6,252 S.F.

PLANTING NOTES

- An automatic irrigation system shall be fully operational, and coverage approved prior to installation of planting.
- Finish grade at edge of all planting areas shall be 2" below top of adjacent curbs, walks or paving.
- All shrub and groundcover areas shall receive 2" layer of shredded bark mulch topdressing as specified.
- Fertilize individual plants after installation with Osmocote time release formula granulated fertilizer, per manufacturer's instructions.
- Pre-planting soil preparation shall include cultivating all planted areas down to 12 inch depth, and incorporating the following amendments:

Amendment or fertilizer	Application Rate
Nitrogen stabilized compost	4 cu. yds. per 1,000 s.f.
Ammonium Phosphate (6-20-0)	10 lbs. per 1,000 s.f.

- GUARANTEE PRODUCTS AND INSTALLATION OF PLANTING AND IRRIGATION FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE 90 DAY MAINTENANCE PERIOD.



LANDSCAPE PLAN



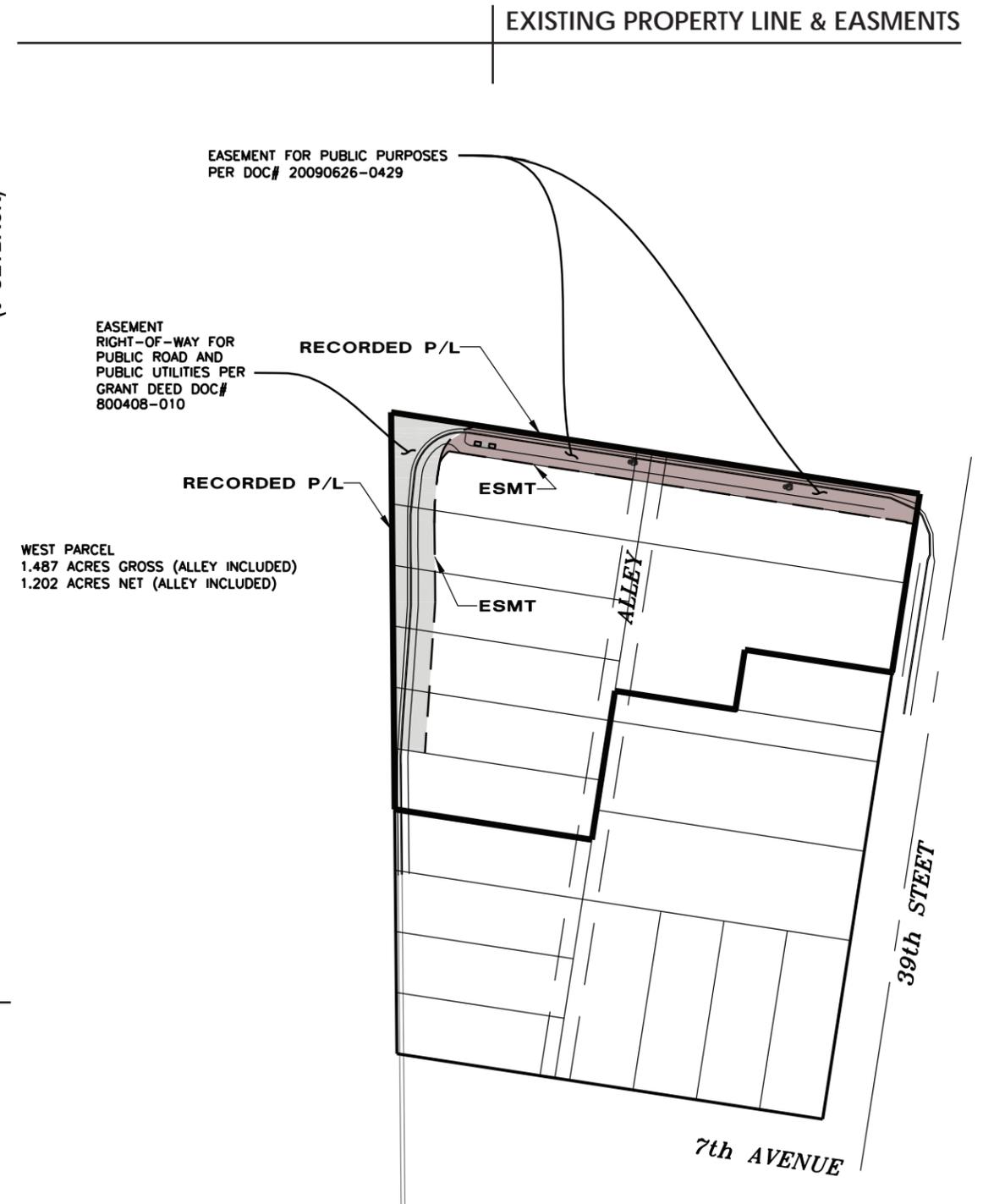
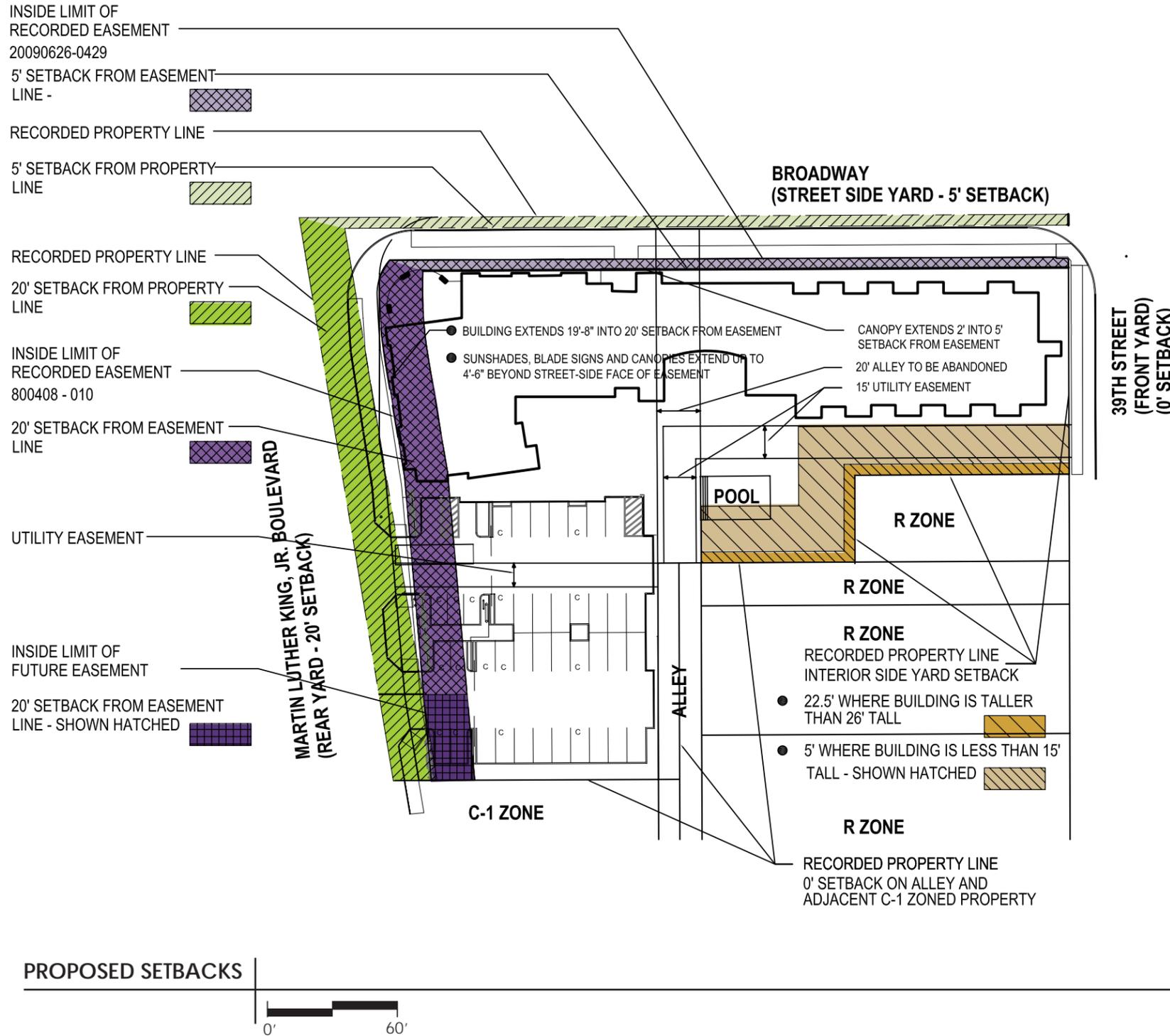
8/25/10



PRELIMINARY LANDSCAPE PLAN

ED HAAG, LANDSCAPE ARCHITECT (916) 396-1861







REPORT TO DESIGN COMMISSION City of Sacramento

915 I Street, Sacramento, CA 95814-2671

REVIEW AND COMMENT
August 18, 2010

To: Members of the Design Commission

Subject: **3820 Broadway (P10-042)** Located at the southeast corner of Broadway and Martin Luther King Jr, Boulevard, a request to develop a three story 56 unit residential tower with ground floor retail on 1.2+/- acres in the Broadway/Stockton and Oak Park Special Planning District (C-1-SPD) zone.

- A.** Environmental Determination: Exempt per 15332, Infill Development
- B.** Design Review request to develop a 56 unit senior residential facility with 4,000 sf of retail space in the Broadway/Stockton & Oak Park Design Review Districts

Location:

Address: 3820 Broadway, Sacramento, CA
Assessor's Parcel Number: 014-0171-001, -017, -018, -019, -020, -025
Council District 5
Broadway/Stockton and Oak Park Design Review Districts

Recommendation: Staff recommends the Commission **review and comment** on the proposed design. No action will be taken at this time. When the project returns at a later date, the Commission will have final approval authority over items A and B above, and its decision is appealable to City Council.

Contact: Matthew Sites, Associate AIA, LEED AP, Design Review Staff, (916) 808-7646
Luis R. Sanchez, AIA, LEED AP, Senior Architect (916) 808-5957

Applicant: Steven Oh, Related Companies, (949) 660-7272, 18201 Von Carmen Avenue, Suite 900, Irvine, CA 92612.

Owner: Redevelopment Agency Of The City Of Sacramento, (916) 444-9210, 801 12th Street, Sacramento, CA 95814.

SUMMARY: The project is before the Design Commission for the first time. The development consists of a three story residential building with retail at the southeast corner of Broadway and Martin Luther King Jr. Boulevard. The building will accommodate approximately 4,000 square feet of commercial retail space, 56 senior living residential units, 42 parking spaces, and a large landscape area at the rear of the project. Forty-two parking spaces will be provided with access through two provided driveways along Martin Luther King Jr. Boulevard.

This project has been through several iterations over the past several years, and the developer and SHRA have now been able to find an appropriate scope and budget for this project. Due to some financing elements, this project was just recently submitted and has a very short timeline to receive entitlement approvals in order to proceed into construction documents and receive financial incentives they are applying for. This building is located at a very prominent corner in Oak Park and the uses complement those of the surrounding area. The Design Team, SHRA, City Staff have been working diligently to meet the needs and deadlines of the owner and developer to make this a feasible project. The project generally meets the criteria of the Broadway/Stockton and Oak Park Design Guidelines and is supported by staff with some revisions.

The project will require Planning Commission approval of entitlements for Environmental, Special Permit – Residential to allow residential development within Limited Commercial C1-SPD that is over 40,000 sf., Special Permit – Parking Reduction of approximately 60% of parking required, Variance – Setback from 5' to 4' along Broadway, Variance – Setback from 20' to 3' along Martin Luther King Boulevard, The Planning Commission is scheduled to hear this project on September 23, 2010 for Final action. The project also requires City Council approval to abandon the alley at the rear of the project. A lot merger is also required to merge the six parcels and the abandoned alley way. The project is located in the Broadway/Stockton and Oak Park Central Core Design Review District and is subject to Design Review.

Table 1: Project Information
Existing zoning of site: C-1 (Limited Commercial)
Existing use of site: Vacant
Property dimensions/area: Approximately 1.2 acres
Building square footage: 52,934 ± square feet
Building height: 35'-6" to top plate, 46'-6" to top of parapet.
Exterior building materials: brick, smooth finished cement plaster, fiber cement horizontal lap siding, clear anodized aluminum storefront systems with low-e clear glazing, and operable vinyl windows.

PUBLIC/NEIGHBORHOOD OUTREACH AND COMMENTS: Staff mailed an Early Notice to property owners and neighborhood associations within a 300 foot radius on July 13, 2010, a and a Hearing Notice on August 2, 2010, for the August 18, 2010 Design Commission Review and Comment. The following organizations were contacted; Oak Park Neighborhood

Association, Oak Park Business Association, and the Oak Park Redevelopment Advisory Committee (RAC). The applicant has contacted property owners and neighborhood associations during the initial planning and design phase, and have received general support for the project. Comments have been received by the Oak Park RAC and have been attached below. No other comments have been received at the time this report had been written.

ENVIRONMENTAL CONSIDERATIONS: This project is exempt per CEQA 15332(b), “the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.”

SUSTAINABILITY CONSIDERATIONS: The City has adopted a Sustainability Master Plan to complement the City’s General Plan. This was done to ensure that the City set the standard for the practices of sustainability within its own organization as well as becoming a model for any construction projects within the City. Projects should consider the following goals adopted by the City as projects are proposed within the City: reduce consumption of materials, encourage the reuse and local recycling of materials, reduce the use of toxic materials; establish and continuously improve “green” building standards for both residential and commercial development--new and remodeled, reduce dependence on the private automobile by working with community partners to provide efficient and accessible public transit and transit supportive land uses, reduce long commutes by providing a wide array of transportation and housing choices near jobs for a balanced, healthy city; improve the health of residents through access to a diverse mix of wellness activities and locally produced food, promote “greening” and “gardening” within the City, create “Healthy Urban Environments” through Restorative Redevelopment, and maintain and expand the urban forest.

Although no sustainable methods have been proposed, staff recommends the use of a Construction Waste Management Plan, energy efficient designs, and the use of local materials as a minimum standard for this project.

POLICY CONSIDERATIONS: The proposal complies with the following guiding principles. Use the existing assets of infrastructure and public facilities to increase infill and re-use, while maintaining important qualities of community character. Promote strategic development of vacant, underutilized, and infill land, especially along transportation and commercial corridors, to improve the city’s economic outlook. Create and maintain a broad range of jobs that are accessible to all residents that provides opportunities for advancement. Encourage sustainable levels of energy and resource consumption through efficient land-use, transportation, building design, construction techniques, waste management, and other infrastructure systems.

This proposed project is consistent with the Broadway/Stockton and Oak Park Design Review Districts. Staff is supportive of the design and recommends Design Commission review and discussion on the following items to assist the Applicant with further project development.

Design Policy Considerations: Context: Allow for creative architectural solutions that acknowledge contextual design through emulation, interpretation, or contrast in character. Character: Complement the architectural character of existing historic building enclaves and promote harmony in the visual relationships and transitions between new and older buildings. Scale: Relate the bulk of new buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction. Pedestrian: Enhance the pedestrian experience. Materials: Promote efforts to utilize high quality building materials, detailing & landscaping. Integrated Services: Promote functional & aesthetic integration of building services, vehicular access and parking facilities. Sustainable Design: Promote sustainability in building design, construction and operation.

Design Guidelines Considerations: Ground level uses: Should be residential or mixed. Transparency: Any nonresidential ground floor use (except parking and servicing) shall have walls at least 60% transparent. Articulation of street-wall: Articulations should be spaced no further than 20' o.c. Lighting: Should be appropriate to the ground floor uses, and respectful of adjacent property uses. Entries: Entry locations should be obvious, easy to find, clearly visible from the sidewalk, and safe. Double height entries encouraged. Recessed entries are discouraged. Fenestration: To provide human scale to buildings, windows shall be well-proportioned, varied across a project, articulate the wall system, and be operable where appropriate. Roofs and mechanical penthouse enclosures: Mechanical equipment located at roof level should be integrated into the building design, e.g. as a screened volume.

STAFF RECOMMENDATIONS TO COMMISSION: Staff is supportive of this project and recommends some refinements to the overall design as noted below. Staff has had several productive meetings and has been partnering with the design team to facilitate a design that can meet the Design Guidelines and the owner's needs. Staff requests that the Design Commission review and comment on the proposed project design as well as the following points.

Site Comments:

1. The setbacks have been reduced to maximize the footprint and provide substantial outdoor amenities for the proposed residential and retail uses. The project will require setback variances from 5' to 4' along Broadway and from 20' to 3' along Martin Luther King Jr. Boulevard. **Staff supports the setback variances and would like for the Design Commission to comment on this issue.**
2. Department of Transportation has required that one of the driveways along Martin Luther King Jr. Boulevard be closed due to proximity to the intersection, and an additional entry be provided off the alley. Staff supports an auto entry along the alley and the closure of a driveway in order to supplement vehicle access into the parking area and provide additional activation at the rear of the project. This reallocation of vehicular entries will also facilitate the need to reorganize the parking arrangement, circulation and gated access between residential and retail uses. The Design Team will be required to provide a median adjacent to the remaining entry along Martin

Luther King Jr. Boulevard to enforce the right in/right out that will be required by the Department of Transportation. **Staff would like the Design Commission to comment on the vehicle access.**

3. A brick, prefinished metal trellis and fencing is proposed at the east edge of the parking area to provide a material and visual transition from the southern residence toward the brick and cement plaster corner tower. With the closure of the southernmost driveway staff is recommending the proposed trellis element be extended from the south property line to the remaining driveway. **Staff recommends additional elevations and details be provided at the review and comment hearing, so the Design Commission may provide their recommendation regarding the style and amount of trellis provided.**
4. A covered recessed area has been provided at the corner of Broadway and Martin Luther King Jr. Boulevard. Colored concrete oriented on the bias has been provided in the landscape plans along with Corten steel planters at the corner of the plaza area. Staff would like clarification if the Corten steel planters are actual planters or if they are bollards. Staff feels that treatment of hardscape is important in this area and careful attention must be paid in selecting materials to complement the building, and has some concerns with the use of Corten steel as it does not appear to complement the material palette for the project. **Staff recommends enlarged floor plan and additional details on the type of materials proposed or hardscape provided in this area be provided so the Design Commission can provide comments to staff and the applicant.**
5. A separated sidewalk and generous street planters have been provided to replace the existing sidewalks. Large canopy street trees will be provided along Broadway and Martin Luther King Jr. Boulevard, but the street planters along 39th Street can only accommodate a medium canopy shade tree per the City standards. Staff recommends working with Urban Forest Staff on the proper selection of trees along 39th Street. The parking area currently provides a 42% shading ratio, staff requires that the project meet the 50% shading requirement. **Staff recommends that the Design Commission comment on the adequacy of landscaping provided.**
6. A substantial amount of landscaping has been provided on the proposed project. Staff supports the design provided, but recommends relocating the water feature north into the lawn area providing a better focal point for those walking down the Rose walk. Staff would like some additional detail or enlarged plans describing what type of materials and amenities will be provided in the rear landscape area provided at the review and comment hearing. Staff recommends that the barbeque area be relocated to the south of the water feature where the bench area is currently located, as this will provide an area that intentionally appears to activate the space and some additional screening of the proposed fountain equipment located to the south. **Staff recommends that the Design Commission comment on the adequacy of landscaping provided.**

7. The site mechanical equipment is proposed in front of and behind the trellis element and the interior parking gates. Staff recommends that this equipment be relocated behind these elements and not visible from any street or pedestrian views. The SMUD transformer was not shown on the site plans and staff is recommending that it be incorporated into the building so another parking stall would not be lost due to its placement. **Staff recommends the Design Commission provide their recommendations regarding site utility equipment locations.**
8. Staff is requesting additional elevations and details be provided regarding the treatment of the proposed CMU separation wall at the south edge of the property adjacent to the residential zone for review by the Design Commission at the hearing. Staff recommends a design be provided in the CMU wall as this is a major design element running the full length of the southern property line. **Staff would like the Design Commission to provide their recommendations regarding the CMU wall.**
9. A site lighting plan and cut sheets shall be provided at the Review and Comment hearing in order for the Design Commission to comment on the proposed design. Staff recommends that the light fixtures complement the building design and wall pack and shoebox style lighting shall be avoided. Pole lights shall be limited to a maximum of 14'-0" in height to the lens of the light fixture.

Building Comments:

10. A material palette of thin brick, smooth finished cement plaster, fiber cement horizontal lap siding, aluminum storefront, vinyl windows, aluminum sunshades, and tube steel balcony rails has been provided for this project. **Staff generally supports the material palette proposed, but recommends some changes as indicated below.**
11. Brick has been provided as the major material for the retail uses of the building, and as an accent at the base of the residential units. Staff is supportive of the articulation of the third floor corner, but has concerns about the bulk and mass of the proposed columns, bases, and corner element as it does not seem to integrate into the overall concept of the building. The base of the structure is clad with brick and transitions to cement plaster above, and with a prefinished metal awning over the windows. Staff feels that perhaps not enough brick has been provided at the Broadway and Martin Luther King Jr. Boulevard corner of the building. **Staff request that additional large scale elevations be provided of the recessed corner elevation showing the materials and storefront at the review and comment hearing, so the Design Commission may provide their recommendation of the elevations. Because many corner buildings in Oak Park have been designed with brick, staff feels that the corner could utilize additional brick and would like the Design Commission to provide their recommendation regarding the use of brick.**
12. A standard clear anodized aluminum storefront system is proposed at the street level. Staff would like clarification as to how it correlates with the vinyl windows proposed for

the residential units, as the design appears to have storefront throughout the entire project. **Staff has concerns that the vinyl windows may not seem appropriate based on the location of the storefront system, and requests the Design Commission provide their recommendations on this element.**

13. The general composition and variety of the fenestration is acceptable, but a small section to the east of the entry at the second and third floors appears to depart from any established rhythm. **Staff feels that the second and third floor fenestration should be aligned to better complement established patterns, and requests the Design Commission provide their recommendations regarding this area of fenestration.**
14. Staff recommends some additional color blocking at the Courtyard elevation at a few appropriate locations to further break up the monolithic appearance of the elevation. **Staff requests the Design Commission provide their recommendations regarding color blocking at this elevation.**
15. **Staff recommends additional details and cross sections regarding the various cornice treatments utilized on the building provided at the review and comment hearing.**
16. **Staff recommends that a roof plan, cross-sections, and details of the mechanical parapet walls and the associated mechanical equipment be provided to the Design Commission at the review and comment hearing.** Mechanical systems should be located behind the parapet wall and not visible from any street or pedestrian views.

Signage Comments:

17. Six blade signs are proposed at the corner of the building. Staff feels that blade signs are not appropriate for this project and that smaller signage would provide less reflected light into residences. Staff recommends internally illuminated individual channel letters mounted on the awnings above the retail spaces. Staff also recommends the use of down lighting to wash the walls in place of the blade signs. **Staff requests the Design Commission provide their recommendations regarding signage and lighting.**

3820 Broadway (P10-042)

August 18, 2010

Respectfully submitted by:



Matthew Sites, Associate AIA, LEED AP
Design Review Staff

Recommendation Approved:



Luis R. Sanchez, AIA, LEED AP
Senior Architect



William Crouch, AIA, FRAIA, NCARB, LEED AP
Urban Design Manager

Attachments:

Attachment 1

Page 10 Vicinity Map

Attachment 2

Page 11-14 Statement of Intent

Attachment 3

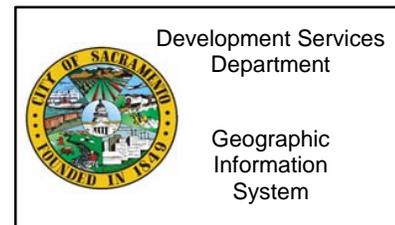
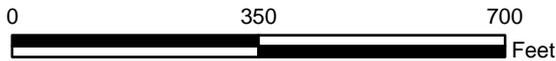
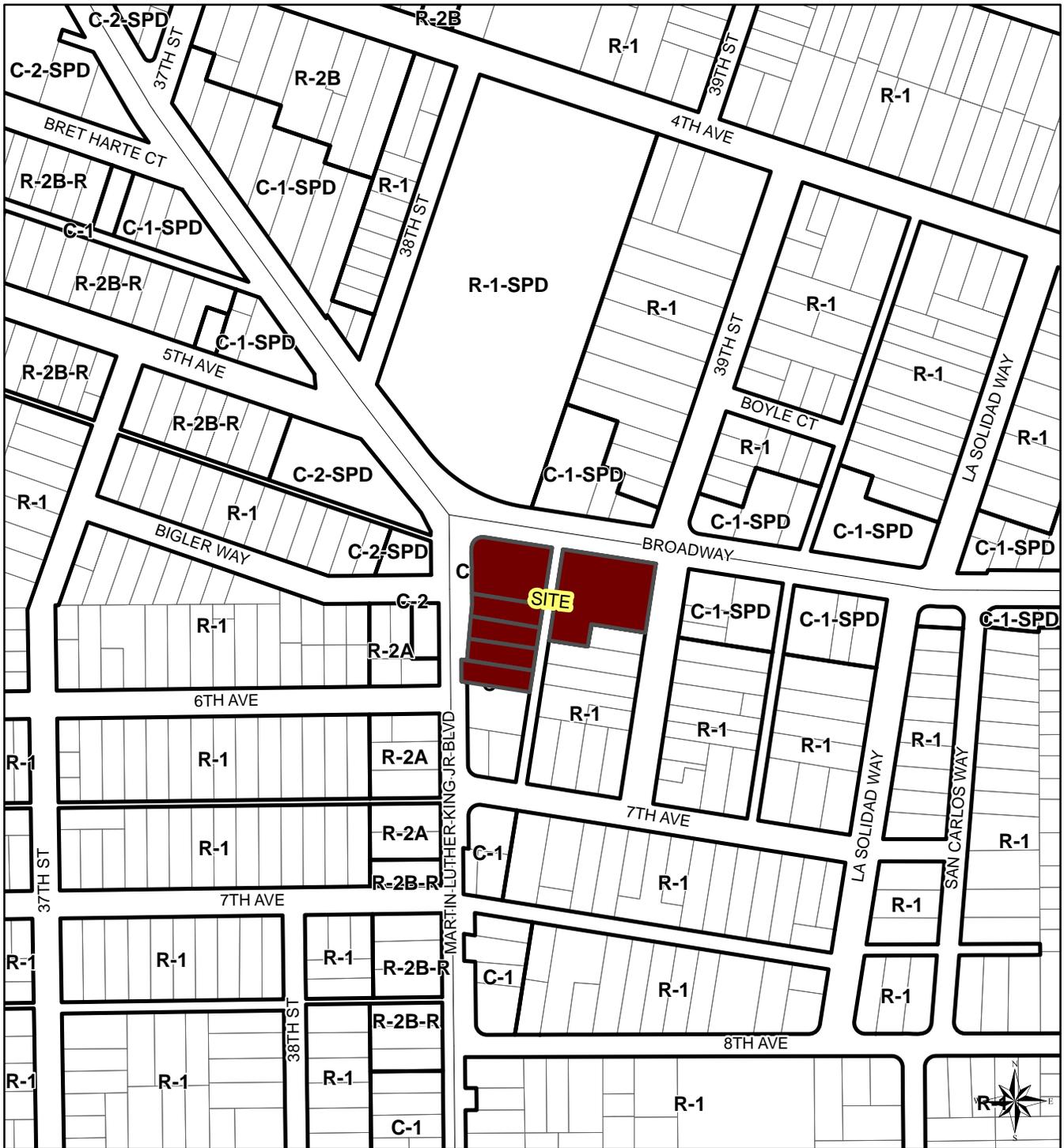
Page 15-20 Matrix Review Committee Comment Letter

Attachment 4

Page 21 Illustrative Site Plan
Page 22 District Content
Page 23 Site Analysis
Page 24 Project Context Photos
Page 25 Building Elevations
Page 26 Annotated Site Plan
Page 27 First Floor Plan
Page 28 Second Floor Plan
Page 29 Third Floor Plan
Page 30 Preliminary Landscape Plan
Page 31 Prototypical Unit Plan
Page 32 Required Setbacks & Easements
Page 33 Rendering

Attachment 5

Page 34 Comments from SHRA Redevelopment Advisory Committee



July 08, 2010

P10-042

3280 Broadway

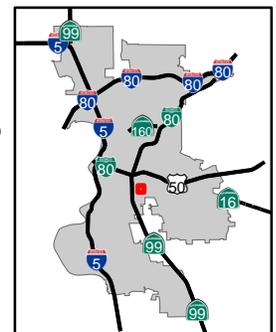
014-0171-001,-017,-018,-019,-020,-025

C-1-SPD zone

Special Permit:

Parking Waiver for residential & retail
Residential development over 40,000 sf
Variance:

Setbacks along Broadway and MLK
Broadway/Stockton, & Oak Park DR



ATTACHMENT A

Project Description and Statement of Intent

A.1 SITE LOCATION

The proposed Project, Oak Park Mixed-Use Development, is located on the outer edge of the commercial district of Sacramento's first street car subdivision, Oak Park. The proposed project is located at the southeast corner of Broadway Avenue and Martin Luther King Jr. Boulevard where Martin Luther King Jr. Boulevard intersects Broadway as it bends approximately 40° to the East. The site consists of approximately 1.2 net acres¹ and is currently a vacant site with the exception of large billboard at located on the northwest corner of the site.

The pertinent parcels for the project are APN 014-0171-001, -017, -018, -019, -020, -025. Below is an aerial photograph of the project location and pertinent area.



A.2 PROPOSED DEVELOPMENT

The Project is proposed to be a mixed-use development that will include an affordable senior housing component and a ground floor retail component. The program envisions (55) one-bedroom senior living units, (1) two-bedroom manager's unit, extensive indoor and outdoor community spaces, residential services, approximately 3,000-4,000 square feet of ground floor retail, and approximately 42 surface parking stalls.

¹ Net acreage refers to the size of the site excluding street dedication requirements.

The proposed program will be housed within a three-story wood framed structure. The building has been designed to display prominently within the community due to its highly visible location at the corner of Martin Luther King Jr. Boulevard and Broadway.

Inside the building, the resident Community Center is envisioned to include a lobby with mail services, management offices, multipurpose room, resident lounge with views into the courtyard, a kitchen, computer center, fitness center and laundry facilities. Management Offices will include a work/file room, conference room (to be used by management and residents), management offices and rental office. The project also features a large well landscaped private courtyard along the south side of the property grounds. This courtyard is envisioned to feature a swimming pool, courtyard seating, and barbeques for the residents.

Parking will be provided for motor vehicles on site by means of 42 surface parking stalls. Resident and Property Management Employee parking is provided by means of 33 parking stalls located behind secured gates at the south end of the property. 9 parking stalls are provided for the retail tenant and guest parking outside the secured gates. For the Retail Parking, the intention is to provide dedicated parking for the Business owners and Employees only. Patrons and customers would park on the street. This strategy would increase pedestrian activity to enliven the area. This would also serve to implement the Zoning Code goal of “encourag[ing] reduction of motor vehicle parking requirements for new commercial development as allowed by this title as a means of attracting desirable businesses.”

The Oak Park Mixed-Use Development has multiple project objectives:

- ***Revitalize a vital neighborhood corner and eliminate blight.***
The current site has been a vacant land for quite a number of years with the exception of an existing billboard. The proposed development would create a vibrant new mixed-use center that will re-animate a very vital and prominent corner of the neighborhood.
- ***Develop a new community that will serve as a gateway to the rest of the Oak Park community.***
To mark the reconnection of community, Oak Park Mixed-Use Development Project will feature active, pedestrian oriented retail shops that focus around the corner of MLK and Broadway, and a beautiful senior housing community. The streets will be lined with landscaping throughout that will provide a comfortable and welcoming pedestrian environment.
- ***Provide much needed affordable senior housing.***
The development is designed to meet the SHRA’s goals of building affordable, safe, and attractive, senior housing within Oak Park.
- ***Provide a safe environment for residents and the overall community.***
The development is designed to improve the sense of safety on the street at this location by adding “eyes on the street”, activating the street frontage with ground floor retail and incorporating good lighting and security practices. The property shall be secured with electronically controlled access points at key entry points.

A.3 SITE CONTEXT

The existing land uses surrounding the project site consists of:

- American Legion High School, a Church, predominantly single family residential and limited light commercial to the north.
- Predominantly single family residential, limited light commercial and a community center to the south.
- Predominantly single family residential, limited light commercial to the east.
- Predominantly single family residential and limited light commercial to the west.

The proposed project is located within close proximity to many amenities and services including supermarkets, banks, clinics, hospitals, parks and community centers. Additionally, the project has great access to public transit. A detailed list of key amenities and services follows:

- **Public Transportation Access**

Bus route 51 stops directly in front of the project on Broadway and connects to the Light Rail Stop at Broadway and 19th. Bus 51 also travels to Broadway and Stockton where supermarkets/pharmacies and other services are located.

- **Public Park**

McClatchy Park is one block away from the Project.

- **Hospital and Clinics**

UC Davis Medical Center is within 1/2-mile from the site.

Oak Park Community center and the Community Health Center is located within 1/4-mile from the site on Martin Luther King Jr. Boulevard.

Sacramento Primary Care Center is located at the intersection of Stockton Boulevard and Broadway, 1/2-mile from the project site and on Bus Route 51.

- **Pharmacy**

Walgreens is located at the intersection of Stockton Boulevard and Broadway, 1/2-mile from the project site and on Bus Route 51.

- **Groceries, Restaurants and Other Retail**

A full-service supermarket (Food Source), restaurants, a café, and other retail services are located at the intersection of Stockton Boulevard and Broadway, 1/2-mile from the project site and on Bus Route 51.

- **Financial Services**

Bank of America is located directly across Martin Luther King Jr. Boulevard from the project site.

A.4 ENTITLEMENTS

Per our discussions with City Staff, we have determined that the following entitlements are required:

- Special permit to reduce parking space requirements
- Special permit to allow a residential development within C1-SPD that is over 40,000 square feet.
- Variance to reduce the setback requirement along MLK and Broadway
- Abandonment of the alley for approximately the northerly 150 feet of the 20 foot wide alley between APNs 14-171-001, -019, -020, -025. We have submitted an application for this abandonment with Thomas Adams and the processing of approval letters from the relevant agencies is in process.
- Lot merger to combine parcels: APNs 014-0171-001, -017, -018, -019, -020, and -025.



**CITY OF SACRAMENTO
CALIFORNIA**

COMMUNITY DEVELOPMENT
DEPARTMENT
PHONE 916-808-5656

300 Richards Blvd.
SACRAMENTO, CA
FAX 916-808-1901

MATRIX REVIEW COMMITTEE COMMENT LETTER

Address: 3280 Broadway
 APN: 014-0171-001, -017, -018, -019, -020, -025
 File Number: P10-042
 Description: New mixed use senior living and retail project.
 Applicant: Steven Oh
 Date of Notice: July 22, 2010
 Staff Contact: Matthew Sites, 808-7646, msites@cityofsacramento.org

The following are comments and notes regarding the proposed project.

Current Planning – Matthew Sites

1. Staff will require some additional parking to offset the loss of seven (7) retail parking spaces. If a restaurant or café use is provided, then the ratio required will be that of 1 parking space per 3 seats. This can be accomplished by a parking agreement with the adjacent school, church, or similar area with the ability to share parking.
2. Staff has concerns with the parking lot configuration specifically the retail and residential layout and circulation patterns. The entry and exiting of the parking area
3. Confirm what amenity will be provided in place of the removed pool. Staff suggests a bocce court or similar active amenity.
4. Reverse the concave recess at the rear ground floor amenity access doors and windows to convex, providing an interior seating area that can look outside into the landscape area immediately adjacent.

Design Review – Matthew Sites

Awaiting revised plans per discussion.

Parks & Recreation Department - Mary de Beauvieres, Principal Planner

ADVISORY NOTES

As per City Code, the applicant will be responsible to meet his/her obligations regarding Title 18, 18.44 Park Development Impact Fee (PIF), due at the time of issuance of building permit. The Park Development Impact Fee due for this project is estimated at \$80,372. This is based on 56 multifamily residential units at the specified infill rate of \$1,425 per unit and 3,362 square feet of commercial retail at the specified infill rate of \$0.17 per square foot. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit.

Department of Transportation - Anis Ghobril

I have reviewed the subject project and have the following conditions/comments:

1. Construct standard improvements as noted in these conditions pursuant to section 16.48.110 of the City Code. Improvements shall be designed and constructed to City standards in place at the time that the Building Permit is issued. All improvements shall be designed and constructed to the satisfaction of the Department of Transportation. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. **This shall include street lighting and the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk fronting the property along Martin Luther King, Broadway and 39th Street per City standards and to the satisfaction of the Department of Transportation;**
2. **The applicant shall revise the site plan to show all the information listed on the attached site plan checklist;**
3. The applicant shall remove the southernmost proposed driveway on MLK Boulevard as it does not meet the City spacing requirements and there is a concern for vehicular and pedestrian conflicts with left turn movements in/out of the driveway at that location in proximity to the intersection. The applicant should consider revising the site plan to provide access to the residential component of the project through the existing alley;
4. The applicant shall dedicate (if necessary) and construct full frontage improvements along Martin Luther King Jr. Boulevard. Improvements along MLK shall consist of a separated sidewalks, street lights and repair/reconstruction of the existing curb and gutter as shown on the site plan per City standards and to the satisfaction of the Department of Transportation;
5. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards. The affected ramps are located along the site's frontage at Broadway and 39th and MLK Jr. Boulevard;
6. The applicant shall repair/reconstruct any deteriorated portions of the existing alley per City standards (in Concrete) and to the satisfaction of the Department of Transportation;
7. All proposed gates must be located a minimum of 20-feet behind the right-of-way and shall be equipped with a Knox lock for Fire Department access;
8. The design of walls fences and signage near intersections and driveways shall allow

stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Transportation;

9. The project design is contingent upon the City Council's approval of the abandonment of the northern portion of the existing alley; (Note: a discussion on the timing of the recordation of the abandonment related to building permits should be had);
10. A parcel merger is required to facilitate the current project design. The applicant shall apply for a parcel merger prior to obtaining building permits;
11. The site plan shall conform to the parking requirements set forth in chapter 17 of City Code (Zoning Ordinance). If the applicant proposes any off-site parking, an **ADA compliant path** shall be provided between the two sites to the satisfaction of the Department of Transportation;
12. All new and existing driveways shall be designed and constructed to City Standards and to the satisfaction of the Department of Transportation;
13. A revocable encroachment permit will be required for any doors, canopies, awnings, or any projections into the right of way. The projections cannot be permanent in nature and should be removable within a 24-hour notice to accommodate any City service work within the right-of-way.

SHRA, Oak Park RAC – Matt Hertel

1. Explore possibility of a drop-off area on Broadway in front of the project.
2. Concern about the number of retail parking spaces.
3. Continue to examine whether more parking spaces are required for the residents.
4. Supportive of bollard component at corner near retail.
5. Continue to explore consistency of materials.
6. Corner entrance way over hang is too high.

Fire Department - King Tunson

The following Fire comments/advisories apply to the **Special Permit** of the above referenced project:

1. All turning radii for fire access shall be designed as 35' inside and 55' outside.

2. Roads used for Fire Department access shall have an unobstructed width of not less than 20' and unobstructed vertical clearance of 13'6" or more. *This shall apply to the parking area.*
3. Fire Apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. CFC 503.2.3 *This shall apply to the parking area.*
4. Provide the required fire hydrants in accordance with CFC 508 and Appendix C, Section C105.
5. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.
6. Provide a water flow test. (Make arrangements at the Permit Center walk-in counter: 300 Richards Blvd, Sacramento, CA 95814). CFC 508.4
7. The furthest projection of the exterior wall of a building shall be accessible from within 150 ft of an approved Fire Department access road and water supply as measured by an unobstructed route around the exterior of the building. (CFC 503.1.1)
8. Provide appropriate Knox access for site
9. Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.
10. An automatic fire sprinkler system shall be installed in any portion of a building when the floor area of the building exceeds 3,599 square feet.
11. Locate and identify Fire Department Connections (FDCs) on address side of building no further than 50 feet and no closer than 15 feet from a fire hydrant.
12. An approved fire control room shall be provided for all buildings protected by an automatic fire extinguishing system. Fire control rooms shall be located within the building at a location approved by the Chief, and shall be provided with a means to access the room directly from the exterior. Durable signage shall be provided on the exterior side of the access door to identify the fire control room. CFC 903.8
13. Provide at least 5 foot setback for second story and 8 foot setback for 3 third story bedroom windows to allow for fire ladder rescue operations. Provide clear access to buildings openings, free to landscaping and other obstructions. Exterior doors and openings required by this code or the Building Code shall be maintained readily accessible for emergency access by the Fire Department. CFC 504.1
14. Minimum vehicle gate width shall provide 20 foot clear access. Gates across roads serving residential occupancies shall be AC powered operated and provided with Key override switch Knox and Radio Operated controller Click2Enter. Pedestrian gates shall be provided with 4 foot minimum width and be capable of use with the Sacramento Fire Department Key Box key. Use of a key box to provide a key is acceptable. In addition, a pedestrian gate

shall also be provided on 39th for emergency access. Placement of this gate shall be to the satisfaction of the Fire Department.

15. The elevator shall comply with the California Building Code (CBC) Section 3002.4, 3002.4a and meet 3002.4a.1.

Police Department – Sergeant Chris Taylor

Mainly, I really really don't like the idea of having any sort of mixed use restaurant or grocery store or whatever on that ground floor right at the corner without significant traffic calming measures for traffic flowing east bound on Broadway. I have seen too many cars miss that corner and end up in that lot. Previously, there used to be a taco stand there that got totally wiped out at least once per year. The owners constructed concrete barriers to stop the cars and that still didn't really stop them. And the SMUD pole that sits about 25 yards east of the corner used to sit right on the corner, but it got wiped out so many times that SMUD moved it completely.

Streets - Stephanie Fraser

The project is commercial and will not have any City Streetscape maintained landscape. Check with the City Arborist for approval on tree spacing and species.

Urban Forest Department – Duane Goosen

See attached redline.

Department of Utilities - Inthira Southyanon

Water

1. There is an existing 14" water transmission main that is not allowed for connection. Connection shall be to the 12" water main in Broadway or the 6" water main in 39th Street.
2. A water supply test is required.
3. Per City Code 13.04.070 and the Departments current Tap Policy, commercial lots may have more than 1 domestic tap.

Sewer

1. A sewer study is required.
2. This development is served by the combined sewer systems. Therefore the applicant/owner will be required to pay the combined sewer impact fee prior to the issuance of the building permit. The fee is based on the development uses which is estimated to be \$113.27 per each ESD (equivalent single-family dwelling) plus any increases to the fee due to inflation.

3. With the proposed alley abandonment between 39th Street and Martin Luther King Blvd., the applicant shall relocate to the existing sewer line to the satisfaction of the Department of Utilities (DOU).
4. The applicant shall provide a 20-foot wide easement for the sewer line.
5. No permanent structure or its footing shall be placed on top of the sewer line or within the easement unless otherwise approved by the DOU.
6. The applicant shall enter into and record a Hold Harmless Agreement with the City for the proposed special pavers and landscape step stone that will be placed on top of the sewer line.

Drainage/Water Quality

1. A drainage study is required. The applicant will need to show the pre and post condition of this development.
2. An onsite drainage plan will be required for impervious areas that are greater than 6000 square feet.
3. Drainage connection is allowed and is preferred on Martin Luther King Blvd. The drainage main in Martin Luther King Blvd. is a separate system. Therefore, if the applicant decides to discharge into this main and if the discharge area is over an acre, then onsite water quality treatment control measures is required.

Schedule:

8/18 Design Commission Review & Comment - revisions needed 7/28/10 close of business

9/15 Design Commission Final Action – revisions needed 8/25/10 close of business

9/23 Planning Commission Final Action – revisions needed 9/1/10 close of business



Matthew Sites, Associate AIA, LEED AP
Design Review Staff



PROJECT INFORMATION

56	DWELLING UNITS
42	PARKING SPACES
3,000 - 4,000 SF	RETAIL/COMMERCIAL

SITE PLAN



DRAWING INDEX

01	ILLUSTRATIVE SITE PLAN
02	DISTRICT CONTENT
03	SITE ANALYSIS
04	PROJECT CONTEXT PHOTOS
05	BUILDING ELEVATIONS
06	ANNOTATED SITE PLAN
07	FIRST FLOOR PLAN
08	SECOND FLOOR PLAN
09	THIRD FLOOR PLAN
10	PRELIMINARY LANDSCAPE PLAN
11	REQUIRED SETBACKS & EASEMENTS



BROADWAY AND STOCKTON BLVD. SHOPPING DISTRICT/GROCERY STORE/PHARMACY

SACRAMENTO COUNTY PRIMARY CARE CLINIC

UCD MEDICAL CENTER

HISTORIC OAK PARK SHOPPING AND BUSINESS DISTRICT

CURTIS PARK

AMERICAN LEGION HIGH SCHOOL

BANK OF AMERICA

MCCLATCHY PARK

OAK PARK CENTER



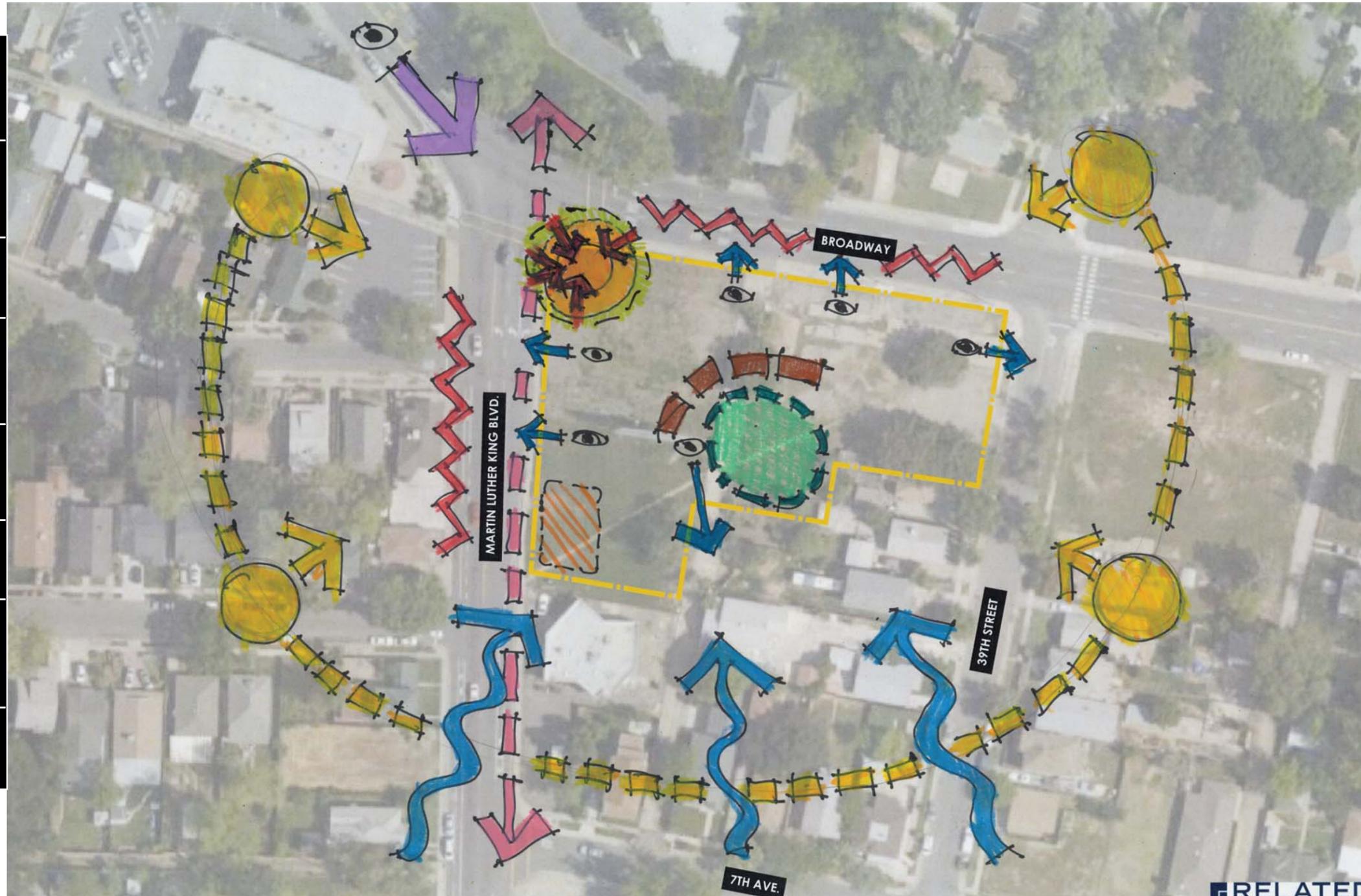
DISTRICT CONTENT
28 JULY 2010

OAK PARK MIXED USE DEVELOPMENT

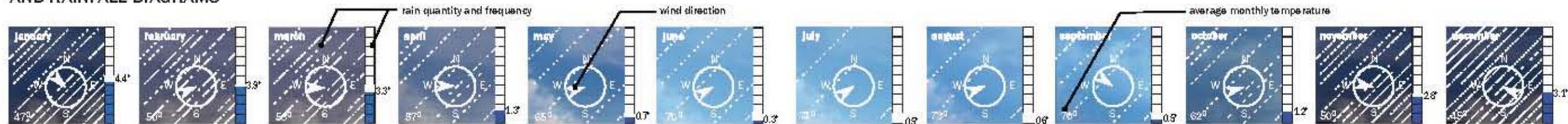


LEGEND

	MAJOR AUTOMOTIVE VIEW
	AUTOMOBILE PATH OF TRAVEL
	NOISE FROM STREET
	PRIVATE ENCLOSED GREEN SPACE
	PUBLIC PLAZA
	VIEW TO THE STREET
	PATH OF SUN
	COOLING DELTA BREEZE



AVERAGE TEMPERATURE WIND AND RAINFALL DIAGRAMS





1 MLK looking north from 7th Ave.



2 MLK looking north from 7th Avenue



3 Bigler Way looking east to project site



4 From project site looking west to Bigler Way



5 From project site looking north down Broadway



6 From project site looking north to Americal Legion High School (on the left)



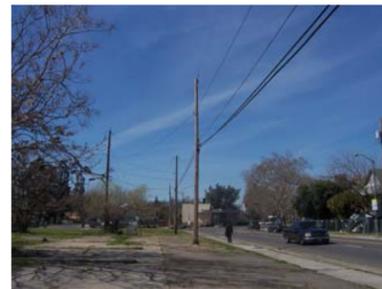
7 Broadway looking southeast to corner of project site



8 American Legion High School looking south to site



9 View south to center of project site



10 39th Street and Broadway looking east



11 39th Street looking southeast to the project site



12 39th Street and Broadway looking northwest



13 39th Street looking south to project site



14 Broadway at mid-site looking east



15 39th Street and Broadway looking southwest to project site



16 39th Street looking east



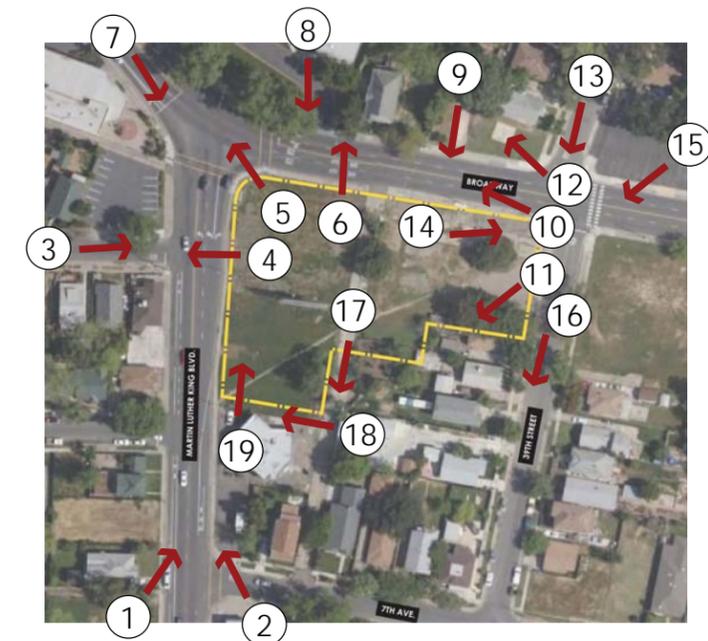
17 View down Alley looking south

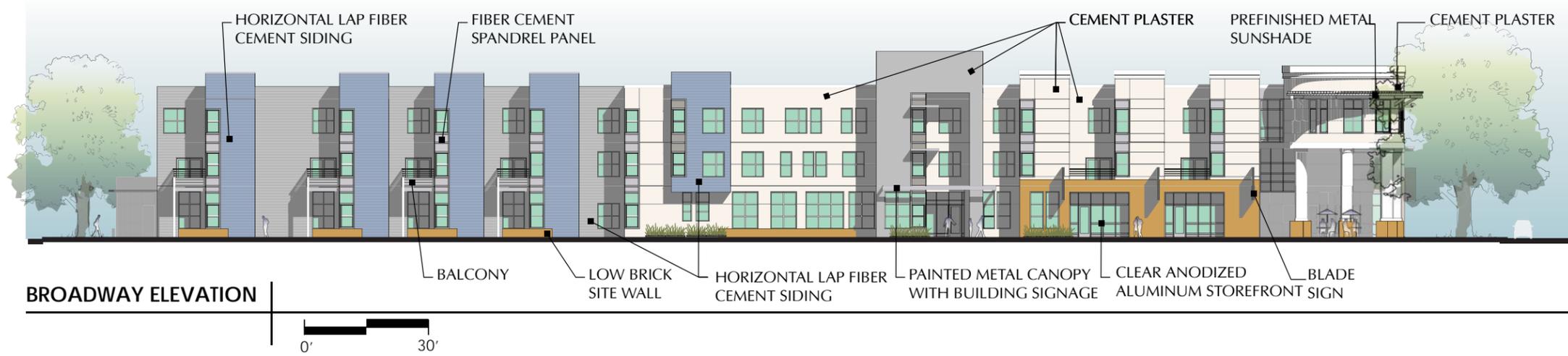


18 South property line looking west

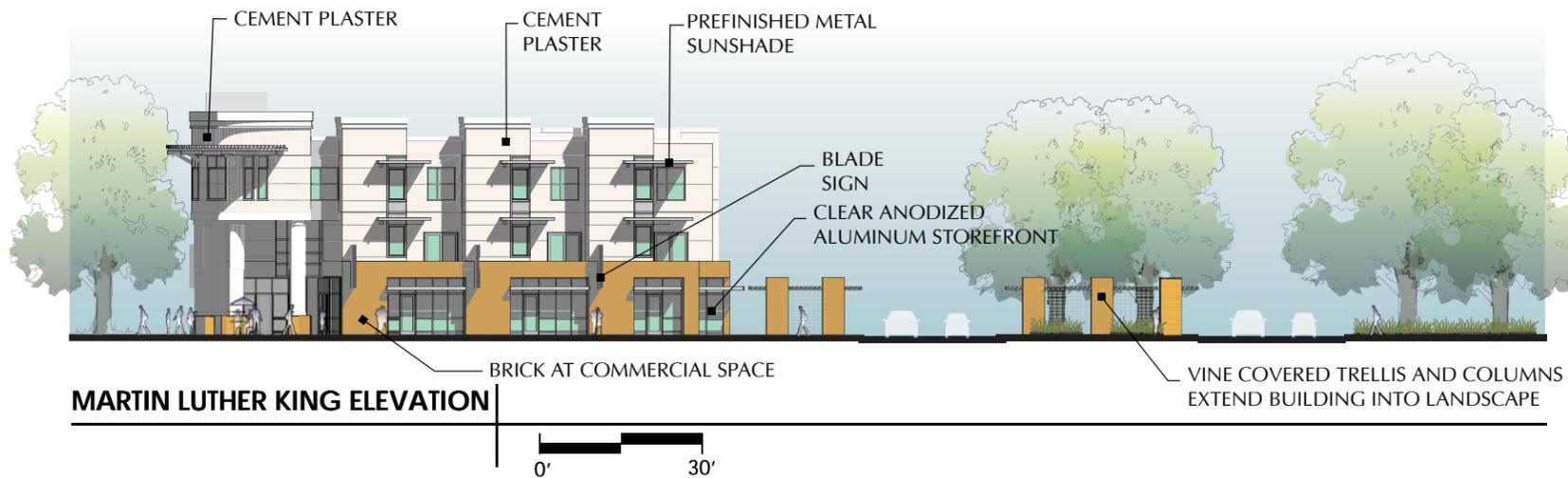


19 South corner of site looking north on MLK

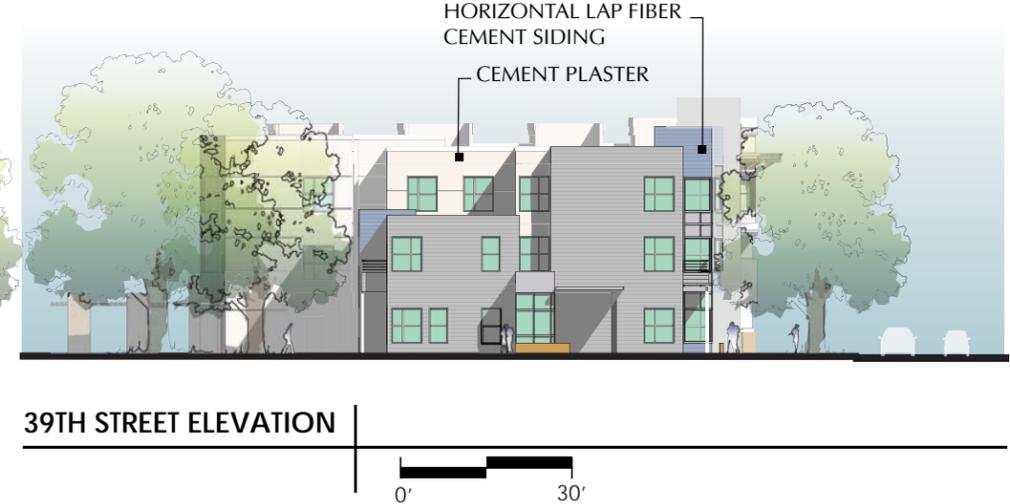




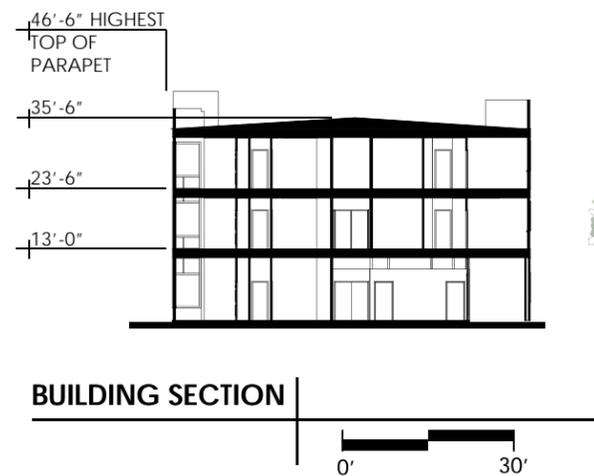
BROADWAY ELEVATION



MARTIN LUTHER KING ELEVATION



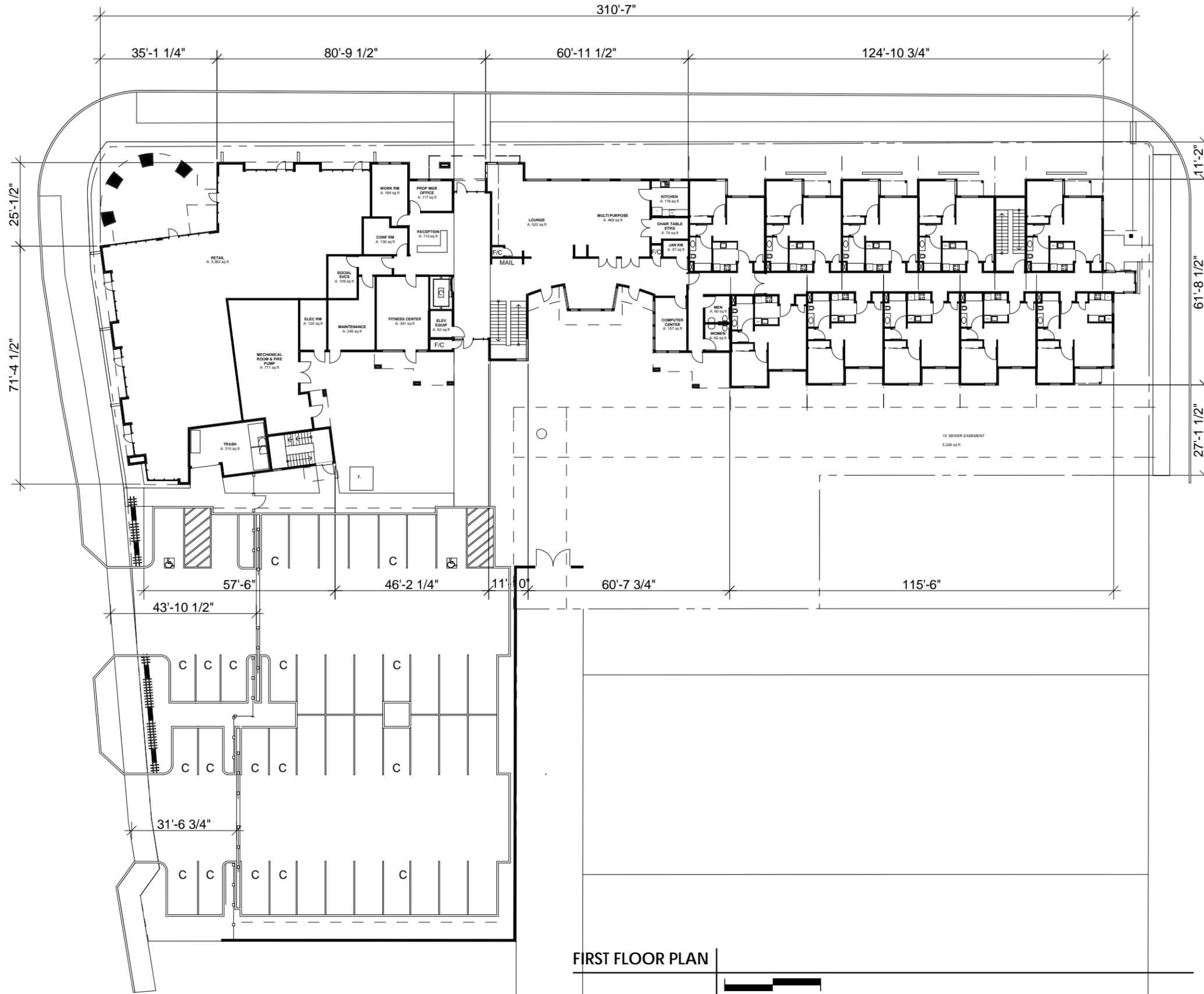
39TH STREET ELEVATION



BUILDING SECTION

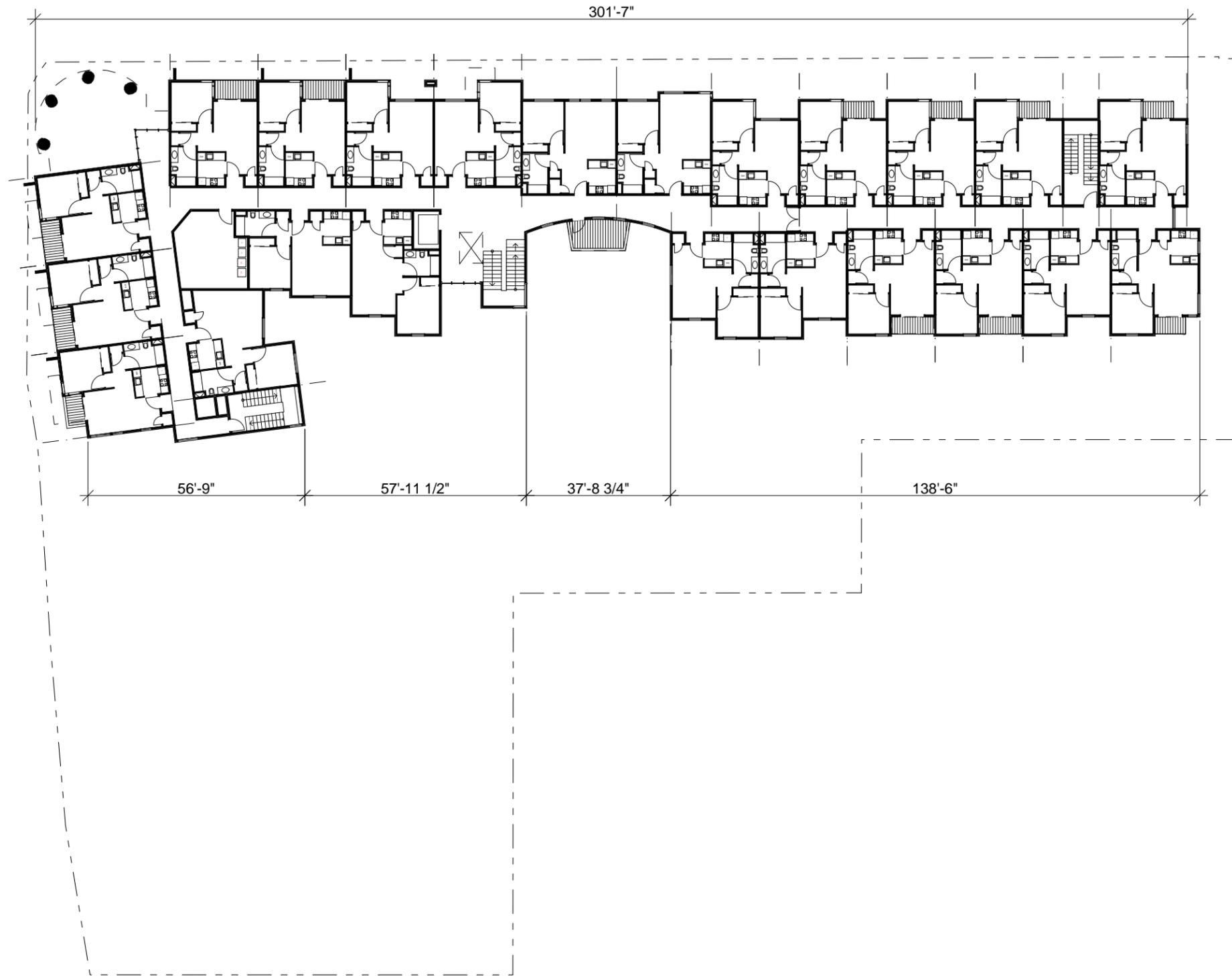


COURTYARD ELEVATION



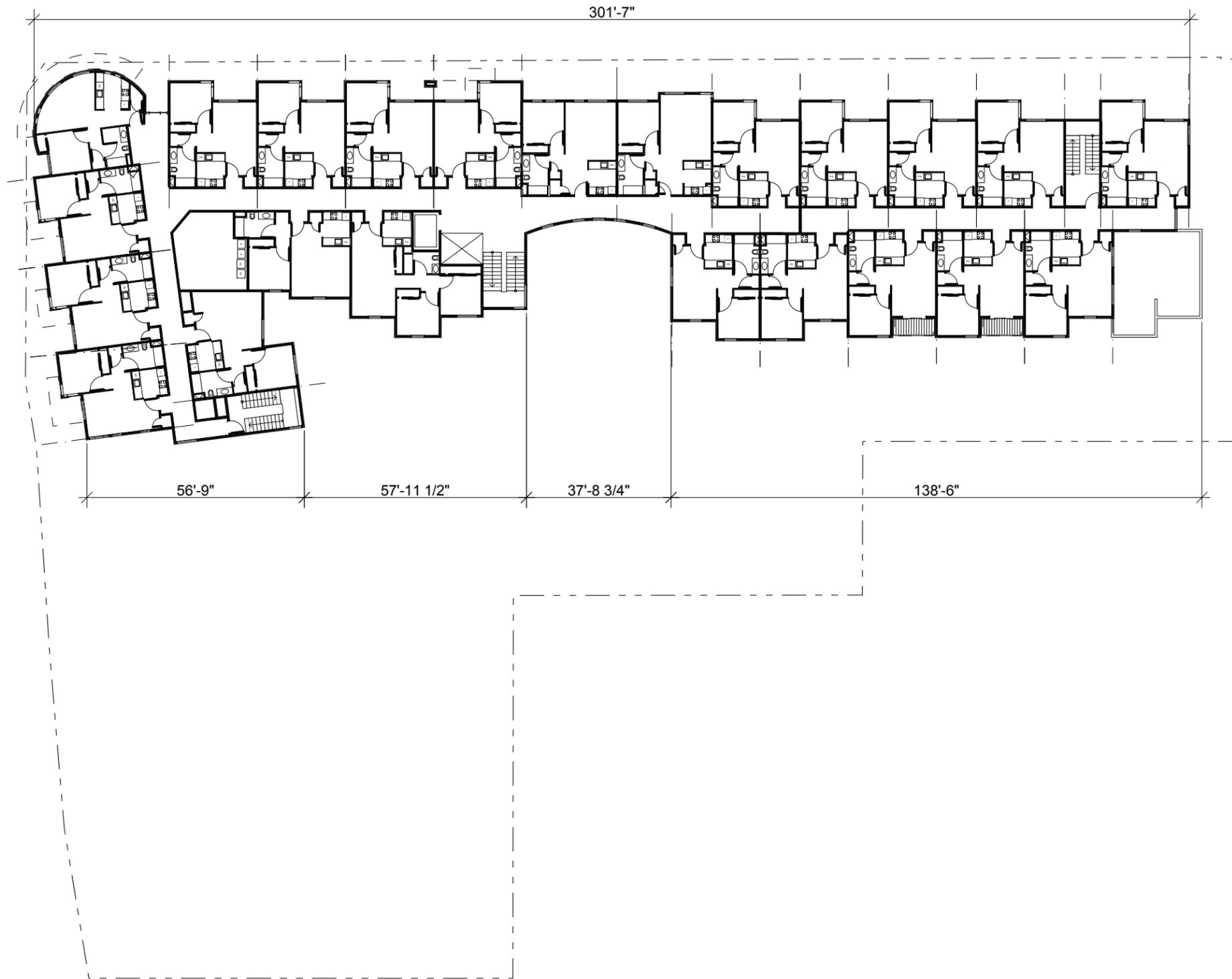
FIRST FLOOR PLAN





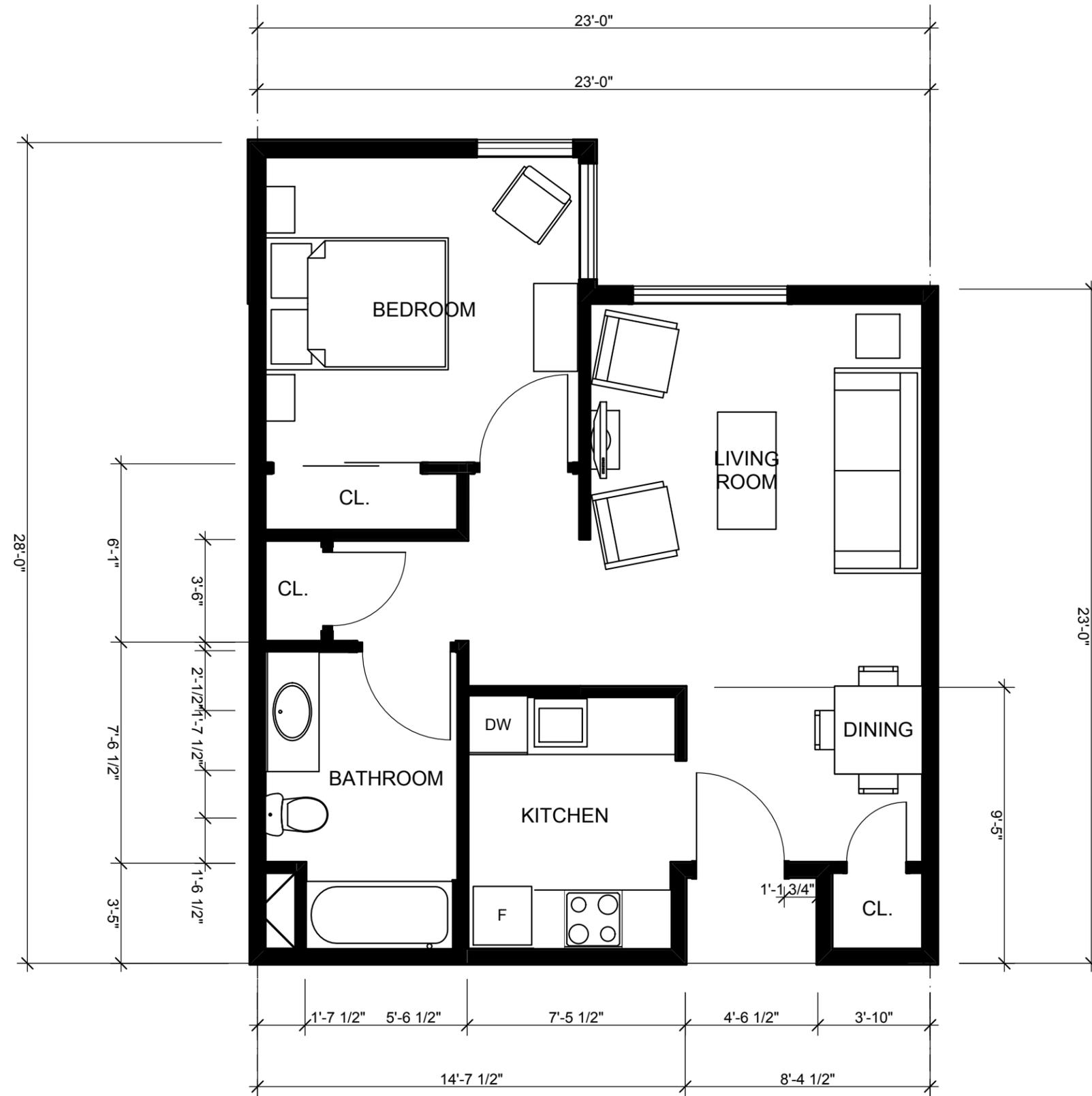
SECOND FLOOR PLAN





THIRD FLOOR PLAN





PROTOTYPICAL UNIT



POTENTIAL PLANT LIST

Shr. Symbol Botanical/Common Name

TREES

VERTICAL TREE ALLE OVER CARPET ROSES
 8 GAL. CB CARPINUS BETULUS 'COLLUPHARIS', COLLUPHAR EUROPEAN HORNBEECH
 8 GAL. CB CARPINUS BETULUS 'COLLUPHARIS', COLLUPHAR EUROPEAN HORNBEECH

STREET TREE IN LAWN STRIP

8 GAL. PL PLATANUS ACERIFOLIA 'YARWOOD' BYCAPONE OR
 8 GAL. PL GEBELUS MACROCARPA, BURR OAK

PARKING SHADE TREE

24" DIA. PB PISTACHIA OBIENSIS, CHINESE PISTACHE OR
 24" DIA. ZB ZELKOVA SERVATA, ZELKOVA

PATIO TREE IN TREE CRATER OVER PAVING

8 GAL. PYC PYRUS KANAWATSI, EVERGREEN PEAR
 8 GAL. PYC PYRUS KANAWATSI, EVERGREEN PEAR

SMALL ACCENT TREE

8 GAL. AC ACER PALMATA 'PURPUREUM', PURPLE LEAF JAPANESE MAPLE
 8 GAL. PYC PYRUS KANAWATSI 'BEAUTY-STRONG', BEAUTY-STRONG
 8 GAL. CB CARPINUS BETULUS 'COLLUPHARIS', COLLUPHAR EUROPEAN HORNBEECH

SHRUBS

8 GAL. AZ AZALEA SOPHISTICA 'WILDERS WHITE'
 8 GAL. EB EBENUS CORDIOLIA
 8 GAL. CA CAPELLIA JAPONICA 'CLOBOPATRA'
 8 GAL. VE VERONICA VITICIDA
 8 GAL. LO LOROPETALUM CHINENSE 'YUNFENG'
 8 GAL. PH PHACELIS TENAX 'TOM THOMP', PLAX
 8 GAL. RO ROSA 'PINK, RED, YELLOW AND WHITE', CARPET ROSE
 8 GAL. RA RHAPHANISTRUM INDICA 'SILKROADS', ROYAL LANTANA
 8 GAL. RT ROSEMARINUS TURCAN BLUE, ROSEMARY
 8 GAL. SY SYRINGA VILGABERIS LEAG, LAVENDER LADY
 8 GAL. VT VIBURNUM TRIS, DUMP LAVENDER

GROUND COVERS

1 gal. 30" dia. M HYDRUNUM PARVIFOLIUM
 1 gal. 30" dia. V VINCA MINOR

LAWN AREA

800 L 1/4" SHORT STOP TURF TYPE - 80 HERT KENTUCKY BLUE GRASS

WATER USE CALCULATIONS

Estimated areas of water usage for compliance with Water Conservation Ordinance Requirements.

Water Use	Area Subtotal	Total
Low	15,250 SF. x 4 = 61,000 SF.	
MEDIUM	3,400 SF. x 6 = 20,400 SF.	
HIGH	4,950 SF. x 1 = 4,950 SF.	
Total:	23,600 SF.	13,090 SF.

(Site area greater than)

SHADE CALCULATIONS for less than 50 car parking lot

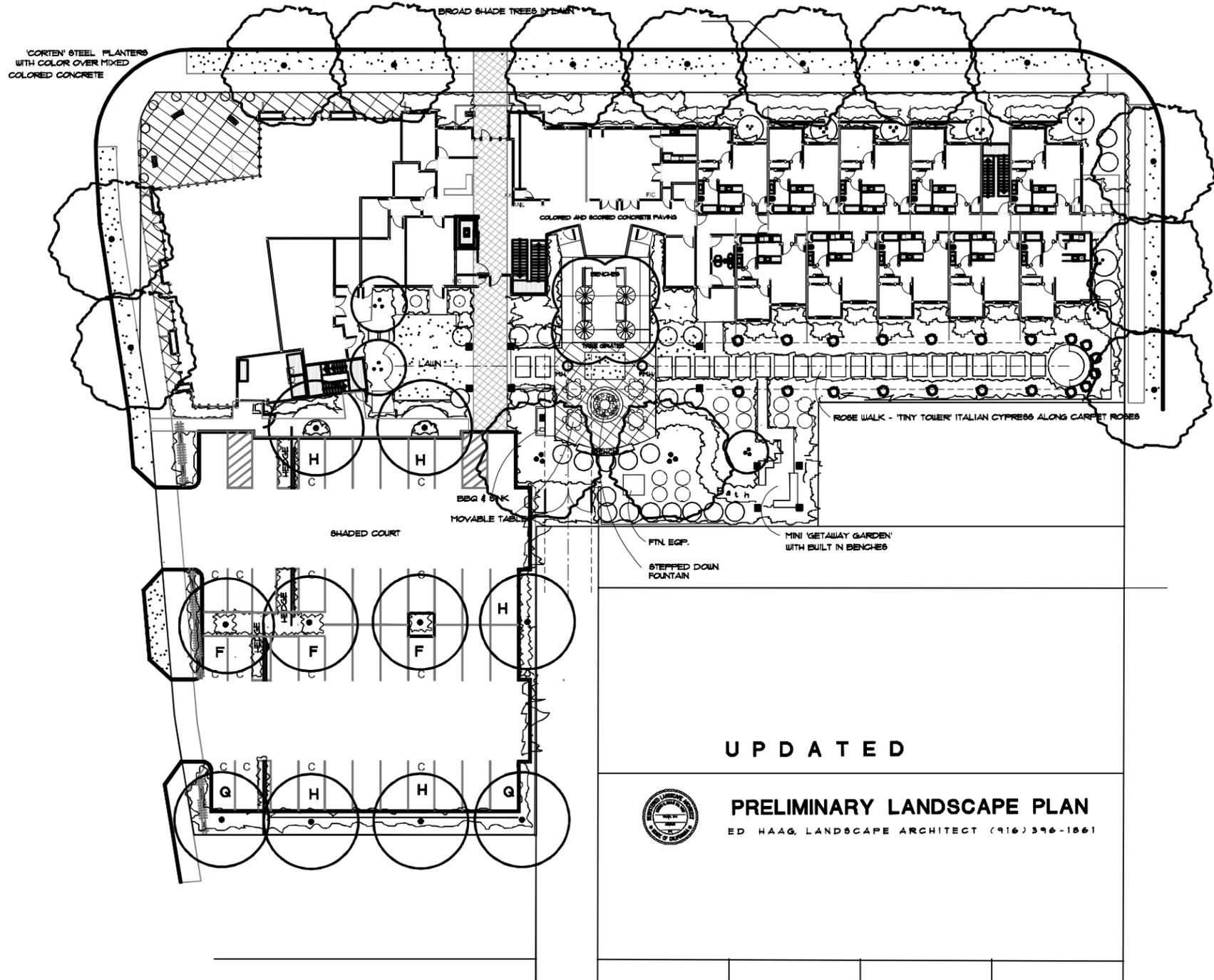
Total Paving:	12,360 SF.
Paving Requiring Shade:	4,944 SF.
Minimum 40% Shading Req. Plan Shows:	5,290 SF. (42%)

PISTACHE OR ZELKOVA

3 F @ 962 SF.	= 2886 SF.
4 H @ 481 SF.	= 1924 SF.
2 Q @ 240 SF.	= 480 SF.
TOTAL	= 5290 SF.

PLANTING NOTES

1. An automatic irrigation system shall be fully operational, and coverage approved prior to installation of planting.
2. Finish grade at edge of all planting areas shall be 2" below top of adjacent curb, walk or paving.
3. All shrub and groundcover areas shall receive 2" layer of shredded bark mulch topdressing as specified.
4. Fertilize individual plants after installation with Osmocote time release formula pelletized fertilizer, per manufacturer's instructions.
5. Pre-planting soil preparation shall include cultivating all planted areas down to 12 inch depth, and incorporating all the following amendments:
 Ammoniac or fertilizer Application Rate:
 Nitrogen stabilized compost 4 cu. yds. per 1000 sq. ft.
 Ammoniac Phosphate (6-30-0) 5 lbs. per 1000 sq. ft.
6. GUARANTEE PRODUCTS AND INSTALLATION OF PLANTING AND IRRIGATION FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE 60 DAY MAINTENANCE PERIOD.



LANDSCAPE PLAN



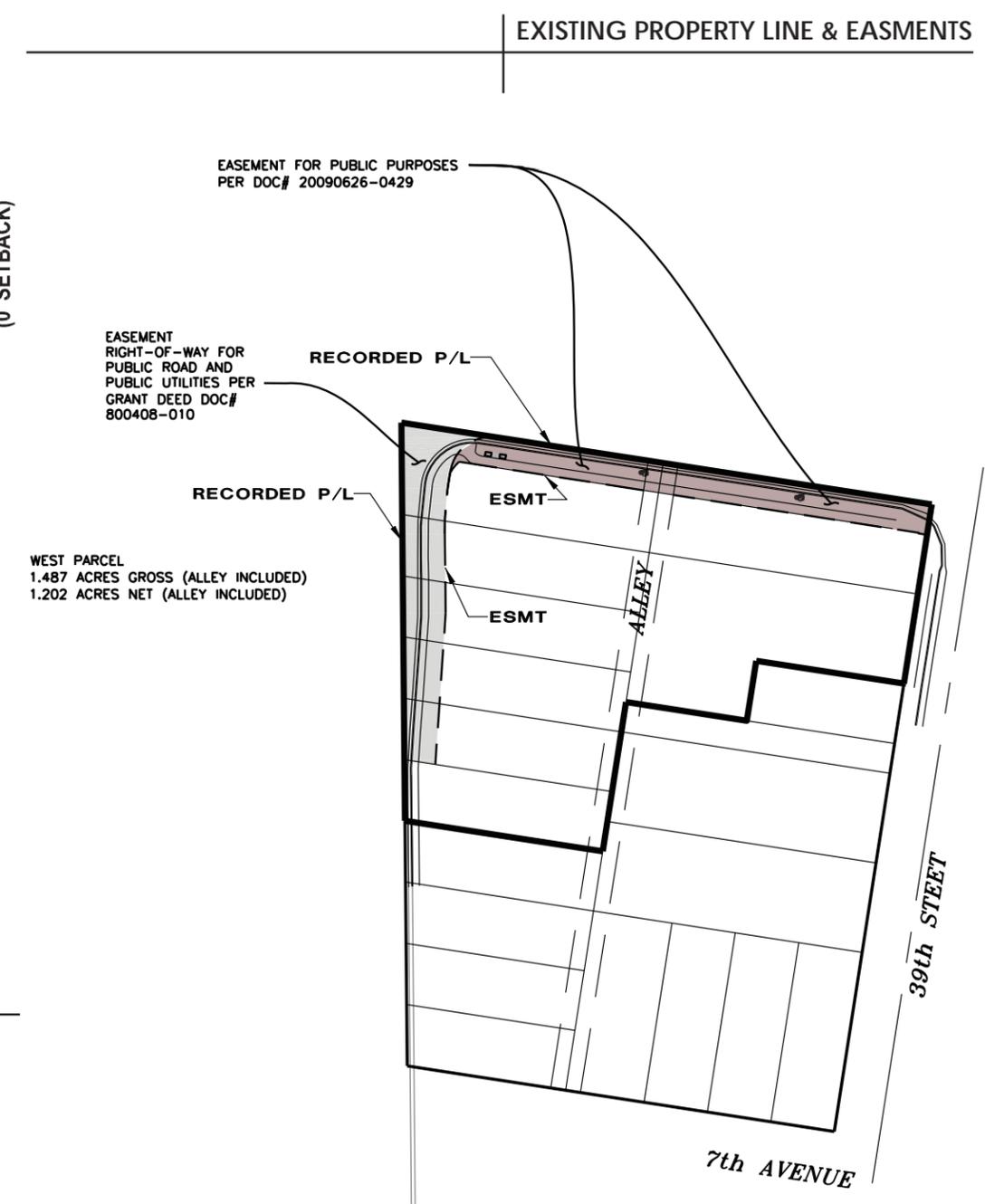
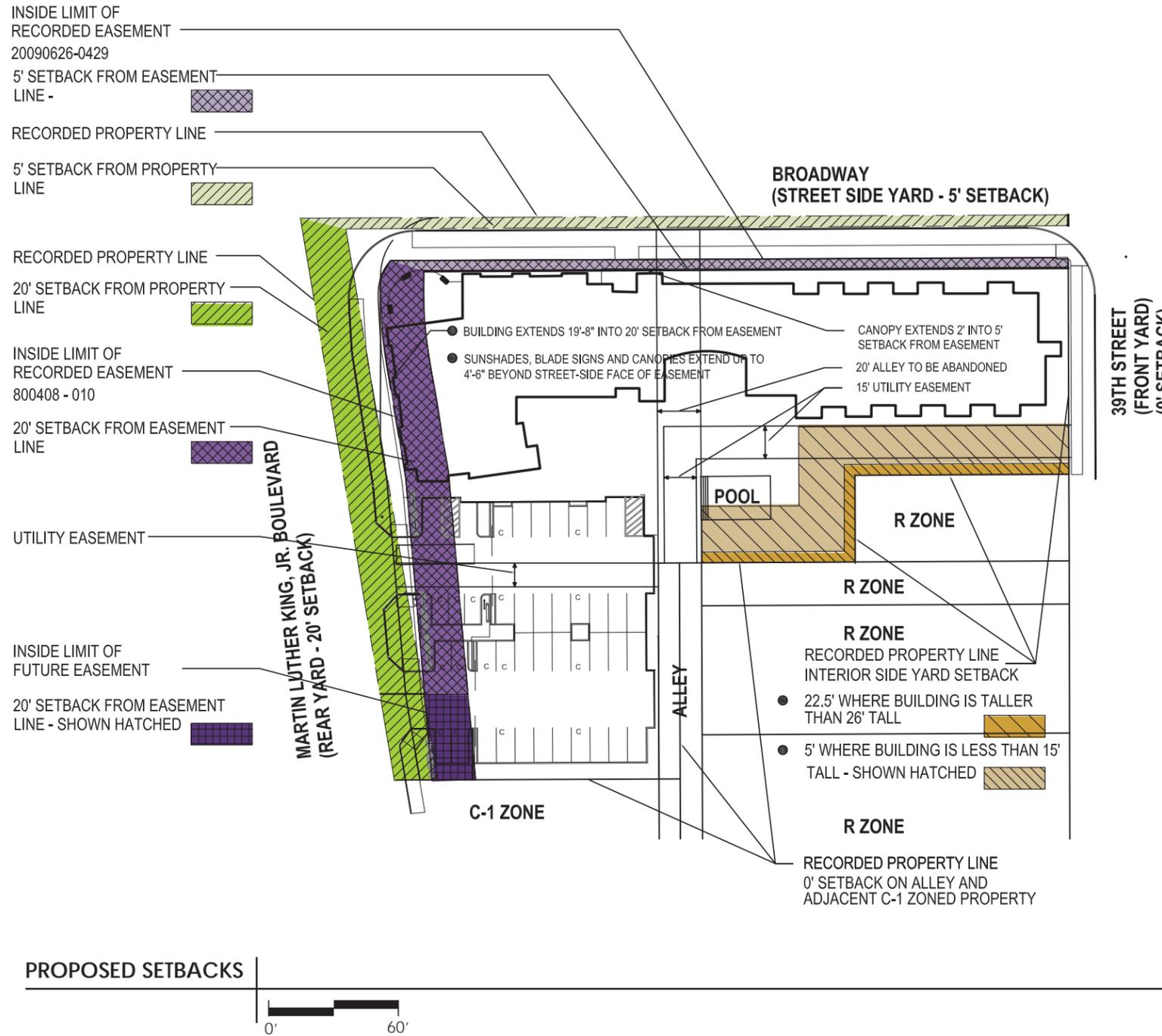
PRELIMINARY LANDSCAPE PLAN
28.JULY.2010

OAK PARK MIXED USE DEVELOPMENT

UPDATED

PRELIMINARY LANDSCAPE PLAN
 ED HAAG, LANDSCAPE ARCHITECT (916) 396-1861







Oak Park Redevelopment Advisory Committee Comments on Broadway/MLK Project

Matt Hertel [mhertel@shra.org]

Inbox

Actions

Thursday, July 15, 2010 11:18 AM

To: Matthew Sites

Cc: Yniguez, Celia [cyniguez@shra.org]; Marsh, Richard [RMarsh@shra.org]

Hello Matt,

Here are the comments RAC and Community members had about the design and site plan of the project.

- 1) Explore possibility of a drop-off area on Broadway in front of the project
- 2) Concern about the number of retail parking spaces
- 3) Continue to examine whether more parking spaces are required for the residents
- 4) Supportive of bollard component at corner near retail
- 5) Continue to explore consistency of materials
- 6) Corner entrance way over hang is too high

Celia and Richard please let me know if I missed anything.

Thank you,

Matt Hertel

Associate Redevelopment Planner

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