



REPORT TO PLANNING COMMISSION City of Sacramento

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915 I Street, Sacramento, CA 95814-2671

PUBLIC HEARING
May 13, 2010

To: Members of the Planning Commission

Subject: First Church of Christ, Scientist of Sacramento

A request to establish a 5,566 square foot church in an existing building and to waive required parking spaces in the General Commercial (C-2) zone.

- A. Environmental Determination:** Categorically Exempt pursuant to CEQA Guidelines Section 15303.
- B. Special Permit** to establish a church in an existing building in the General Commercial (C-2) zone.
- C. Special Permit** to waive required parking spaces.

Location/Council District:

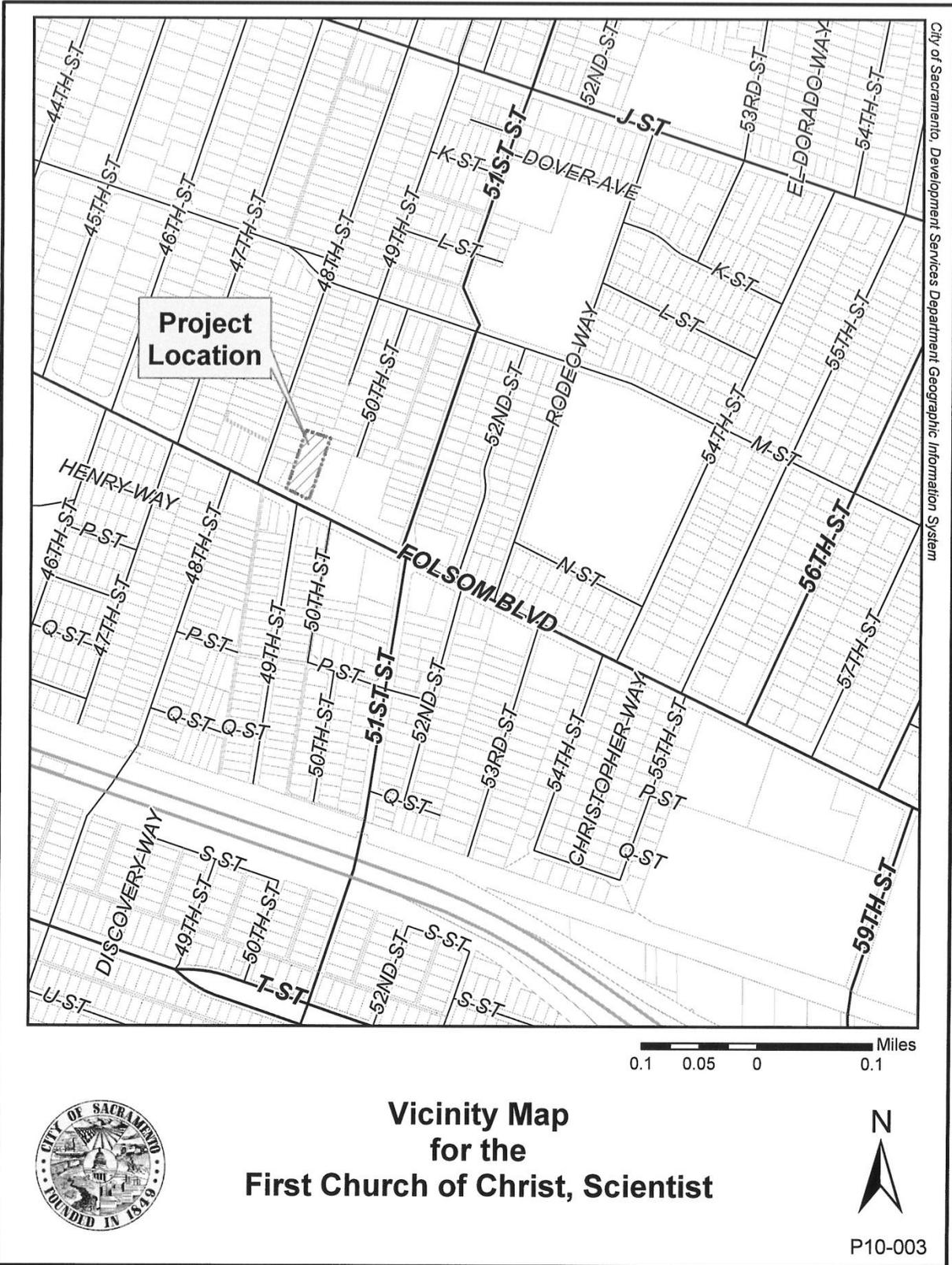
4829 Folsom Blvd., Sacramento, CA 95838
Assessor's Parcel Number 008-0341-049
Council District 3

Recommendation: Staff recommends the Commission approve the request based on the findings and subject to the conditions of approval listed in Attachment 1. The Commission has final approval authority over items A-C above and its decision may be appealed to City Council. **The project has no outstanding issues and is considered to be noncontroversial.**

Contact: Kimberly Kaufmann-Brisby, Associate Planner, (916) 808-5590, Stacia Cosgrove, Senior Planner, (916) 808-7110

Applicant: Kurt Wagenknecht, K12 Architects, 3090 Fite Circle, #104, Sacramento, CA, 95827, (916) 455-6500, ext. 102

Owner: First Church of Christ, Scientist-Zach Miller, 1273 32nd Street, Sacramento, CA 95816, 916-456-5695



Summary: The applicant is requesting to establish a church in a recently constructed building in the General Commercial (C-2) zone. The applicant proposes 124 movable seats in the auditorium which requires the provision of one parking space per four seats or 31 parking spaces. Twenty-nine spaces are existing onsite so the applicant is requesting a special permit to waive two required spaces. The church currently is located at 1273 32nd Street and the Reading Room is currently located at 3325 J Street. The current proposal would consolidate the two aspects of the church in the Folsom Boulevard building.

The proposed project is consistent with the land use designations and applicable policies of the 2030 General Plan. Staff notified all property owners within a 500 radius of the project site regarding this public hearing and has received no opposition from the surrounding neighborhood or neighborhood groups. **The project is not considered to be controversial.**

Table 1: Project Information
2030 General Plan designation: Urban Corridor Low
Existing zoning of site: C-2 (General Commercial)
Existing use of site: Vacant Commercial Building
Property area: 0.76 acres

Background Information: The First Church of Christ, Scientist of Sacramento has been a part of the Sacramento midtown community for over 100 years. Currently the church is operating at the 32nd Street location (Planning File Number P04-190), which it leases, and has been doing so for approximately three years with the Reading Room operating at the J Street location for the past forty-plus years.

The building in which the church proposes to operate, was constructed over a year ago but was never completed and the building permits have expired. The church proposes to add a 1,245 square foot addition to the north side (rear) of the building and to complete all the unfinished work previously authorized under the expired building permits.

Public/Neighborhood Outreach and Comments: Early project notification was routed to the East Sacramento Preservation Task Force, the East Sacramento Improvement Association, East Sacramento Chamber of Commerce, and the McKinley-Elvas Neighborhood Association. The church also sent out Early Notification letters outlining all aspects of the church proposal and included a response postcard. For the public hearing, all property owners within a 500' radius of the project site were notified of the public hearing. At the date of the writing of this report, no comments had been received by staff.

Environmental Considerations: The Community Development Department, Environmental Planning Services Division has reviewed this project and determined that this project is exempt from the provisions of the California Environmental Quality Act

(CEQA) Section 15303, New Construction or Conversion of Small Structures. The project consists of the conversion of an existing building not exceeding 10,000 square feet from one use to another where only minor modifications are made to the exterior of the structure. The project also has all necessary public services available and the surrounding urbanized area is not environmentally sensitive.

Policy Considerations:

The 2030 General Plan land use designation for the project site is Urban Corridor Low and is zoned General Commercial (C-2).

The project is consistent with the land use designation in that the designation provides for a mix of horizontal and vertical mixed-use developments and single-use commercial and residential development, including compatible public, quasi-public, and special uses. The minimum floor area ratio (FAR) is 0.30 and the proposed project's FAR is 0.16.

The church would be housed within an existing single-story commercial building. The primary use will be the church use with the associated church support services such as daycare for the children during services, church office and Sunday school. A Reading Room Retail Sales store, along the Folsom Boulevard frontage, is also proposed which will help to activate the street. The quasi-public church use is consistent with the land use designation and the use is compatible with the adjacent residential uses to the north, east, and west.

2030 General Plan:

The 2030 General Plan designates the subject parcel as Urban Corridor Low. The proposal is consistent with the following General Plan policies:

- Infill below minimum standards. The City shall allow renovations and expansions of existing development that fall below the allowed minimum density and floor area ratio (FAR), provided that the existing structure is not demolished (LU 1.1.6).
- Neighborhood Enhancement. The City shall promote infill development, redevelopment, rehabilitation, and reuse efforts that contribute positively to existing neighborhoods and surrounding areas. (LU 2.1.6).
- Visual and Physical Character. The City shall promote development patterns and streetscape improvements that transform the visual and physical character of typical automobile-oriented corridors by:
 - Enhancing the definition of the corridor by locating buildings at the back of the sidewalk, and establishing a consistent street-wall.
 - Locating off-street parking behind or between buildings (rather than between the building and the street).
 - Reducing visual clutter by regulating the number, size, and design quality of signs.
 - Adding street trees (LU 6.1.12).

The applicant proposes to complete the unfinished construction and to expand the structure with a 1,245 sq. ft. addition on the north side of the building prior to occupancy. The church use will be a positive contribution to the neighborhood and the proposed decorative tower element on the south façade adds visual interest to the building and enhances the streetscape as does the proposed monument sign. The building also helps establish a consistent street-wall, has parking in the rear of the building, and proposes an attractive pedestrian scale monument sign helping to minimize visual clutter.

Smart Growth Planning Principles:

“Smart Growth” is a term coined by the United States Environmental Protection Agency (USEPA) as an umbrella term for the many initiatives intended to address some of the negative consequences of urban sprawl. Smart Growth generally occurs when development patterns are sustainable and balanced in terms of economic objective, social goals, and use of environmental/natural resources. The following Smart Growth principle applies to the proposed project:

Concentrate new development and target infrastructure investments within the urban core of the region to allow for efficient use of existing facilities, infill and reuse areas.

The proposed project complies with the Smart Growth principle noted above.

Project Design:

Land Use

Special Permit -Church

The applicant proposes to establish a church and associated support services within the General Commercial (C-2) zone. Approval of a special permit is required for the operation of a church per Section 17.24.050, footnote 5 of the City Code.

According to the applicant, church services are currently held on Sundays and Wednesdays at 10:30 a.m. and 7:30 p.m., respectively, with the building open one-half hour before and after the service. Sunday school would be held concurrent with church services.

The City’s Zoning Code, Section 17.212.010, specifies the findings required for the approval of the special permit. In evaluating special permit proposals of this type, the Commission is required to make the following findings:

1. A special permit shall be granted upon sound principles of land use.

The granting of the special permit is based upon sound principles of land use in that the proposed use is consistent with the land use designation, reuses an existing structure,

and is compatible with adjacent commercial and residential uses in the immediate area. The church use is allowed within the C-2 zone with the issuance of a Special Permit.

2. A special permit shall not be granted if it will be detrimental to the public health, safety or welfare, or if it results in the creation of a nuisance.

The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that the church will complete building construction, complying with all City building requirements, both for the unfinished and the new construction and will then occupy an otherwise unfinished, vacant building, eliminating the gap in street-wall activity. In addition, the building architecture and the streetscape will be enhanced with a tower element along Folsom Boulevard.

3. The special permit use must comply with the objectives of the general or specific plan for the area in which it is to be located.

The project is consistent with the land use designation in that the designation provides for a mix of horizontal and vertical mixed-use developments and single-use commercial and residential development, including compatible public, quasi-public, and special uses. The minimum floor area ratio (FAR) is 0.30 but because the applicant proposes to reuse and rehabilitate the building and it is also considered to be infill, the FAR requirement does not apply.

Access, Circulation and Parking

The project site is completely developed including paving and landscaping. The applicant does propose to restripe a portion of the parking lot in order to add three parking spaces. The building fronts on Folsom Boulevard and vehicle access is provided via a one-way drive flanking the building on the east (entrance) and west (exit) which circulates through and provides access to the 29 angled parking spaces to the rear of the building. The building's original construction required the site's development, comprising complete frontage improvements including sidewalks adjacent to the project's street frontage, providing pedestrian access to the site. Specially stamped asphalt is proposed and will provide a pedestrian connection from the rear parking area to the north building entryway.

Table 1: Parking			
Use	Required Parking (1 space per 4 seats)	Parking Provided	Difference
Church	31 spaces	29 spaces	-2

As indicated above, the project does not meet church parking requirements. Section 17.64.010.B.2. of the City Code provides a Zoning Administrator's special permit waiver of required parking for nonresidential development may be requested to waive required parking provided the nonresidential building does not exceed 10,000 sq. ft. in gross floor area. However, per Section 17.21.040.A. of the City Code, because the special permit for the church use is a Commission level approval and the parking waiver is part of the same development application, the Planning Commission is charged with acting on the parking waiver special permit request as well.

The City's Zoning Code, Section 17.212.010, specifies the findings required for the approval of the special permit to waive required parking. In evaluating special permit proposals of this type, the Commission is required to make the following findings:

2. A special permit shall be granted upon sound principles of land use.

The granting of the special permit is based upon sound principles of land use in that the proposed use is consistent with the land use designation, is compatible with the adjacent residential and commercial uses, and the site is well served by Regional Transit bus service so the waiving of two required parking spaces may be mitigated by transit ridership. Also, the current Sunday service attendance is typically 45-50 members so the parking provided should be adequate.

2. A special permit shall not be granted if it will be detrimental to the public health, safety or welfare, or if it results in the creation of a nuisance.

The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that the church will not operate the reading rooms and church services simultaneously so the parking demand will be minimized. Also, the parking area is located behind the building, and is surrounded by the required 6' tall masonry wall minimizing noise and light impacts created by the parking lot use adjacent to the residential uses. The Sunday morning and Wednesday evening church services occur when parking demand is typically less so, if needed, on-street parking may be available for any overflow parking needs. Finally, the site is well served by Regional Transit bus service along Folsom Boulevard so the waiving of two required parking spaces may be mitigated by transit ridership to the church.

3. The special permit use must comply with the objectives of the general or specific plan for the area in which it is to be located.

The project is consistent with the land use designation in that the designation provides for a mix of horizontal and vertical mixed-use developments and single-use commercial and residential development, including compatible public, quasi-public, and special uses. The building also helps establish a consistent street-wall, has parking in the rear of the building, and proposes an attractive pedestrian scale monument sign helping to minimize visual clutter.

Table 1a: Bicycle Parking			
Total parking required	Required bicycle parking	Provided bicycle parking	Difference
31 spaces	2	2	0

Bicycle Parking: As shown above, the project meets the bicycle parking requirement. According to the Zoning Code, Section 17.64.050, requires one (1) bicycle parking space for every twenty (20) required vehicle parking spaces or two spaces for the required 31 vehicle parking spaces. The applicant proposes to place a bicycle rack along the Folsom Boulevard frontage and to have the Class I parking inside the building in the secure storage area off the north entryway.

Building Design

The church will be housed within the 5,266 sq. ft. single-story building, which will include a 124 seat assembly area, Reading Rooms, Sunday school and daycare rooms, and associated restroom and storage areas. Also, the church proposes to have a Reading Room retail sales shop fronting on Folsom Boulevard. The retail shop will be open limited hours during the weekdays, possibly from 10 a.m. to 4 p.m and from 10 a.m. to 2 p.m. on Saturday and 12 to 2 on Sunday.

Currently the building has 4,000 sq. ft. of area. The applicant proposes to add 1,266 sq. ft. of building area at the rear along the north side as well as to add a 34' tall decorative tower element on the south façade that will wrap around the south and east corners of the parapet wall. The addition will echo the existing architecture in massing, materials, and fenestration.

Signage

The applicant proposes a 6' tall x 8' long monument sign and a 17' long x 6" tall attached metal letter sign. The project is allowed one detached/monument sign in the C-2 zone with an area not to exceed 1 sq. ft. of sign area for each lineal foot of street frontage, or 155 sq. ft. of signage. Two attached signs are allowed with an aggregate area of 3 sq. ft. of sign area per lineal foot of building occupancy, or in this instance, 165 sq. ft. of attached sign area.

The applicant proposes a 32 sq. ft. brick-clad monument sign with an electronic message component. However, the electronic message component is not allowed under the current Sign Code so the project will be conditioned to remove the electronic message aspect from the proposed monument sign. One attached sign is proposed with an area of 8.25 sq. ft. Both signs comply with the standards of Section 15.148.160

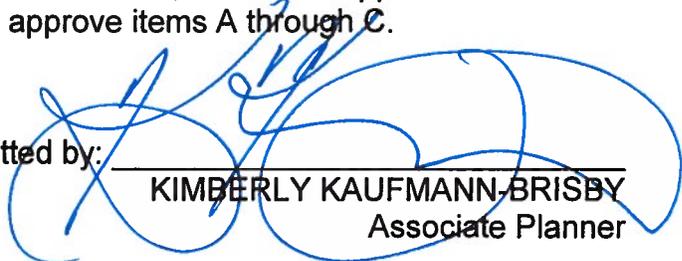
of the City Sign Code, are an appropriate pedestrian scale, and add visual interest to the streetscape.

Landscaping, Walls and Fencing

The applicant proposes to enhance the Folsom Boulevard frontage with a large landscaped area that will be complemented with outdoor seating in the patio area along the east side of the frontage. Most of the tree landscaping in the parking lot will be removed and replaced with trees from the City approved tree shading list. The existing shrubs and groundcover will remain. An existing 6' tall masonry wall encloses the site on all but the south side, as required when a commercial use abuts a residential use. To soften the length of the relatively narrow driveways alongside the building, the applicant has added two landscaping trellises along the west side and a larger trellis on the east driveway near the building to add dimension and visual interest.

Conclusion: Because the church use is consistent with the 2030 General Plan, will be a positive contribution to the neighborhood, adds visual interest and enhances the streetscape, and helps establish a consistent street-wall, staff is in support of the proposal and recommends the Commission approve items A through C.

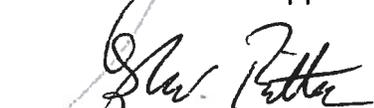
Respectfully submitted by:


KIMBERLY KAUFMANN-BRISBY
Associate Planner

Approved by:


STACIA COSGROVE
Senior Planner

Recommendation Approved:


GREGORY BITTER, AICP
Principal Planner

Attachments:

- Pg 11 Attachment 1 Recommended Findings of Fact and Conditions of Approval
- Pg 15 Exhibit 1-A Architectural Site Plan
- Pg 16 Exhibit 1-B Site Plan and New Work Area
- Pg 17 Exhibit 1-C Enlarged Architectural Site Plan
- Pg 18 Exhibit 1-D Landscape Plan

Pg 19	Exhibit 1-E Site Details
Pg 20	Exhibit 1-F Floor Plan
Pg 21	Exhibit 1-G Elevations-South and East
Pg 22	Exhibit 1-H Elevations-North and West
Pg 23	Attachment 2 - Land Use and Zoning Map
Pg 24	Attachment 3 - Matrix Team Members List

Attachment 1
City Planning Commission Record of Decision
Recommended Findings of Fact and Conditions of Approval
First Church of Christ, Scientist of Sacramento

Findings Of Fact

A. Environmental Determination: Exemption

Based on the determination and recommendation of the City's Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the Project, the Planning Commission finds that the Project is exempt from review under Section 15303, New Construction or Conversion of Small Structures, of the provisions of the California Environmental Quality Act (CEQA) Guidelines, as follows: The project is located in an urbanized area and consists of the conversion of an existing building not exceeding 10,000 square feet in floor area from one use to another where only minor modifications are made to the exterior of the structure. The project does not involve the use of significant amounts of hazardous substances, it has all necessary public services available and the surrounding urbanized area is not environmentally sensitive.

B. Special Permit to establish a church in an existing building in the General Commercial (C-2) zone is approved subject to the following Findings of Fact:

1. The granting of the special permit is based upon sound principles of land use in that the proposed use is consistent with the land use designation, reuses an existing structure, and is compatible with adjacent commercial and residential uses in the immediate area. The church use is allowed within the C-2 zone with the issuance of a Special Permit.
2. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that the church will complete building construction, complying with all City building requirements, both for the unfinished and the new construction and will then occupy an otherwise unfinished, vacant building, eliminating the gap in street-wall activity. In addition, the building architecture and the streetscape will be enhanced with a tower element along Folsom Boulevard.
3. The project is consistent with the General Plan land use designation in that the designation provides for a mix of horizontal and vertical mixed-use developments and single-use commercial and residential development, including compatible public, quasi-public, and special uses. The minimum floor area ratio (FAR) established in the General Plan is 0.30 but because

the applicant proposes to reuse and rehabilitate the building and it is also considered to be infill, the FAR requirement does not apply (LU 1.1.6).

C. The **Special Permit** to waive required parking spaces is approved subject to the following Findings of Fact:

1. The granting of the special permit is based upon sound principles of land use in that the proposed use is consistent with the land use designation, is compatible with the adjacent residential and commercial uses, and the site is well served by Regional Transit bus service so the waiving of two required parking spaces may be mitigated by transit ridership. Also, the current Sunday service attendance is typically 45-50 members so the parking provided should be adequate.
2. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that the church will not operate the reading rooms and church services simultaneously so the parking demand will be minimized. Also, the parking area is located behind the building, and is surrounded by the required 6' tall masonry wall minimizing noise and light impacts created by the parking lot use adjacent to the residential uses. The Sunday morning and Wednesday evening church services occur when parking demand is typically less so, if needed, on-street parking may be available for any overflow parking needs. Finally, the site is well served by Regional Transit bus service along Folsom Boulevard so the waiving of two required parking spaces may be mitigated by transit ridership to the church.
3. The project is consistent with the land use designation in that the designation provides for a mix of horizontal and vertical mixed-use developments and single-use commercial and residential development, including compatible public, quasi-public, and special uses. The building also helps establish a consistent street-wall, has parking in the rear of the building, and proposes an attractive pedestrian scale monument sign helping to minimize visual clutter.

Conditions Of Approval

B. The **Special Permit** to establish a church in an existing building in the General Commercial (C-2) zone is hereby approved subject to the following conditions of approval:

Current Planning :

- B1. The applicant shall obtain all necessary building permits prior to commencing construction.

- B2. The project shall substantially conform to the approved plans as shown on the attached exhibits (Exhibits 1A-1E) and as conditioned to be revised. Any modification to the project shall be subject to review and approval by Planning staff (and may require additional entitlements) prior to the issuance of building permits.
- B3. The hours of operation will be from 9 a.m. to 10 p.m. on weekdays and 9 a.m. to 8 p.m. on weekends. Any modification to the hours of operation shall be subject to review by Current Planning staff and may require additional planning entitlements.
- B4. The project shall comply with the City's Sign Ordinance (Chapter 15). A maximum of one detached and two attached signs are allowed. A variance is required for any signage that deviates from criteria within the Sign Ordinance.
- B5. The project landscaping shall comply with the attached landscape plan and shall be automatically irrigated.
- B6. A maximum of 124 auditorium seats are approved with this application.
- B7. Twenty-nine parking spaces shall be provided for the church use on-site.
- B8. The church shall post its 24 hour emergency contact information including name(s) and phone number (s) for property related issues in a readily visible location on the building prior to issuance of the certificate of occupancy.
- B9. The use of amplified sound out-of-doors is not allowed.

Building:

- B9. A building permit shall be obtained for the change of occupancy for the building addition.

Department of Transportation-Development Engineering:

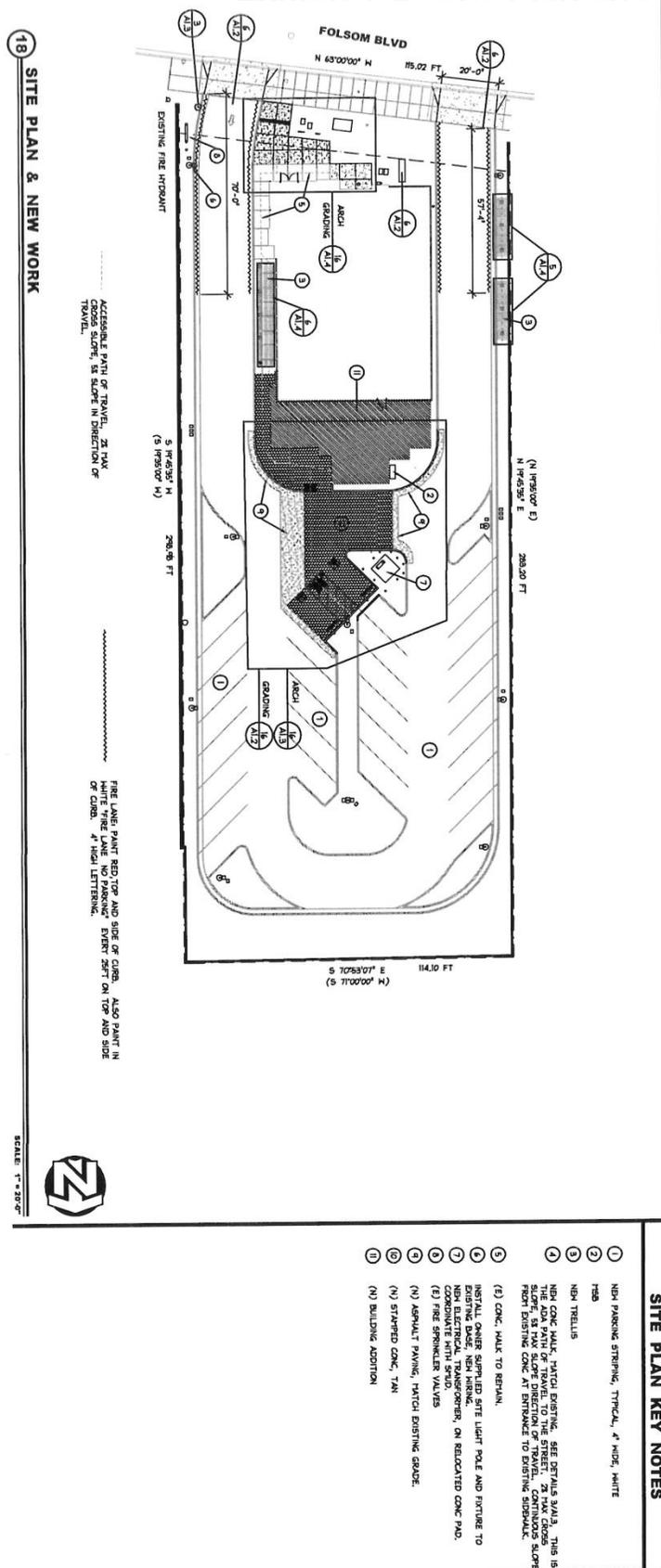
- B10. The applicant shall repair/reconstruct any existing deteriorated portions of the curb, gutter and sidewalk fronting the property along Folsom Boulevard per city standards and to the satisfaction of the Department of Transportation;
- B11. All driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Transportation. Any existing driveways that do not meet current ADA standards shall be reconstructed per City standards and to the satisfaction of the Department of Transportation;
- B12. The site plan shall conform to the parking requirements set forth in chapter 17 of City Code (Zoning Ordinance);

- B13. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Transportation;

Fire Advisories

- a. Provide the required fire hydrants in accordance with CFC 508 and Appendix C, Section C105.
- b. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.
- c. Provide a water flow test. (Make arrangements at the Permit Center walk-in counter: 300 Richards Blvd, Sacramento, CA 95814). CFC 508.4
- d. The furthest projection of the exterior wall of a building shall be accessible from within 150 ft of an approved Fire Department access road and water supply as measured by an unobstructed route around the exterior of the building. (CFC 503.1.1) ***Applicant will mark the first 70' of the east driveway and 60' of the west parking lot "No Parking Fire Lane". This will enable the apparatus to pull in and park and meet this requirement.***
- e. Provide appropriate Knox access for site
- f. Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.
- g. An automatic fire sprinkler system shall be installed in any portion of a building when the floor area of the building exceeds 3,599 square feet.
- h. Locate and identify Fire Department Connections (FDCs) on address side of building no further than 50 feet and no closer than 15 feet from a fire hydrant.

Exhibit 1-B Site Plan and New Work Area



P10-003
Revised 3.24.2010

Exhibit 1-D Landscape Plan

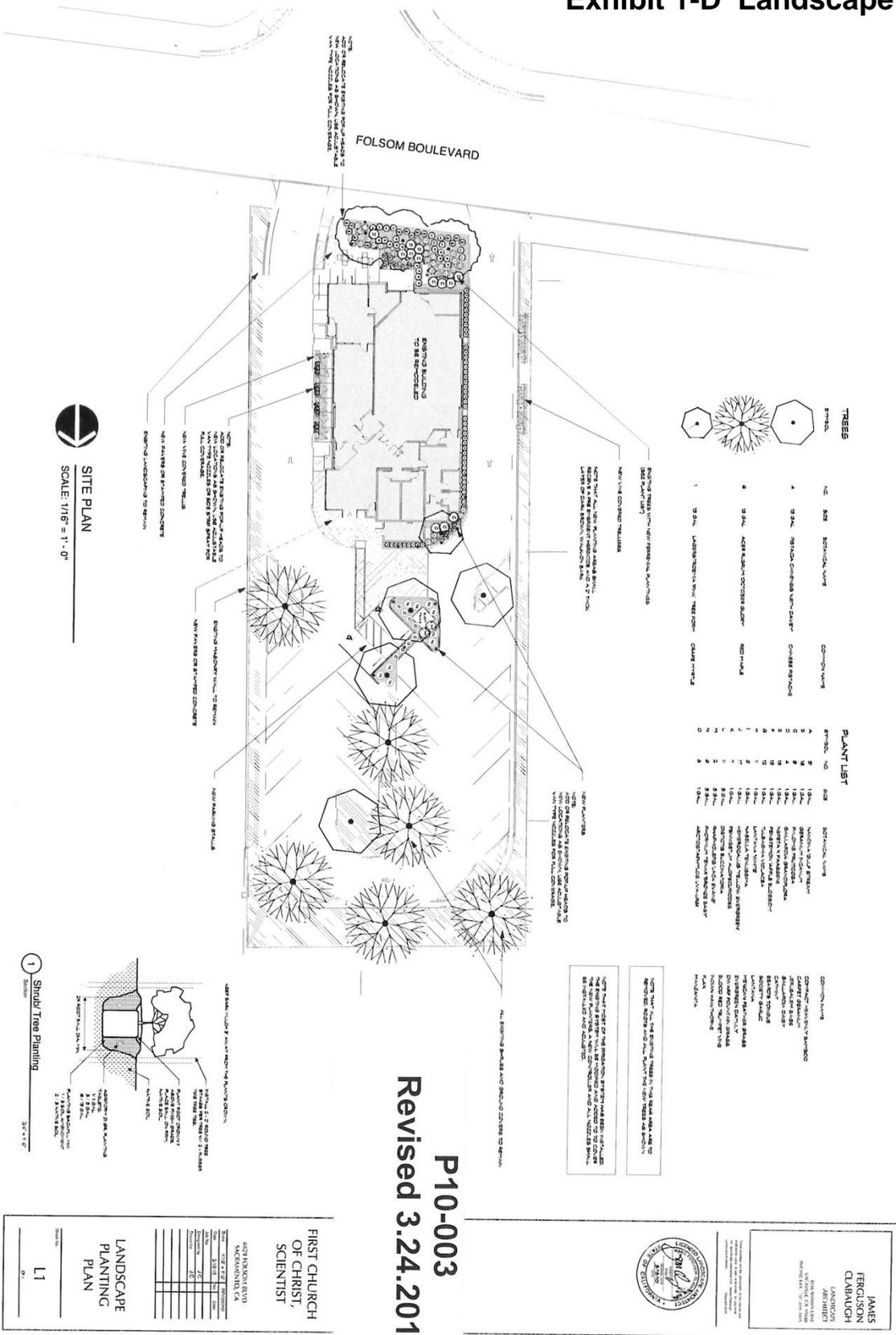
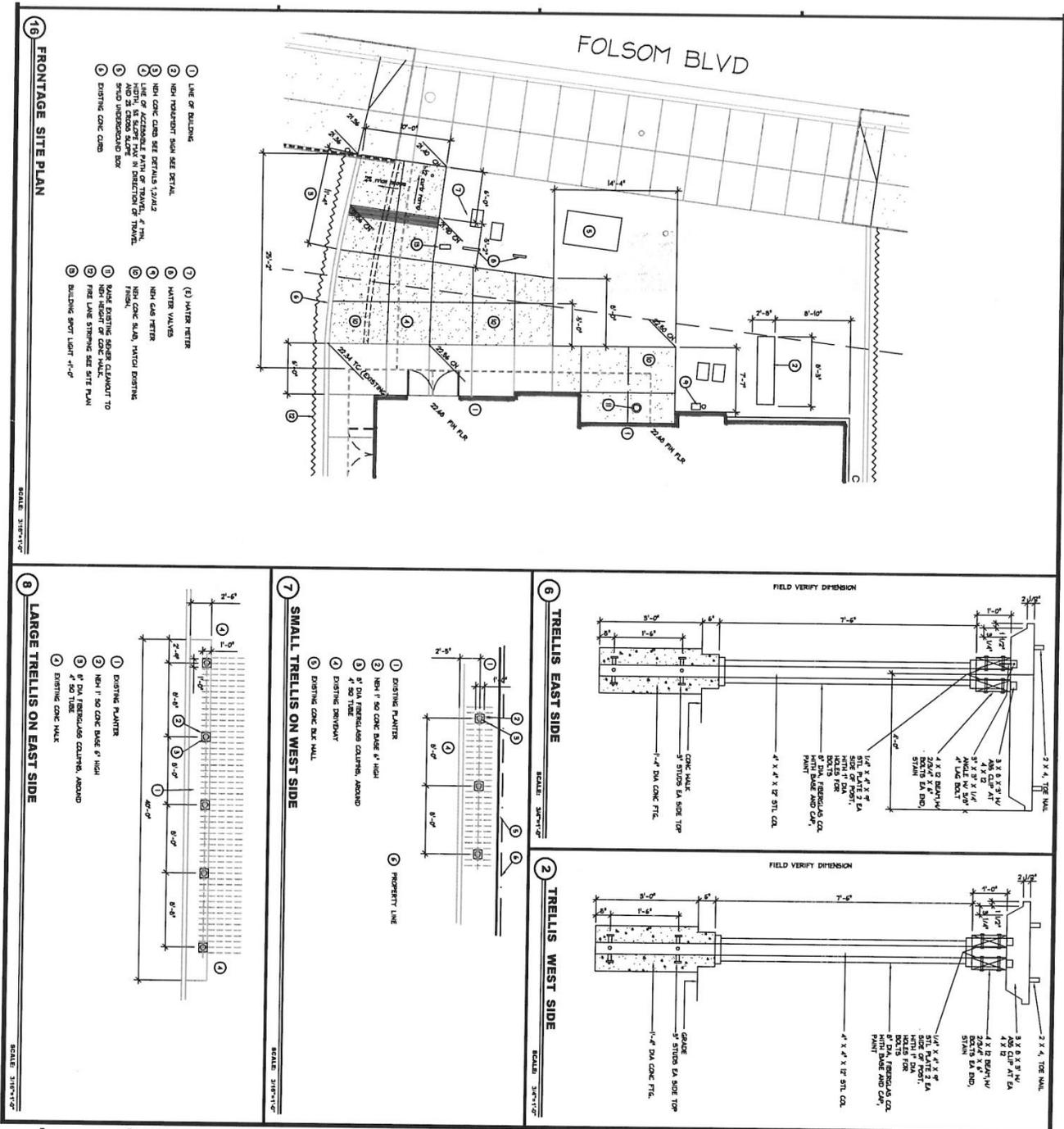


Exhibit 1-E Site Details



K12 Architects, Inc.
Sacramento, CA 95827
PH: 916.455.5480 FAX: 916.455.4100

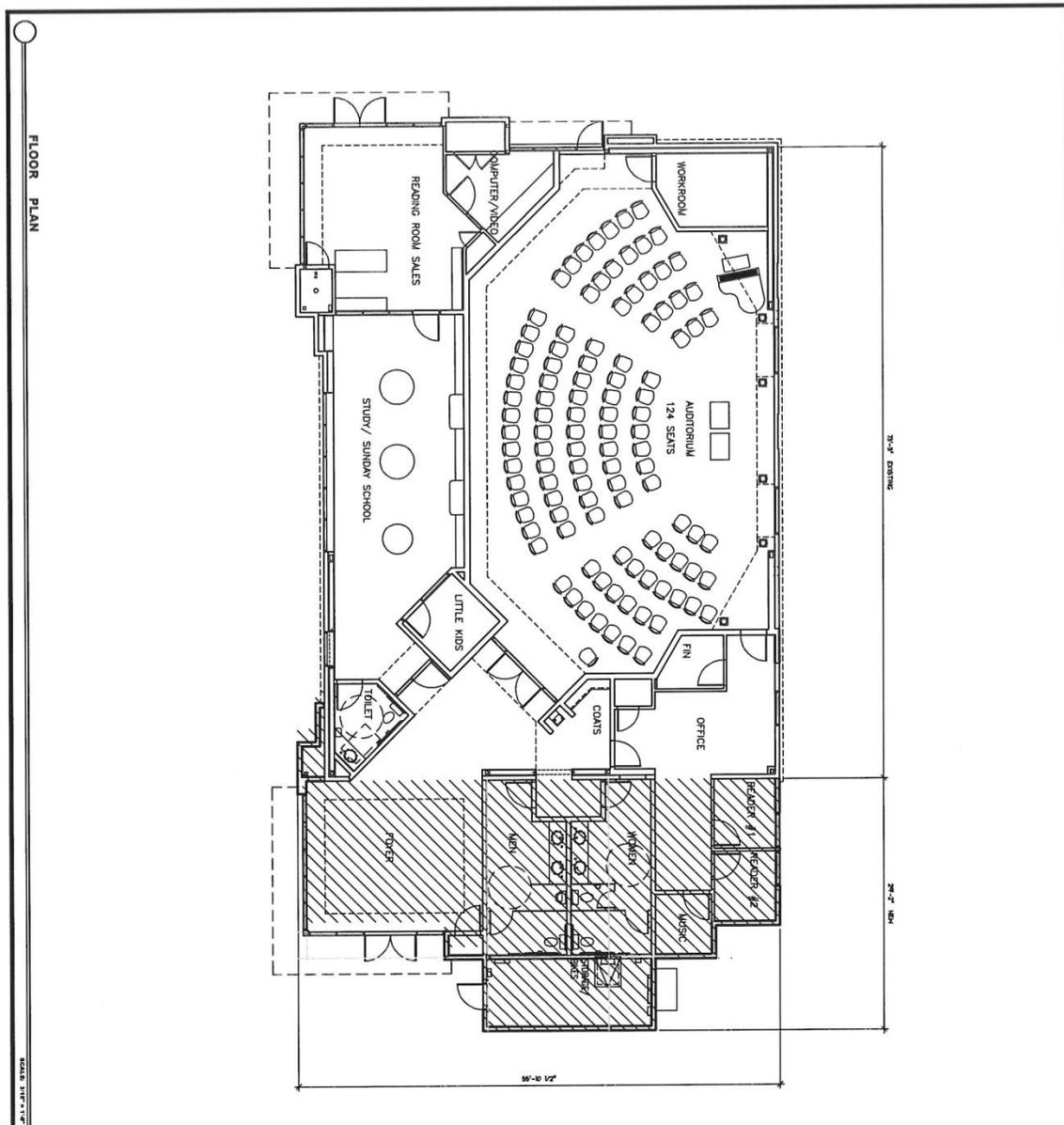
First Church of Christ, Scientist, Scientist
4428 Folsom Boulevard, Sacramento, CA 95819

Architects

104001 PROJECT NUMBER
0322-10 DRAWING NUMBER

A1.4 SITE DETAILS

Exhibit 1-F Floor Plan



P10-003
Revised 3.24.2010



10-001 | 01-13-10

FLOOR PLAN

A2.1

**4829 Polkman Boulevard,
Sacramento CA 95819**

FIRST CHURCH OF CHRIST, SCIENTIST



Architects
K12 Architects, Inc.
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SACRAMENTO, CA 95819
PH: 916.442.8888
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Exhibit 1-G Elevations-South and East

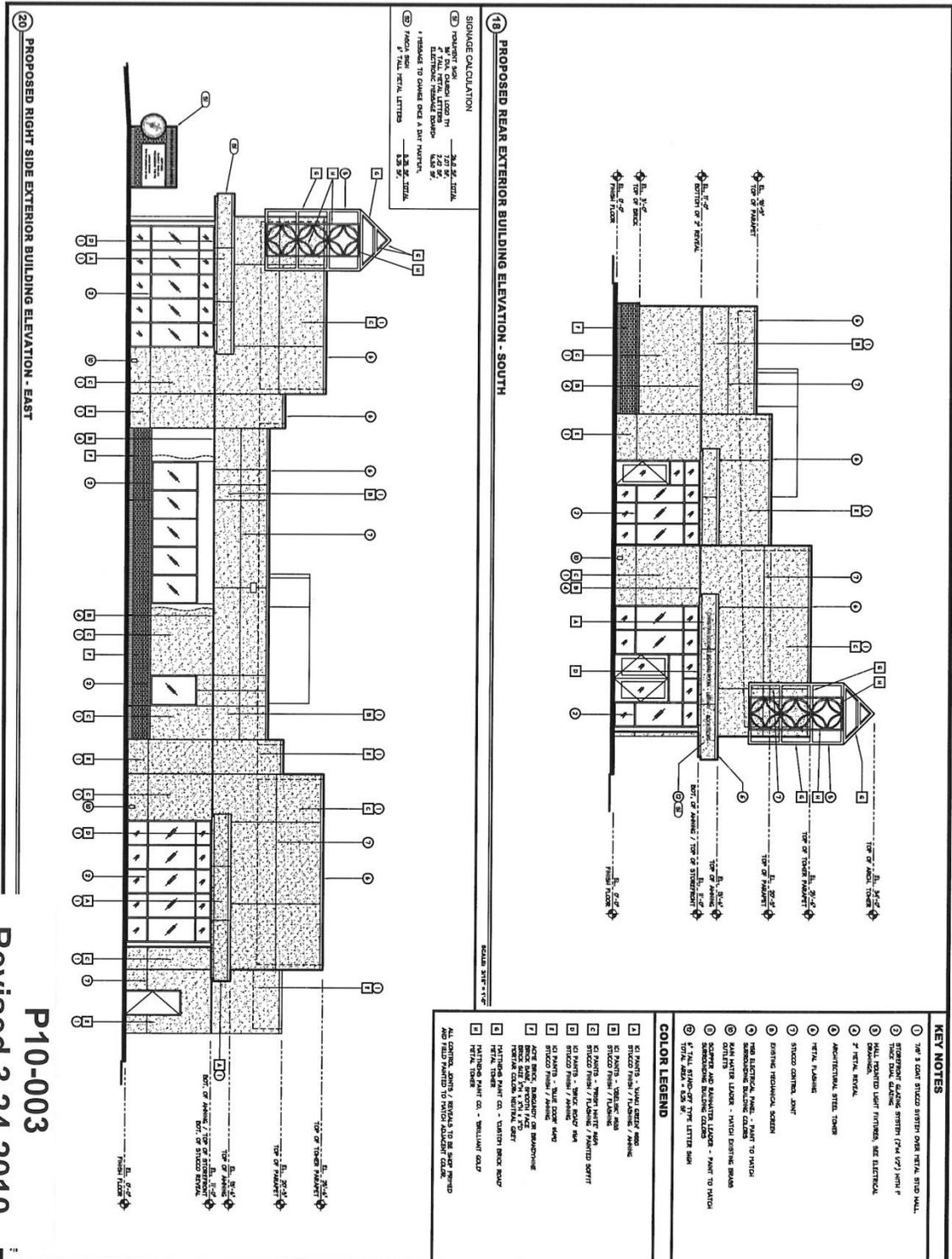
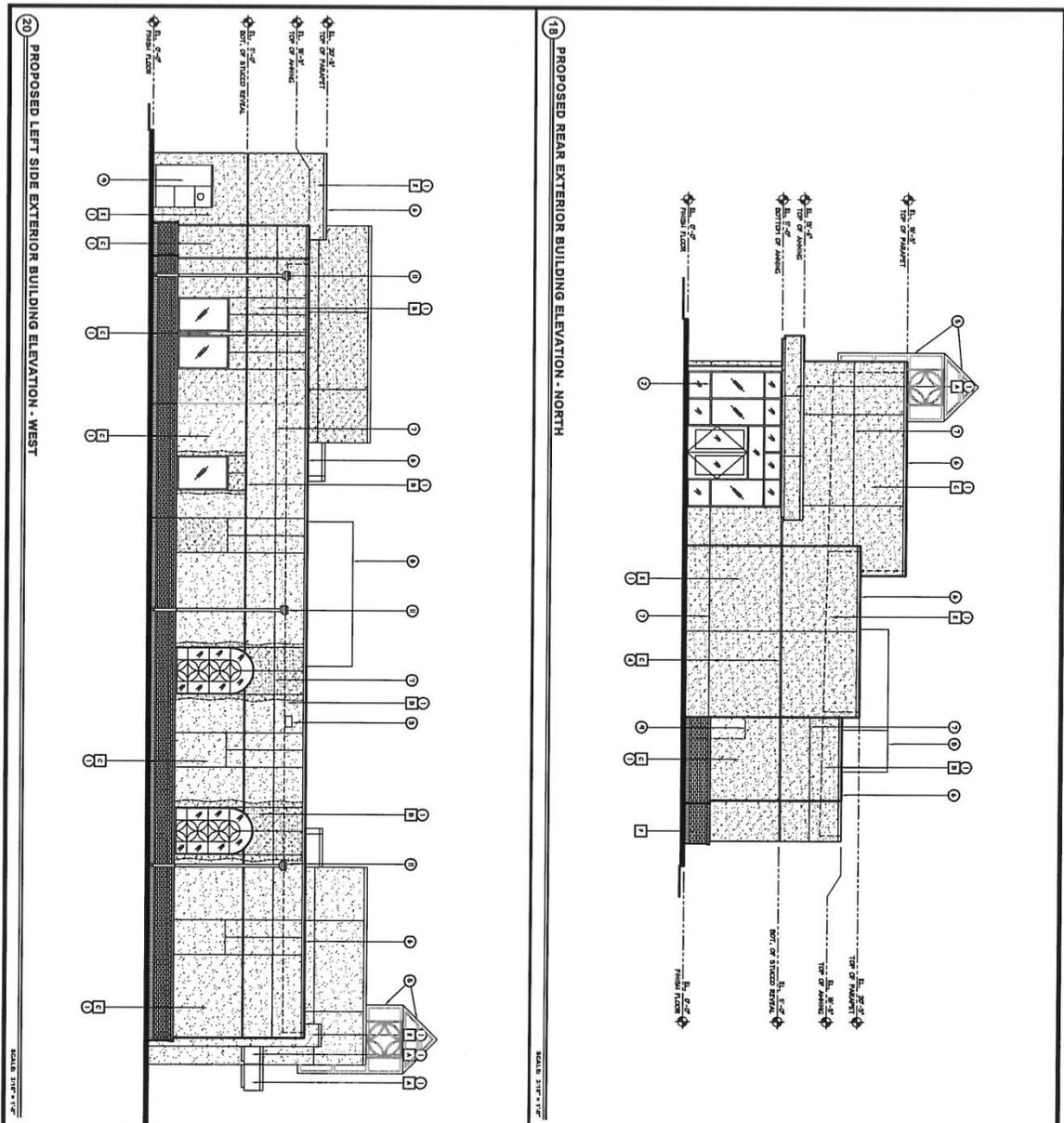


Exhibit 1-H Elevations-North and West



P10-003
Revised 3.24.2010

- KEY NOTES**
- 1 7/8" GOLF STUCCO SYSTEM OVER METAL STUD WALL.
 - 2 STUCCO OVER 1/2" GYP BOARD (7/8" GYP BOARD).
 - 3 1/2" INSULATED LIGHT INSULATION, SEE ELECTRICAL SCHEDULE.
 - 4 2" METAL REVEAL.
 - 5 ARCHITECTURAL STEEL TONGUE - SECTION.
 - 6 METAL FLASHING.
 - 7 STUCCO CONTROL JOINT.
 - 8 EXTERIOR THERMOPLASTIC SCREEN.
 - 9 1/2" INSULATED LIGHT INSULATION, SEE ELECTRICAL SCHEDULE.
 - 10 1/2" METAL REVEAL.
 - 11 SCAFFOLD AND MAINTENANCE LADDERS - PAINT TO MATCH SURROUNDING BUILDING COLORS.

- COLOR LEGEND**
- 1 G1 PAINTS - VARIOUS COLORS AND FINISHES.
 - 2 G2 PAINTS - VARIOUS COLORS AND FINISHES.
 - 3 G3 PAINTS - VARIOUS COLORS AND FINISHES.
 - 4 G4 PAINTS - VARIOUS COLORS AND FINISHES.
 - 5 G5 PAINTS - VARIOUS COLORS AND FINISHES.
 - 6 G6 PAINTS - VARIOUS COLORS AND FINISHES.
 - 7 G7 PAINTS - VARIOUS COLORS AND FINISHES.
 - 8 G8 PAINTS - VARIOUS COLORS AND FINISHES.
 - 9 G9 PAINTS - VARIOUS COLORS AND FINISHES.
 - 10 G10 PAINTS - VARIOUS COLORS AND FINISHES.
 - 11 G11 PAINTS - VARIOUS COLORS AND FINISHES.
 - 12 G12 PAINTS - VARIOUS COLORS AND FINISHES.
 - 13 G13 PAINTS - VARIOUS COLORS AND FINISHES.
 - 14 G14 PAINTS - VARIOUS COLORS AND FINISHES.
 - 15 G15 PAINTS - VARIOUS COLORS AND FINISHES.
 - 16 G16 PAINTS - VARIOUS COLORS AND FINISHES.
 - 17 G17 PAINTS - VARIOUS COLORS AND FINISHES.
 - 18 G18 PAINTS - VARIOUS COLORS AND FINISHES.
 - 19 G19 PAINTS - VARIOUS COLORS AND FINISHES.
 - 20 G20 PAINTS - VARIOUS COLORS AND FINISHES.



10-001 01-13-10

EXTENSION BUILDING ELEVATIONS

A3.2

Architects

K12 Architects, Inc.

San Francisco, CA 94107

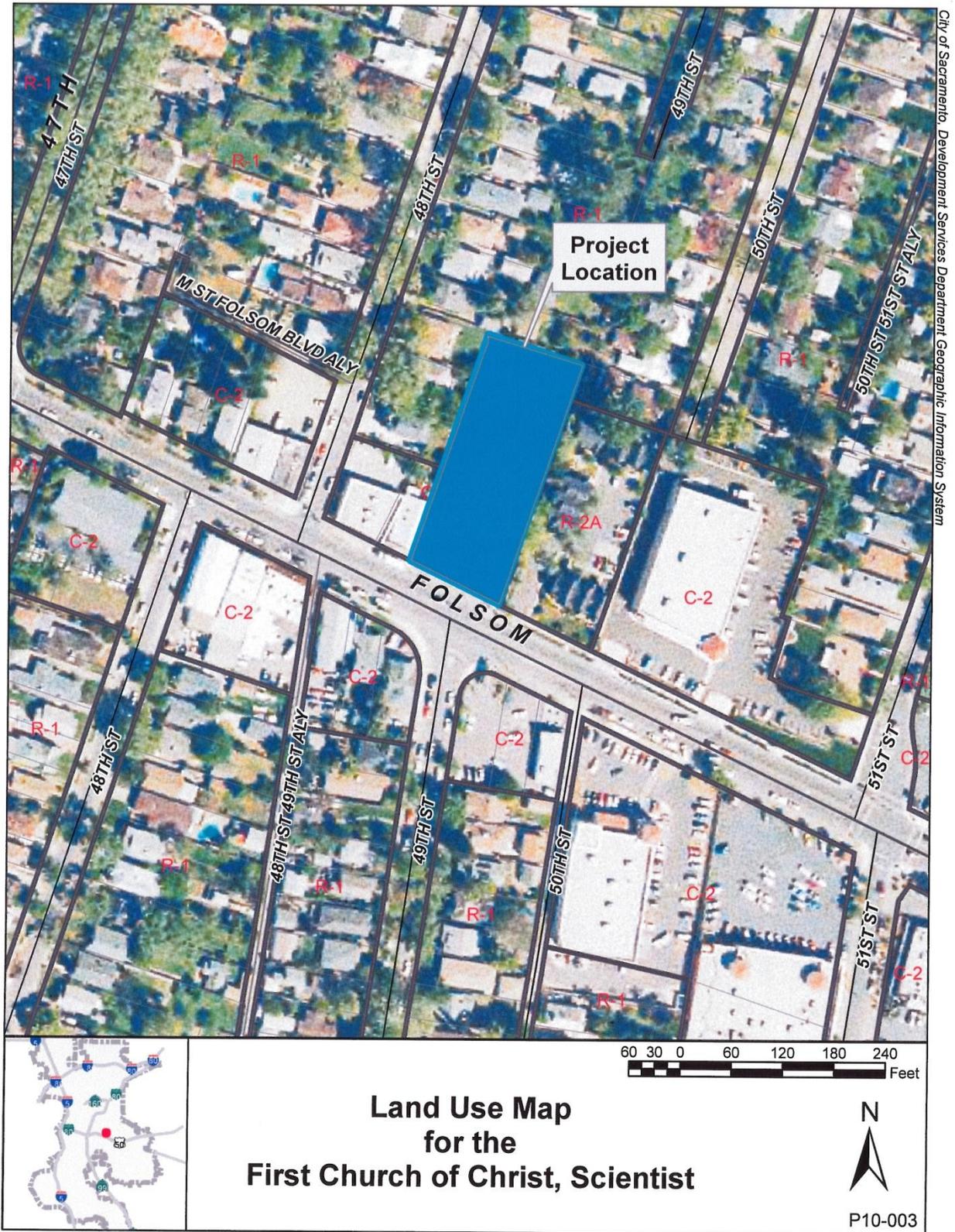
THE PROFESSIONAL CORPORATION

FIRST CHURCH OF CHRIST, SCIENTIST OF SACRAMENTO

4225 Polkman Boulevard

Sacramento, CA 95819

Attachment 2 Land Use and Zoning Map



Attachment 3: List of Matrix Team Members

Department	Contact Person	Telephone	Email
Current Planning	Kimberly Kaufmann-Brisby	808-5590	kkbrisby@cityofsacramento.org
Fire	King Tunson	808-1358	ktunson@sfd.cityofsacramento.org
Development Engineering	Anis Ghobril	808- 5367	aghobril@cityofsacramento.org
Utilities	Mark Dilley	808-1721	mdilley@cityofsacramento.org
Building	John Tang	808-7563	jtang@cityofsacramento.org