



REPORT TO PLANNING COMMISSION City of Sacramento

7

915 I Street, Sacramento, CA 95814-2671

PUBLIC HEARING
March 10, 2011

To: Members of the Planning Commission

Subject: Long Plaza Plan Review (P10-081)

A request to construct a 24,912 square foot commercial complex comprising retail, medical office, and restaurant uses housed in four buildings on approximately 2.56 gross acres in the General Commercial Plan Review Broadway – Stockton Special Planning District (C-2-R-SPD) zone.

- A. Environmental Determination: Categorically Exempt per CEQA Guidelines Section 15332
- B. Plan Review of a proposed 24, 912 square foot commercial complex in the General Commercial Plan Review Broadway – Stockton Special Planning District (C-2-R-SPD) zone

Location/Council District:

6451 Stockton Blvd., Sacramento, CA 95823

Assessor's Parcel Number: 040-0021-047

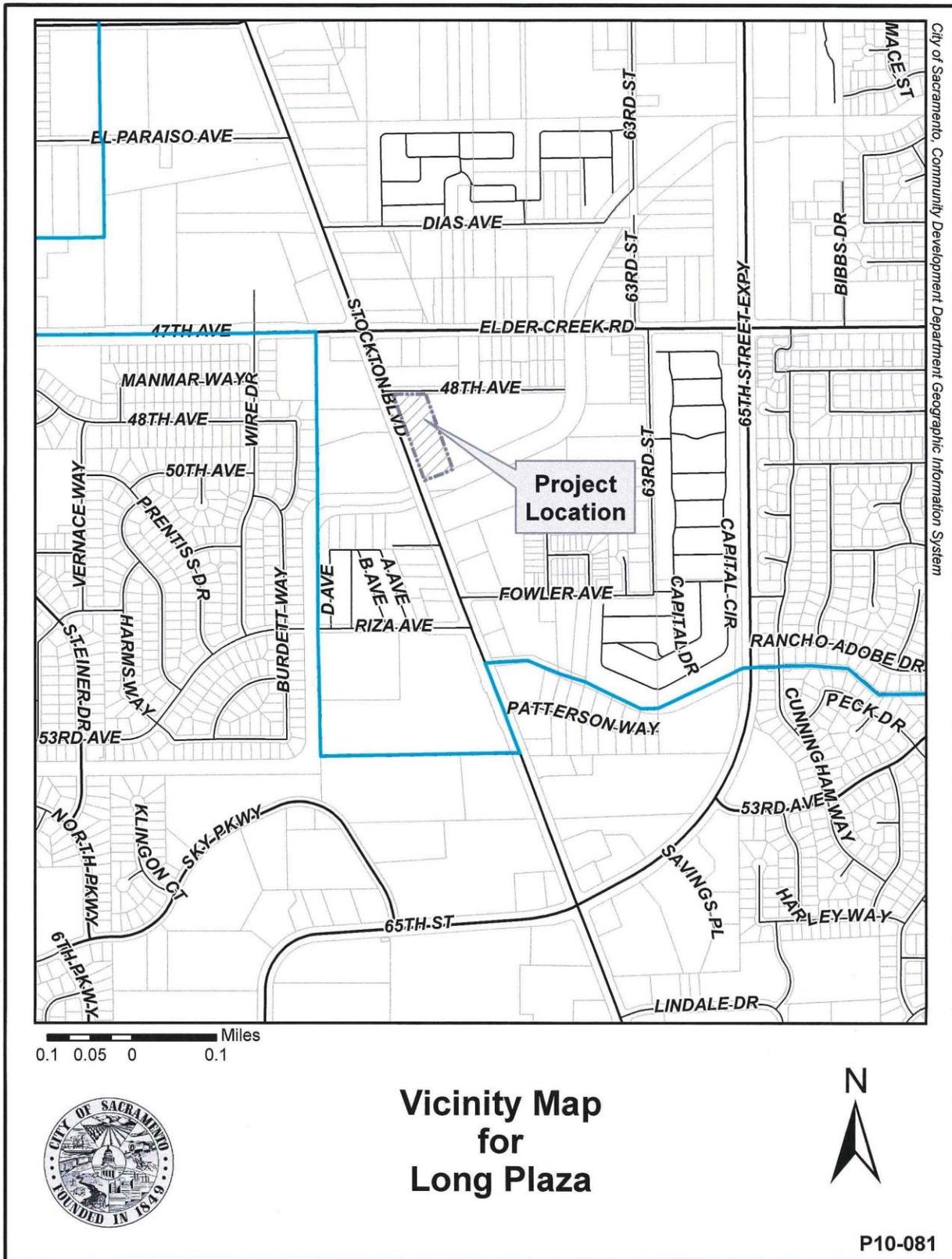
Council District 6

Recommendation: Staff recommends the Commission approve the request based on the findings and subject to the conditions listed in Attachment 1. The Commission has final approval authority over items A and B above and its decision may be appealed to the City Council. **The project is not considered to be controversial.**

Contact: Kimberly Kaufmann-Brisby, Associate Planner, 916-808-5590, Lindsey Alagozian, Senior Planner, 916-808-2659

Applicant: Darryl Chinn, 2612 J Street, #2, Sacramento, CA 95816, 916-761-6956

Owner: Richard Nguyen-Zinfandel Dental Practice, 2001 Zinfandel Dr., Suite B-5, Rancho Cordova, CA 95670



City of Sacramento, Community Development Department Geographic Information System

Summary: The applicant proposes to develop a 2.56 gross acre site with a 24,912 square foot commercial complex comprising four buildings in the General Commercial Plan Review (C-2-R-SPD) zone within the Broadway–Stockton Special Planning District. The project requires a Plan Review, and because it is within the Broadway – Stockton Special Planning District. Design Review is also required. Staff notified all property owners within a 500 foot radius of the project site and received no opposition from the surrounding neighborhood.

Table 1: Project Information
General Plan Land Use designation: Suburban Corridor (SCOR) Floor Area Ratio F.A.R.= 0.25-2.0
Existing zoning of site: General Commercial Plan Review Broadway-Stockton Special Planning District (C-2-R-SPD)
Existing use of site: vacant
Property area: 2.56 gross acres

Background Information: In 1992, entitlements for a 93,551 square foot shopping center were approved (P90-470). In addition to the current site, the vacant 5.89 acre parcel adjacent to and east of this property was included in the approved project. The project was never constructed.

On August 14, 2001, the City Council adopted an ordinance which added the Broadway-Stockton Special Planning District to Title 17 of the City Code (Ord. No. 2001-030). Included in the SPD Guidelines were the Design Guidelines and Design Review requirements for the new special planning district. The purpose of the new district was to help improve the image and competitiveness of the challenged areas by establishing rules and regulations governing development by drawing upon the area's existing assets including historic buildings, landmarks, multi-cultural commerce, medical facilities, and surrounding neighborhoods.

On December 8, 2005, a commercial retail project, nearly identical to the current proposal, was approved by the Planning Commission (P05-020). Because the project site is located in the Broadway – Stockton Special Planning District, the project was also subject to Design Review and on June 1, 2005, the Design Review Board approved the project with conditions (DR05-055).

Subsequent to the Board's approval, the applicant submitted an amended version of the project, which was approved under the same Design Review file number on May 29, 2008, and the approval was extended to May 29, 2011 and the approval was still valid. Because the current project includes amended elevations, the project was subject to additional Design Review. The project underwent staff review and was approved on February 24, 2011. The amended conditions of approval are included as Attachment 3. While the Design Review project was kept active through the various amendments, the planning file was not and the planning file approval expired on December 8, 2008. Additional research revealed no additional entitlements affecting this property.

Public/Neighborhood Outreach and Comments: As part of the application review process, Early Notification project application packets were sent to the Tallac Village Neighborhood Association and the Stockton Boulevard Partnership. In addition, public notification of the Planning Commission hearing was sent to all property owners within a 500' radius of the project and the project site was posted with the public notice. To date, staff has received no inquiries regarding the project.

Environmental Considerations: The Community Development Department, Environmental Planning Services Division has reviewed this project and determined the project is exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15332, In-Fill Development Projects. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, occurs within city limits on a project site of no more than five acres, is substantially surrounded by urban uses and can be adequately served by all required utilities and public services. The project site has no value as habitat for endangered, rare or threatened species and would not result in any significant effects relating to traffic, noise, air quality, or water quality.

Policy Considerations:

The 2030 General Plan land use designation for the site is Suburban Corridor. The proposed commercial land uses of retail, medical office, and restaurant are consistent with the land use designation. Key urban forms envisioned for suburban corridors include: a development pattern with moderate lot coverage and side yard setbacks with buildings sited near the corridor to create a varied but consistent street wall; Building heights ranging between one and four stories; Lot coverage generally not exceeding 50 percent; building facades and entrances directly addressing the street with a high degree of transparency on street-fronting facades; parking limited in front of the building and located to the side or rear of the buildings; attractive streetscape with sidewalks designed to accommodate pedestrian traffic that includes appropriate landscaping, lighting, and pedestrian amenities; public and semi-public outdoor spaces such as plazas, courtyards, and cafes. The Long Plaza project employs many of the urban forms envisioned for the Suburban Corridor land use designation.

The project is within the Broadway–Stockton Special Planning District. The SPD was formed to assist in implementing applicable recommendations of the Broadway/Stockton Urban Design Plan as adopted by the Redevelopment Agency of the City of Sacramento on September 15, 1998 by RA98-043.

Project Design

As noted previously, the Long Plaza project employs many of the urban forms envisioned for the Suburban Corridor land use designation. It has moderate lot coverage and is within the required Floor Area Ratio (F.A.R.) range of 0.25 to 2.0 with a F.A.R. of 0.27. The buildings are designed to address the street with archways connecting the sheltered arcaded areas visually to the street. The buildings are sited

near the street with pedestrian walkways providing pedestrian connectivity from the complex to the street and a majority of parking is located internal to the site. The streetscape has been enhanced with separated sidewalks and landscaped planters.

Land Use

The proposed project is consistent with the 2030 Suburban Corridor land use designation as well as the General Commercial Plan Review Broadway-Stockton Special Planning District (C-2-R-SPD) zone. The proposed retail, medical office, and restaurant uses are consistent with the recommendations made in the Stockton Boulevard Urban Design Plan in that the Urban Design Plan calls for large-lot commercial developments for the section of Stockton Boulevard south of Fruitridge Road and the project's architectural design and execution will activate the street as well as complement and enhance existing development.

Access, Circulation and Parking

Vehicular access to the site is provided at three locations. The design provides adequate access to the site and alleviates possible traffic impacts along Stockton Boulevard by providing a deceleration lane. The proposed right-of-way improvements are consistent with the Stockton Boulevard Streetscape Improvement Plan.

Vehicles may access the site via either the main driveway on Stockton Boulevard or a secondary access at 48th Avenue. Access from Stockton will be limited to right-in/right-out movements with a second driveway, dedicated for exit only, off Stockton at the southwest corner of the property. The driveway access on 48th Avenue will allow unrestricted ingress and egress movements.

The applicant proposes to develop a 2.56 gross acre site with a four building, 24,912 sq. ft. commercial complex in the General Commercial Plan Review (C-2-R-SPD) zone within the Broadway –Stockton Special Planning District. Any development of properties with an –R designation associated with the zoning requires the review and approval of a Plan Review in accordance with Chapter 17.220 of the City Code.

Table 2: Parking			
Use	Required Parking	Proposed Parking	Difference
Total Retail: 18,342 sq.ft. 1 sp./400 sq.ft. 9,600 sq.ft. bldg. area plus 1 sp. / 250 sq.ft. for additional bldg. area	24 sp. For 9,600 sq.ft. plus 35 sp for remaining 8,742 sq.ft. 59 spaces	59 spaces	0
Restaurant 1 sp/3 seats	61 seats = 20 spaces	20 spaces	0
Medical Office 1,605 sq.ft.	1 sp/200 sq.ft.= 8 spaces	8 spaces	0

Table 2a: Bicycle Parking			
Total parking provided	Required bicycle parking	Provided bicycle parking	Difference
87 spaces	4 2 Class I, 2 Class I, II, or III	0	4

The applicant has indicated a bicycle rack and two bicycle lockers will be placed in the plaza area between buildings A and B at the northern half of the project. The project is conditioned to provide a revised Site Plan with the locker and rack locations to staff for review and approval prior to submitting to the Building division for plan check review.

Height, Bulk and Setbacks

Table 3: Height and area standards			
Standard	Allowed/Required	Proposed	Deviation?
Height	45'	23'	no
Front setback	0'	20'	no
Side setback	No requirement	24'	no
Street side setback	No requirement	20'	no
Rear setback	20'	20'	no
Courtyard	n/a	n/a	n/a
Lot coverage	na	na	na
Floor Area Ratio	0.25-2.0	0.27	no

As indicated above, the project meets or exceeds all applicable height and area requirements.

Building design, signage and landscaping

An eclectic Spanish style architectural design is proposed which includes low pitched gable roofs, wrought-iron decorative elements, prominent arched and covered arcades. The facades include large display windows and roof overhangs which serve to create visual interest along the street-facing facades.

The Long Plaza project design employs many of the urban forms envisioned for the Suburban Corridor land use designation. It has moderate lot coverage and is within the required Floor Area Ratio (F.A.R.) range of 0.25 to 2.0 with a F.A.R. of 0.27. Because the project site is bisected by a 100' wide utility easement and the easement has a high tension lattice tower located in the middle the opportunities for landscaping are varied. The applicant has addressed the tower with screening landscaping as much as feasible and has provided the required 50 percent shading for the parking lot.

No signage is proposed with this project review but the project will be required to submit any proposed signage design to Design Review for review and approval prior to submitting a sign application to the Building division. Any signage will also be required to comply with the Broadway-Stockton Special Planning District Design Review requirements.

The Plan Review allows for the review of a proposed development plan to ensure, among other things, the proposed development is consistent with the general plan and any applicable community or specific plans; the utilities and infrastructure are sufficient to support the proposed development and are compatible with city standards; and the proposed development is compatible with surrounding development per Section 17.220.010 of the Zoning Code.

In approving the proposed development the following findings must be made:

1. The proposed development, including but not limited to the density of a proposed residential development, is consistent with the general plan and any applicable community or specific plan.

The proposed commercial development is a commercial use consistent with the Suburban Corridor land use designation, the Floor Area Ratio, and applicable policies associated with the Broadway –Stockton Special Planning District as well as with the Broadway/Stockton Urban Design Plan.

2. Facilities, including utilities, access roads, sanitation and drainage are adequate and consistent with city standards, and the proposed improvements are properly related to existing and proposed streets and highways.

Staff have reviewed the proposal and found it to comply with all applicable city policies related to facilities and infrastructure, and have included conditions to ensure adequate drainage capacity and street frontage improvements.

3. The property involved is of adequate size and shape to accommodate the proposed use and required yard, building coverage, setback, parking area and other requirements of this title.

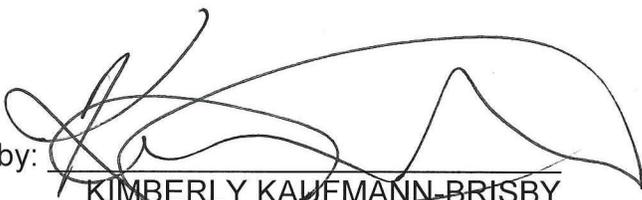
The design of the project complies with applicable setback, lot coverage, density, height and parking regulations. Conditions have been added to ensure compliance with landscaping requirements.

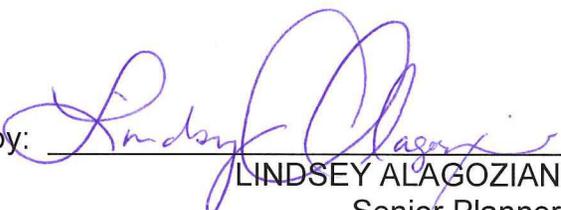
4. Approval of the plan review will not be contrary to the public health or safety or injurious to the property or improvements of adjacent properties.

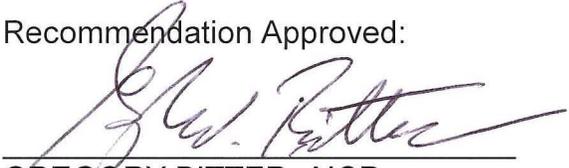
The project design, both site and architectural, is consistent with the Broadway/Stockton Special Planning District design criteria which were established to help improve the image and competitiveness of the areas by establishing design criteria governing development. By maintaining landscaping at appropriate heights, screening project lighting from adjacent streets, providing ongoing property maintenance, and the construction of a decorative masonry wall separating the commercial use from the vacant residentially zoned property to the east the proposal will comply with safety standards and will not pose a threat to the public health nor be injurious to the surrounding area.

Conclusion:

The commercial development is consistent with the 2030 General Plan and the Broadway-Stockton SPD and based on its design will be a positive contribution to a challenged commercial corridor staff is in support of the proposal and recommends the Commission approve items A and B.

Respectfully submitted by: 
KIMBERLY KAUFMANN-BRISBY
Associate Planner

Approved by: 
LINDSEY ALAGOZIAN
Senior Planner

Recommendation Approved:

GREGORY BITTER, AICP
Principal Planner

- Attachments:
- Pg 10 Attachment 1 - Recommended Findings of Fact and Conditions of Approval
 - Pg 2 Vicinity Map
 - Pg 19 Exhibit A – Site Plan
 - Pg 20 Exhibit B – Landscape Plan
 - Pg 21 Exhibit C – Building A – Floor Plan
 - Pg 22 Exhibit D – Building A - Elevations
 - Pg 23 Exhibit E – Building B – Floor Plan
 - Pg 24 Exhibit F – Building B –Elevations
 - Pg 25 Exhibit G - Building C – Floor Plan
 - Pg 26 Exhibit H - Building C –Elevations
 - Pg 27 Exhibit I - Building D – Floor Plan and Elevations
 - Pg 28 Attachment 2 - Design Review Staff Report
 - Pg 31 Attachment 3 – Land Use and Zoning Map

Attachment 1
Proposed Findings of Fact and Conditions of Approval
Long Plaza Plan Review (P10-081)
6451 Stockton Boulevard

Findings Of Fact

A. Environmental Determination: Exemption-Infill

Based on the determination and recommendation of the City's Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the Project, the Planning Commission finds that the Project is exempt from review under Section 15332 (Infill) of the California Environmental Quality Act Guidelines as follows:

1. The project complies with all applicable policies of the General Plan, as well as with the applicable zoning regulations;
2. The proposed development occurs within City limits on a project site of no more than five (5) acres substantially surrounded by urban uses;
3. The project site has no value as habitat for endangered, rare or threatened species;
4. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
5. The site can be adequately served by all required utilities and public services.

B. The Plan Review of a proposed 24, 912 square foot commercial complex in the General Commercial Plan Review Broadway – Stockton Special Planning District (C-2-R-SPD) zone is approved subject to the following Findings of Fact and Conditions of Approval:

1. The proposed development, including but not limited to the density of a proposed residential development, is consistent with the general plan and any applicable community or specific plan in that the proposed commercial development is a commercial use consistent with the Suburban Corridor land use designation, the Floor Area Ratio, and applicable policies associated with the Broadway – Stockton Special Planning District as well as with the Broadway/Stockton Urban Design Plan.
2. Facilities, including utilities, access roads, sanitation and drainage are adequate and consistent with city standards, and the proposed improvements are properly related to existing and proposed streets and highways in that staff have reviewed the proposal and found it to comply with all applicable city policies related to

facilities and infrastructure, and have included conditions to ensure adequate drainage capacity and street frontage improvements.

3. The property involved is of adequate size and shape to accommodate the proposed use and required yard, building coverage, setback, parking area and other requirements of this title in that the design of the project complies with applicable setback, lot coverage, density, height and parking regulations. Conditions have been added to ensure compliance with landscaping requirements.
4. Approval of the plan review will not be contrary to the public health or safety or injurious to the property or improvements of adjacent properties in that the project design, both site and architectural, is consistent with the Broadway/Stockton Special Planning District design criteria which were established to help improve the image and competitiveness of the areas by establishing design criteria governing development. By maintaining landscaping at appropriate heights, screening project lighting from adjacent streets, providing ongoing property maintenance, and the construction of a decorative masonry wall separating the commercial use from the vacant residentially zoned property to the east the proposal will comply with safety standards and will not pose a threat to the public health nor be injurious to the surrounding area.

Conditions Of Approval

The **Plan Review** of a proposed 24, 912 square foot commercial complex in the General Commercial Plan Review Broadway – Stockton Special Planning District (C-2-R-SPD) zone is hereby approved subject to the following conditions:

Current Planning General Conditions:

1. The applicant shall obtain all necessary building permits prior to commencing construction.
2. The project shall substantially conform to the approved plans as shown on the attached exhibits and as conditioned to revise (**Exhibits A through I**). Any modification to the project shall be subject to review and approval by Planning staff (and may require additional entitlements) prior to the issuance of building permits.
3. All mechanical equipment shall be screened. All rooftop mechanical and communications equipment shall be completely screened from view from public streets and the adjacent residences by the building parapet, and/or architectural projections that are integral to the building design.
4. The applicant shall paint electrical meters/cabinets, telephone connection boxes,

and other utility appurtenances to match the building to which they are attached.

5. A specially stamped pedestrian pathway providing connectivity throughout the interior of the project site shall be provided. The Site and Landscape plans shall include the pathway.
6. The applicant/developer shall provide a Master Signage Program complete with graphics and text outlining the specific signage criteria for the Long Plaza project as a whole. The developer should initiate the signage review early in the plan review process.
7. Continuous 6" high, 6" wide concrete curbing shall be provided around all planter areas within or adjacent to parking areas and driveways.
8. Landscaping shall be provided, as allowed, to screen ground-mounted mechanical equipment, backflow preventors, transformers, and other similar appurtenances to the satisfaction of the Planning Director.
9. Adequate spacing shall be provided between the trees to allow the trees to obtain full maturity growth potential. All landscaped area soil surfaces shall be covered with living drought tolerant groundcover within two years of installation. If groundcover is contraindicated beneath the trees a covering 6" deep with mulch shall be applied and maintained in perpetuity beneath and around the trees to an average diameter of six feet around the base of each tree.
10. The project shall comply with the fifty percent shading requirement (Section 17.64.030(H) of the Zoning Code) for all parking and maneuvering areas, be fully automatically irrigated and landscape with a mix of at least six different (minimum 15 gallon size) tree types (genera), from the City's approved tree list, throughout the required shading area (staff recommends the landscaping plan include no more than 20 percent oak trees). All planter soil surfaces shall be covered with living groundcover within two years of installation unless contraindicated by the Urban Forest staff. All "finger planters" must maintain a minimum inside width dimension (without curb) of 6-feet, be fully automatically irrigated, and enclosed with 6" concrete curbing on all sides.
11. Details of the outdoor furniture and accessories shall be provided the planning director for review and approval prior to the issuance of building permits. For example, trash containers and metal benches, bicycle racks, to name some but not all outdoor furniture and accessories. All outdoor furniture shall be installed prior to the issuance of any certificate of occupancy.
12. The owner/operator/owner's association shall maintain the grounds and landscaped areas in a clean, weed free and groomed manner. Landscaping shall be replaced with live, healthy plants, trees and turf as needed if original landscaping dies;

13. All landscaping shall be maintained so that ground cover plants and shrubs do not exceed a maximum height of thirty inches (30") except where climbing vines are indicated; and tree limbs shall be trimmed (at maturity) so that they hang no lower than six feet (6') above grade level at maturity.

Fencing:

14. The placement of walls, gates/openings, fencing and the vehicular access points shall conform to the site plan. Any modifications may require additional staff review and/or a Plan Review modification.
15. Prior to the issuance of building permits, details of the 6' tall solid decorative masonry wall, shall be submitted to the planning director for review and approval prior to construction. Construction of the wall shall occur simultaneous with the overall project construction. The decorative masonry wall shall be interrupted at regular intervals by column/pilasters topped with pre-cast concrete caps shall be constructed at a maximum spacing of 50' – 75' along the entirety of the walls along all portions of the site adjacent to the residential uses or zones.

Trash enclosures:

16. Trash enclosures shall be constructed of concrete block or similar masonry material and finished with stucco that is compatible in color and texture to the buildings' facades;
17. The trash enclosures shall be screened with landscaping, including a combination of shrubs and/or climbing evergreen vines and the landscaping shall be automatically irrigated.

Exterior Lighting:

18. Lighting fixtures shall be of a high quality decorative design, having a color and style, which is compatible with the building architecture, as determined by the Planning Director.
19. Lighting shall be designed so as not to produce hazardous and/or annoying glare to motorists and building occupants, adjacent residents, or the general public.
20. Each building address number shall be illuminated;
21. The height of pole mounted light fixtures shall be a mix of fixtures between 14' and 18' in height. No more than 50 percent of the light fixtures shall be 18' in height and no less than 50 percent of the fixtures shall be 14' in height.
22. Adequate overall exterior site lighting shall be installed and shall be coordinated with the landscaping plan so there is minimal interference between the light standards and required illumination and the trees and required shading. Project

lighting shall be provided as follows: 1.5 foot-candles of minimum maintained illumination per square foot of parking space during business hours and .25 foot-candles of minimum maintained illumination per square foot of surface on any walkway, alcove, passageway, etcetera, from one-half hour before dusk to one-half hour after dawn. All light fixtures are to be vandal-resistant. On-site lighting shall be shielded from adjacent parcels and the street so the on-site illumination will not shine on to, or impact the adjacent residential properties or the street.

Parking:

23. Parking design shall be provided as required by the Zoning Ordinance. A minimum of 87 parking spaces shall be provided, including the required number of ADA accessible spaces.
24. Prior to the issuance of the Certificate of Occupancy, the applicant shall revise the Site and Landscaping plans to include four bicycle parking spaces and submit the revised plans to the planning director for review and approval. Two (50 percent) of the spaces must be Class I and two shall be either Class I, II, or III. The bicycle parking spaces shall be placed in secure, well lit areas near building entrances and shall be installed prior to the issuance of the Certificate of Occupancy for the building by which the parking spaces will be added.

Signage:

25. The applicant shall submit a Master Signage Program for all project signage for the site including but not limited to monument signs, entry signs, building identification and address signs, trash enclosure signs, and directional signage prior to the issuance of any sign permits. The sign program shall be reviewed by both the Planning and Building divisions for conformance and compatibility with the project.
26. All signage shall comply with the City of Sacramento's Sign Ordinance and is subject to the Broadway-Stockton SPD Design Review staff approval.
27. No monument sign shall exceed 8' in height. All monument signs shall be ten feet away from the ultimate right-of-way and property line as well as out of the line of sight triangle as defined by the Development Engineering Division.

Department of Transportation-Development Engineering Division

28. Construct standard improvements as noted in these conditions pursuant to chapter 18 of the City Code. Improvements shall be designed and constructed to City standards in place at the time that the Building Permit is issued. All improvements shall be designed and constructed to the satisfaction of the Department of Transportation. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall

include street lighting and the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk per City standards to the satisfaction of the Department of Transportation;

29. Dedicate sufficient right-of-way and construct full frontage improvements on Stockton Boulevard to be consistent with the City's 4-lane arterial standards. The construction of these improvements shall include any needed street lights and shall be to the satisfaction of the Department of Transportation;
30. The applicant shall construct a right turn lane at the main driveway along Stockton Boulevard to the satisfaction of the Department of Transportation;
31. The applicant shall provide all appropriate signage and markings at the southern most driveway to indicate an **out only** driveway to the satisfaction of the Department of Transportation;
32. The applicant shall dedicate sufficient right-of-way and construct full frontage improvements along 48th Avenue to be consistent with the City's Local Commercial street section (59-foot right-of-way). The construction of 48th Avenue shall include any needed street lights and shall be to the satisfaction of the Department of Transportation;
33. The site plan shall conform to A.D.A. requirements in all respects. This shall include the construction of ADA compliant ramps at the south-east corner of Stockton Boulevard and 48th Avenue intersection to the satisfaction of the Department of Transportation;
34. The site plan shall conform to the parking requirements set forth in chapter 17 of City Code (Zoning Ordinance);
35. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Transportation;

Department of Utilities-Solid Waste Advisories

- a. Project must meet the requirements outlined in Sacramento City Code Chapter 17.72
- b. Solid waste trucks must be able to safely move about the property, with minimum backing, and be able to empty the bins and cans safely.

- c. All commercial properties in this project (i.e., all businesses) must have solid waste services, but are not required to use City of Sacramento Solid Waste Services.
- d. Solid waste driver must not have to move front-loader bins more than 15 ft. for collection.
- e. The trash enclosures for each commercial property must have enough weekly capacity of both trash and recycling to meet the requirements for the project of 4 cubic yards for trash, and another 4 cubic yards of recycling.

Department of Utilities:

The following are conditions for the Plan Review that shall be approved by the Department of Utilities prior to issuance of a building permit:

- 36. Only one domestic water service per parcel is allowed. Any new domestic water services shall be metered. Excess domestic water services must be abandoned to the satisfaction of the Department of Utilities (DOU). In the future, if the applicant intends to further subdivide this parcel, then DOU suggests multiple domestic taps per DOU's commercial tap policy. Prior to design, contact the DOU regarding this issue (808-1427).
- 37. Per Sacramento City Code, water meters shall be located at the point of service which is the back of curb for separated sidewalks or the back of walk for connected sidewalk.
- 38. Each parcel shall have a separate street tap for a metered irrigation service.
- 39. Multiple fire services are allowed per parcel and may be required.
- 40. The proposed development is located within Sacramento Area Sewer District (SASD). Satisfy all SASD requirements.
- 41. Properly abandon under permit, from the City and County Environmental Health Division, any well or septic system located on the property.
- 42. Prior to submittal of improvement plans, a drainage study and shed map as described in Section 11.7 of the City Design and Procedures Manual is required. This study and shed map shall be approved by the Department of Utilities. Finished building pad elevations shall be a minimum of 1.20 feet above the 100-year HGL and shall be approved by the Department of Utilities. Sufficient off-site and on-site spot elevations shall be provided in the drainage study to determine the direction of storm drain runoff. The drainage study shall include an overland flow release map for the proposed project. Lot pad elevations shall be a minimum of 1.5 feet above the controlling overland release elevation. Note: the site is located within Drainage Shed G258, which is drained by gravity flow to Morrison Creek.

43. An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual). Prior to discharge to the public drainage system in 48th Street, the on-site drainage shall be treated using stormwater quality control measures.
44. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.
45. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.
46. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since the project is not served by a regional water quality control facility and is greater than 1 acre, both source controls and on-site treatment control measures are required. On-site treatment control measures may affect site design and site configuration and therefore, should be considered during the early planning stages. Improvement plans must include on-site treatment control measures. Refer to the "Guidance Manual for On-site Stormwater Quality Control Measures" dated January 2000 for appropriate source control measures and on-site treatment control measures.
47. This project will disturb greater than 1 acre of property, therefore the project is required to comply with the State "NPDES General Permit for Stormwater Discharges Associated with Construction Activity" (State Permit). To comply with the State Permit, the applicant will need to file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Stormwater Pollution Prevention Plan (SWPPP) prior to construction. A copy of the State Permit and NOI may be obtained at www.swrcb.ca.gov/stormwtr/construction.html. The SWPPP will be reviewed by the Department of Utilities prior to issuing a grading permit or approval of improvement plans to assure the following items are included: 1) vicinity map, 2) site map, 3) list of potential pollutant sources, 4) type and location of erosion and sediment BMPs, 5) name and phone number of person responsible for SWPPP, 6) certification by property owner or authorized representative.

Advisory Notes

- a. Many projects within the City of Sacramento require booster pumps for fire suppression and domestic water system. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the fire suppression and domestic water systems.

- b. The proposed project is located in the Flood zone designated as an Shaded X zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) that have been revised by a letter of Map Revision effective February 18, 2005. Within the Shaded X zone, there are no requirements to elevate or flood proof.

Exhibit A – Site Plan

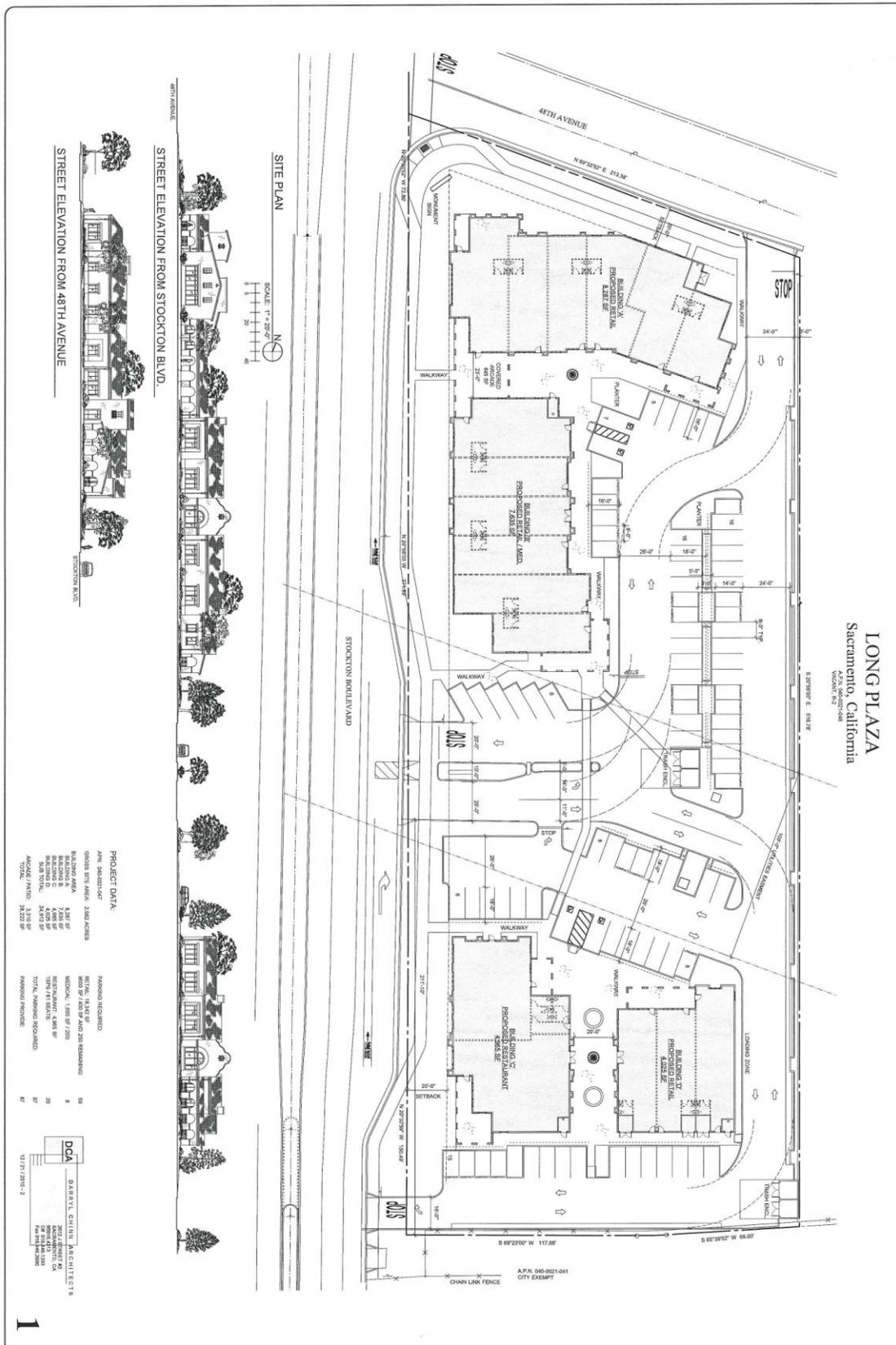


Exhibit B – Landscape Plan

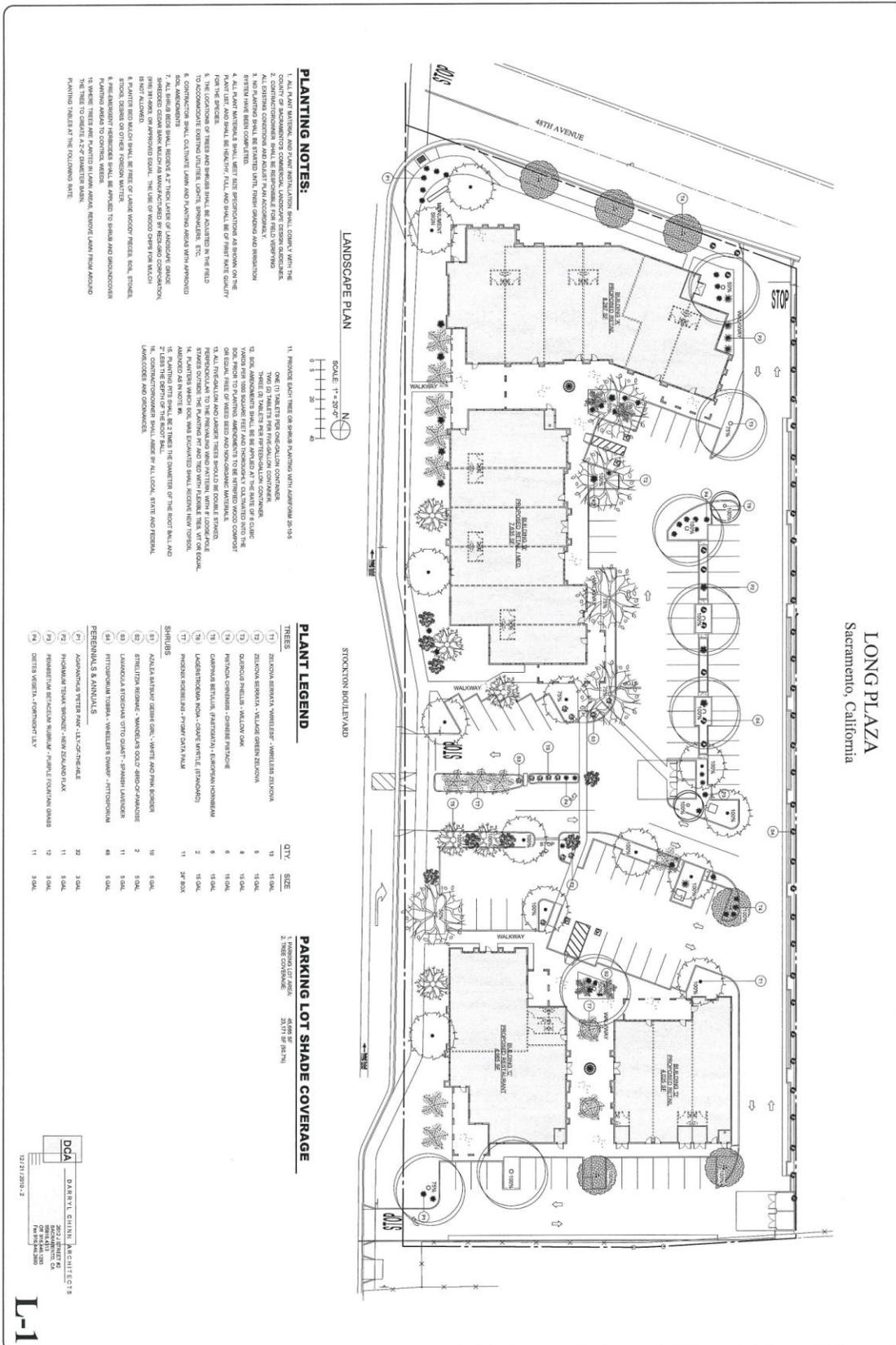


Exhibit E – Building B – Floor Plan

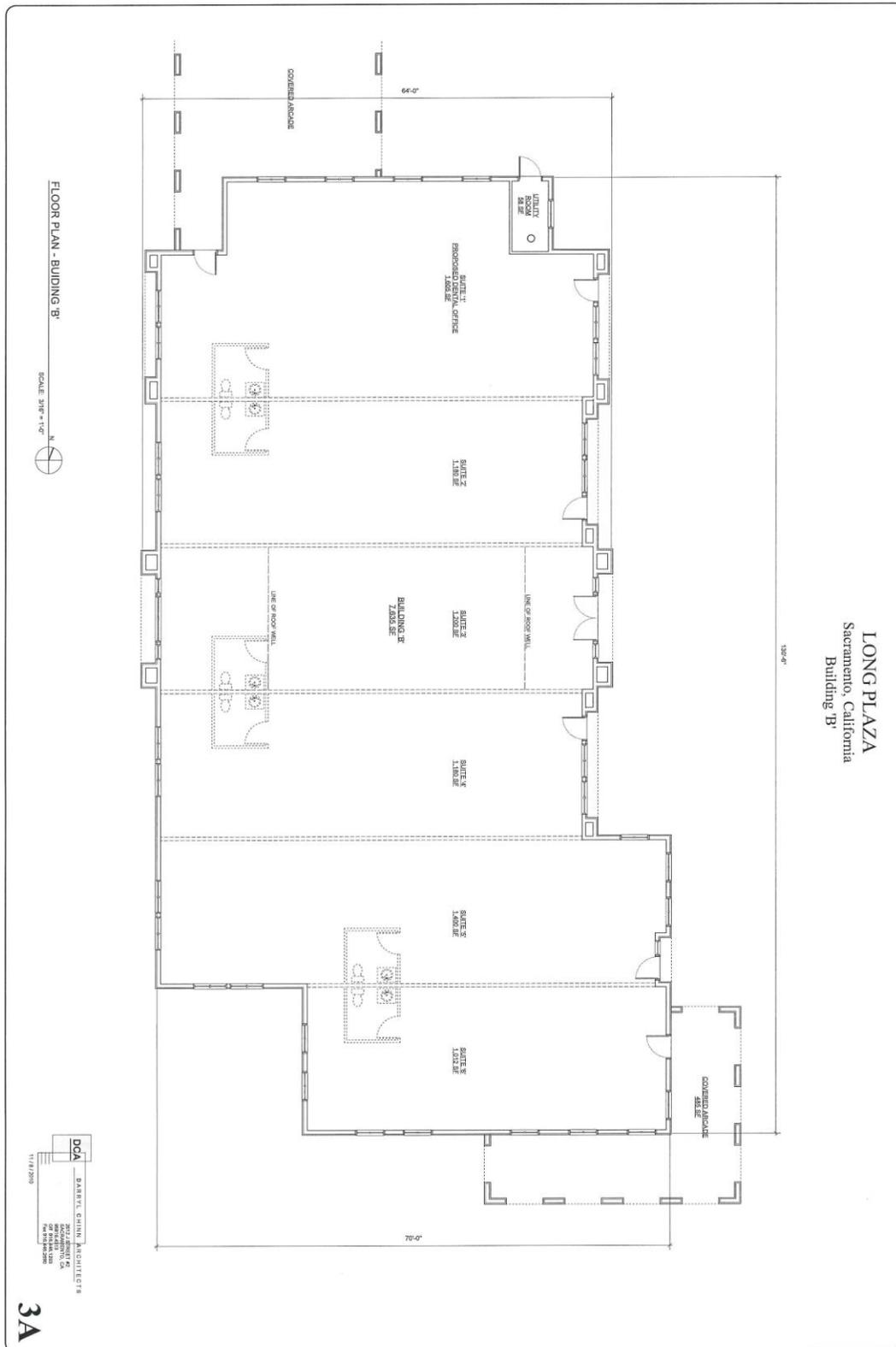


Exhibit F – Building B – Elevations

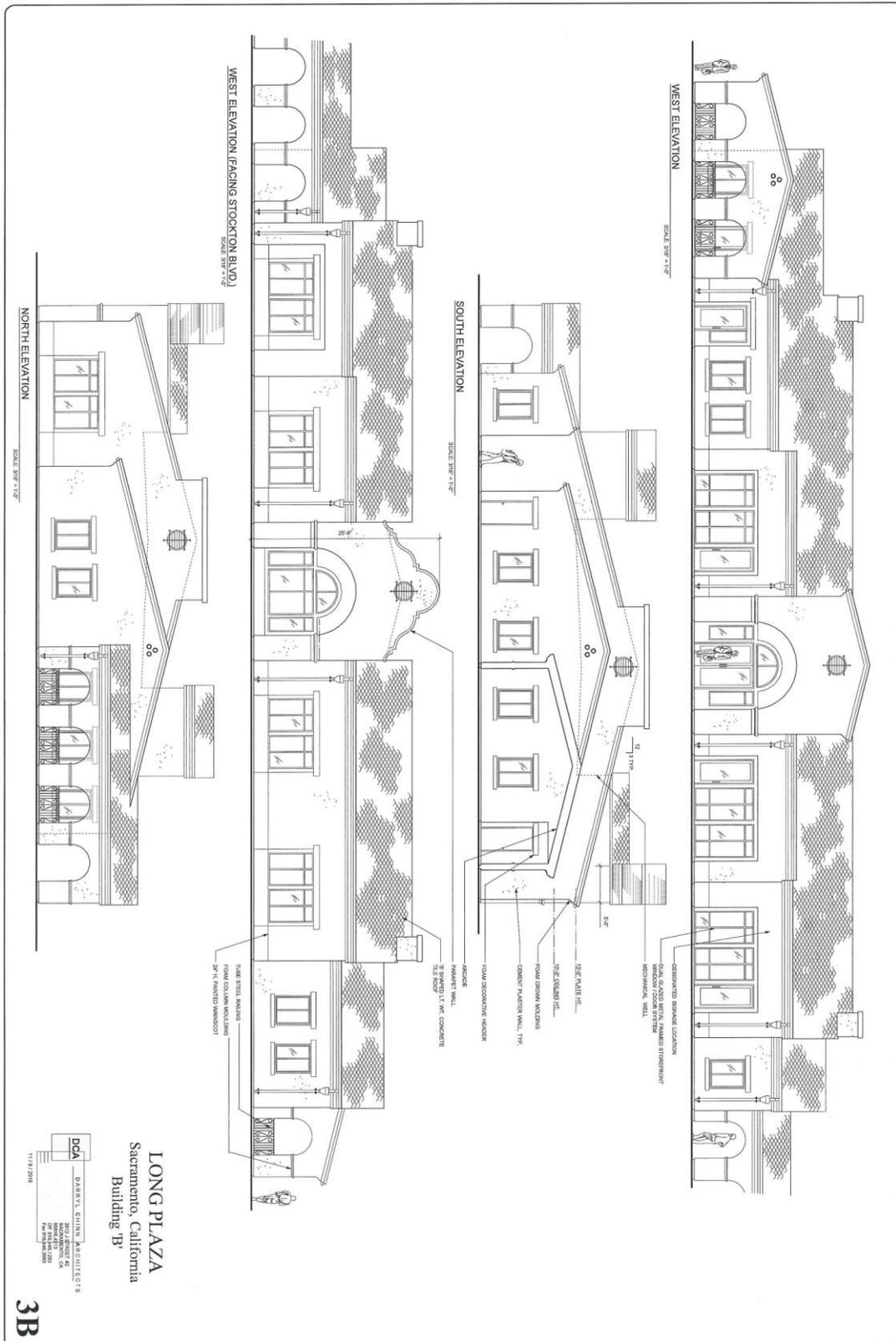
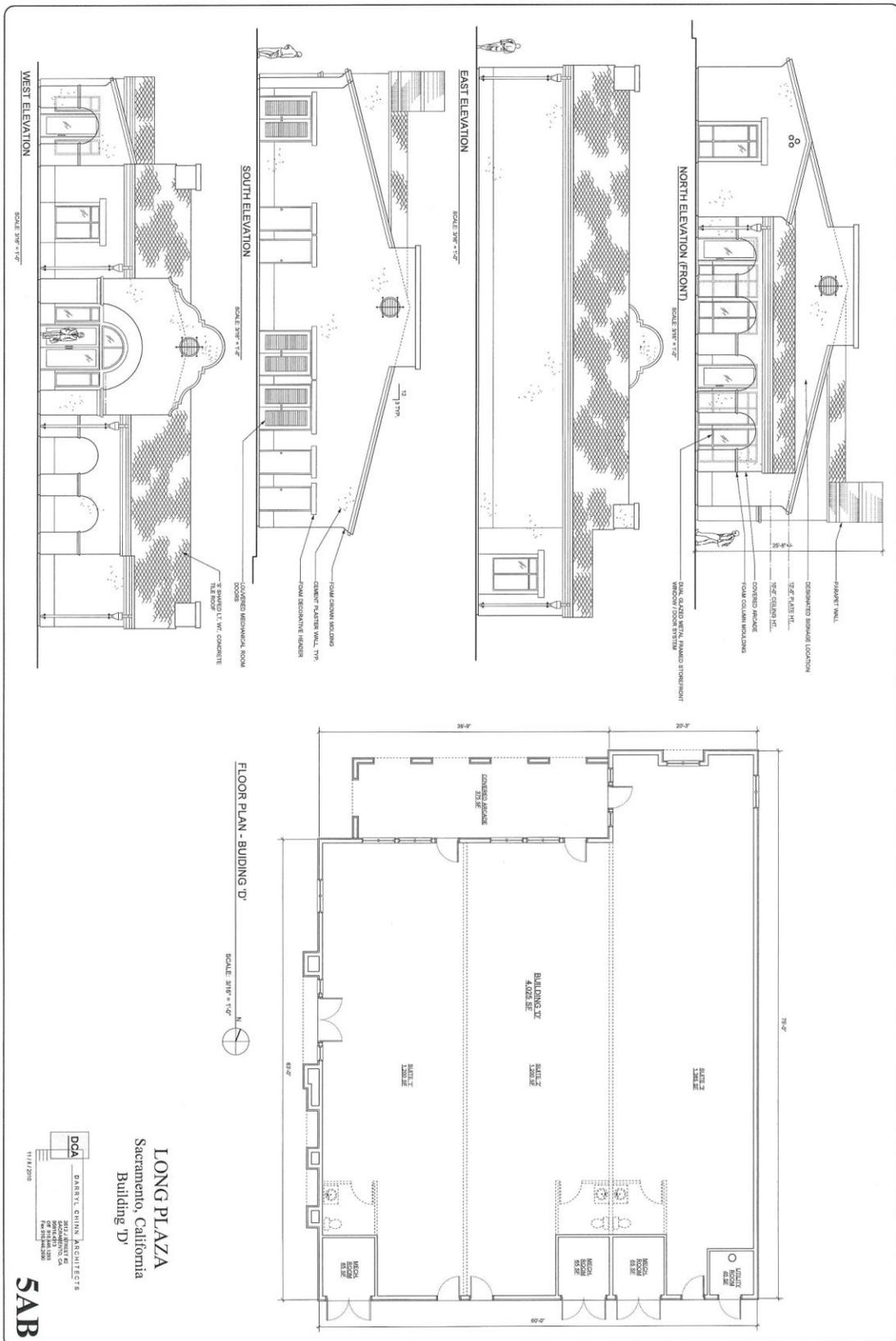


Exhibit I - Building D – Floor Plan and Elevations



Attachment 2 - Design Review Staff Report



CITY OF SACRAMENTO CALIFORNIA

DEVELOPMENT SERVICES
DEPARTMENT

PHONE 916-808-5656

300 Richards Blvd.
SACRAMENTO, CA 95814

FAX 916-808-1901

AMENDED BOARD LEVEL PROJECT REVIEW

DR Number: DR05-055
Address: 6451 Stockton Blvd.
Description: New Commercial Retail
APN: 040-0021-047
Applicant: Darryl Chinn, 916-761-6956
Date Filed: Feb. 2, 2005

Date Approved: June 1, 2005
Date Amended: May 29, 2008
Date Amended: Feb. 24, 2011
Staff Contact:
Kimberly Kaufmann-Brisby, 916-808-5590

AMENDED BOARD ACTION AND CONDITIONS OF APPROVAL:

Staff has reviewed amendments to the original approved project, and approves the amendments to the plans with the following amended conditions of approval:

- A. The site design (see attached plan) is approved subject to the following conditions. These conditions must be met prior to building permit submittal:**
1. The proposed buildings shall front Stockton Blvd., 47th Avenue, and Morrison Creek. A majority of the parking shall be located internal to the site and the parking and maneuvering areas shall be landscaped to meet the 50 percent shading requirement in all areas except the utility easement diagonally bisecting the site width-wise. The easement area shall be landscaped as appropriate for the easement area.
 2. Exterior lighting design shall be compatible and consistent with the architecture. The site shall be adequately illuminated for safety and security with a minimum 1.0 foot candle throughout. The parking area lighting shall complement the building design. Pole mounted fixtures shall not exceed 16' in height. Final fixture selection and lighting layout shall be reviewed and approved by staff prior to installation. Lighting placement shall be coordinated with the City Landscape architect to avoid landscaping and lighting conflicts.
 3. Backflow prevention devices, SMUD boxes/transformers, transmission tower bases shall be screened appropriately with landscaping to minimize visual intrusion onto the streetscape.
 4. The trash enclosures shall be located to minimize visibility from the street. The enclosure shall comply with City of Sacramento trash enclosure standards including but not limited to employing the same cladding materials and complementary design on the enclosure as used on the main buildings. Final enclosure design shall be reviewed and approved by staff prior to construction of same.

B. The building design (see attached plans) is hereby approved subject to the following conditions:

1. As per the Feb. 24, 2011 plans, a Spanish eclectic style shall be followed which will include low-pitched side-gabled roofs, s-shaped tile roofing with blended colors, prominent arched elements placed over principle clusters of windows, the street-facing facades are placed typically asymmetrical with three different muted earth tone hues to highlight building massing. Larger display windows and increased roof overhangs shall be provided to create deeper façade shadow lines along both street frontages. The building shall be constructed with a smooth finished cement plaster finish on all elevations. Louvered vents screened by ornamental wrought iron cage or false pipe vents per approved plans, and wood windows/clerestory with wood lintels and sills. Various roof heights and building projections and recesses establish a hierarchy of building design with roofed and open arcades defining the entries to individual courtyards and outdoor cafes. Exposed wood rafters with shaped ends shall be provided. Reveal lines shall carry throughout the four buildings and arcade areas to provide an additional unifying design element.
2. Design modifications are approved from the previous proposal and include the following:
 - a. Roof lines rotated to accentuate courtyard elevations, and overall roof lines modified slightly, with a lower plate line.
 - b. Interior metal canopies have been removed to simplify interior elevations not visible from street views.
 - c. At ends of all buildings, a modified gable end includes a parapet wall element to provide additional massing and variation in façade.
 - d. Large tower at Building A fronting 48th Street has been shifted to the west, but remains at same height.
 - e. Storefront windows have been slightly modified, making them larger in some locations.
 - f. Slight variations throughout the project retain all exterior materials and finishes from previous proposal.
3. The building entries storefront frames shall be clear anodized aluminum. All glazing is to be clear glass. Final design of the four building storefront layout shall be reviewed and approved by staff.
4. A terra cotta blended color concrete S-tile roof with gutter and molding shall be utilized for all four buildings.
5. Ornamental wall mounted quatrefoils shall be provided. Final details and cut sheets shall be submitted to staff for final review and approval prior to the issuance of building permits.
6. Ornamental scuppers and downspouts shall be provided per approved plans.
7. Ornamental wrought iron railings shall be provided. Final details shall be submitted to staff for review and approval prior to the issuance of building permits.
8. Ornamental awnings and wrought iron supports shall be provided. Final details shall be submitted to staff for review and approval prior to the issuance of building permits.
9. The mechanical equipment shall be roof mounted and fully screened from any view behind building parapet(s).

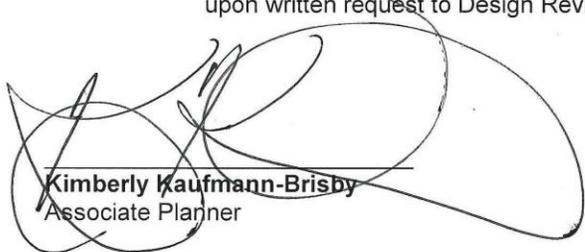
10. Decorative exterior building lighting shall be provided to complement the building design. All proposed exterior building and parking lot lighting fixtures shall be reviewed and approved by staff prior to installation.

C. Signage Design is subject to staff level design review. High quality signage which complements the project architecture and complies with the sign ordinance requirements is required.

1. Project signage criteria shall be submitted to Design Review staff for review and approval prior to sign application submittal. Signage criteria shall include signage location, both for attached and detached, elevations including size, illumination source, and materials. Final sign design(s) shall be reviewed when tenant submits for individual sign permit(s).

D. General Conditions

1. All final plan notes and drawings as submitted by the applicant are deemed conditions of approval. Any changes to the final set of plans stamped and signed by Design Review staff shall be subject to review and approval prior to building permit plan check submittal. Applicant shall comply with all current building code requirements.
2. Any major revisions to the final approved design are subject to review and approval by the Design Director.
3. No building permit shall be issued until the expiration of the 10-day appeal period. If an appeal is filed, no permit shall be issued until final approval is received.
4. Final occupancy shall be subject to approval by Design Review staff and shall involve an onsite inspection by Design Review staff.
5. The conditions of approval and the completed zoning affidavit shall be inserted into the plan check set when submitting to building for building permit plan check review.
6. All required new and revised plans shall be submitted for review and approval by Design Review staff prior to building permit submittal. A set of the appropriate plans (reduced to 11" x 17") together with a Letter of Compliance indicating how the project is in compliance with each condition of approval with detailed sheet references shall be submitted directly to Design Review staff one to two weeks prior to building permit plan check submittal. All necessary planning entitlements shall have been approved by the Planning Commission prior to final Design Review sign-off of the plans.
7. This approval shall be deemed automatically revoked unless required permits have been issued and construction begun within three years of this **February 24, 2011, amended extension of approval**. Prior to the expiration, an extension of the time may be granted upon written request to Design Review by the applicant or owner.



Kimberly Kaufmann-Brisby
Associate Planner

Attachment 3 – Land Use and Zoning Map



Land Use Map
for
Long Plaza

N
P10-081