



REPORT TO PLANNING COMMISSION City of Sacramento

9

915 I Street, Sacramento, CA 95814-2671

PUBLIC HEARING
March 10, 2011

To: Members of the Planning Commission

Subject: Cha Cha's Doggie Daycare (P10-086)

A request to operate a dog kennel on .15± acres in the Heavy Commercial (C-4) zone.

- A. Environmental Determination: Exempt (CEQA Guidelines Section 15311);
- B. Special Permit to operate a dog kennel in the Heavy Commercial (C-4) zone;
- C. Special Permit to waive required onsite parking;
- D. Special Permit to allow a tandem parking space;
- E. Variance to waive a masonry wall along the west and north property line;
- F. Variance to waive tree shading for required parking spaces.

Location/Council District:

910 57th Street, Sacramento, CA 95819

Assessor's Parcel Number 008-0122-003

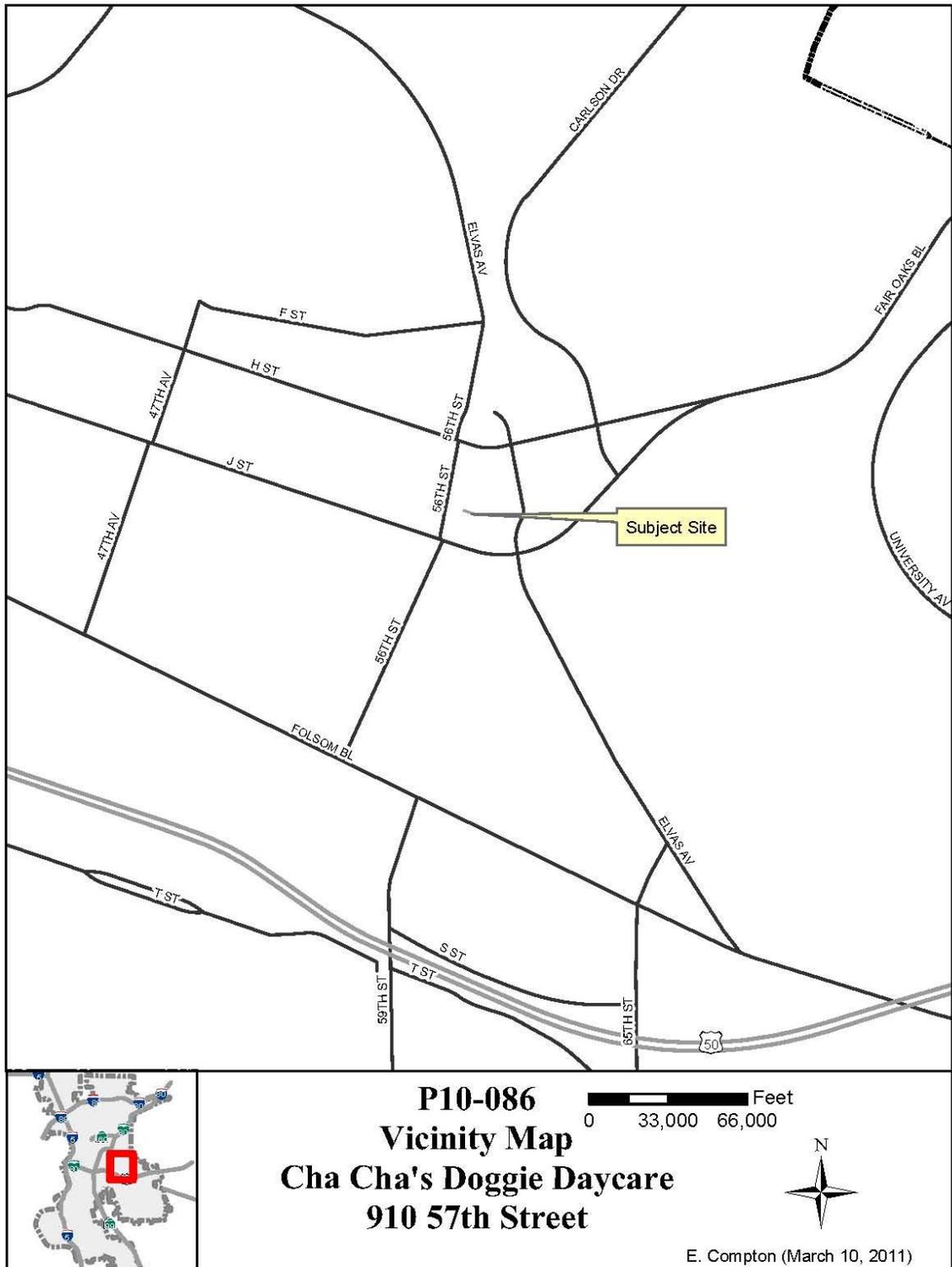
Council District 3

Recommendation: Staff recommends the Planning Commission approve the request based on the findings and subject to the conditions listed in Attachment 1. The Commission has final approval authority over items A-F above, and its decision is appealable to City Council.

Contact: Evan Compton, Associate Planner, 916-808-5260 and Stacia Cosgrove, Senior Planner, 916-808-7110.

Applicant: Desalene Jones, Cha Cha's Doggie Daycare, 910 57th Street, Sacramento, CA 95819

Owner: George and Betty Gudie, 340 La Purissima Way, Sacramento, CA 95819



Summary: The applicant is requesting entitlements to legalize a kennel use on .15± acres in the Heavy Commercial (C-4) zone. The applicant is also requesting to deviate from parking development standards and waive the masonry wall requirement.

At the time of writing the report, there were no outstanding issues or concerns regarding the project. **The project is considered to be non-controversial.**

Table 1: Project Information
General Plan designation: Employment Center Low Rise
Existing zoning of site: C-4
Existing use of site: Kennel (Structure was originally constructed as residential)
Property area: .15 ± acres or 6,534 square feet

Background Information: The Cha Cha's Doggie Daycare project was formally submitted on December 10, 2010. Although the site is currently operating as a kennel, there is no record of any entitlements or building permits to convert the residential structure into a commercial building. The Special Permit application is to legalize the kennel use and subsequent building permits are required to upgrade the residential structure for commercial purposes.

Entitlement History: There are no records of previous planning entitlements at this site. The existing building was constructed as a single family home in 1922. On July 11, 1957, a building permit was issued to construct an accessory building for an upholstery shop behind a single family home. On October 17, 1961, a building permit was issued to construct a patio cover for the rear accessory building.

Public/Neighborhood Outreach and Comments: Staff sent early notices to various community groups including the East Sacramento Improvement Association (ESIA), the East Sacramento Preservation Task Force, and the McKinley East Sacramento Neighborhood Association (MENA). In addition, staff notified property owners within 500 feet of the subject property.

Staff received a letter from the East Sacramento Improvement Association indicating they support the business because it "is entirely appropriate for its location in a busy commercial district." (See Attachment 4) The applicant also submitted letters of support for the project and these letters have been included in this report as Attachment 5.

No other comments were received at the time of writing this report.

Environmental Considerations: The Community Development Department, Environmental Planning Services Division has reviewed this project and determined that this is exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15301, Existing Facilities. The project consists of the operation of an existing private structure, involving no expansion of use beyond that which is existing.

Business Operation

The bulk of the customers for the kennel drop off their dogs on their way to work and pick them up after work. Clients access the parking lot from 57th Street, walk through the gate on the front porch, and into the front entry way. Staff greets the customer at the entry way and takes the dogs back into the daycare facility and clients leave. The drop off process is very quick. Clients do not enter the dog area for safety/liability reasons.

The business hours are 6:30am-7pm for the general public with staff starting 1 hour earlier and leaving 1 to 2 hours later. There are 4-5 employees however there is generally only 1-2 staff onsite at any given time.

The dogs are cage free, and run and play with each other throughout the day. Dogs innately prefer to be in a "pack" situation, and find this setup comforting. Each dog is interviewed by a dog trainer before being accepted into the daycare program. This interview process allows the applicant the opportunity to choose dogs that are comfortable with other dogs and don't have any special needs that they are unable to address such as excessive barking.

During the day, the dogs are exercised not only by interactive play, but also with neighborhood walks, behavioral sessions, trick sessions, snack-time, story-time, and nap-time. They can also have individual training sessions with the staff trainer. The dogs are involved in activities at all times to help keep them mentally focused and working, as opposed to bored and barking or being destructive. There are a few dogs that stay overnight. They go into individual suites and sleep until early morning. The entire facility is on webcam 24 hours per day.

Adjacent Properties

The parcels to the west of the subject site are zoned residential. On the east, there is a roundabout area for traffic from Elvas Avenue. Both properties to the north and south of the site are zoned for heavy commercial uses however, the property to the north is used as a residential unit.

Policy Considerations:

General Plan: The subject site is designated Employment Center Low Rise on the General Plan Land Use and Urban Form Diagram. The site is required to have a minimum Floor Area Ratio (FAR) of .25 and the site currently has a FAR of .26. The proposal is consistent with the following General Plan policies:

1. *Neighborhoods as a Basic Unit. Recognizing that Sacramento's neighborhoods are the basic living environments that make-up the city's urban fabric, the City shall strive through its planning and urban design to preserve and enhance their distinctiveness, identity, and livability from the downtown core to well integrated*

new growth areas. (LU 2.1.1) Staff finds that the kennel furthers the goal of creating complete neighborhoods to live, work, and play.

2. *Child Care in Employment Centers. The City shall encourage major employers to incorporate child care facilities and/or programs to help attract and maintain a productive work force and provide an accessible source of child care to area employees. (LU 8.2.6) Staff finds that the kennel provides a support service use which benefits employees by providing daycare and overnight stays for canines.*
3. *Appropriate Parking. The City shall ensure that appropriate parking is provided, considering access to existing and funded transit, shared parking opportunities for mixed-use development, and implementation of Transportation Demand Management plans. (LU 6.1.1) Staff finds that the amount of onsite parking provided is appropriate because high parking turnover is anticipated since drop off and pick up transactions average less than 5 minutes.*

Zoning Code

A kennel is defined in the Zoning Code as “any premises, buildings, or structures in or on which more than three dogs at least four months of age are harbored.” A Planning Commission Special Permit is required to establish a kennel in the Heavy Commercial (C-4) zone.

Building Design:

The existing building is a 962 square foot structure facing 57th Street. There is also a 772 square foot rear masonry building. The applicant is not proposing any exterior or site improvements except for those upgrades required by the building code for change of occupancy from a residential to commercial use. These exterior upgrades would include installing a ramp on the front of the building and striping for an ADA parking space.

Traffic, Circulation, and Parking

The proposed project is located on 57th Street between H and J Streets. Access to the building is located on 57th Street. There is a paved area in front of the building which would allow four parking spaces which includes one ADA space and one tandem space. There is no street parking allowed along 57th Street. A Special Permit is required for the tandem space. Staff supports the tandem space because it would primarily be used by employees and no attendant would be necessary for monitoring. The parking spaces along the front of the building would be used by clients dropping off or picking up their dog. The transfer is completed quickly so there will be significant turnover for the spaces especially in the 7 am to 8:45 am drop off period and the 3:30 pm to 6:45 pm pick up period. The drop off and pick up process is completed quickly since each dog being dropped off must have a reservation and have been previously evaluated by staff for admission.

Parking for the project was determined at a ratio similar to child daycare services. Childcare operations require one parking space for every eight children. Therefore, for a dog daycare business, one parking space is required for every eight canines. The average number of dogs onsite depends on the breeds accepted but generally is about 25 dogs. The applicant is seeking approval for up to 40 dogs at any one time.

Land Use	Required Parking	Proposed Parking	Difference
Kennel	5 parking spaces*	4 parking spaces	Yes (-1 parking space)

*One space for every eight canines and the required parking is calculated for the peak number of dogs onsite.

Staff supports the request to waive one parking space because the drop off and pick up transactions average less than five minutes and the drop off and pick up times are adequately staggered.

Tree Shading Requirements

The area along 57th Street has been paved to allow for vehicle parking. A Planning Commission Variance is required to deviate from the 50% tree shading requirement.

There are challenges to developing the parcel to meet the tree shading requirement. The width of the parcel is only 45 feet which is narrower than many of the other heavy commercial properties along the west side of 57th Street. The width of the lot limits the types of configurations for the parking spaces since the front setback cannot be changed without demolishing the existing building.

The tandem parking space is located on the interior side of the structure. Given the roof overhang and paved area necessary for the parking space, a sufficient planter for trees is not available. The need to add a ramp for ADA access and an ADA parking space also limits areas for landscaping.

Furthermore, the intersection is awkward with Elvas traffic entering a roundabout and traffic from 57th Street intersecting near the driveway location which is important because planter areas along the back of sidewalk could interfere with the safety of backing out of the driveway at the subject site.

Given the constraints for the specific site as mentioned above, staff supports the request to deviate from the required tree shading.

Fencing

The Zoning Code requires a six foot tall masonry wall be constructed along the property lines which abut a residential use or zone. The parcels along the west property line (rear

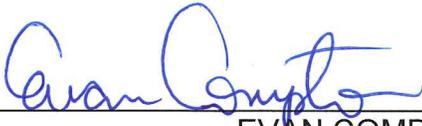
of the subject site) are residential uses. The parcel along the north (interior side of the subject site) is zoned for heavy commercial but used for residential purposes. Therefore, a masonry wall is required along the west and north property lines. However, staff supports the request to waive the masonry wall requirement because the kennel use is primarily conducted within an enclosed building and because variances to waive masonry walls have been approved for another commercial uses abutting residential on the same block of 57th Street.

Signage

The Heavy Commercial (C-4) zone allows a maximum of two attached signs which combined would not exceed 3 square feet for each front foot of building occupancy. Therefore, the sign code would allow up to 72 square feet total for attached signage. There is one existing, 32 square foot attached sign on the building which meets the size requirements of the zone.

Conclusion:

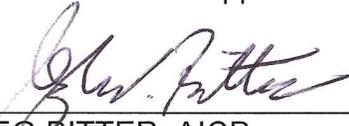
Staff recommends approval of the project since the proposal: a) provides an important support service use for employees and neighbors needing daycare or overnight stays for their dog; b) the business has been in operation and is supported by the community as evidenced by the letters of support attached in this report; c) the existing structure will be upgraded to meet all building code requirements; d) the kennel use is appropriately located in a heavy commercial zone and is consistent with the policies of the General Plan designation of Employment Center Low Rise.

Respectfully submitted by: 
EVAN COMPTON
Associate Planner

Approved by:


STACIA COSGROVE
Senior Planner

Recommendation Approved:


GREG BITTER, AICP
Principal Planner

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**Attachment 1
Proposed Findings of Fact and Conditions of Approval
Cha Cha's Doggie Daycare (P10-086)
910 57th Street**

1. Findings of Fact

A. Environmental Determination: Exemption

Based on the determination and recommendation of the City's Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the Project, the Planning Commission finds that the Project is exempt from review under Section **15301, Existing Facilities** of the California Environmental Quality Act Guidelines as follows:

The project consists of the operation of an existing private structure, involving no expansion of use beyond that existing.

B. Special Permit: The Special Permit to operate a kennel in the Heavy Commercial (C-4) zone is **approved** based on the following Findings of Fact:

1. The project is based upon sound principles of land use in that a kennel operation is compatible with the residential, commercial, and heavy commercial uses in the neighborhood and broadens the type of support services available in the area; and
2. The proposed use will not be detrimental to the public health, safety and welfare, nor result in a public nuisance in that the dog kennel operation is located inside of an enclosed building and dogs dropped off and picked up at the site will be on a leash; and
3. The project is consistent with the 2030 General Plan policies and designation of Employment Center Low Rise which requires a minimum FAR of .25 and encourages service related uses that provide support to employees.

C. Special Permit: The Special Permit to waive one parking space for a kennel is **approved** based on the following Findings of Fact:

1. The project is based upon sound principles of land use in that the kennel currently averages about 25 dogs per day which does not require any parking waiver but depending on the breed, the owner would like to retain the right to have up to 40 dogs onsite at any one time; and
2. The proposed use will not be detrimental to the public health, safety and welfare, nor result in a public nuisance in that the site provides

convenient parking in front of the building to facilitate quick transactions and high turnover of the existing parking; and

3. The project is consistent with the 2030 General Plan policies and designation of Employment Center Low Rise which requires a minimum FAR of .25 and encourages service related uses that provide support to employees.

D. Special Permit: The Special Permit to allow a tandem parking space is **approved** based on the following Findings of Fact:

1. The project is based upon sound principles of land use in that the tandem space will primarily be used by the employee during his/her designated shift who arrives before the beginning of morning drop offs and also after the end of the evening pick up times; and
2. The proposed use will not be detrimental to the public health, safety and welfare, nor result in a public nuisance in that the site provides independently operating spaces for customers visiting the site; and
3. The project is consistent with the 2030 General Plan policies and designation of Employment Center Low Rise which requires a minimum FAR of .25 and encourages service related uses that provide support to employees.

E. Variance: The Variance to waive the masonry wall requirement along the west and north property lines is **approved** based on the following Findings of Fact:

1. Granting the Variance does not constitute a special privilege extended to an individual applicant in that an existing six foot wood fence will remain to separate the kennel and residential uses and other variances have been approved with similar circumstances; and
2. Granting the Variance request does not constitute a use variance in that a kennel is allowed in the Heavy Commercial (C-4) zone subject to the issuance of a Planning Commission Special Permit; and
3. The requested variance will not materially and adversely affect the health and safety of persons residing or working in the neighborhood, and will not be materially detrimental to the public welfare or injurious to property and improvements in the neighborhood since the neighboring commercial uses along 57th Street abutting residential uses also have wood fences or shrubbery as a buffer and the kennel operates primarily inside of an

enclosed building.

F. Variance: The Variance to waive the tree shading for parking is **approved** based on the following Findings of Fact:

1. Granting the Variance does not constitute a special privilege extended to an individual applicant in that the project involves the conversion of an existing structure and narrow lot dimensions for a heavy commercial zoned lot, limiting tree planter opportunities; and
2. Granting the Variance request does not constitute a use variance in that a kennel is allowed in the Heavy Commercial (C-4) zone subject to the issuance of a Planning Commission Special Permit; and
3. The requested variance will not materially and adversely affect the health and safety of persons residing or working in the neighborhood, and will not be materially detrimental to the public welfare or injurious to property and improvements in the neighborhood since other neighboring commercial businesses also have less than standard tree shading and the waiver allows for more onsite customer parking which is necessary since on street parking is prohibited on 57th Street.

2. Conditions of Approval

Special Permit: The Special Permit to operate a kennel in the Heavy Commercial (C-4) zone is **approved** subject to the following conditions of approval:

PLANNING:

- B1. The project shall conform to the attached plans. Any changes to the project shall require additional planning review and approval.
- B2. The applicant shall obtain all required building permits to upgrade the residential structure for commercial purposes, and sign permits.
- B3. A sign indicating a 24-hour emergency phone number and contact person shall be kept current and posted on the building.
- B4. A maximum of 40 canine daycare clients shall be onsite at any one time.
- B5. All dogs shall be on a leash when they are picked up or dropped off.
- B6. The front of the business shall be maintained and cleaned. Litter and debris shall be picked up on a daily basis.

DEPARTMENT OF TRANSPORTATION

- B7. The applicant shall repair/reconstruct any deteriorated portions of the existing sidewalk fronting the property along 57th Street per City standards and to the satisfaction of the Department of Transportation.

Exhibit A: Site Plan

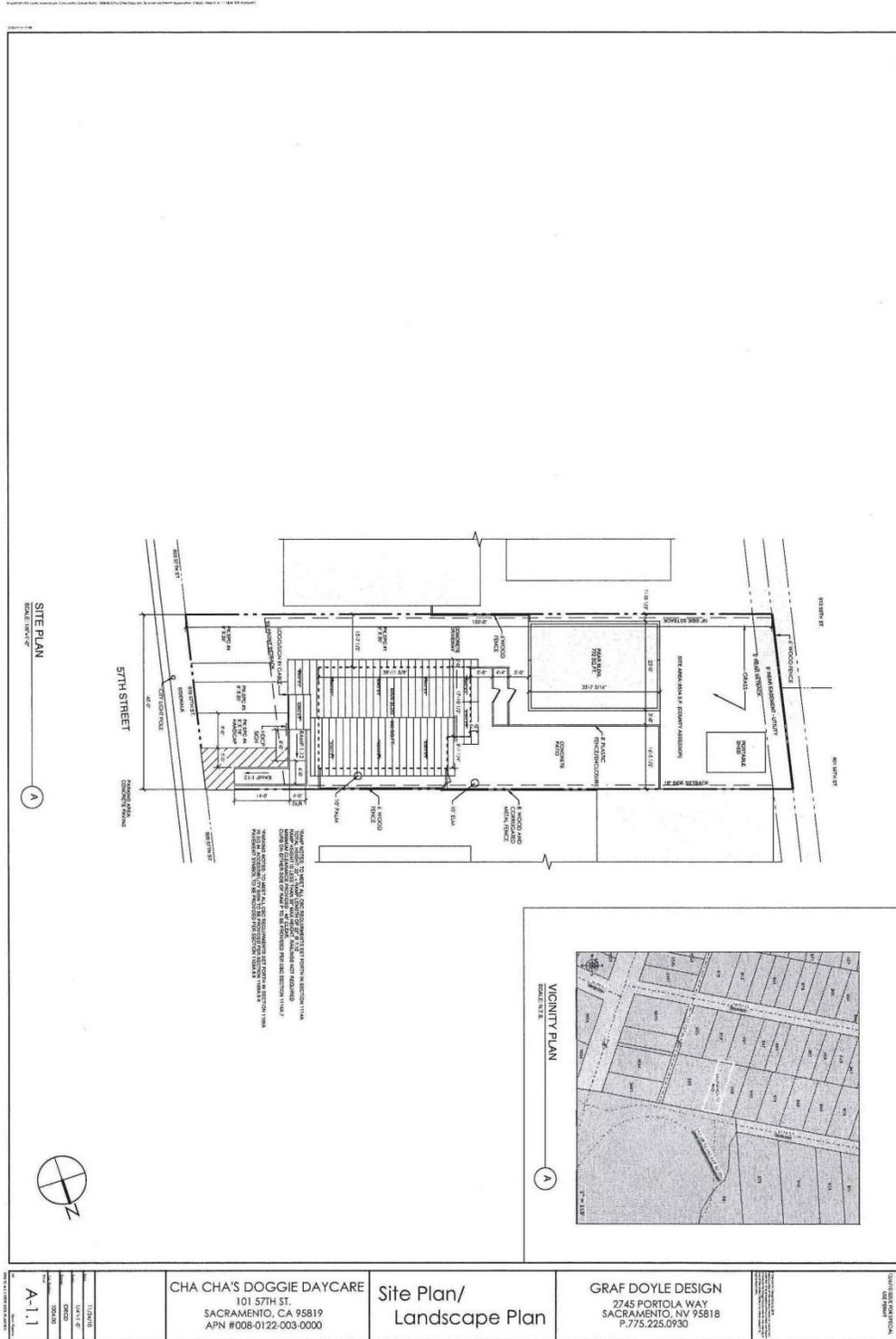
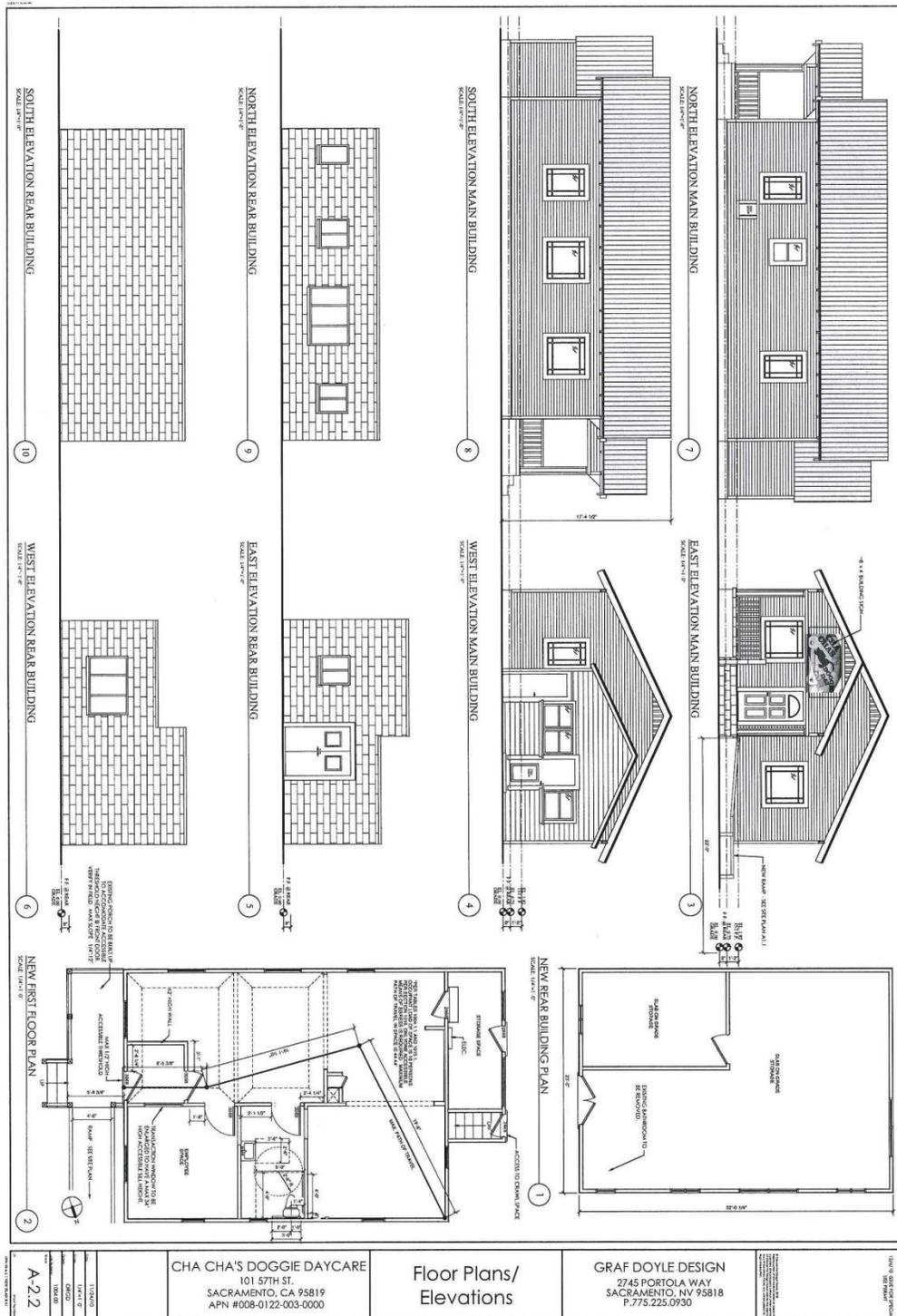
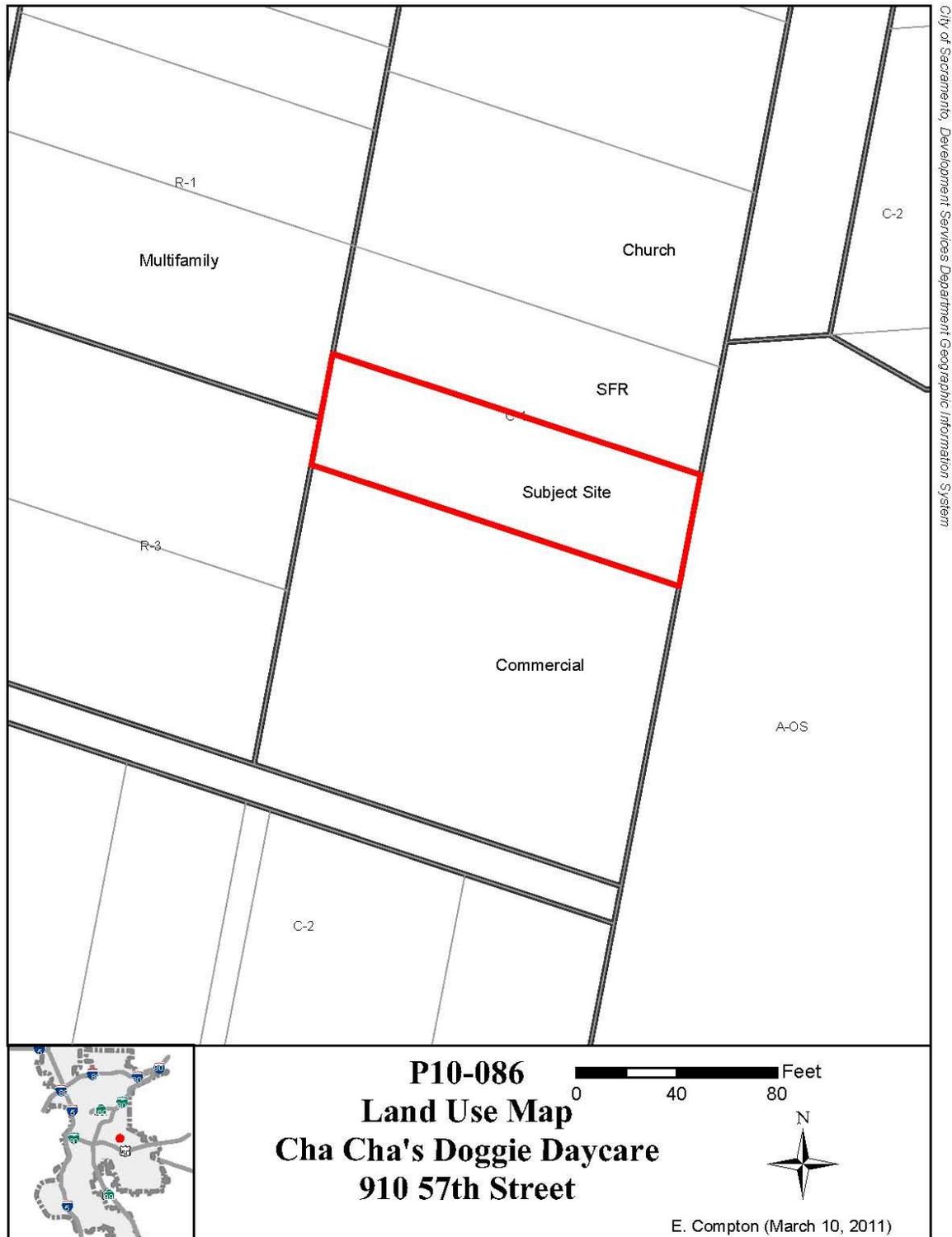


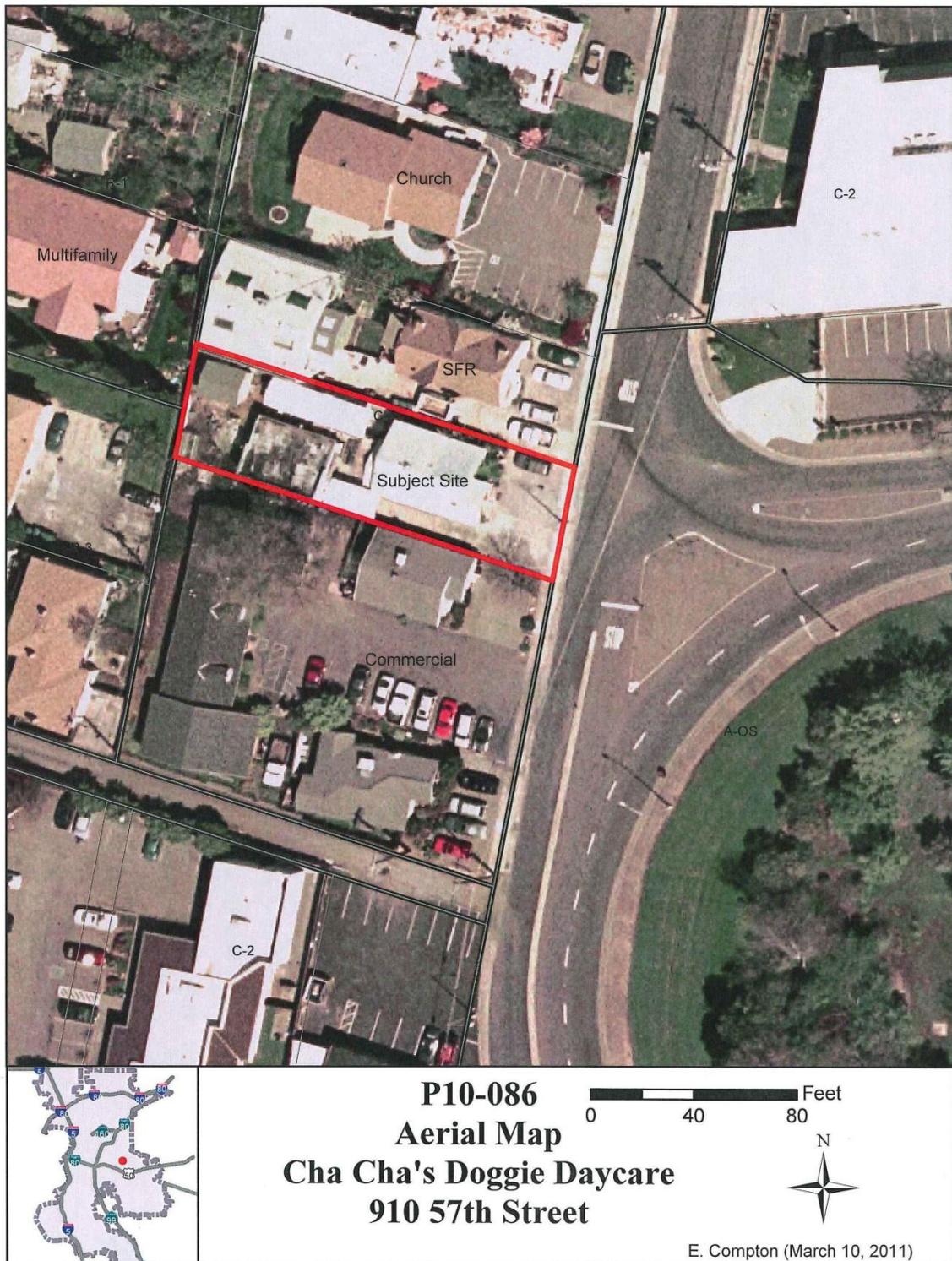
Exhibit B: Floor Plan and Elevations



Attachment 2: Land Use Map



Attachment 3: Aerial Map



Attachment 4: ESIA Letter



PO Box 19147
Sacramento, CA 95819
December 13, 2010

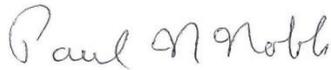
Ms. Desalene Jones
Cha Cha's Doggie Daycare
910 57th Street
Sacramento, CA 95819

Dear Ms. Jones:

Thank you so much for attending the meeting of the ESIA Board of Directors on December 6, 2010, and answering our questions about your application to the City of Sacramento for a special use permit for your business. It seems to us that you have a well established business that is entirely appropriate for its location in a busy commercial district. You mentioned that you have not been able to contact the owner of an apartment building located behind your business. You indicated that you should be able to obtain one or more comment letters from some of the tenants of that building. We think that would be appropriate evidence that you have been operating without any negative impacts on residents of the neighborhood.

Please accept our best wishes for a successful outcome in your permit application. If we can be of further assistance, please don't hesitate to give me a call (916/451-5271).

Yours very truly,



Paul N. Noble, President
East Sacramento Improvement Association

cc: Evan Compton

Attachment 5: Letters of Support for Cha Cha's Doggie Daycare

September 25, 2007

To Whom It May Concern:

I live (with my husband and three children) at 900 57th Street, next door to "Cha Cha's Doggy Day Care", owned by Desalene Jones. We have lived in this house for almost four and a half years. We have never had a problem with the doggy day care. Desalene has high standards, and is professional and considerate. The kennel and the attached yard are always kept clean. The dogs are well-behaved. There have been few problems with noisy dogs. On the one occasion that a noisy dog stayed at the day care, Desalene apologized for the noise and said the dog wouldn't be allowed to stay again. I don't remember a dog ever getting loose.

We are happy to have the doggy day-care as our neighbor.

Sincerely,



Stefanie Johnson

916. 739-1848 (home)
916. 271-3073 (cell)

Iko Miyazaki, M.S., M.F.T.

License No. MFC 36761
Psychotherapy and Consultation

874 57th Street
Sacramento, CA 95819
916.802.0233

January 16, 2006

The Planning Committee

RE: Doggie Daycare Cha Cha's

To Whom It May Concern:

Ms. Desalene Jones, owner of Cha Cha's at 910 57th Street, Sacramento, CA 95819, asked me to write to you regarding the impact of her services on the neighborhood.

I have been practicing psychotherapy as a licensed Marriage & Family Therapist at the office building at 874 57th Street since September 2001. My office is located at the second next door to Cha Cha's.

Over the past few years since Ms. Jones started her business, I have not experienced any problems caused by her services for dogs, including noise and smell. Due to the nature of my work, the noise level is critical. But my work has not been affected by Cha Cha's. I have noticed neither smell nor dog waste around the building. Including myself, there are about nine psychotherapists in the office building, who are working with different work schedules. I have not heard any complaints from my colleagues regarding Cha Cha's.

Ms. Jones has impressed me over the years as a dedicated, conscientious and responsible business owner through her ability to maintain good relations to her neighbors.

If you have any questions about this matter, please feel free to contact me at (916) 802-0233.

Sincerely,

Iko Miyazaki

Iko Miyazaki
Marriage & Family Therapist

Cc, Ms. Desalene Jones



Governor
Arnold
Schwarzenegger

Secretary
Victoria L. Bradshaw

Agricultural
Labor
Relations
Board

California
Unemployment
Insurance
Appeals
Board

California
Workforce
Investment
Board

Department of
Industrial
Relations

Economic
Strategy
Panel

Employment
Development
Department

Employment
Training
Panel

LABOR & WORKFORCE DEVELOPMENT AGENCY

September 20, 2007

City of Sacramento

Via: Desalene Jones
Cha Cha's Doggie DayCare

Dear City of Sacramento Authorities:

I am writing this letter in support of Desalene Jones' Cha Cha's Doggie Day.

Since February 2004, my dog Stella has been a "regular" client of Cha Cha's. I live in Roseville, California, but Stella's story starts in the City of Sacramento. Stella was a homeless little 6 week old 7 lb. worm infested and starving pit bull mix street puppy when she was found in February 2003 by a friend of mine who was canvassing the voters in the City of Sacramento on Lemon Hill Drive.

After living on the street for the first few weeks of her life, she was taken to a rescue home and my husband and I "adopted" her into our home. Stella has been a challenge. When Stella was left at home alone, she began eating through my wooden back yard fence. She would chew up furniture, rugs and anything with my scent on it anytime she was left home alone.

In January 2003 she ran away from home for 3 days when my husband and I left for a much needed vacation in Hawaii. I had left her with a paid dog sitter at my home in Roseville. Later that month, she ate through the fence of my back yard and ran through the back yard of my neighbor who didn't really know Stella. Animal Control was called and I took two weeks off of work to figure out how to deal with Stella responsibly. I took her to the UC Davis Veterinarian School of Behavioral Medicine to get some help. She was evaluated and the doctor told me that besides being exceptionally shy of people, she was young and needed to have more stimulation and exercise. I was already in the habit of walking Stella and my other dog for 2 miles on a regular basis. Then my sister recommended Cha Cha's Doggie Day Care in East Sacramento. Now Stella has been a regular day care participant for almost 4 years. She no longer chews or destroys property and barks a lot less. She now has a warm, safe and loving place to go daily to play with other friendly dogs and attentive staff. Stella is still very shy towards people, but she has found a home away from home at Cha Cha's.

It is also important to note that a few years ago, for Labor Day 2004, the Labor and Workforce Development Agency decided to highlight innovative small businesses in California to show ways that creative individuals with a fascination or obsession with a subject (like dogs), recognize a need and create a niche to address that need. Cha Cha's Doggie Day Care was highlighted on the Labor and Workforce Development website that year as just the type of business that California needs. If you have any questions, call me at (916) 327-9064.

Sincerely,

Marisa S. Duek
Associate Secretary, Fiscal Policy and Administration

The Cosmetic Surgery Center of Sacramento

PATRICK McMENAMIN MD

785 University Avenue Sacramento, CA 95825

916 564-8888 fax 916 927-7021

date: 9/20/07

**to: Desalene Jones
Cha Cha's Doggie Daycare**

from: Dana McMenamin

-
Desalene,

We are so glad to have your fine establishment near our home and office. If you were located somewhere out in the country, those of us who live in town would not have a place for our doggies to go during our long workdays. We would not care to have our Rudy in a kennel situation anyway; he needs the socialization you provide at Cha Cha's.

I think Rudy has been visiting you for at least four years, if not longer. He knows when it is Cha Cha day and does not leave my side until we get in the car. He will be nine years old in late October, so he is getting to be a senior citizen. I am sure the fun and exercise he has with you will keep him around for quite a while longer.

Thanks for being there!



The Met-Sacramento

810 V Street
Sacramento, CA. 95818
(916)264-4700
(916) 264-4701

September 20, 2007

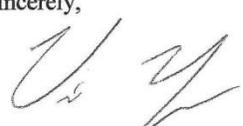
To Whom It May Concern:

Desalene Jones, owner of Cha Cha's Doggie Daycare in Sacramento, has been a wonderful resource for our school. Not only has she taken on several students as interns at her Daycare, but she has also come to the school and given presentations about her business and about the importance of college and hard work in general. She also was a guest speaker at Mentor Appreciation Night. Desalene is always willing to help high school students in the community and provides a business atmosphere where students can learn.

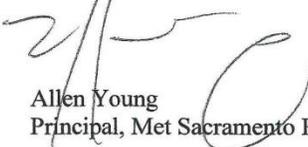
Our school, the Met Sacramento High School, is a project-based learning school. One of the requirements our students have is to get an internship in their interest areas. Desalene has been a mentor for at least four of our students, including one student who continues to have a close and positive relationship with Desalene even after three years. In fact, Desalene has attended every presentation that student has ever made. Our school could not function without mentors such as Desalene. Because she runs a successful business doing something she loves, she provides a physical place for students who share that passion. She also shows them that it is indeed possible to do what you love for a living.

We sincerely hope that Desalene Jones and her business can continue to be a model for what a business should be – a successful venture that promotes successful relationships with the community.

Sincerely,



Vince Wolfe
Teacher, Met Sacramento High School



Allen Young
Principal, Met Sacramento High School

FROM :

FAX NO. :9166815737

Sep. 24 2007 03:26PM P1



Special Education Department
WORKABILITY I PROGRAM/TRANSITIONAL WORK EXPERIENCE

Serna Center • 5735 47th Avenue • Sacramento, CA 95824
 (916) 643-2541 • (916) 643-2550
 Box 59 • Fax (916) 643-2552

August 9, 2007

Dear Ms. Jones,

The Sacramento City School District Workability Program students and staff would like to extend our sincere appreciation to you and your employees for helping to create another successful year for our summer program.

Your support has contributed to providing over a hundred students with very valuable learning experiences, including, developing self-esteem, confidence, job skills and in many instances continued paid employment and vocational exploration opportunities throughout the school year. We appreciate your continued support of our students and look forward to working with you again.

If you would like to contact our office regarding any overall comments or suggestions you may have or for information regarding other vocational programs, that may provide additional opportunities for students during the school year, please call me at 643-2541.

Sincerely,

Hilda Balibrea Coleen Clark Tracy Drake
Brett Fontenot Crystal Hamilton Jacque Hartley Stacey Kinyon
Karin Kistler Joy Mohr Virginia Northrop
 Sacramento City School District Workability Program Staff

Cathy Barone
 Cathy Barone

J. Michelle Hahn
Attorney at Law

737 Eureka Avenue
Davis, CA 95616

Bartholomew & Wasznicky, LLP
4740 Folsom Blvd
Sacramento, CA 95819

September 22, 2007

Cha Cha's Doggie Daycare
Fax: 916-739-0807

Dear Desalene Jones:

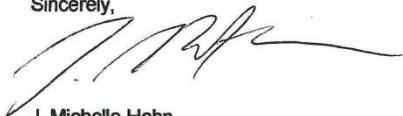
Thank you for providing a safe, and stimulating environment for our active labrador retriever, Annie. Annie has attended doggie daycare at Cha Cha's for almost two and a half years. I don't know what we would do without Cha Cha's, and I'm sure Annie could not do without it!

There are no comparable services near our home in Davis or my office in Sacramento. However, your current location is an easy drive to and from my office. It is a huge relief knowing that Annie is safe and well cared for, versus home alone in Davis day in and day out. We also appreciate you keeping her overnight when evening business meetings require a late night in Sacramento, or an emergency takes us out of town. It is a huge relief to know Annie always has a safe and caring place to stay.

Your location next to K.J. Paws grooming is also extremely convenient. The coordination you and your staff provide for grooming and dental services is excellent, and such a time saver.

Thank you and your staff for providing such a wonderful service year after year.

Sincerely,



J. Michelle Hahn

CYNTHIA A. THOMAS, ATTORNEY AT LAW

5050 Laguna Blvd., #112-329
Elk Grove, California 95758
Tel: (916) 682-6901
Fax: (916) 682-6901

September 23, 2007

ChaChas Doggie DayCare
910 57th Street
Sacramento, CA

Dear Desalene:

I would very much appreciate it if you would pass this letter to the City of Sacramento or to whomever asks for a referral.

First of all, let me say that what some may fail to appreciate is that the time has passed when Fido is just a fixture in a household who lays outside and guards the house while the members of the house are gone during the day. What I realized once I got my third dog two years ago is that he is a member of my family and as such, I wanted what is best for my dog as I would for any other member of my family.

With that appreciation for my pet, I realized that I am a busy attorney with a home office and I needed a place for my dog to not only entertain himself, but learn to socialize with other dogs as well. That is why I went looking for something other than a kennel or dog walker for my pet. By chance I found your daycare and I have never regretted the decision to bring my pet to your business. The first thing I noticed was that the daycare was clean and did not smell of canines despite the number of dogs there during the day. That showed me that you take pride in your business and the dogs are treated to the same services as children would in a human daycare facility. Because of that, I felt comfortable leaving my dog in your care.

I believe the most important aspect of your business for both me and my pet is that since attending your daycare, he has become a very socialized dog which is necessary when he has to accompany me outside. He is far more well behaved around other dogs and children than those dogs who have not been exposed to the socialized setting of daycare. Those other dogs and their owners, tend to me more aggressive and misbehave,

ChaChas Doggie Day Care
September 24, 2007
Page 2

which makes for a very unpleasant experience. In terms of what your business has done for the city, I believe that dogs who have stayed at your daycare are less likely to attack other dogs or people which makes the parks and walkways of Sacramento a much safer place.

Additionally, I often have to travel around the state and sometimes my dog travels with me. What I have discovered in my travels is that yours is very much an important and necessary business of a community. Earlier this year I had to travel Los Angeles and needed to find daycare there for my dog. I searched the internet and found there were numerous businesses like yours there with a wide range of services and prices. Similarly, when I had to travel to the Bay Area a few months ago, I found several places where I could take my pet. For people like myself who travel a lot, your place of business, *sans* cages and restraints, we prefer to have a business like yours wherever we go that both owners and pets love to attend.

Thank you again for being there fore me and George.

Sincerely,

CYNTHIA A. THOMAS
Attorney at Law

.....

George Gudie
340 La Purissima Way
Sacramento, CA 95819

January 12, 2006

Sacramento Planning Commission

Dear Sir or Madam:

This letter is in reference to the superior business relationship we've established with Cha Cha's Doggie Daycare and it's owner Desalene Jones. We own and lease several properties adjacent to and including the property utilized by Ms. Jones and her dog daycare. The adjacent properties hold businesses such as a heating and air shop, a grooming salon, a doctor's records office and a painting/contractor shop. Ms. Jones has established an exemplary camaraderie with her neighbors and has proven to be an excellent tenant. Despite the nature of her business, we have had no problems with excessive noise or unsanitary conditions.

The curb appeal and aesthetic condition of the interior is phenomenal, if nothing else Cha Cha's adds a warm and welcoming feel to the close-knit family here in Sacramento's Antique Row area. Cha Cha's helps to keep the Sacramento business community in line with the ever-changing opportunities afforded residents of larger cities such as San Francisco, Chicago and New York. Whoever said Sacramento is behind the times as far as business services offered hasn't met Ms. Jones and her modern concept business helping to keep East Sacramento on the map.

We look forward to an extended business relationship with Cha Cha's Doggie Daycare and would happily lease additional properties to her once they become available.

Please feel free to contact us with any questions or concerns

Sincerely,

George & Betty Gudie
916-736.1071

.....



www.traveldog.com

"Because there is more to life than the backyard"

September 6, 2002

To whom it may concern;

I am writing this letter of recommendation on behalf of Desalene Jones, Founder and Owner of Cha Cha's Angels, a Retreat for Dogs.

I have had the pleasure of working with Desalene in many areas of the animal industry and have always found her to be professional, straightforward, well educated and incredibly reliable. Her formal education in writing has been a huge benefit to my company (TravelDog.com) as she has written and edited most of our 500 page website. Her business skills are sharp and she has proven that she is willing to go to any length to learn the tasks necessary to run and grow a new business. All of these experiences only compliment her already clear expertise in the areas of dog training, grooming, and animal rescue.

My own dogs currently attend her doggie daycare and I am very pleased with the structure and cleanliness of the facility.

Kim Christoffersen
CEO
TravelDog.com
K.J. Paws

3583 64th Street, Sacramento, CA 95820
916-455-3476 Fax/Phone td@traveldog.com



K.J. PAWS

• A SALON FOR PETS •

To whom it may concern;

I am writing this letter of recommendation on behalf of Desalene Jones, founder and owner of Cha Cha's Angels, Dog Daycare.

I have known Desalene as a business owner for the last ten years. I have always found her to be a well educated, straightforward professional. Her business skills are sharp and she has proven that she is willing to learn whatever tasks are necessary in order to run and grow a dog related business. This adds greatly to her already clear expertise in the areas of dog training, grooming and animal rescue.



Kim Christoffersen
Owner
K.J. Paws, a Salon for Pets

A NEW EXPERIENCE IN GROOMING

GARY & SUSAN BURNS / 4325 52ND STREET / SACRAMENTO, CA 95820

(916) 233-8825 / (916) 212-0485

September 20, 2007

Desalene Jones
Owner
Cha Cha's Doggie Daycare

Dear Desalene,

We wanted to tell you a little story: we had a puppy who was sweet and adorable, but he, like every other puppy in the world, liked to chew up our shoes and furniture while we were at work! We heard about Cha Cha's, and figured it would be a good place for our little angel to go and get out his pent-up energy during the day, running around with other dogs. Little did we know his experience at Cha Cha's would be so much more than that! We were thrilled to see the clean, well-supervised facility, the knowledgeable and attentive staff, the careful screening of each dog to be sure there won't be any, ahem, personality conflicts, and the openness and welcoming atmosphere. We're certain that any place with 3 web cams and an open-door policy does not have anything to hide!! Our little guy was so happy going to Cha Cha's that he never again had the need to chew up our stuff, because he was so well-adjusted, and frankly, he was tired after his long, happy days of playing with his friends.

Now to continue the story: our little angel is not a puppy anymore. Our original reason for bringing him to "school" at Cha Cha's no longer applied, so you may wonder why we still take our dog to Cha Cha's. The answer is easy: with such a positive and nurturing atmosphere, the space to make friends and get along, our dog has matured into a sweet and lovable guy, and we know he eagerly anticipates going each day. It would break his heart not to go anymore. This is silly to admit, but it would break ours, too.

Another point I'd like to make (and this may seem small, but it's not to us) is I hope you know your location is perfect: you are situated on our way to and from work, and that convenience plays a part in our decision to continue going to Cha Cha's each day. I imagine that others feel the same way, because when deciding to invest in daily care for your pet, it is crucial that the location fit seamlessly into your family's daily routine. In fact, that place becomes like an extension of your family. It has for us, and we wouldn't trust anyone else with our little angel.

Thank you for your ongoing kindness and professionalism.

Sincerely,

Gary, Susan, and Buster B. Burns



Moo

September 23, 2007

Desalene Jones
Cha Cha's Doggie Daycare
910 57th Street
Sacramento, CA 95819

Dear Desalene:

Thanks so much for taking such good care of Moo. Ever since we adopted Moo 3 years ago, she has been a cherished member of our family. We are committed to providing a safe and loving environment for her and part of that commitment is quality care. Whether it's just for the day or for times when we travel out of town without her, Cha Cha's provides excellent care for Moo.

Your facility is first-rate and she loves going to Cha Cha's. It feels wonderful to leave her in your care and not have to worry about a thing. Cha Cha's is always clean and I'm amazed by how well behaved all the dogs are. I also love how convenient your location is to where we live and work. I'm confident the exercise and socialization Moo experiences at Cha Cha's helps her to be the model canine citizen we want her to be.

Sincerely,

Doug Brown

1816 K STREET • SACRAMENTO, CA • 95811
PHONE: 442-2823

August 29, 2002

RE: DESALENE JONES: CHA CHA'S ANGELS DOG DAY CARE

TO WHOM IT MAY CONCERN:

The undersigned has been using Cha Cha's Angels for almost one year. I have a Standard Poodle, now 18 months old, who goes to "daycare" two days a week. He has been well cared for, and a happy dog, since going to "daycare". Desalene "interviews" the owners and dogs prior to accepting them in her home. Any dogs that are not "socialized", that bark incessantly, that are aggressive, or have not had their immunizations, are not allowed to come to "day care".

Desalene is a very responsible and reliable person. She cares greatly for the dogs, and is very concerned about any problems the dogs might cause. She has developed ways of dealing with dogs that might become too loud, or "assertive" during daycare. Because the dogs are there every day (and sometimes their owners,) the yard and house are cleaned regularly. I would not hesitate to rent my home to her to provide dog daycare.

If you would like any further information, you may contact me at (916) 451-7327.

Sincerely,



Michael Mary Addison, MSW
Adoption Specialist
California State Department of Social Services

Sep 24 2007 2:10PM Kevin Beard-mortgage Cons 916-254-7705

The [Redacted] Mortgage
[Redacted] Consultants
Group

11344 Coloma Rd., Ste. 880, Gold River, CA 95670
Office: (916) 853-0220 ♦ Fax: (916) 853-0228
Visit Us At: www.mcglans.com

September 23, 2007

To Whom It May Concern:

We have been clients of Cha Cha's Doggie Daycare for approximately two years. We utilize it both for daycare and overnight stays. Cha Cha's has consistently been a professional and helpful option for the care of our dog, Sadie. The facility is always clean and the trained staff is friendly. It has become a second home for Sadie and we are grateful for their services on a weekly basis. In addition, the location is extremely convenient for us and adds a fun element to the neighborhood. We are happy to lend our support to Deslene Jones and Cha Cha's Doggie Daycare. Please feel free to contact us with any questions or concerns.

Thank you,

Kevin & Fairlight
Kevin and Fairlight Beard
916-254-7705

FHA/VA - Conventional - 2nds - Notes Purchased - Hypothecations

The Felsburg's

Tuesday, September 23, 2007

Desalene:

I am writing to thank you for all your love and attention you and your staff have given Ojobo over the years.

Our busy schedules keep us gone each day for long hours, and having Ojobo in your care every day seems like a second home to him. We also take vacations for weeks at a time, and we never worry knowing he is in your care.

We choose Cha Cha's over any other facility due to it's close location to our house downtown. We also love the unique layout that does not keep our dog in a cage, and allows him to run inside and outside as he wants. The staff is very attentive, and when they are not playing with the dogs, they keep your facility in clean condition.

You are doing a great job, and we are lucky to have such a special place to take our pet when he can not be with us. Thank you.

Sincerely,

Jennifer and Chris Felsburg