



REPORT TO PLANNING COMMISSION City of Sacramento

3

915 I Street, Sacramento, CA 95814-2671

PUBLIC HEARING
March 24, 2011

To: Members of the Planning Commission

Subject: Provence (P09-006)

A request to develop 233 condominium units on approximately 13.9 gross acres (10.8 net acres) in the Employment Center 50 Planned Unit Development (EC-50-PUD) zone in the Natomas Crossing PUD.

- A. Environmental Determination: Mitigated Negative Declaration;
- B. Mitigation Monitoring Plan;
- C. PUD Schematic Plan Amendment to re-designate the use and density on 10.8 net acres in the Natomas Crossing PUD;
- D. Tentative Map to subdivide 182 residential lots and 38 common lots into 28 residential condominium lots, 5 private street lots, 16 private drive lots and one landscape lot on 10.8 net acres;
- E. Special Permit to develop 233 condominium units in the Employment Center 50 Planned Unit Development (EC-50-PUD) zone; and
- F. Special Permit Major Modification to amend previous approval for 187 townhouse units per P06-194.

Location/Council District:

Area southwest of East Commerce Way and Benefit Way, Sacramento, CA

Assessor's Parcel Number 225-2330-002-0000 through 225-2330-076-0000, 225-2680-002-0000 through 225-2680-083-0000, and 225-2690-002-0000 through 225-2690-069-0000

Council District 1

Recommendation: Staff recommends the Commission approve the request based on the findings and subject to the conditions listed in Attachment 1. **At the writing of this report, the project is non-controversial; this project was continued from the March 10th Planning Commission meeting.** Staff recommends the Commission forward to City Council a recommendation of approval for items A to F, and to approve a Private Recreational Facilities Agreement.

Contact: David Hung, Associate Planner, (916) 808-5530; Lindsey Alagozian, Senior Planner, (916) 808-2659

Applicant: RC Natomas, LLC c/o Kevin Smith, (916) 838-6651, 2225 Third Street, Suite 113, Sacramento, CA 95616

Owner: RC Natomas, LLC. List of owners as follows:

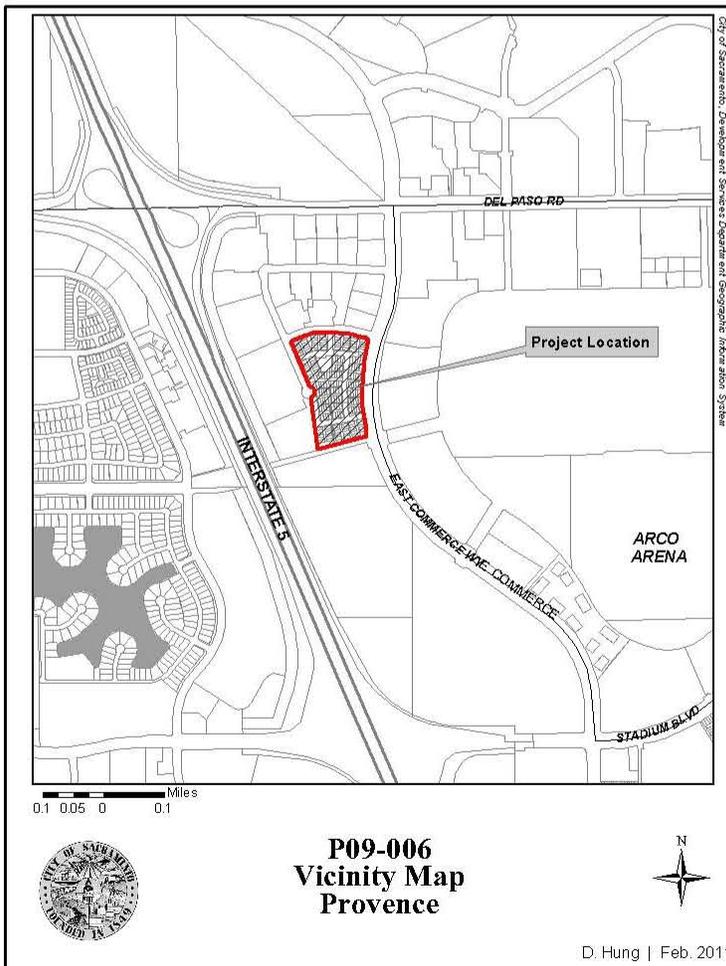
Aries Capital Partners c/o Richard Durham, Jason Reading and Andrew Dent, Salt Lake City, UT

Ranch Capital c/o Lawrence S. Hershfield, Randall Jenson and Dustin Gillman, (858) 523-1799, San Diego, CA

RRDC c/o E. James Murar, Rob Murar and Patrick Brown, (949) 533-0627, 4060 Campus Drive, Suite 100, Newport Beach, CA 92660

Paragon c/o Kevin Smith, (916) 838-6651, 2225 Third Street, Suite 113, Sacramento, CA 95616

Vicinity Map



Summary: Entitlements were previously approved to develop a 187 unit townhouse complex at the subject site (P06-194) within the Natomas Crossing – Area #3 Planned Unit Development (PUD). The site is currently developed with five of the 187 units, along with interior streets and the pool and pool house. The current application request is for the necessary entitlements to develop 233 condominium units within the undeveloped areas of the site. The project requires a PUD Schematic Plan Amendment, a Tentative Map, a Special Permit for condominiums and a Special Permit Major Modification to amend the previous approval. Staff notified all property owners within 500 feet of the site for this public hearing and received no opposition at the writing of this report.

Table 1: Project Information
General Plan designation: Employment Center Mid Rise (18 to 60 units per acre)
PUD designation: Townhouse
Existing zoning of site: EC-50-PUD
Existing use of site: Residential (partially developed)
Property area: 13.9 gross acres (10.8 net acres)

Background Information: On June 24, 1997, the City Council approved a Development Agreement and Rezone (P96-084) to designate this area as the Natomas Crossing - Alleghany #3 Planned Unit Development (PUD). Also approved were development guidelines and a schematic plan for the PUD. On May 8, 1997, the Planning Commission approved a Tentative Master Parcel Map for the site (P96-084). The current project site is a small portion of the Natomas Crossing – Alleghany Area #3 Planned Unit Development area.

On June 25, 2002, the City Council approved a General Plan Amendment, Community Plan Amendment, and a Rezone (P01-028) to re-configure the land use designations for the overall Natomas Crossing – Alleghany Area #3 PUD area. Also approved were PUD development guidelines and schematic plan amendments. On June 6, 2002, the Planning Commission approved a Tentative Map, Subdivision Modifications, and a Special Permit for an office building (for a parcel south of this location).

On January 17, 2006, the City Council approved a PUD Schematic Plan Amendment (P05-079) to re-designate this site for multi-family development in the Natomas Crossing – Alleghany Area #3 Planned Unit Development (PUD). On October 13, 2006, the Planning Commission approved a Tentative Subdivision Map to create one 10.9± net acre condominium parcel and a PUD Special Permit to develop a 187 unit condominium complex in the Natomas Crossing – Area #3 PUD.

On February 22, 2007, the Planning Commission approved the entitlement to revoke the Special Permit to develop the 187 unit condominium complex and approved a Tentative Map, Subdivision Modification and Special Permit to develop a 187 unit townhouse complex (P06-194). The site is currently developed with five of the 187 units, along with interior streets and the pool and pool house.

Public/Neighborhood Outreach and Comments: The project was routed to the following neighborhood advisory groups: Heritage Park HOA; Natomas Community Association (NCA); North Natomas Alliance (NNA); North Natomas Community Association (NNCA); Natomas Park Master Association (NPMA); Regency Park Neighborhood Association (RPNA); SABA; Terrace Park Neighborhood Association; WALKSacramento; and Witter Ranch Neighborhood Association. No comments were received. WALKSacramento has provided comments for the project and is attached to the staff report; in response to the comments, staff is conditioning that the final landscape and circulation plans be submitted to Planning Division for review and comment prior to submittal for building permits.

Environmental Considerations: The City of Sacramento prepared a Mitigated Negative Declaration (MND) for the Provence project. In accordance with the California Environmental Quality Act (CEQA), the MND was submitted to a 20-day public review period from May 8, 2009 through May 28, 2009. The Notice of Availability was advertised in a newspaper of general circulation, posted with the Sacramento County Clerk and sent to stakeholders in the project area. No comments were received during circulation for public comment.

The following sections were identified to have potentially significant impacts: Hydrology and Noise. Mitigation measures were incorporated into the project description to reduce these impacts to a less-than-significant level, consistent with CEQA Guidelines Section 15070.

Following preparation of the MND and circulation for public comment, the project was revised to reduce the dwelling unit count from 237 to 233, along with some minor alterations in layout. The reduction in dwelling unit count would have no effects that were not identified and evaluated in the MND, and no changes to the environmental document are required. Recirculation of the MND is not required pursuant to CEQA Guidelines Section 15073.5.

The MND is currently posted on the Community Development Department's web site at: <http://www.cityofsacramento.org/dsd/planning/environmental-review/eirs/>

Policy Considerations:

General Plan

The 2030 General Plan Update was adopted by City Council on March 3, 2009. The 2030 General Plan's goals, policies, and implementation programs define a roadmap to achieving Sacramento's vision to be the most livable city in America. The 2030 General Plan Update designation of the subject site is Employment Center Mid Rise which provides for large mixed-use office/employment centers that includes residential uses as a supportive mixed use or adjacent to large employment center; this designation allows a minimum density of 18 units per net acre to a maximum of 60 units

per net acre. The 2030 General Plan has identified goals and policies under the Land Use and Urban Design Element as well as the Housing Element. Some of the goals and policies supported by this project are:

- *Citywide Land Use and Urban Design. (Policy LU 7.1.2) Housing in Employment Centers.* The City shall require compatible integration of housing in existing and proposed employment centers to help meet housing needs and reduce vehicle trips and commute times, where such development will not compromise the City's ability to attract and maintain employment-generating uses.
- *Housing Element. Housing Diversity (Goal H-1.2)* Provide a variety of quality housing types to encourage neighborhood stability.
- *Housing Element. Balanced Communities (Goal H-1.3)* Promote racial, economic, and demographic integration in new and existing neighborhoods

The project, with a density of 21 units per net acre, is within the range of 18 to 60 units per net acre of the General Plan land use designation. The proposed project meets the 2030 General Plan goals and policies related to Citywide Land Use and Urban Design and the development of Employment Center Mid Rise.

North Natomas Community Plan

The policies contained in the North Natomas Community Plan, found within Part 3 of the 2030 General Plan, are organized to mirror the structure of the citywide General Plan elements and are intended to supplement, but not repeat, citywide policies. Staff believes that the proposed project to develop 233 condominium units does not contradict nor interfere with the identified policies in the community plan.

Employment Center Zoning

The development of a multi-family residential use in the employment center zone is considered a non-primary use ancillary to the primary use intended for the greater area of the employment center zoned parcels within a Planned Unit Development. A maximum of twenty-five percent (25%) of the PUD net acreage may be designated for and devoted to residential uses. The proposed project will not exceed the 25% residential threshold in the Natomas Crossing PUD. The Zoning Code allows an entitlement process to exceed the maximum allowable area of 25% residential use within a PUD if it exists within the specific area delineated as being bounded by the East Drain, I-5, Del Paso Road and Arena Boulevard. This geographic area contains approximately 340 net acres. The Zoning Code allows 25% of the defined area to be residential which equates to approximately 85 net acres residential use. The proposed project in combination with existing multi-family residential development will total approximately 72.28 net acres of residential development leaving a remainder of approximately 12.72 acres available for residential use, provided the appropriate findings can be made.

Within the defined geographic area which allows up to 25% residential use, the other approved or constructed multi-family complexes include the Bella Rose Condominiums, the Ashton Parc Apartments, the Tuscaro Apartments, Arena Seniors, and the Fairfield Apartments. With the previously approved project on the subject site, the total amount of acreage devoted to residential uses within the defined geographic area is 72.28 acres and thus will not exceed the maximum 25%, or 85 acres, as shown on the following table.

Item	Area/Project		Net Acres	Description
1	Natomas Crossing PUD	(EC-50, R-2B)-PUD	<16.9 na>	Fairfield Apartments (P01-014)
2	Natomas Crossing PUD	EC-50-PUD	<10.9 na>	Provence (P06-194)
3	Arena Corporate Center PUD	EC-40-PUD	<10.85 na>	Bella Rose Condominiums (P03-162)
4	Arena Corporate Center PUD	EC-40-PUD, AOS	<16.9 na>	Tuscaro Apartments (P98-042)
5	Arena Corporate Center PUD	EC-40-PUD	<8.23 na>	Ashton Parc Apartments (P04-240)
6	Arena Corporate Center PUD	EC-40-PUD, EC-80-PUD	<8.5 na>	Arena Seniors (P08-013)
	Total Residential (in defined geographic area)		72.28 na	
	Total Net Acreage in defined area		340 net acres	Allowable acres for residential if criteria met = 85 na
	% Residential in Defined Area		21.3%	

The following table shows a list of multi-family housing projects in the North Natomas Community Plan area, including apartments and condominiums:

Location	Project Name	Type	Units	
West of Interstate 5	Lofts (P02-084)	Apartment	188 (app'd)	
	Atrium Court (P02-035)	Apartment	224 (app'd)	
	Irongate (P98-071)	Apartment	280 (app'd)	
	Terracina Meadows (P01-050)	Apartment	148 (app'd)	
	Hurley Creek (P06-007)	Apartment	208 (app'd)	
	Valencia Point (P05-212)	Apartment	168 (app'd)	
	Cambay West (P03-047)	Apartment	216 (app'd)	
	Duckhorn Village (P06-201)	Apartment	75 (app'd)	
	Vista del Lago (P06-093)	Condominium	219 (app'd)	
	Westlake Villas (P01-053)	Condominium	285 (app'd)	
	Brias del Lago (P06-139)	Townhouses	126 (app'd)	
		Subtotal:		2137

East of Interstate 5	Homecoming (P01-115)	Apartment	450 (app'd)
	Bella Rose (P03-162)	Condominium	201 (app'd)
	Ashton Parc (P04-240)	Apartment	168 (app'd)
	Villagio (P99-059)	Apartment	272 (app'd)
	Creekside Crossing (P05-177)	Condominium/ Townhouses	434 (app'd)
	Tuscaro (P98-042)	Apartment	296 (app'd)
	Granite Pointe (P01-014)	Apartment	384 (app'd)
	Terracina Gold (P99-142)	Apartment	280 (app'd)
	Natomas Field (P04-236)	Townhouses	211 (app'd)
	JMA/Laing Condos (P05-164)	Condominium	92 (app'd)
	JMA/St. Anton (P05-136)	Apartment	108 (app'd)
	McKenzie (P01-016)	Apartment	152 (app'd)
	Miramonte/Trovass (P99-082)	Apartment	440 (app'd)
	Carriage Lane I (P03-085)	Condominium	156 (app'd)
	Carriage Lane II (P04-167)	Condominium	39 (app'd)
	Provence (P06-194)	Townhouses	187 (app'd)
	Syrah (P02-132)	Condominium	245 (app'd)
	Amara (P04-087)	Condominium	200 (app'd)
	Natomas Park (P01-100)	Apartment	212 (app'd)
	Broadstone (P04-096)	Condominium	142 (app'd)
	Regency Park (P04-065)	Condominium	135 (app'd)
	Carefree (P00-005)	Apartment	500 (app'd)
	Northpointe (P03-046)	Apartment	180 (app'd)
	Terraces (P04-196)	Condominium	321 (app'd)
	Natomas Place (P06-124)	Apartment	135 (app'd)
	Natomas Market Rate (P08-047)	Condominium	120 (app'd)
	Vintage at Natomas Field (P05-116)	Apartment	200 (app'd)
	Hampton Village (P04-058)	Condominium	264 (app'd)
	Heritage Point (P07-035)	Condominium	229 (app'd)
	Arena Seniors (P08-013)	Apartment	240 (app'd)
		Subtotal:	6,993
Total Multi-Family Units in North Natomas:			9,130

There are a total of 9,130 approved multi-family dwelling units in the North Natomas Community Plan area as of February 2011. The project, if approved, will add an additional 51 units of multi-family housing.

The proposed condominium use is compatible with the adjacent/proposed future uses within the PUD, and the site can be adequately served by public facilities, transit and open space. This project is a high density development and has 22 dwelling units per net acre; however, circulation is eased by the fact that the development is bordered by three streets and allows easy access to the surrounding area. In conclusion, staff supports the project and finds the proposed project is in compliance with the goals and policies of the North Natomas Community Plan.

Natomas Basin Habitat Conservation Plan (NBHCP):

The 1994 North Natomas Community Plan required the development and implementation of a Habitat Conservation Plan as mitigation for development in North Natomas. In 1997, the NBHCP was approved by the City of Sacramento, USFWS, and CDFG.

The NBHCP is a conservation plan supporting application for incidental take permits (ITP's) under Section 10(a)(1)(B) of the Endangered Species Act and under Section 2081 of the California Fish and Game Code. The purpose of the NBHCP is to promote biological conservation while allowing urban development and continuation of agriculture within the Natomas Basin. The NBHCP establishes a multi-species conservation program to mitigate the expected loss of habitat values and incidental take of protected species that would result from urban development, operation of irrigation and drainage systems, and rice farming. The goal of the NBHCP is to preserve, restore, and enhance habitat values found in the Natomas Basin.

To support the issuance of an ITP, an Environmental Assessment was prepared by the USFWS for the National Environmental Policy Act requirement and a Negative Declaration was prepared by the City of Sacramento for the California Environmental Quality Act (CEQA) requirement. The USFWS and CDFG issued ITP's to the City of Sacramento. The NBHCP and ITP were subsequently challenged, and on August 15, 2000, the United States District Court, Eastern District, ruled that the ITP was invalid and an EIS was required for the project. Based on this ruling, the City of Sacramento and Sutter County jointly prepared a revised NBHCP and an Environmental Impact Report/Environmental Impact Statement (EIR/EIS) for use by the USFWS and CDFG. The USFWS is the lead federal agency for the preparation of the EIS and the City of Sacramento and Sutter County are co-lead agencies for the preparation of the EIR. The Sacramento City Council adopted the revised NBHCP and EIR/EIS on May 13, 2003. On June 27, 2003 the USFWS issued a new Incidental Take Permit for the NBHCP for development within the Natomas Basin. This project is subject to the requirements of the revised HCP/ITP. HCP fees have been paid and the site has been graded, thereby complying with the requirements of the HCP/ITP.

Smart Growth Planning Principles:

"Smart Growth" is a term coined by the United States Environmental Protection Agency (USEPA) as an umbrella term for the many initiatives intended to address some of the negative consequences of urban sprawl. Smart Growth generally occurs when development patterns are sustainable and balanced in terms of economic objective, social goals, and use of environmental/natural resources. The following Smart Growth principles apply to the proposed project:

- Higher-density, cluster development.
- Multi-modal transportation and land use patterns that support walking, cycling and public transit.
- Streets designed to accommodate a variety of activities.
- Planned and coordinated projects between jurisdictions and stakeholders.

The proposed project has been designed to incorporate many of the Smart Growth Principles listed above.

Mixed Income Inclusionary Housing Ordinance:

The project is allowed in the EC zone due to amendments to the Community Plan (Resolution 2002-047) and the EC Zone (Ordinance 2002-001) adopted in 2002. These amendments allow for the residential component of EC development within the geographic area bounded by the East Drain, Interstate 5, Del Paso Road and Arena Boulevard to exceed 25% within the individual PUD with the approval of a special permit; the subject site is within the above referenced geographic area.

Per section 17.190.070(E) of the Zoning Ordinance, any residential project in the North Natomas community plan area which is the subject of a development agreement executed on or before June 20, 2000 shall be exempted from the inclusionary housing component, unless subsequent to June 20, 2000 the residential project requires the approval of one or more legislative entitlements or amendments to legislative entitlements which are major rather than minor, in which case the residential project shall not be exempt from inclusion of the inclusionary housing component. Per section 17.190.020 of the Zoning Ordinance, "minor legislative entitlements" means legislative entitlements or amendments to legislative entitlements which satisfy one or more of the following:

1. Entitlements that do not result in any of the following criteria as defined by the North Natomas community plan target average densities: a net loss of residential acreage; a net loss of acreage of land designated for high density residential (HDR) or medium density residential (MDR) development, unless the HDR total residential units replace the loss of MDR residential units; or a net loss of total residential units;
2. Entitlements that are the result of, and required by, amendments to public facilities or roadways designated in the North Natomas community plan; provided further that the entitlements are limited to addressing the amendments required by the city or other public agency; or
3. Entitlements that are limited to amendments to a previously approved PUD schematic plan, tentative map, or PUD development guidelines, provided that the amendments do not result in a loss of more than five (5) percent between the density of the proposed project and the density of the previously approved project.

The project site was under a Development Agreement approved prior to June 20, 2000. Staff has found that the 2002 amendments to the Community Plan and the EC Zone as well as the required PUD Schematic Plan Amendment for the project fall within the definition of a minor legislative entitlement per the criteria discussed above; the project does not result in a net loss of residential acreage and the entitlements are limited to amendments to a previously approved PUD schematic plan, Plan Review and Special Permits. As a result, the project is exempt from the Mixed Income Housing Ordinance under section 17.190.170.

Multi-Family Residential Design Guidelines:

The Multi-Family Residential Design Guidelines were approved by the City Council on August 5, 2000 (Resolution CC2000-487). This document articulates design principles for multi-family residences to assist the Planning Commission, City Council, City staff and project planners and designers by identifying the City's design criteria for multi-family development. The intent is to achieve well-designed projects to enhance the community's overall value and appearance. The project is generally consistent with the Multi-Family Residential Design Guidelines as identified in the building design section of this staff report.

Project Design:

The following discusses project in relation to the PUD Schematic Plan, the Tentative Map, the Special Permit for condominiums and the Special Permit Major Modification to amend the previous approval.

Land Use

PUD Schematic Plan Amendment

The applicant is proposing a PUD Schematic Plan Amendment to designate a 233-unit condominium complex on 10.8 net acres within the Natomas Crossing PUD. Applicants wishing to obtain entitlements in order to proceed to the construction phase of development are required to submit a Schematic Plan along with other drawings delineating the anticipated developments proposed in the near future for a site. The existing Schematic Plan depicts the site with 187 townhouse units. The proposed Schematic Plan Amendment delineates the use and density of the project under consideration. Since the PUD Schematic Plan Amendment reflects an increase in density of more than 10% of the existing condition, the project requires approval of the City Council.

Project Designation	Proposed Land Use Designation	Gross Acres	Net Acres	Units	Buildings	Density
Carriage Lane 3	Residential (Townhouses)	13.9	10.9	188	38	17.2 units per net acre

Project Designation	Proposed Land Use Designation	Gross Acres	Net Acres	Units	Buildings	Density
Provence (P09-006)	Residential (Condos)	13.9	10.8	233	134	22 units per net acre
Provence (P06-194)	Residential (Townhouses)		0.2	5	5	

The development of a multi-family residential in the employment center zone is considered a non-primary use ancillary to the primary use intended for the greater area of the employment center zoned parcels within a Planned Unit Development. Staff finds that the PUD Schematic Plan Amendment conforms to policies of the General Plan and North Natomas Community Plan to provide adequate housing sites and opportunities for all households and to promote efficient development within a new growth area. Furthermore, the PUD Schematic Plan Amendment will not be injurious to the public welfare, nor to other properties in the vicinity of the development in that the project is compatible with adjacent developments and the site will be developed according to the requirements of the PUD Guidelines.

Tentative Map design

Map Design: The tentative map proposes to subdivide 182 residential lots and 38 common lots (per approval of file P06-194) into 28 residential condominium lots, 5 private street lots, 16 private drive lots and one landscape lot on 10.8 net acres; the tentative map design is summarized below:

Lot Number:	Total Net Acreage:	Use:
1 - 28	7.7	Condominium Units
A – P	1.0	Private Drives
Q - U	1.8	Private Streets
V	0.3	Landscape Lot

The project creates condominium parcels which consist of an undivided interest in common in a portion of real property coupled with a separate interest in space called a unit, the boundaries of which are described on a recorded final map, parcel map, or condominium plan in sufficient detail to locate all boundaries thereof. [Civil Code Section 1350 (f)].

Vehicular Circulation and Parking: Access to the project site is provided at Benefit Way to the north and Advantage Court to the west. The main vehicular access is the northern driveway and secondary vehicular access is provided to the west. The units along Advantage Court provide direct pedestrian access to the sidewalks along this street. Pedestrian connections are also provided from the interior of the site to the sidewalks along Benefit Way and East Commerce Way.

Pedestrian Circulation: Existing sidewalk and rolled curb are found at the frontage on East Commerce Way, Benefit Way and Advantage Court. The project does not impact or change existing circulation in and around the site.

Walls and Fencing: Existing fencing at the pool area will remain. New fencing is to be installed all along the southern perimeter of the site. Fencing abutting the vacant adjacent parcel to the west shall be provided when the site is developed. As required by the Fire Department, a gate will be installed at the emergency vehicle access entrance at East Commerce Way.

On December 15, 2010, the Subdivision Review Committee, with all ayes, voted to recommend approval of the proposed Tentative Map, subject to the conditions of approval as found in Attachment 1.

In evaluating tentative maps, the Commission is required to make the following findings:

- A. None of the conditions described in Government Code Section 66474, subsection (a) through (g), inclusive, exist with respect to the proposed subdivision;
- B. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and Title 16 Subdivisions of the City Code, which is a specific plan of the City (Gov. Code §66473.5);
- C. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in a violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision (Gov. code §66474.6);
- D. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Gov. Code §66473.1);
- E. The Planning Commission has considered the effect of the approval of this tentative subdivision map on the housing needs of the region and has balanced these needs against the public service needs of its residents and available fiscal and environmental resources (Gov. Code §66412.3).

Staff finds that the Tentative Map is consistent with the policies of the General Plan and Title 16 of the City Code. The site is physically suitable for the type of development proposed and suited for the proposed density; the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife their habitat, and the design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use, of, property within the proposed subdivision. The project will not overly burden the sewer system, nor will it preclude future passive or natural heating and cooling opportunities.

The Carriage Lane III development project, previously approved for this site, has a Private Recreational Facilities Agreement (City Agreement 2006-0298). The Agreement allowed 5% parkland dedication credit in exchange for the development of a private pool for the use of all residents in the 187 unit Carriage Lane III subdivision. The Agreement was specific to the Carriage Lane III project and is not transferable to this project. The Applicant for the Provence project has requested a new Private Recreational Facilities Agreement. The new Provence Private Recreational Facilities Agreement will be for the development of a private pool for the use of all residents in the 233 unit development, plus the five existing model homes from the Carriage Lane III project. Pursuant to Section 16.64.120 of the Sacramento City Code and at the time of the hearing on the tentative subdivision map, the Planning Commission shall make a recommendation concerning the request for a Private Recreational Facilities Agreement to the City Council. Staff supports a new Private Recreational Facilities Agreement, with the remainder of the parkland dedication obligation to be fulfilled through the payment of in lieu fees.

Special Permit

The applicant proposes to develop 223 condominium units on approximately 10.8 net acres in the Employment Center Planned Unit Development (EC-50-PUD) zone. Section 17.192 of the Zoning Code permits new condominium developments with the issuance of a special permit. In evaluating special permit proposals of this type, the Planning Commission is required to make the following findings:

1. A special permit shall be granted upon sound principles of land use.
Staff finds that the proposed development is an appropriate land use that will have positive contribution to the surrounding area, in that the project site is in close proximity to future commercial and open space uses and that the site will be well served by auto, bicycle, and pedestrian linkages.
2. A special permit shall not be granted if it will be detrimental to the public health, safety or welfare, or if it results in the creation of a nuisance.
Staff finds that the proposed condominium development site and building design are consistent with the Natomas Crossing PUD Guidelines and the Multi-Family Residential Design Principles and will not be detrimental to public health, safety or welfare.
3. A special permit use must comply with the objectives of the general or specific plan for the area in which it is to be located.
The proposed project is consistent with the goals and policies of the employment center designation in the General Plan and the North Natomas Community Plan.

Staff believes that the current proposal is a well designed project in that it provides various housing types and different architectural variations, and it provides usable private and public outdoor spaces for the residents. The proposed project should have a positive contribution to the surrounding area.

Access, Circulation and Parking

Vehicular access to the project site is provided through three driveways: one off of Benefit Way and two off of Advantage Court. Additional pedestrian connections are provided from the units to the sidewalks along Advantage Court, Benefit Way, and East Commerce Way.

Use	Required Parking	Proposed Parking	Difference
Condominiums	233 (one per unit)	410	+177

Two types of parking will be available at this complex: garage spaces within the individual units and open spaces for residents and guests. The parking areas comply with the Multi-Family Residential Design Guidelines in that: the majority of the surfaced parking areas are located away from the adjacent public roadways; parking areas are generally located away from street corners; and landscaping and walkways are provided between buildings and paved parking areas. According to the Sacramento City Code (Section 17.192), a minimum of 1 parking space per unit is required. Therefore, the proposal is required to provide a minimum of 233 parking spaces. The applicant is proposing 410 parking spaces on site, consisting of 371 garage spaces and 39 open spaces. It is staff's opinion that the 371 garage spaces and the 48 extra parking spaces are not excessive, in that: each unit has either a one-car or a two-car garage; minimal on-street parking is allowed on the surrounding streets; and the open parking is provided throughout the site.

The proposal is also consistent with the Natomas Crossing PUD guidelines, which state that where reasonable, locate parking lots away from the primary adjacent roadways, behind buildings, or within the buildings as structured parking. (p. 57)

Height, Bulk and Setbacks

Standard	Allowance	Proposed	Deviation?
Height	Maximum four stories	Two to three stories	No
East Commerce Way	Minimum of 12'-6" Maximum of 15'-0"	12'-6" to 15'-0"	No
Benefit Way	Minimum of 17'-6" Maximum of 23'-0"	17'-6"	No

Advantage Court	15'-0"	15'-0"	No
Southern Property Line	15'-0"	15'-0"	No

As indicated above, the project meets or exceeds all applicable height and area requirements.

Building design, signage and landscaping

The condominium buildings are three stories in height which is within the four-story maximum building height allowed in the Employment Center 50 zone. The exterior building materials will consist of integral color stucco, stone veneer, plaster corbels, plaster window trims, metal railing details, and decorative shutters. Roofing is proposed to be composite tiles. Vinyl windows, fiberglass entry doors and metal sectional garage doors are also used. The applicant is proposing two housing types, the Urban Villas and the Courts.

The Urban Villas are located at the northernmost and southernmost portions of the site. All three unit types are three stories tall and have ground floor living area adjacent to two-car garages; in some instances, unit types 1 and 2 are attached by a deck in between the buildings. All unit entries face onto a pedestrian paseo or a public street; all garages are accessed at the private drives. All building side elevations facing a street shall be enhanced with window openings, trims and decorative elements.

The Courts are located at the central portion of the site and at the East Commerce Way frontage. All building in the Courts are three stories in height and other than Plan 2/3 and 5/7, all buildings have partial living area on the ground floor. Some of the Courts buildings contain two-story elements to alleviate the massing. All units have an entry that faces onto a public street, a private street or a pedestrian paseo; all garages are accessed at the private drives. Plans 1, 2, 4, 6, 8, 9, 10 and 11 are shown with one-car garages while Plans 3, 5 and 7 are shown with two-car tandem garages. All building side elevations facing a street shall be enhanced with window openings, trims and decorative elements.

The following is a general summary of the building types:

Building Type	Building Count	Unit Count	Maximum Height	Number of Floors
Urban Villa 1	7	7	32'-0"	3
Urban Villa 1 & 2	17	34	32'-0"	3
Urban Villa 3	21	21	32'-0"	3
Court – Plan 1 / 4	16	32	33'-0"	3
Court – Plan 2 / 3	14	28	33'-0"	3
Court – Plan 5 / 7	31	62	35'-0"	3
Court – Plan 6 / 9	11	22	34'-0"	3

Court – Plan 8	7	7	33'-0"	3
Court – Plan 10 / 11	10	20	32'-0"	3
Total	134	233	n/a	n/a

The proposal is required to be consistent with the following Natomas Crossing PUD Guidelines:

- Front-on buildings are encouraged. Avoid soundwalls, replace with mounds and other sound absorption features. (p. 22)
- Architectural facades should provide visual interest and scale to the adjacent streets. Avoid overly monotonous facades that do not have relief, shadow, or textural changes at the pedestrian level. (p. 57)
- Provide windows that look out to the adjacent streetscapes and parking lot areas. (p. 57)
- Orient building entrances toward the adjacent streetscape and celebrate the connection between public and private uses. (p. 57)
- Buildings should be located close to the public utility easement (PUE). (p. 78)
- Residential buildings should have pedestrian access and visual orientation to the adjacent roadways and/or open space features. (p. 85)
- Residential buildings shall be oriented on the site to create interesting and safe common open space areas that promote neighborly interaction. (p. 85)

The residential buildings are consistent with the Multi-Family Residential Design Guidelines in that the buildings are arranged to provide functional public and private outdoor spaces, and pedestrian orientation is encouraged in the allocation of space, building size and placement, and open space design. The buildings provide windows and active spaces to enhance security and visual interest; a variety in architecture is provided, and the buildings vary roof form, mass, shape and material changes to create variations in plans. The applicant will be required to provide exterior lighting of residential quality and design for this proposal, consistent with the pedestrian and light poles for this proposal. All signage will be required to conform to the Natomas Crossing – Area #3 PUD Guidelines and the City's Sign Ordinance, where applicable.

A preliminary landscaping plan for the project is provided; the applicant has also provided playground shade structure and paseo concept plans. Trees have been planted between a separated sidewalk and the street along the public streets. The proposed landscaping on site will consist of shade trees and flowering ornamental trees, as well as shrubs and ground cover. The proposed landscaping is required to be consistent with the North Natomas Development Guidelines – Plant Species and the Natomas Crossing PUD Guidelines – Roadway master Plan Matrix (Table 4). The parking areas will be required to comply with the City's Tree Shading Ordinance, requiring 50 percent tree shading within 15 years.

The proposed landscaping is consistent with the Multi-Family Residential Design Guidelines, in that: the exterior site design and landscaping provide functional recreational spaces and community site amenities; the exterior spaces are designed to

enhance the overall appearance and compatibility of this development by providing privacy, buffering and daylight, and to provide a pleasant transition to the street.

Special Permit Major Modification

The previous approval on the site is for 187 townhouse units (P06-194). The site is currently developed with five of the 187 units, along with interior streets and the pool and pool house. A Special Permit Major Modification is required to amend the previous approval to allow the construction of a total of 233 condominiums on the remaining portion of the site. In evaluating special permit proposals of this type, the Commission is required to make the following findings:

1. A special permit shall be granted upon sound principles of land use.
Staff finds that the proposed condominium development is a better designed project than the previous approval on the site; the project provides more architectural variations and both private and public outdoor spaces for the occupants.
2. A special permit shall not be granted if it will be detrimental to the public health, safety or welfare, or if it results in the creation of a nuisance.
The project will not be detrimental to the public health, safety or welfare since the buildings will be constructed to meet code standards. Residential developments of this type have been approved in many areas of the city. Staff finds that the proposed development is consistent with the Natomas Crossing PUD Guidelines and the Multi-Family Residential Design Principles.
3. A special permit use must comply with the objectives of the general or specific plan for the area in which it is to be located.
The proposed project is consistent with the employment center and residential policies of the General Plan and the North Natomas Community Plan.

Staff believes that the current proposal is a better project in that it provides various housing types and different architectural variations, and it provides usable private and public outdoor spaces for the residents. The proposed project is also consistent with the goals and policies of the General Plan.

Conclusion: Staff recommends the Commission forward to City Council a recommendation of approval for the project. Staff finds: 1) the proposal's consistency with the policies of the General Plan, North Natomas Community Plan, and the Natomas Crossing – Area #3 Planned Unit Development (PUD) Guidelines and Schematic Plan; 2) the proposed use is consistent with the Employment Center zoning designation; and 3) the project contributes positively to the surrounding area.

Respectfully submitted by: David Hung
DAVID HUNG
Associate Planner

Approved by: Lindsey Alagozian
LINDSEY ALAGOZIAN
Senior Planner

Recommendation Approved:
Gregory Bitter
GREGORY BITTER, AICP
Principal Planner

Table of Contents:

Page 1	Report
Page 19	Attachment 1 – Proposed Findings of Fact and Conditions of Approval
Page 20	Attachment 2 – Mitigated Negative Declaration – Findings – Draft Resolution
Page 23	Exhibit 2A – Mitigation Monitoring Plan
Page 29	Attachment 3 – PUD Schematic Plan Amendment – Draft Resolution
Page 30	Exhibit 3A – PUD Schematic Plan Amendment
Page 31	Attachment 4 – Project Approval – Draft Resolution
Page 50	Exhibit 4A – Tentative Map
Page 51	Exhibit 4B – Existing Condition
Page 52	Exhibit 4C – Special Permit Plan
Page 53	Exhibit 4D – Landscape Plan
Page 54	Exhibit 4E – Circulation Plan
Page 55	Exhibit 4F – East Commerce Views Looking Southwest & West – With Trees
Page 57	Exhibit 4G – East Commerce Views Looking Southwest & West – Without Trees
Page 59	Exhibit 4H – Courts – House Plans and Elevations
Page 121	Exhibit 4I – Urban Villas – House Plans and Elevations
Page 135	Exhibit 4J – Building Data Charts
Page 137	Exhibit 4K – Elevation Variation Plotting and Color Schemes
Page 149	Exhibit 4L – Playground Shade Structure and Paseo Concept Plans
Page 152	Attachment 5 – Private Recreational Facilities Agreement – Draft Resolution
Page 154	Exhibit 5A – Agreement to Construct and Maintain Private Recreational Facilities
Page 158	Attachment 6 – WALKSacramento Comment Letter
Page 160	Attachment 7 – Mitigated Negative Declaration
Page 161	Attachment 8 – Land Use & Zoning Map

Attachment 1
Proposed Findings of Fact and Conditions of Approval
Provence (P09-006)
Area southwest of East Commerce Way and Benefit Way

Findings of Fact

- A&B.** The Planning Commission has reviewed and considered the information contained in the Mitigated Negative Declaration and Mitigation Monitoring Plan in making the recommendations set forth below.
- C.** The Planning Commission recommends approval and forwards to the City Council the **PUD Schematic Plan Amendment** for the Project as set forth in Attachment 3.
- D.** The Planning Commission recommends approval and forwards to the City Council the **Project Approval** for the Project as set forth in Attachment 4.

Attachment 2: Mitigated Negative Declaration – Findings – Draft Resolution

RESOLUTION NO.

Adopted by the Sacramento City Council

ADOPTING THE MITIGATED NEGATIVE DECLARATION AND THE MITIGATION MONITORING PROGRAM FOR THE PROVENCE PROJECT (P09-006)

BACKGROUND

A. On March 10, 2011, the City Planning Commission conducted a public hearing on, and forwarded to the City Council a recommendation to approve with conditions the Provence Project.

B. On April 19, 2011, the City Council conducted a public hearing, for which notice was given pursuant Sacramento City Code Section 17.200.010 (C)(2)(a, b, and c) and received and considered evidence concerning the Provence Project.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

Section 1. The City Council finds as follows:

A. The Project initial study was prepared to analyze whether the Project was described in the Master EIR and whether the Project would cause any significant additional environmental effects (project-specific effects) that were not analyzed in the Master EIR for the 2030 General Plan.

B. The Initial Study concluded that the Project was described in the Master EIR, and identified mitigation in the Master EIR that would apply to the Project. The Initial Study identified mitigation measures that were incorporated to revise the project before the environmental document was released for public review pursuant to CEQA Guidelines Section 15073 in order to avoid or mitigate the identified effects to a level of insignificance. (CEQA Guidelines Section 15178(b)). As part of the Master EIR process, the City incorporated all feasible mitigation measures or feasible alternatives appropriate to the project as set forth in the Master EIR (CEQA Guidelines Section 15177(d)).

C. The above review concluded that there is no substantial evidence that the Project as revised and conditioned would have a significant effect on the environment. A Mitigated Negative Declaration (MND) for the Project was then completed, noticed and circulated in accordance with the requirements of the California Environmental Quality Act (CEQA), the State CEQA Guidelines and the Sacramento Local Environmental Procedures as follows:

1. On May 8, 2009 a Notice of Intent to Adopt the MND (NOI) dated May 8, 2009 was circulated for public comments for 20 days. The NOI was sent to those public agencies that have jurisdiction by law with respect to the proposed project and to other interested parties and agencies, including property owners within 500 feet of the boundaries of the proposed project. The comments of such persons and agencies were sought.

2. On May 8, 2009, the NOI was published in the Daily Recorder, a newspaper of general circulation, and the NOI was posted in the office of the Sacramento County Clerk.

Section 2. The City Council has reviewed and considered the information contained in the MND, including the Initial Study, the revisions and conditions incorporated into the Project, and the comments received during the public review process and the hearing on the Project. The City Council has determined that the MND constitutes an adequate, accurate, objective and complete review of the environmental effects of the proposed project.

Section 3. Based on its review of the MND and on the basis of the whole record, the City Council finds that the MND reflects the City Council's independent judgment and analysis and that there is no substantial evidence that the Project will have a significant effect on the environment.

Section 4. The City Council adopts the MND for the Project.

Section 5. Pursuant to CEQA section 21081.6 and CEQA Guidelines section 15074, and in support of its approval of the Project, the City Council adopts a Mitigation Monitoring Program to require all reasonably feasible mitigation measures be implemented by means of Project conditions, agreements, or other measures, as set forth in the Mitigation Monitoring Program.

Section 6. Upon approval of the Project, the City's Environmental Planning Services shall file or cause to be filed a Notice of Determination with the Sacramento County Clerk and, if the project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to section 21152(a) of the Public Resources Code and section 15075 of the State EIR Guidelines adopted pursuant thereto.

Section 7. Pursuant to Guidelines section 15091(e), the documents and other materials that constitute the record of proceedings upon which the City Council has based its decision are located in and may be obtained from, the Office of the City Clerk at 915 I Street, Sacramento, California. The City Clerk is the custodian of records for all matters before the City Council.

Table of Contents:

Exhibit 2A: Mitigation Monitoring Program – 6 pages

Exhibit 2A: Mitigation Monitoring Plan

MITIGATION MONITORING PLAN

FOR

PROVENCE (P09-006)

TYPE OF ENVIRONMENTAL DOCUMENT:
INITIAL STUDY/ NEGATIVE DECLARATION

PREPARED FOR:

CITY OF SACRAMENTO, COMMUNITY DEVELOPMENT DEPARTMENT

DATE:

DATE

ADOPTED BY:
CITY OF SACRAMENTO
PLANNING COMMISSION

DATE:

ATTEST:

**Provence (P09-006)
MITIGATION MONITORING PLAN**

This Mitigation Monitoring Plan (MMP) has been required by and prepared for the City of Sacramento Community Development Department, Environmental Planning Services, 300 Richards Boulevard, Sacramento, CA 95811, pursuant to CEQA Guidelines Section 21081.6.

SECTION 1: PROJECT IDENTIFICATION

Project Name / File Number: Provence (P09-006)

Owner/Developer- Name: Kevin Smith
RC Natomas LLC

Address: 4060 Campus Drive, Suite 100
Newport Beach, CA 92660
916-838-6651

Project Location / Legal Description of Property (if recorded):

The proposed project site is located southwest of the intersection of East Commerce Way and Benefit Way. The proposed project is located within the North Natomas Community Plan area of the City of Sacramento. The project site includes Assessor's Parcel Number 225-2330-002 thru -076, 225-2680-002 thru -083 and 225-2690-002 thru -069.

Project Description:

The proposed project consists of development entitlements to construct 237 condominium units on the project site. The proposed project seeks a modification to the previous approval for 187 units of townhouse development (P06-194) of which five homes have been constructed. The proposed project requires a PUD Schematic Plan Amendment to re-designate the use and allowable density of the site, a Tentative Map, a Special Permit for alternative ownership housing and a Special Permit Modification to amend the previous approval on the site (P06-194).

SECTION 2: GENERAL INFORMATION

The Plan includes mitigation for Aesthetics, Cultural Resources, Hydrology and Noise. The intent of the Plan is to prescribe and enforce a means for properly and successfully implementing the mitigation measures as identified within the Initial Study for this project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this Plan shall be funded by the owner/developer identified above. This Mitigation Monitoring Plan (MMP) is designed to aid the City of Sacramento in its implementation and monitoring of mitigation measures adopted for the proposed project.

The mitigation measures have been taken from the Initial Study and are assigned the same number they have in the document. The MMP describes the actions that must take place to implement each mitigation measure, the timing of those actions, and the entities responsible for implementing and monitoring the actions. The developer will be responsible for fully understanding and effectively implementing the mitigation measures contained within the MMP. The City of Sacramento will be responsible for ensuring compliance.

**Provence (P09-006)
MITIGATION MONITORING PLAN**

MITIGATION AGREEMENT

PROJECT NAME / FILE NUMBER: Provence (P09-006)
OWNER/DEVELOPER/APPLICANT: Kevin Smith
RC Natomas LLC
Address: 4060 Campus Drive, Suite 100
Newport Beach, CA 92660
916-838-6651

I, ^{RC} ~~NATHAN S. BURCHALL, NATOMAS LLC~~ owner/developer/applicant), agree to amend the project application P09-006 to incorporate the attached mitigation measures as identified in the Initial Study for the project. I understand that by agreeing to these mitigation measures, all identified potentially significant environmental impacts should be reduced to below a level of significance, thereby enabling the Environmental Coordinator to prepare an Addendum to the previously approved Mitigated Negative Declaration of environmental impact for the above referenced project.

I also understand that the City of Sacramento will adopt a Mitigation Monitoring Plan (Plan) for this project. This Plan will be prepared by the Community Development Department, pursuant to the California Environmental Quality Act Guidelines Section 21081.6 and pursuant to Article III of the City's Local Administrative Procedures for the Preparation of Environmental Documents.

I acknowledge that this project, P09-006, would be subject to this Plan at the time the Plan is adopted. This Plan will establish responsibilities for the monitoring of my project by various City Departments and by other public agencies under the terms of the agreed upon mitigation measures. I understand that the mitigation measures adopted for my project may require the expenditure of owner/developer funds where necessary to comply with the provisions of said mitigation measures.



Signature (Owner/Developer/Applicant)

CFO

Title

12/8/10

Date

**Provence (P09-006)
MITIGATION MONITORING PLAN**

Environmental Resource	Mitigation Measure	Responsible Entity	Compliance Milestone / Confirm Complete
Aesthetics	Aesthetics 1: Project outdoor lighting shall be oriented away from adjacent properties and shall not produce a glare or reflection on neighboring properties or adjacent streets or property.	Community Development Department	Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Community Development Department shall assure that measures are identified on construction plans and specifications and confirm compliance prior to issuance of any grading or building permit.
Cultural Resources	CR-1: In the event that any prehistoric subsurface archeological features or deposits, including locally darkened soil ("midden"), that could conceal cultural deposits, animal bone, obsidian and/or mortars are discovered during construction-related earth-moving activities, all work within 50 meters of the resources shall be halted, and the City shall consult with a qualified archeologist to assess the significance of the find. Archeological test excavations shall be conducted by a qualified archeologist to aid in determining the nature and integrity of the find. If the find is determined to be significant by the qualified archeologist, representatives of the City and the qualified archeologist shall coordinate to determine the appropriate course of action. All significant cultural materials recovered shall be subject to scientific analysis and professional museum curation. In addition, a report shall be prepared by the qualified archeologist according to current professional standards.	Community Development Department, Native American Heritage Commission	Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Community Development Department shall assure that measures are identified on construction plans and specifications and confirm compliance prior to

**Provence (P09-006)
MITIGATION MONITORING PLAN**

	<p>CR-2: If a Native American site is discovered, the evaluation process shall include consultation with the appropriate Native American representatives.</p> <p>a. If Native American archeological, ethnographic, or spiritual resources are involved, all identification and treatment shall be conducted by qualified archeologists, who are certified by the Society of Professional Archeologists (SOPA) and/or meet the federal standards as stated in the Code of Federal Regulations (36 CFR 61), and Native American representatives, who are approved by the local Native American community as scholars of the cultural traditions.</p> <p>b. In the event that no such Native American is available, persons who represent tribal governments and/or organizations in the locale in which resources could be affected shall be consulted. If historic archeological sites are involved, all identified treatment is to be carried out by qualified historical archeologists, who shall meet either Register of Professional Archeologists (RPA), or 36 CFR 61 requirements.</p> <p>CR-3: If a human bone or bone of unknown origin is found during construction, all work shall stop in the vicinity of the find, and the County Coroner shall be contacted immediately. If the remains are determined to be Native American, the coroner shall notify the Native American Heritage Commission, who shall notify the person most likely believed to be a descendant. The most likely descendant shall work with the contractor to develop a program for re-internment of the human remains and any associated artifacts. No additional work is to take place within the immediate vicinity of the find until the identified appropriate actions have taken place.</p>		<p>issuance of any grading or building permit.</p>
<p>Hydrology and Water Quality</p>	<p>Hydro 1 Construction and operation of the project shall not commence prior to recertification of the Natomas levees by the USACE and FEMA, and the subsequent removal of Natomas Basin from the 100-year floodplain and associated flood zone redesignation; or until FEMA redesignates the Natomas Basin with a flood zone designation that would permit development of the proposed project. The above measures shall terminate upon the first recertification of the levees by the U.S. Army Corps of Engineers.</p>	<p>Community Development Department, United States Army Corp of Engineers</p>	<p>Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Community Development Department</p>

**Provence (P09-006)
MITIGATION MONITORING PLAN**

	<p>Hydro 2: The project applicant shall participate in a funding mechanism such as an assessment district established by SAFCA and/or the City for the purpose of implementing measures that would provide no less than 100-year flood protection including the North Natomas Area, or for that portion of the Natomas Basin requiring re-certification for 100-year flood protection including the Project site provided that such funding mechanism is (i) based on a nexus study; (ii) is regional in nature; (iii) is proportionate; (iv) complies with all applicable laws and ordinances; and (3) the requirements of the applicable FEMA zone and corresponding requirements under the City of Sacramento's Floodplain Ordinance shall be satisfied prior to the issuance of building permits for the project. Any future homeowners within the floodzone shall maintain federal flood insurance, as required under the applicable FEMA and City of Sacramento Floodplain Management Ordinance regulations. The above measures shall terminate upon the first recertification of the levees by the U.S. Army Corps of Engineers.</p>		<p>shall assure that measures are identified on construction plans and specifications and confirm compliance prior to issuance of any grading or building permit.</p>
<p>Noise</p>	<p>Noise 1: STC 32 rated window assemblies shall be installed in all second and third floor windows with a direct view of East Commerce Way.</p> <p>Noise 2: Each residential unit shall include a mechanical ventilation system to allow occupants to keep windows and doors closed to achieve isolation from exterior noise sources.</p>	<p>Community Development Department</p>	<p>Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Community Development Department shall assure that measures are identified on construction plans and specifications and confirm compliance prior to issuance of any grading or building permit.</p>

Attachment 3: PUD Schematic Plan Amendment – Draft Resolution

RESOLUTION NO.

Adopted by the Sacramento City Council

APPROVING A PUD SCHEMATIC PLAN AMENDMENT FOR THE NATOMAS CROSSING PUD (AREA 3) TO DESIGNATE MULTI-FAMILY RESIDENTIAL USE FOR THE PROVENCE PROJECT (P09-006)(APN: 225-2330-002-0000 through 225-2330-076-0000, 225-2680-002-0000 through 225-2680-083-0000, and 225-2690-002-0000 through 225-2690-069-0000)

BACKGROUND

- A. On March 10, 2011, the City Planning Commission conducted a public hearing on, and forwarded to the City Council a recommendation to approve the PUD Schematic Plan Amendment for the Provence project.
- B. On April 19, 2011, the City Council conducted a public hearing, for which notice was given pursuant Sacramento City Code Section 17.200.010(C)(2)(a) and (c) (publication and mail 500'), and received and considered evidence concerning the Provence project.
- C. The proposed PUD Schematic Plan Amendment conforms to policies of the General Plan to provide adequate housing sites and opportunities for all households and to promote efficient development within a new growth area.
- D. The PUD Schematic Plan Amendment will not be injurious to the public welfare, nor to other properties in the vicinity of the development in that the project is compatible with adjacent developments and the site will be developed according to the requirements of the PUD Guidelines.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

- Section 1. The PUD Schematic Plan Amendment for the Provence Project (as shown on the attached Exhibit) is approved.

Table of Contents:

Exhibit 3A: PUD Schematic Plan Amendment – 1 page

Exhibit 3A: PUD Schematic Plan Amendment



Attachment 4: Project Approval – Draft Resolution

RESOLUTION NO.

Adopted by the Sacramento City Council

**ADOPTING FINDINGS OF FACT AND APPROVING THE PROVENCE
PROJECT (P08-013)**

BACKGROUND

A. On March 10, 2011, the City Planning Commission conducted a public hearing on, and forwarded to the City Council a recommendation to approve the Provence project.

B. On April 19, 2011, the City Council conducted a public hearing, for which notice was given pursuant Sacramento City Code Section 17.200.010(C)(2)(a), (b), and (c) (publication, posting, and mail 500'), and received and considered evidence concerning the Provence project.

**BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL
RESOLVES AS FOLLOWS:**

Section 1. Based on the verbal and documentary evidence received at the hearing on the Provence project, the City Council approves the project based on the findings of fact and subject to the conditions of approval as set forth below.

Section 2. The City Council approves the Project entitlements based on the following findings of fact:

A. Tentative Map: The Tentative Map to create 28 residential condominium lots, 5 private street lots, 16 private drive lots and one landscape lot on 10.8 net acres is **approved** based on the following findings of fact:

1. None of the conditions described in Government Code Section 66474, subsection (a) through (g), inclusive, exist with respect to the proposed subdivision as follows:
 - a. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City's General Plan, all applicable community and specific plans, and Title 16 of the City Code, which is a specific plan of the City;

- b. The site is physically suitable for the type of development proposed and suited for the proposed density;
 - c. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife their habitat;
 - d. The design of the subdivision and the type of improvements are not likely to cause serious public health problems;
 - e. The design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use, of, property within the proposed subdivision.
- 2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and Title 16 Subdivisions of the City Code, which is a specific plan of the City (Gov. Code §66473.5);
 - 3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in a violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision (Gov. code §66474.6);
 - 4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Gov. Code §66473.1);
 - 5. The Planning Commission has considered the effect of the approval of this tentative subdivision map on the housing needs of the region and has balanced these needs against the public service needs of its residents and available fiscal and environmental resources (Gov. Code §66412.3).

B. Special Permit: The Special Permit to develop 233 condominium units in the Employment Center 50 Planned Unit Development (EC-50-PUD) is **approved** based on the following findings of fact:

- 1. A special permit shall be granted upon sound principles of land use.
Staff finds that the proposed development is an appropriate land use that will have positive contribution to the surrounding area, in that the project site is in close proximity to future commercial and open space uses and that the site will be well served by auto, bicycle, and pedestrian linkages.
- 2. A special permit shall not be granted if it will be detrimental to the public health, safety or welfare, or if it results in the creation of a nuisance.
Staff finds that the proposed condominium development site and building design are consistent with the Natomas Crossing PUD Guidelines and the Multi-Family

Residential Design Principles and will not be detrimental to public health, safety or welfare.

3. A special permit use must comply with the objectives of the general or specific plan for the area in which it is to be located.

The proposed project is consistent with the goals and policies of the employment center designation in the General Plan and the North Natomas Community Plan.

C. Special Permit Major Modification: The Special Permit to amend previous approval for 187 townhouse units per P06-194 is **approved** based on the following findings of fact:

1. A special permit shall be granted upon sound principles of land use.

Staff finds that the proposed condominium development is a better designed project than the previous approval on the site; the project provides more architectural variations and both private and public outdoor spaces for the occupants.

2. A special permit shall not be granted if it will be detrimental to the public health, safety or welfare, or if it results in the creation of a nuisance.

The project will not be detrimental to the public health, safety or welfare since the buildings will be constructed to meet code standards. Residential developments of this type have been approved in many areas of the city. Staff finds that the proposed development is consistent with the Natomas Crossing PUD Guidelines and the Multi-Family Residential Design Principles.

3. A special permit use must comply with the objectives of the general or specific plan for the area in which it is to be located.

The proposed project is consistent with the employment center and residential policies of the General Plan and the North Natomas Community Plan.

Section 3. The City Council approves the Project entitlements subject to the following conditions of approval:

Conditions of Approval

- A. The **Tentative Map** to create 28 residential condominium lots, 5 private street lots, 16 private drive lots and one landscape lot on 10.8 net acres is hereby approved subject to the following conditions:

NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map or any contradictory provisions in the PUD guidelines approved for this project (P01-028). The design of any improvement not

covered by these conditions or the PUD Guidelines shall be to City standard.

GENERAL: All Projects

- A1. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments.
- A2. Pursuant to City Code Section 16.40.190, indicate easements on the Final Map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the Department of Transportation after consultation with the U.S. Postal Service.
- A3. The applicant shall participate in the North Natomas Financing Plan, adopted by Resolution No. 94-495 on August 9, 1994, and updated by Resolution No 2005-584 on August 2, 2005, and shall execute any and all agreements, which may be required in order to implement this condition.
- A4. Comply with the North Natomas Development Guidelines and the PUD guidelines approved for this project (P01-028) to the satisfaction of the Planning Director and the Department of Transportation.
- A5. Private reciprocal ingress, egress, maneuvering and parking easements are required for future development of the area covered by this Tentative Map. The applicant shall enter into and record an Agreement For Conveyance of Easements with the City stating that a private reciprocal ingress/egress, maneuvering, and parking easement shall be conveyed to and reserved from each common access lots (A, B, C, D, E, F, H, I, J, K, L, M, N, O, P) to each individual Lot along the common Lot, and from all private street lots (G, Q, R, S, T and U) at no cost, at the time of sale or other conveyance of either parcel.
- A6. Comply with requirements included in the Mitigation Monitoring Plan developed by, and kept on file in, the Planning Division Office (P01-028).
- A7. Meet all conditions of the existing PUD (P01-028) unless the condition is superseded by a Tentative Map condition.
- A8. Meet all conditions of the development agreement.
- A9. Show all continuing and proposed/required easements on the Final Map.
- A10. Multiple Final Maps may be recorded. Prior to recordation of any Final Map all infrastructure/improvements necessary for the respective Final Map must be in place to the satisfaction of the Departments of Utilities, and Department of Transportation.
- A11. Prior to submittal of improvement plans for this project, the developer's design

consultant(s) shall participate in a pre-design conference with City staff. The purpose of this conference is to allow City staff and the design consultants to exchange information on project design requirements and to coordinate the improvement plan review process. Contact the Department of Transportation, Plan Check Engineer at 808-7915 to schedule the conference. It is strongly recommended that the conference be held as early in the design process as possible.

Department of Transportation: Streets (Anis Ghobril, DOT, 808-5367)

- A12. The applicant shall be responsible for the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk fronting the property along East Commerce Way, Benefit Way and Advantage Court per City standards and to the satisfaction of the Department of Transportation. This shall include any needed street lighting.
- A13. The design and placement of walls, fences, signs and Landscaping near public intersections and private streets shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height. The area of exclusion shall be determined by the Department of Transportation.
- A14. This project shall require street lighting. There is an existing street lighting system around this project area. Improvements of right-of-way may require modification to the existing system. Electrical equipment shall be protected and remain functional during construction. The applicant shall provide acorn lighting as required along East Commerce Way to the satisfaction of the Department of Transportation.
- A15. The applicant shall make provisions for bus stops, shelters, etc. to the satisfaction of Regional Transit.
- A16. The applicant shall dedicate (if necessary) and construct bus turn-outs for all bus stops adjacent to the subject site to the satisfaction of the Department of Transportation.

Department of Transportation: Private Streets (DOT)

- A17. The applicant shall repair/reconstruct any deteriorated curb, gutter and sidewalks along the private streets to the satisfaction of the Department of Transportation.

**PUBLIC/PRIVATE UTILITIES (Yujean Kim, SMUD, (916) 732-5027)
(Salam Khan, SASD, (916) 876-6094)**

- A18. Dedicate a standard 12.5 foot public utility easement (PUE) for underground and overhead facilities and appurtenances adjacent to all street right of ways.
- A19. Dedicate all private drives and 5-feet adjacent thereto, as public utility easement for underground and overhead facilities and appurtenances.
- A20. The owner or developer must disclose to future or potential owners the existing 69KV electrical facilities.
- A21. Sewer lines are already constructed and accepted by SASD. Any addition or modification to the SASD's sewer system shall be required to the satisfaction of SASD. SASD Design Standards apply to sewer construction or modification. (SASD)
- A22. While reconfiguring the lots, it must be ensured that each parcel shall have a separate connection to SASD public sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel shall have a separate connection to a private on-site sewer line or SASD public sewer line. (SASD)
- A23. Sewer easements have already been recorded for SASD sewer line installed within the project area. However, any modification to these sewer easements, if required, shall to the satisfaction of SASD. (SASD)
- A24. The subject project owner(s) and successors in interest thereof, shall be responsible for repair and/or replacement of all non-asphalt and/or enhanced surface treatments of streets and drives (such as stamped/colored/decorative concrete, concrete pavers, etc.) within these easements damaged by District maintenance and repair operations, including landscaping, channelization's, lighting, fountain area, sidewalk, and any other appurtenances conflicting therein. This requirement shall be set forth in easement grant documents and be a covenant running with the land, be responsibility of successors in interest in future land transfers and divisions and by language approved by the District. The District will only replace asphalt and standard concrete roadway/driveway disturbed due to maintenance/repair of its sewer line. If the repair is of decorative or stamped concrete, the District will only replace with standard concrete. (SASD)
- A25. Additional SASD/SRCSD Sewer impact fee (one time connection fee) may be required before issuance of building permits. Applicant should contact the Fee Quote Desk at (916) 876-6100 for sewer impact fee information. (SASD)

CITY UTILITIES (Jesus Reyes, Dept. of Utilities, 808-1721)

- A26. Applicant/Association shall execute an Agreement with the Department of Utilities (DOU) to assume ownership of the existing 8" public water line currently located in the existing private drives. The Agreement shall be to the satisfaction

of the DOU, Fire Department and the City Attorney.

- A27. Install 8" water meters and 8" RP back flow prevention assemblies at the two points of service (one at Benefit Way and the other one at Advantage Court) to the satisfaction of Department of Utilities. Meters shall be special meters suitable for use in combination Fire and Domestic water systems.
- A28. Applicant shall pay appropriate tap, meter and development fees associated with the installation of the special meters.
- A29. Water services for the existing townhouses (APN's: 225-2330-019, 020, 021, 022 & 023) shall be disconnected from the existing 8" water main and re-connected to the existing 12" public water main in East Commerce Way or Benefit Way. City will abandon the existing water services and install new water service taps to the point of service for fee. (Note: The existing water services may remain connected to the existing water main if the townhouses/lots become part of the Provence Master Association).
- A30. Abandon existing "Public Water Easements" (PWE) relating to the existing on-site public water main/appurtenances.
- A31. Execute and record a Utility Service Agreement (USA) approved by the City Attorney's Office and Department of Utilities.
- A32. If required, construct public water, sewer, drainage and service connections to the satisfaction of DOU.
- A33. All existing easements that are to remain and all existing right-of-ways shall be shown on the Final Map.
- A34. All onsite streets, drives, common areas, storm drain & water facilities shall be private facilities. Prior to or concurrent with the recording of the final map a homeowners association (HOA) shall be formed and C.C. & R.s shall be approved by the City and recorded assuring maintenance of the private streets, private drives, storm drainage facilities, water facilities and common areas. Private easements shall be dedicated for these facilities. The private street and drive maintenance shall include all pavement, curb, gutter and v-gutter.
- A35. Concurrent with the recordation of the final map, the applicant shall enter into and record an Agreement for Conveyance of Easements with the City, in a form acceptable to the City Attorney, requiring that private easements be granted, as needed, for drainage, water and sanitary sewer at no cost at the time of sale or other conveyance of any lot. A note stating the following shall be placed on the Final Map: "The lots created by this map shall be developed in accordance with recorded agreement for conveyance of easements # (Book____, Page____)."

FIRE (King Tunson, Fire Department, 808-1358)

- A36. Maintenance agreements shall be provided for the interior roadways of the proposed project and for the fire protection systems. The agreement shall be record with the Public Records Office having jurisdiction and shall provide for the following:
- Provisions for the necessary repair and maintenance of the roadway surface.
 - Removal of vegetation overgrowing the roadway and infringing on the roadway clear vertical height of thirteen feet six inches (13'6") and/or width of twenty feet (20').
 - Provisions for the maintenance, repair, and/or replacement of NO PARKING-FIRE LANE signage or striping.
 - Unrestricted use of and access to the roadways covered by the agreements.
 - Provisions for the control of vehicle parking in prohibited areas and a mechanism for the removal of vehicles illegally parked.
 - Maintenance and timely repair of all fire protection systems, including but not limited to hydrants, fire alarm systems and fire sprinklers.
- A37. Provide the required fire hydrants in accordance with CFC 508 and Appendix C, Section C105. Hydrant spacing shall be decreased where T courts are used. Hydrants shall be provided halfway between each T court, on one side of the street, and to the satisfaction of the Fire Department. *Due to the project increasing the number of units from 187 to 237, additional hydrants may be required.*
- PPDS:** Parks (Raymond Costantino, Parks Department, 808-8826)
- A38. **Payment of In-lieu Park Fee:** Pursuant to Sacramento City Code Chapter 16.64 (Parkland Dedication) the applicant shall pay to City an in-lieu park fee in the amount determined under SCC §§16.64.040 and 16.64.050 equal to the value of land prescribed for dedication under 16.64.030 and not satisfied by dedication. (See Advisory Note).
- A39. **Maintenance District:** The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (Contact Public Improvement Financing, Special Districts Project Manager. In assessment districts, the cost of neighborhood park maintenance is equitably spread on the basis of special benefit. In special tax districts, the cost of neighborhood park maintenance is spread based upon the hearing report, which specifies the tax rate and method of apportionment.).
- A40. **Multi-Use Trail:** A multi-use trail and adjacent landscaping shall be dedicated and constructed as specified below and in compliance with the Park Planning & Development Services (PPDS) "Multi-Use Trail Design Guidelines" available by contacting PPDS.

- 1 The City 2010 Bikeway Master Plan identifies an off-street multi-use trail on the southern portion of the project site, north of Snowy Egret Boulevard. The applicant shall comply with the Bikeway Master Plan and construct a multi-use trail in compliance with PPDS guidelines.
 - 2 The applicant shall submit and obtain PPDS approval of the alignment and design of the multi-use trail prior to submitting improvement plans for the trail.
 - 3 The proposed multi-use trail shall comply with Class I bike trail standards, including regulatory signage, as defined in Chapter 1000 of State Department of Transportation Highway Design Manual. The trail shall be a minimum 8' of asphalt concrete paving, with clear, graded shoulders that are a minimum of 2' in width. Shoulders should be decomposed granite or an alternate material approved by PPDS. Pavement sections shall be 3" minimum asphaltic concrete over 6" min of aggregate base, with a centerline stripe (refer to PPDS Trail detail and specification).
 - 4 Vehicular access controls shall be placed at the entrance to all access points to the trail (refer to PPDS details and specifications for approved designs). Access to the trail via Lots CC, DD and EE, along Colmars, Bastille and Garonne Walks is encouraged.
 - 5 Wherever possible and as approved by PPDS and the Department of Utilities, multi-use trails shall be designed as joint-use with utility service roads utilizing the service roads aggregate base as the trail's aggregate base course. Applicant shall design the pavement to meet all required design loads.
 - 6 Where a multi-use trail is located adjacent to any embankment with a greater than 4:1 slope, the Applicant shall, at his expense, install a post-and-cable fence along the top of the embankment, between the embankment and the multi-use trail.
 - 7 Residential lots adjoining the trail should be fenced w/ open tubular steel fencing.
 - 8 The Applicant shall disclose the location of the planned multi-use trail to all future/potential owners of parcels within the subdivision.
- A41. **New Private Facility Credits:** The Carriage Lane III (P05-079) development project, previously approved for this site, has a Private Facilities Agreement (City Agreement No. 2006-0298) which allowed 5% parkland dedication credit in exchange for the development of a private pool for the use of all residents in the then 187 unit subdivision. That Agreement is not transferable to this project. Prior to recording a Final Map, Applicant may opt to enter into a new private facilities agreement for the 238 units (including the 5 existing units), in which

case the following shall apply.

City Code Chapter 16.64, Sections 16.64.100, 110 and 120 address granting of private recreation facility credits. The city may grant credits for privately owned and maintained open space or local recreation facilities, or both, in planned developments as defined in Section 11003 of the Business and Professions Code, condominiums as defined in Section 783 of the Civil Code, and other common interest developments. Such credit, if granted in acres, or comparable in lieu fees, shall not exceed twenty-five (25) percent of the dedication or fees, or both, otherwise required under this chapter and no more than five percent per category of open space or recreational facilities described in this Chapter under 16.64.100.

Should the applicant elect to request City consideration of private facilities credit, contact PPDS at least three (3) months prior to recordation of Final Map. The Private Facilities Agreement will require City Council approval and must be in place prior to recordation of the Final Map.

MISCELLANEOUS

- A42. Title to any property required to be dedicated to the City in fee shall be conveyed free and clear of all rights, restrictions, easements, impediments, encumbrances, liens, taxes, assessments or other security interests of any kind (hereafter collectively referred to as "Encumbrances"), except as provided herein. The applicant shall take all actions necessary to remove any and all Encumbrances prior to approval of the Final Map and acceptance of the dedication by City, except that the applicant shall not be required to remove Encumbrances of record, including but not limited to easements or rights-of-way for public roads or public utilities, which, in the sole and exclusive judgment of the City, cannot be removed and/or would not interfere with the City's future use of the property. The applicant shall provide title insurance with the City as the named beneficiary assuring the conveyance of such title to City.
- A43. Form a Homeowner's Association. CC&R's shall be approved by the City and recorded assuring maintenance of private roadway(s). The Homeowner's Association shall maintain all private streets, common lights, common landscaping and common areas.

ADVISORY NOTES:

The following advisory notes are informational in nature and are not a requirement of this Tentative Map:

- A44. Prior to the issuance of any building permits, provide the City with a copy of the certificate of payment of any school fees for the applicable school district(s). (DOT)
- A45. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50

meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition. (DOT)

- A46. Dedicate slope easements and right-of-way necessary, for the Snowy Egret Boulevard overcrossing to the satisfaction of the Department of Transportation. The appropriate slope easements will be determined during the plan check phase of the improvement plans for this map. The Snowy Egret overcrossing shall line up with the street on the west side of I-5, to the satisfaction of the Department of Transportation. If a retaining wall is used in the construction of the overcrossing, then an engineering design shall be submitted to the satisfaction of the Department of Transportation. (DOT)
- A47. SASD policy prohibits gates that prevent access within sewer easements unless SASD standards for accessibility through gates are met. (SASD)
- A48. Any use of SASD sewer easements, which is not compatible or interferes with the construction, reconstruction, operation, maintenance, or repair of the SASD's sanitary sewer(s), shall not be allowed. Each proposed use shall be reviewed and approved in writing by the District Engineer prior to the use of the easement by the Grantor. This includes landscaping. (SASD)
- A49. A sewer study entitled Carriage Lane III was approved and the sewer infrastructure for this project has been constructed and accepted by SASD. (SASD)
- A50. As per City Code, the applicant will be responsible to meet his/her obligations regarding: (Parks)
- 1 Title 16, 16.64 Park Dedication / In Lieu (Quimby) Fees, due prior to approval of the final map. The Quimby in-lieu fee due for this project is estimated at \$401,610, if there is no new private facilities agreement, or \$382,866 if a new private facilities agreement is approved by City Council before the final map. Option 1 is based on 46 new multi-family units (difference between 233 and 187) and an average land value of \$687,500 per acre for the North Natomas Planning Area, plus an additional 20% for off-site park infrastructure improvements (which totals \$333,960), plus reimbursable to City of the 5% Quimby credit received on P05-079 for 187 units (\$67,650). Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of payment.
 - 2 Option 2 is based on 233 multi-family units and an average land value of \$687,500 per acre for the North Natomas Planning Area, plus an additional 20% for off-site park infrastructure improvements (which totals 1,691,580), less 5% Credit for new Private Facilities Agreement on 238 units for P06-006

(\$86,394), less Alleghany Credits applied to Quimby Obligation for P05-079 (\$1,289,970), plus reimbursable to City of the 5% Quimby credit received on P05-079 for 187 units (\$67,650). Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of payment.

- 3 Title 18, 18.44 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee due for this project is estimated at \$712,514. This is based on 233 multi-family units at the rate of \$3,058 per unit. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit.
- 4 Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

B. The **Special Permit** to develop 233 condominium units in the Employment Center 50 Planned Unit Development (EC-50-PUD) is hereby approved subject to the following conditions:

Planning

- B1. This approval is for the construction of 233 condominium units per attached exhibits. Any change in the design, materials, or colors from this approval shall be submitted to the Planning Division for review and determination for further actions.
- B2. Final landscape and circulation plans shall be submitted to Planning Division for review and comment prior to submittal for building permits.
- B3. The applicant shall obtain all necessary building permits prior to commencement of construction.
- B4. Building plans and elevations shall be plotted that no two same elevations and no two color schemes are adjacent to one another. All building side elevations facing a street shall be enhanced with window openings, trims and decorative elements.
- B5. Provide an ownership association responsible for the care and maintenance of all common areas and common improvements and any other interest common to the condominium owners. Complete and true copies of all covenants, conditions and restrictions, articles of incorporation and by-laws shall be subject to review and approval by the city prior to occupancy as a condominium unit.

- B6. The homeowner's association shall conduct periodic inspections, not less than monthly, of the exterior of all buildings, trash enclosures and recreation facilities.
- B7. The homeowner's association shall establish and conduct a regular program of routine maintenance for the property. Such a program shall include common areas and scheduled repainting, replanting and other similar activities that typically require attention at periodic intervals but not necessarily continuous. Owner/Operator shall repaint or retreat all painted or treated areas at least once every 8 years; provided that the Planning Director may approve less frequent painting or re-treatment upon a determination that less frequent repainting or re-treatment is appropriate, given the nature of the materials used or other factors. The program shall be subject to review and approval by the Planning Director.
- B8. The homeowner's association shall maintain landscaping and irrigation in a healthy and serviceable condition.
- B9. The homeowner's association shall indicate and maintain all locations of parking stalls for handicapped/disabled access and strictly enforce rules related thereto.
- B10. Each condominium unit shall comply with the state of California's Noise Insulation Standards (California Amended Code Section 1092).
- B11. Each condominium unit shall provide the following:
 - a. A separate sewer service hookup; provided, that the planning commission may permit the use of common sewer lines that are oversized by one size or more, or which are hydraulically designed with the concurrence of the city engineer, finds the common sewer lines can adequately service the condominiums and that separate service hookups would not be feasible. For this provision, the Planning Commission is delegating the approval to the Planning Director subject to concurrence with the Public Works Director and the Utilities Department.
 - b. A separate water service hookup or shutoff; provided, that the planning commission may permit a single water system to service more than one condominium unit where shutoffs are provided wherever practicable and where the planning commission, with the concurrence of the city engineer, finds that the single water system can adequately service the condominiums and separate service hookups or shutoffs are not feasible. For this provision, the Planning Commission is delegating the approval to the Planning Director subject to concurrence with the Public Works Director and the Utilities Department.
 - c. A separate gas service where gas in a necessary utility.
 - d. A separate electrical service, with separate meters and disconnects and ground fault interrupters where and as required by Building Code.

- B12. Each unit of a condominium project, and all commonly owned portions of a Condominium building shall comply with all applicable building code standards. Nothing herein shall be construed to prevent or prohibit the applicant or the city from providing or requiring building standards greater than those set forth in the Building Code where the greater standards are found to be necessary to carry out the purposes and objectives of this chapter. (Ord. 99-015 § 6-3-D)
- B13. Landscaping & Walls and Fencing:
- a. The project shall comply with the City's Tree Shading Ordinance which requires 50 percent shading of the parking area within 15 years.
 - b. Install two 15-gallon trees per lot frontage, with the average spacing of 30' on center, as measured along the entire length of the street.
 - c. All landscaping and planting shall conform to City standards for sight line requirements at intersections and driveways.
 - d. All mechanical equipment shall be located within enclosed cabinets or screened by landscaping and/or screening/fencing.
 - e. In order to provide adequate surveillance opportunities, all *plants and shrubs* are to be maintained at maximum height of thirty inches (30"); the lowest branch height shall be at least six feet (6'). Decorative planting shall be maintained so as not to obstruct or diminish lighting level throughout the project.
 - f. Walls and fences shall conform to City standards for sight line requirements at intersections and driveways.
- B14. The applicant shall comply with the City's Recycling Ordinance (Section 17.72).
- B15. Signage:
- a. All detached signs shall be monument-type, constructed of masonry with finish materials and colors, which are consistent with building architecture. One detached monument sign is permitted and may be located within a landscape setback area but no closer than 10 feet from public right-of-way.
 - b. Attached signage shall consist of address numbers only.
 - c. All signage shall comply with the Natomas Crossing PUD signage criteria; a sign permit shall be obtained prior to construction of any sign.
- B16. Lighting:

- a. The type and location of the outdoor lighting (building, parking lot, walkway, etc.) must be approved by the Planning Director prior to issuance of a building permit. Lighting shall be provided in garage areas and each building address number shall be illuminated.
 - b. Project lighting shall be provided as follows: one foot-candle of minimum maintained illumination per square foot of parking space and exterior walkways/sidewalks during hours of darkness and 0.25 foot-candle of minimum maintained illumination per square foot of surface on any interior walkway, alcove, passageway, etc., from one-half hour before dusk to one-half hour after dawn. All light fixtures are to be vandal-resistant.
 - c. Per Section 17.68.030(B), exterior lighting, if provided, shall reflect away from residential areas and public streets.
 - d. Fixtures shall be unobtrusive and complementary to the architectural design of the building. Lighting shall be designed so as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.
- B17. The applicant shall comply with the approved Mitigation Monitoring Plan (P09-006) on file at the Planning Division.
- B18. The final playground shade structure and sculptures specifications shall be submitted for review and approval by the Planning Director prior to the issuance of building permit.
- B19. The final building color palette shall be submitted for review and approval by the Planning Director prior to the issuance of building permit.
- B20. The applicant shall paint electrical meters/cabinets, telephone connection boxes and other utility appurtenances to match the building to which they are attached.
- B21. *If security becomes a concern and if deemed necessary by the Police Department*, the applicant shall contract with a reputable security firm to provide on-site security, night and day.
- B22. Prior to the issuance of any building permits, the applicant shall provide the City with a copy of the certificate of payment of school fees for the applicable school district(s).
- B23. This approval does not include any vehicular gates. Any proposal for vehicular gates will require an additional Special Permit subject to approval by the Planning Commission.
- B24. Condominiums addressing shall be to City standards.

- B25. The pool and tot lot shall be used by tenants and their guests only.
- B26. Auto repairs are not permitted at any time, except in emergencies, such as flat tire or dead battery.
- B27. Visitor parking shall be strictly enforced.

Department of Transportation

- B28. The applicant shall be responsible for the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk fronting the property along East Commerce Way, Benefit Way and Advantage Court per City standards and to the satisfaction of the Department of Transportation. This shall include any needed street lighting.
- B29. This project shall require street lighting. There is an existing street lighting system around this project area. Improvements of right-of-way may require modification to the existing system. Electrical equipment shall be protected and remain functional during construction. The applicant shall provide acorn lighting as required along East Commerce Way to the satisfaction of the Department of Transportation.
- B30. The design and placement of walls, fences, signs and Landscaping near public intersections and private Streets shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height. The area of exclusion shall be determined by the Department of Transportation.
- B31. The applicant shall repair/reconstruct any deteriorated curb, gutter and sidewalks along the private streets to the satisfaction of the Department of Transportation.
- B32. Form a Homeowner's Association. CC&R's shall be approved by the City and recorded assuring maintenance of private roadway(s). The Homeowner's Association shall maintain all private streets, common lights, common landscaping and common areas.

Fire

- B33. Install gate at emergency vehicle access at East Commerce Way.

Utilities

- B34. Applicant/Association shall execute an Agreement with the Department of Utilities (DOU) to assume ownership of the existing 8" public water line currently

located in the existing private drives. The Agreement shall be to the satisfaction of the DOU, Fire Department and the City Attorney.

- B35. Install 8" water meters and 8" RP back flow prevention assemblies at the two points of service (one at Benefit Way and the other one at Advantage Court) to the satisfaction of Department of Utilities. Meters shall be special meters suitable for use in combination Fire and Domestic water systems.
- B36. Applicant shall pay appropriate tap, meter and development fees associated with the installation of the special meters.
- B37. Water services for the existing townhouses (APN's: 225-2330-019, 020, 021, 022 & 023) shall be disconnected from the existing 8" water main and re-connected to the existing 12" public water main in East Commerce Way or Benefit Way. City will abandon the existing water services and install new water service taps to the point of service for fee. (Note: The existing water services may remain connected to the existing water main if the townhouses/lots become part of the Provence Master Association)
- B38. Abandon existing "Public Water Easements" (PWE) relating to the existing on-site public water main/appurtenances.
- B39. All water connections shall comply with the City of Sacramento's Cross Connection Control Policy.
- B40. Per Sacramento City Code, water meters shall be located at the point of service which is located at the back of curb for separated sidewalks or the back of walk for connected sidewalks or at a location acceptable to DOU.
- B41. All onsite streets, drives, common areas, storm drain & water facilities shall be private facilities. A homeowners association (HOA) shall be formed and C.C. & R.s shall be approved by the City and recorded assuring maintenance of the private streets, private drives, storm drainage facilities, water facilities and common areas. Private easements shall be dedicated for these facilities. The private street and drive maintenance shall include all pavement, curb, gutter and v-gutter. If required by the Department of Utilities (DOU), the responsible maintenance agency shall enter into and record an agreement with the City regarding the maintenance of these facilities. The agreement shall be to the satisfaction of the DOU and the City Attorney.
- B42. Prior to issuance of a building permit, the owners and ownership association shall enter into a utility service agreement with the City to receive such utility services at points of service designated by the DOU. Such agreement shall provide, among other requirements, for payment of all charges for the storm drainage and water services, shall authorize discontinuance of utility services at the City's point(s) of service in the event that all or any portion of such charges are not paid when and as required, shall require compliance with all relevant

utility billing and maintenance requirements of the City, and shall be in a form approved by the City Attorney.

- B43. Per City Code, the Subdivider may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney.
- B44. The proposed development is located within Sacramento Area Sewer District (SASD) Satisfy all SASD requirements.
- B45. A grading plan showing existing and proposed elevations is required. All lots/parcels shall be graded so that drainage does not cross property lines or private drainage easements shall be dedicated. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. At a minimum, one-foot off-site contours within 100 feet of the project boundary are required (per Plate 2, page 3-7 of the City Design and Procedures Manual). No grading shall occur until the grading plan has been reviewed and approved by the DOU.
- B46. This project is greater than 1 acre in size; therefore, the project is required to comply with the State "NPDES General Permit for Stormwater Discharges Associated with Construction Activity" (State Permit). To comply with the State Permit, the applicant will need to file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Stormwater Pollution Prevention Plan (SWPPP) prior to construction. A copy of the State Permit and NOI may be obtained from www.swrcb.ca.gov/stormstr/construction.html. The SWPPP will be reviewed by the DOU prior to issuing a grading permit. The following items shall be included in the SWPPP: (1) vicinity map, (2) site map, (3) list of potential pollutant sources, (4) type and location of erosion and sediment BMP's, (5) name and phone number of person responsible for SWPPP and (6) certification by property owner or authorized representative.
- B47. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the subdivision improvement plans. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- B48. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since the project is in an area served by a regional water quality control facility, only source control measures

are required. Storm drain message and signage is required at all drain inlets. Improvement plans must include the source controls measures selected for the site. Refer to the latest edition of the “Guidance Manual for On-Site Stormwater Quality Control Measures” for appropriate source control measures.

Advisory notes for the **Special Permit**:

1. Since December 8, 2008, the proposed project has been in a 100-year flood plain, designated as an AE zone by the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). The base flood elevation (“BFE”) for the Natomas Basin is 33’ feet above sea level. The DOU expects the area to be taken out of the 100-year floodplain in 2012. Contact Nancy Dorfer (916-808-3539) for more information and updates on this issue. City Code Chapter 15.104 Floodplain Management Regulations require that any new construction of and/or substantial improvement to any structure located in Zone AE must have the lowest floor, including the basement, elevated a minimum of one (1) foot above the BFE. Non-residential structures have the option of flood proofing to one (1) foot above the BFE in lieu of the elevation requirement.
2. Unless otherwise approved by the Department of Utilities (DOU), all sanitary sewer, storm drain, water, and flood control improvements shall be in place and fully functioning prior to issuance of any building permits within the subject area.
3. **Many projects within the City of Sacramento require on-site booster pumps for fire suppression and domestic water systems.** Prior to design of the subject project, the DOU suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the on-site fire suppression system.

Table of Contents:

Exhibit 4A – Tentative Map
 Exhibit 4B – Existing Condition
 Exhibit 4C – Special Permit Plan
 Exhibit 4D – Landscape Plan
 Exhibit 4E – Circulation Plan
 Exhibit 4F – East Commerce Views Looking Southwest & West – With Trees
 Exhibit 4G – East Commerce Views Looking Southwest & West – Without Trees
 Exhibit 4H – Courts – House Plans and Elevations
 Exhibit 4I – Urban Villas – House Plans and Elevations
 Exhibit 4J – Building Data Charts
 Exhibit 4K – Elevation Variation Plotting and Color Schemes
 Exhibit 4L – Playground Shade Structure and Paseo Concept Plans

Exhibit 4A – Tentative Map

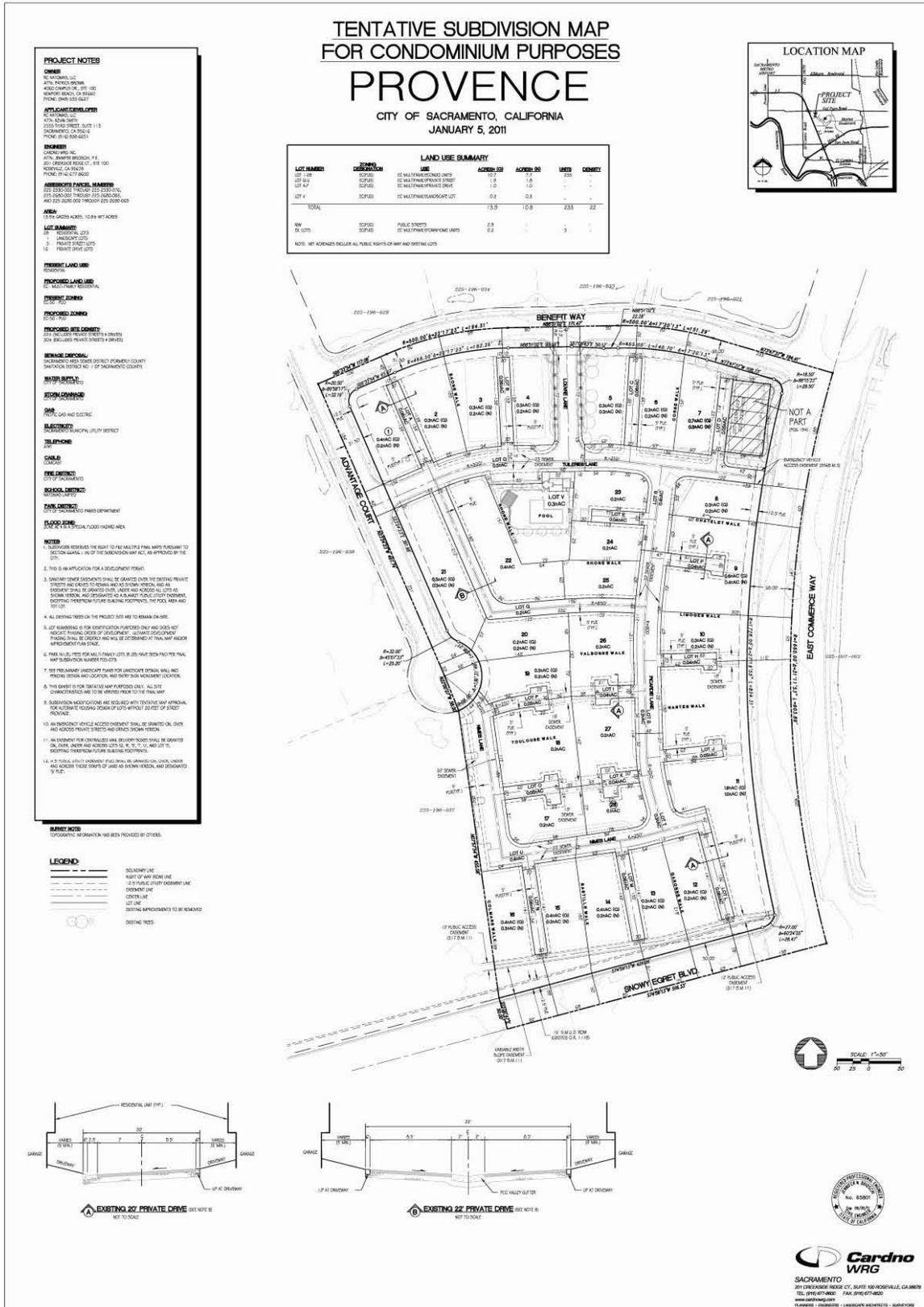


Exhibit 4B – Existing Condition

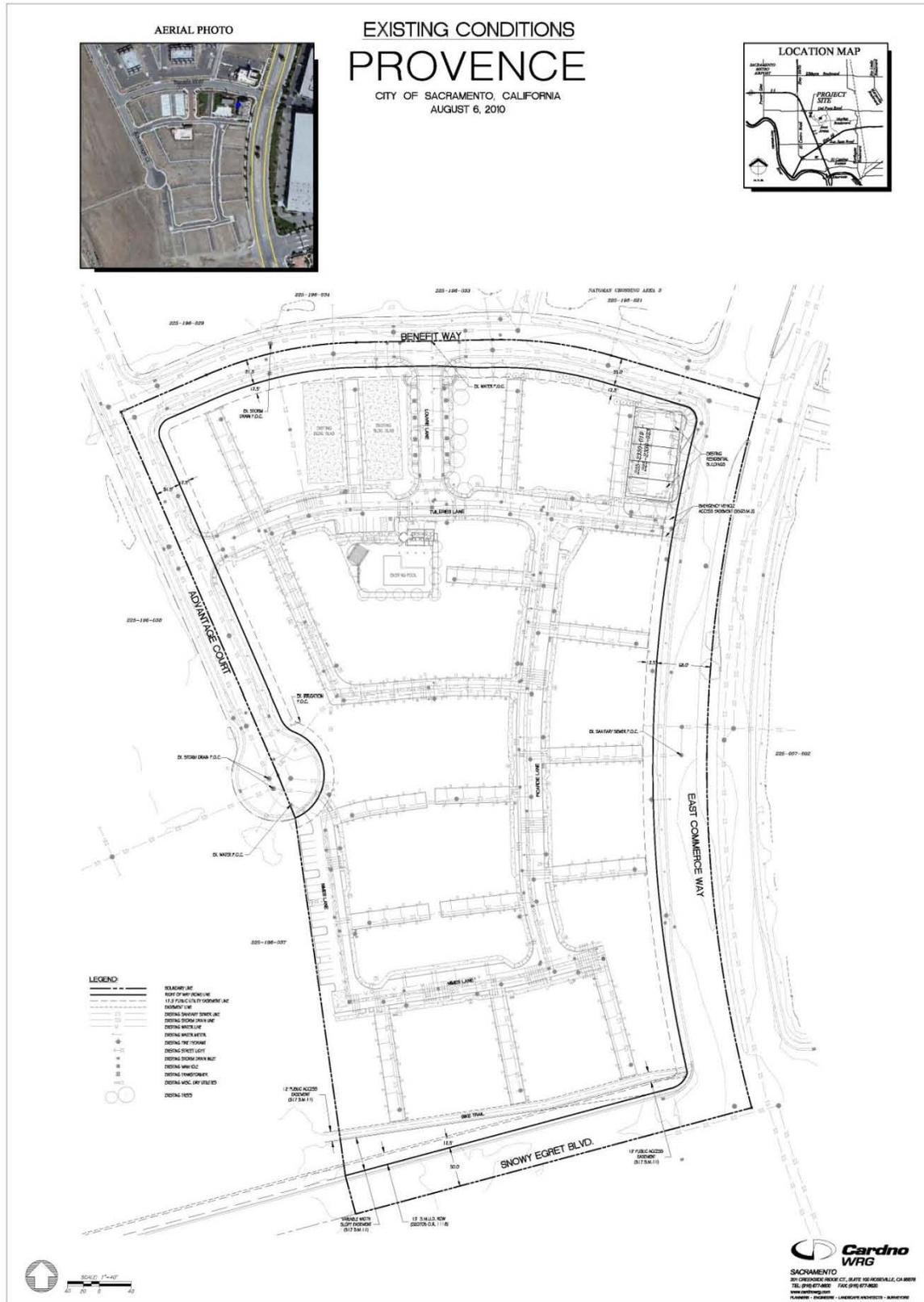


Exhibit 4E – Circulation Plan



Exhibit 4F – East Commerce Views Looking Southwest & West – With Trees



Note: Different monitors and printers may skew colors. Please reference the color boards provided for “true color and contrast.”

Building: 53
 Type: 8
 Elevation: A
 Color Scheme: 3

Building: 52
 Type: 8
 Elevation: C
 Color Scheme: 4

Building: 51
 Type: 6-9
 Elevation: A
 Color Scheme: 1

Building: 46
 Type: 6-9
 Elevation: B
 Color Scheme: 2

Building: 45
 Type: 1-4
 Elevation: C
 Color Scheme: 3

PROVENCE

2/24/2011



Courts - East Commerce Way looking Southwest -With Trees



Note: Different monitors and printers may skew colors. Please reference the color boards provided for "true color and contrast."

Building: 53
Type: 8
Elevation: A
Color Scheme: 3

Building: 52
Type: 8
Elevation: C
Color Scheme: 4

Building: 51
Type: 6-9
Elevation: A
Color Scheme: 1

Building: 46
Type: 6-9
Elevation: B
Color Scheme: 2

Building: 45
Type: 1-4
Elevation: C
Color Scheme: 3

PROVENCE

2/24/2011



Courts - East Commerce Way looking West -With Trees

Exhibit 4G – East Commerce Views Looking Southwest & West – Without Trees



Note: Different monitors and printers may skew colors. Please reference the color boards provided for “true color and contrast.”

Building: 53
 Type: 8
 Elevation: A
 Color Scheme: 3

Building: 52
 Type: 8
 Elevation: C
 Color Scheme: 4

Building: 51
 Type: 6-9
 Elevation: A
 Color Scheme: 1

Building: 46
 Type: 6-9
 Elevation: B
 Color Scheme: 2

Building: 45
 Type: 1-4
 Elevation: C
 Color Scheme: 3

PROVENCE

2/24/2011



Courts - East Commerce Way looking Southwest -Without Trees



Note: Different monitors and printers may skew colors. Please reference the color boards provided for "true color and contrast."

Building: 53
Type: 8
Elevation: A
Color Scheme: 3

Building: 52
Type: 8
Elevation: C
Color Scheme: 4

Building: 51
Type: 6-9
Elevation: A
Color Scheme: 1

Building: 46
Type: 6-9
Elevation: B
Color Scheme: 2

Building: 45
Type: 1-4
Elevation: C
Color Scheme: 3

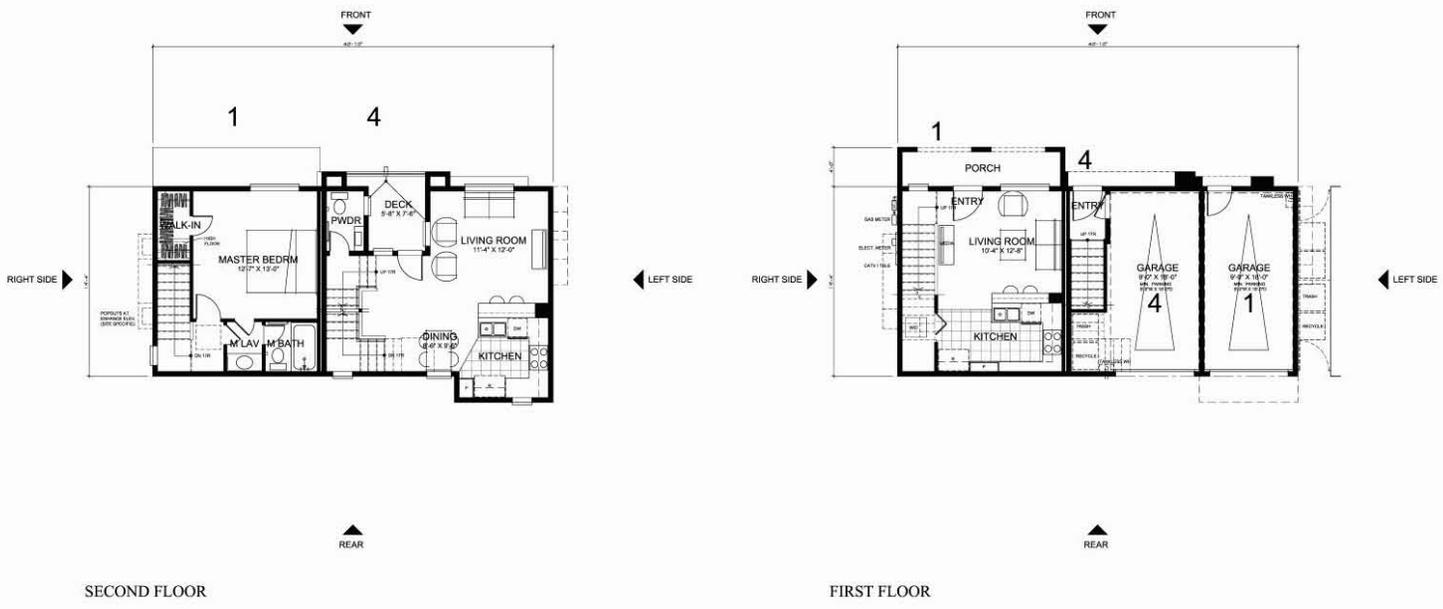
PROVENCE

2/24/2011



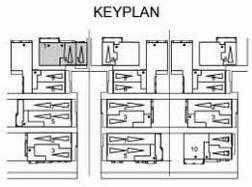
Courts - East Commerce Way looking West -Without Trees

Exhibit 4H – Courts – House Plans and Elevations



SECOND FLOOR

FIRST FLOOR

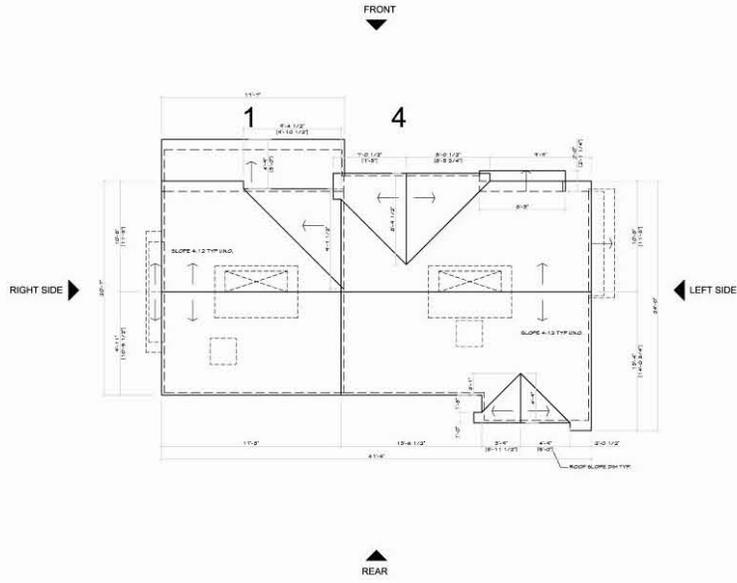


NOTES: REFER TO ALL OTHER COURT FLOOR PLANS FOR THE SAME AREA. SEE THE NAME SIDE LIGHT AND/OR THE NAME STYLE, THE VARIATIONS AND DIMENSIONS OR AREA.
 1 - ALL FINISHES AND MATERIALS TO BE DETERMINED BY THE OWNER.
 2 - ALL FINISHES AND MATERIALS TO BE DETERMINED BY THE OWNER.
 3 - ALL FINISHES AND MATERIALS TO BE DETERMINED BY THE OWNER.
 4 - FINISHES AND MATERIALS TO BE DETERMINED BY THE OWNER.
 5 - FINISHES AND MATERIALS TO BE DETERMINED BY THE OWNER.

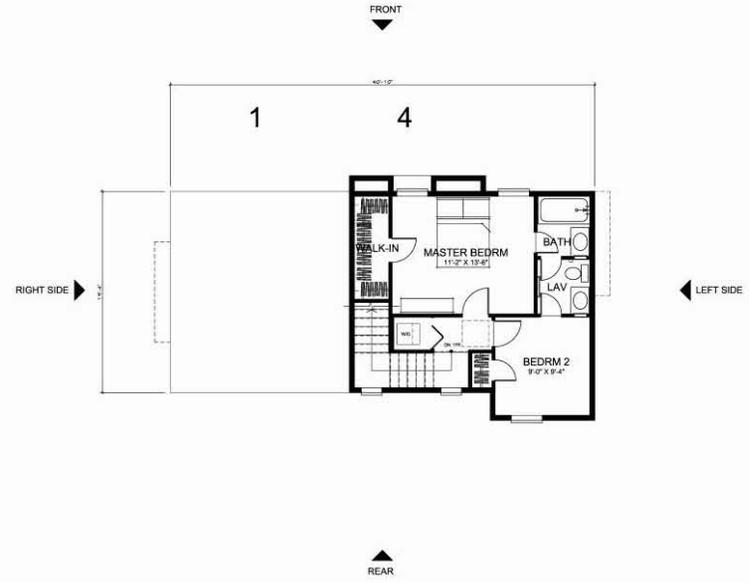
UNIT 1 & 4
 FIRST / SECOND FLOOR PLANS
 ELEVATION STYLE - 'A'
 1/4"=1'-0"
PROVENCE - COURTS
 RC NATOMAS, LLC



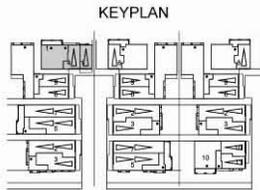
AREA ANALYSIS	
UNIT 1	
FIRST FLOOR	324 SF 8.3' F
SECOND FLOOR	324 SF 8.3' F
TOTAL LIVING AREA	648 SF 8.3' F
GARAGE	180 SF 5.3' F
PORCH	80 SF 3.3' F
Deck Area	300 SF 5.3' F
UNIT 4	
FIRST FLOOR	56 SF 3.3' F
SECOND FLOOR	400 SF 8.3' F
THIRD FLOOR	400 SF 8.3' F
TOTAL LIVING AREA	856 SF 8.3' F
GARAGE	277 SF 5.3' F
DECK	80 SF 3.3' F
Deck Area	1700 SF 5.3' F



ROOF PLAN



THIRD FLOOR



NOTES: WHERE THE FLOORING VARIATION IS NOT SHOWN, THE SAME SHALL BE USED AS THE FLOORING SHOWN IN THE SAME UNIT. SEE VERTICALS AND ARCHITECTURAL GUIDE.
 1 - THIS IS THE FINISHED FLOOR TO ALL FLOORING.
 2 - THIS IS THE FINISHED FLOOR TO ALL FLOORING.
 3 - THIS IS THE FINISHED FLOOR TO ALL FLOORING.

UNIT 1 & 4
 THIRD FLOOR / ROOF PLAN
 ELEVATION STYLE - 'A'

1/4"=1'-0"

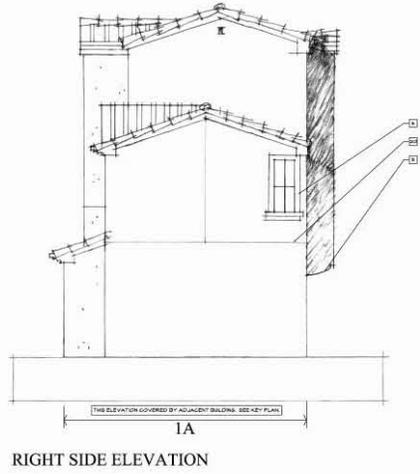
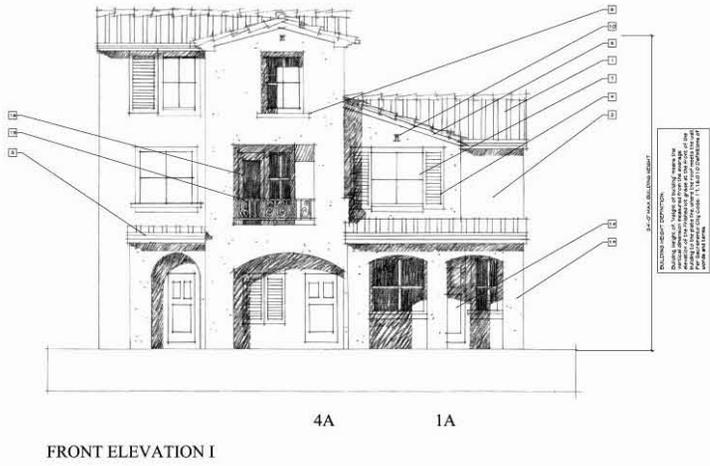
PROVENCE - COURTS
 RC NATOMAS, LLC

200804012



1.5.11

AREA ANALYSIS	
UNIT 1	
FIRST FLOOR	324.37 S.F.
SECOND FLOOR	324.18 S.F.
TOTAL LIVING AREA	648.55 S.F.
GARAGE	789.71 S.F.
POSBY	69.33 S.F.
Total area	1507.67 S.F.
UNIT 4	
FIRST FLOOR	36.71 S.F.
SECOND FLOOR	482.58 S.F.
THIRD FLOOR	484.81 S.F.
TOTAL LIVING AREA	974.10 S.F.
GARAGE	277.89 S.F.
DECK	50.53 S.F.
Total area	1702.52 S.F.



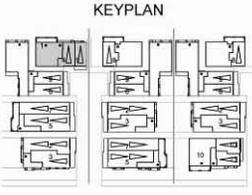
A

UNIT 1 & 4
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS RC NATOMAS, LLC



1.5.11



NOTE: WHERE ELEVATION LABELS BRACKET TO ONE CORNER OF THE NAME (BUILDING) INDICATE THE NAME STYLE, THE OTHER CORNER INDICATES A REFERENCE.
1 - THREE DIMENSION ELEMENTS IN ALL ELEVATIONS OF MASS.
2 - THREE DIMENSION ELEMENTS IN THREE VIEWS (FRONT, SIDE AND REAR).
3 - FLOOR PLAN INDICATES WITH WALL THICKNESS (1/4\"/>

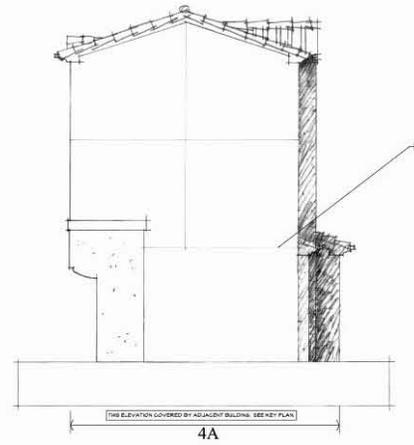
TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3\"/>
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	SHAPED TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

3 OF 62

March 24, 2011



REAR ELEVATION



LEFT SIDE ELEVATION

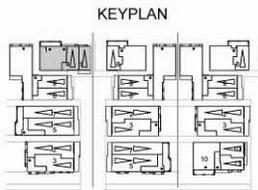
A

UNIT 1 & 4
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC



1.5.11

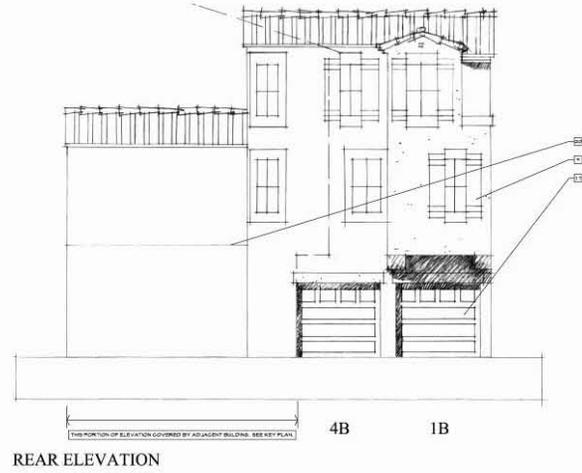
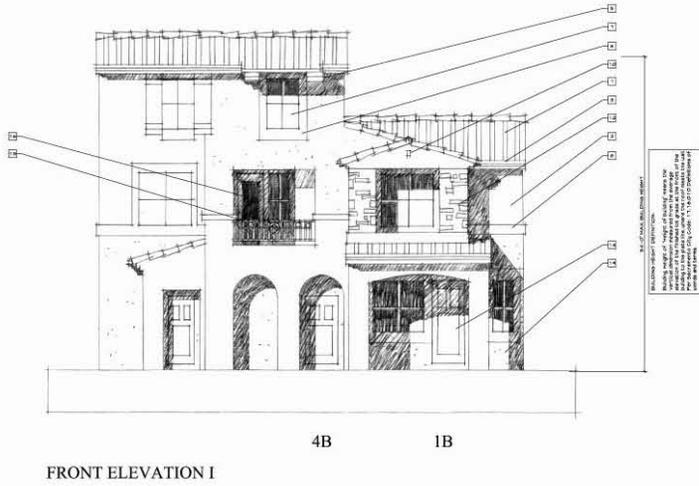


KEYPLAN

NOTE: WHERE ELEVATION LABELS BRACKET TO THE NAME OF THE ADJACENT BUILDING, INDICATE THE NAME STYLE. THE BUILDING AND ADJACENT ARE NOT TO BE REPRODUCED.
1 - THREE DIMENSION ELEMENTS IN ALL ELEVATIONS AND
2 - THREE DIMENSION ELEMENTS IN ALL ELEVATIONS AND
3 - FIBERGLASS ENTRY DOOR WITH WINDOW
4 - FIBERGLASS ENTRY DOOR WITH WINDOW

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3/4" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

4 OF 62



B

SEE 'A' ELEVATIONS FOR SIDES

UNIT 1 & 4
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

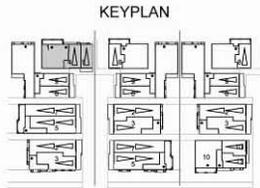
1/4"=1'-0"

PROVENCE - COURTS
RC NATOMAS, LLC

200806020



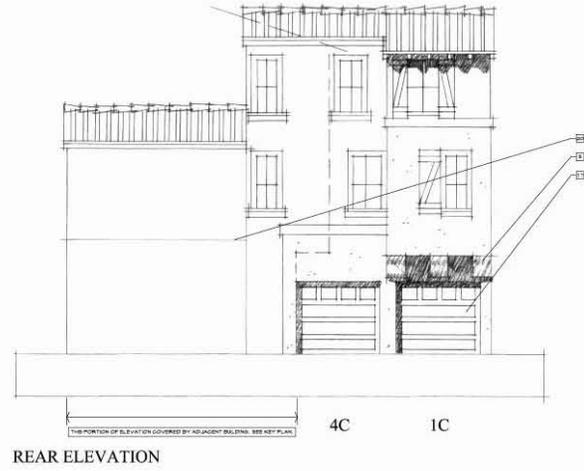
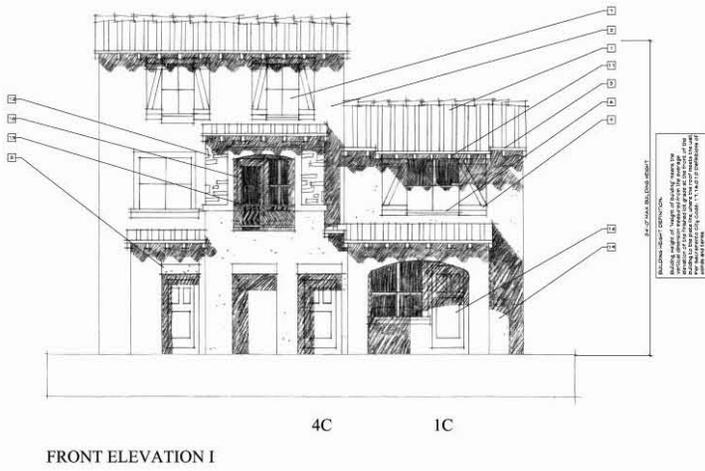
1.5.11



NOTE: REFER TO EXTERIOR ELEVATIONS FOR THE SAME USE OF THE NAME (BUILDING) AS IN THE SAME STYLE. THE FOLLOWING ARE ASSIGNED A NUMBER:
1 - THREE UNITS ON ELEVATION 'A' (ALL ELEVATIONS TO BE PAINTED)
2 - THREE UNITS ON ELEVATION 'B' (ALL ELEVATIONS TO BE PAINTED)
3 - FIBERGLASS ENTRY DOOR WITH WINDOW

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3/8" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PAINT
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

5 OF 62



FRONT ELEVATION I

REAR ELEVATION

C

SEE 'A' ELEVATIONS FOR SIDES

UNIT 1 & 4
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

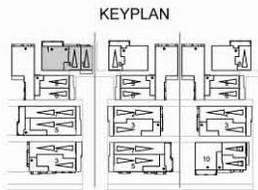
1/4" = 1'-0"

PROVENCE - COURTS RC NATOMAS, LLC

20090620

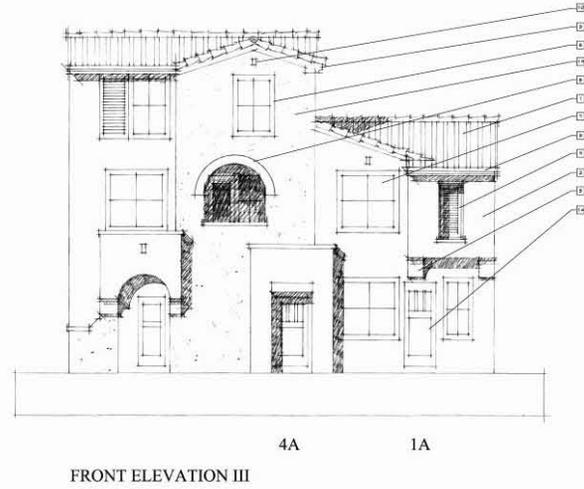
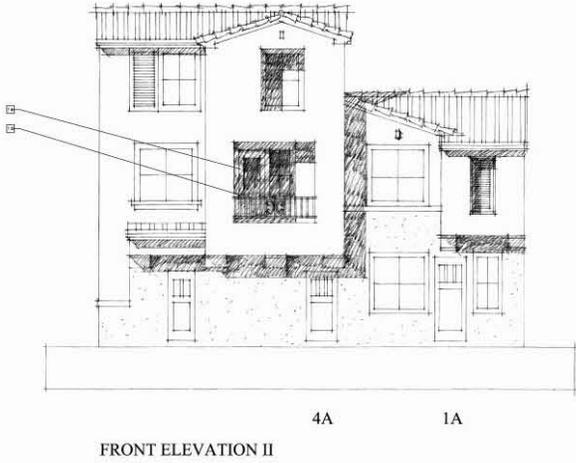


1.5.11



NOTE: REFER TO EXTERIOR ELEVATION DRAWINGS FOR THE NAME(S) OF THE NAME(S) BUILDING AND/OR THE NAME(S) OF THE BUILDING AND/OR ASSOCIATED AREA(S).
1 - THREE DIMENSION ELEMENTS IN ALL ELEVATIONS OF THIS DRAWING.
2 - THREE DIMENSION ELEMENTS IN THIS DRAWING ONLY.
3 - FLOOR FINISHES AND WALL FINISHES (IF ANY).

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3/4" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PAINT
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



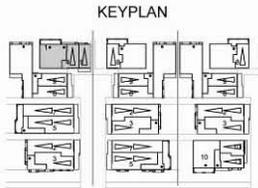
A

UNIT 1 & 4
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS RC NATOMAS, LLC



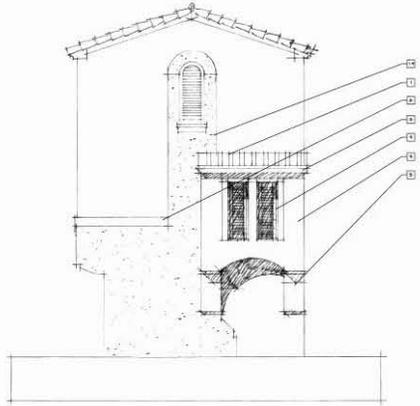
1.5.11



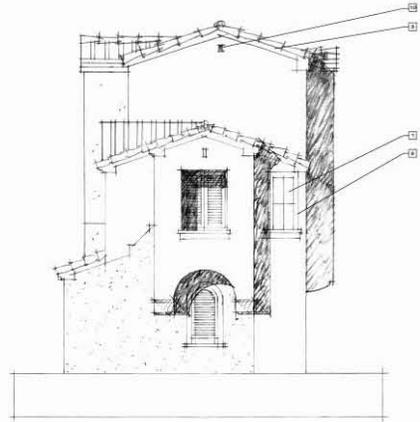
NOTE: NUMBER REFERENCE TO ELEMENTS IN THIS KEY PLAN ARE OF THE SAME BUILDING UNITS IN THE SAME STYLE. THE FOLLOWING ARE ASSIGNED A NUMBER:
1 - THREE BEDROOM ELEVATION (ALL 4 ELEVATIONS OF THIS UNIT)
2 - THREE BEDROOM ELEVATION (ALL 4 ELEVATIONS OF THIS UNIT)
3 - THREE BEDROOM ELEVATION (ALL 4 ELEVATIONS OF THIS UNIT)
4 - THREE BEDROOM ELEVATION (ALL 4 ELEVATIONS OF THIS UNIT)

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3/4" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	SHAPED TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

7 OF 62



1A
ENHANCED LEFT SIDE ELEVATION II



1A
ENHANCED RIGHT SIDE ELEVATION II

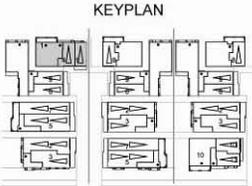
A

UNIT 1 & 4
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC

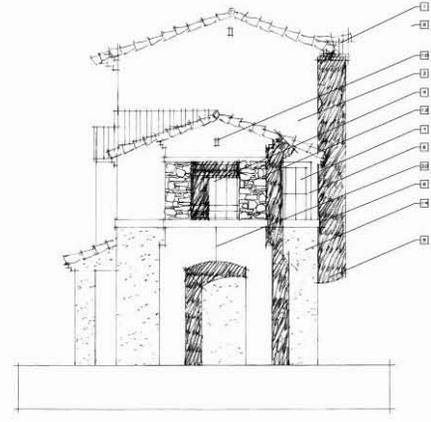


1.5.11



NOTE: NUMBER ELEVATIONS TO REFLECT FINISHES TO BE USED FOR EACH SIDE OF THE MAIN BUILDING AND FOR THE SAME STYLE. THE WALLS AND JOINTS ARE TO BE FINISHED AS SHOWN.
1 - THREE TIERED FINISHES ON ALL ELEMENTS TO BE USED.
2 - THREE TIERED FINISHES ON ALL ELEMENTS TO BE USED.
3 - THREE TIERED FINISHES ON ALL ELEMENTS TO BE USED.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3/4" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



1B

ENHANCED RIGHT SIDE ELEVATION I

B

SEE 'A' ELEVATIONS FOR STANDARD SIDES

UNIT 1 & 4
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

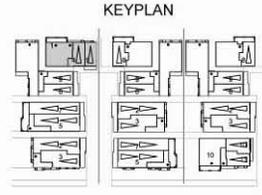
1/4" = 1'-0"

PROVENCE - COURTS RC NATOMAS, LLC

200906020



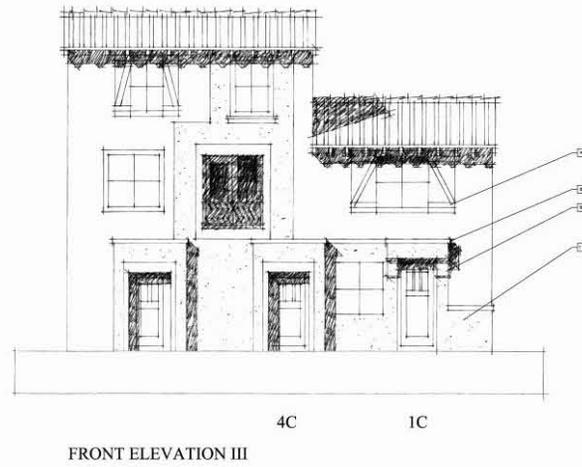
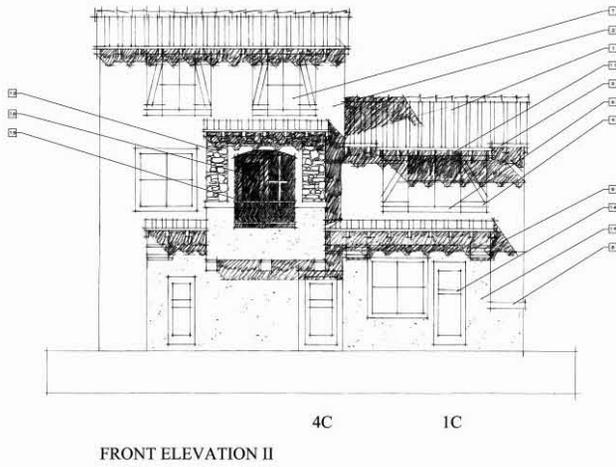
1.5.11



NOTE: NUMBER REFERENCE TABLES INDICATE THE NUMBER OF THE NAME BEHIND
INDENT THE SAME STYLE, THE TABLE NO. AND ANNOTATION NUMBER.

1 - THREE DIMENSION ELEMENTS IN ALL ELEVATIONS OF MASS
2 - THREE DIMENSION ELEMENTS IN THREE ELEVATIONS OF MASS
3 - FIBERGLASS ENTRY DOOR WITH WINDOWS
4 - PLASTER BATTERED PILLAR

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3/4" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	SHAPED TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILLAR
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



C

SEE 'A' ELEVATIONS FOR STANDARD SIDES

UNIT 1 & 4
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

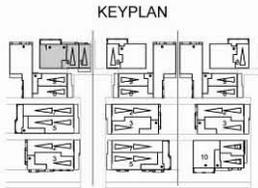
1/4"=1'-0"

PROVENCE - COURTS
RC NATOMAS, LLC

200906020



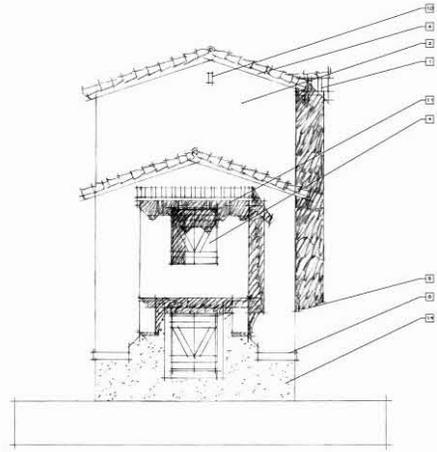
1.5.11



NOTE: NUMBER ALL SYSTEMS LABELS AND FINISHES TO THE SAME SIDE OF THE DRAWING (INDICATE THE SAME STYLE, THE WALLS AND JOINTS AND FINISHES ARE THE SAME).
1 - THREE DIMENSION ELEMENTS IN ALL ELEVATIONS OF MASS.
2 - THREE DIMENSION ELEMENTS IN ZONE, THREE DIMENSION MASS.
3 - FIBERGLASS INSULATION WITH PALL, THICKNESS 1 1/2" MAX.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3/8" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

10 OF 62



1A
ENHANCED RIGHT SIDE ELEVATION II

C

SEE 'A' ELEVATIONS FOR STANDARD SIDES

UNIT 1 & 4
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

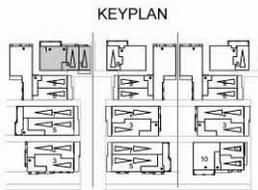
1/4" = 1'-0"

PROVENCE - COURTS
RC NATOMAS, LLC

200906020

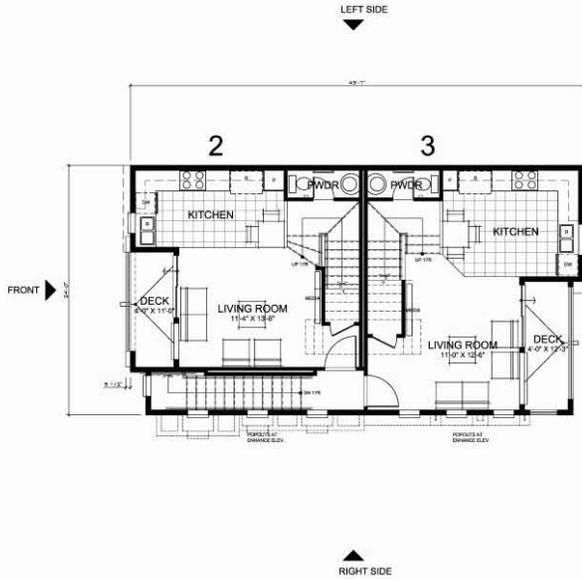


1.5.11

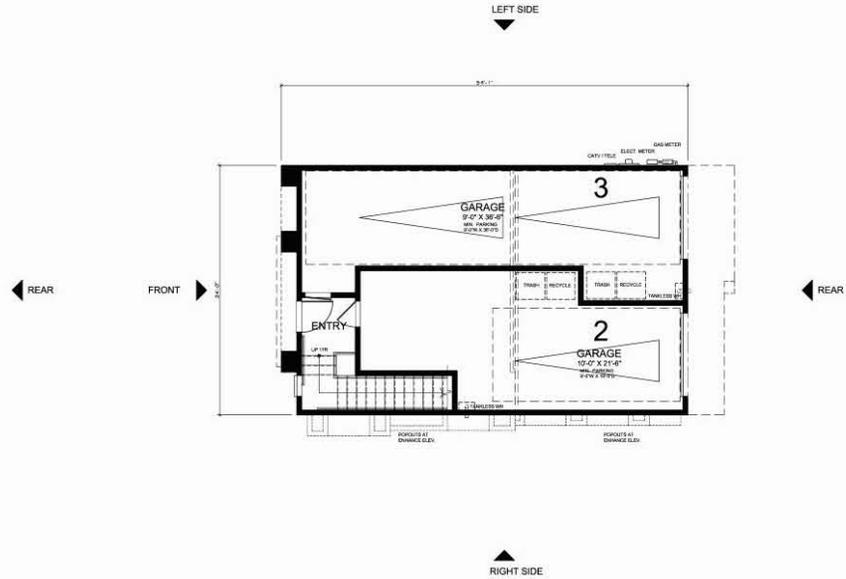


NOTE: REFER TO OTHER SHEETS DRAWING FOR THE NAME OF THE MAIN BUILDING AND IN THE SAME STYLE. THE SHADING INDICATES THE LOCATION OF THE ELEVATION.
 1 - THREE DIMENSION ELEMENTS IN ALL ELEVATIONS OF MASS
 2 - THREE DIMENSION ELEMENTS IN THREE ELEVATIONS OF MASS
 3 - FIBERGLASS ENTRY DOOR WITH WINDOWS
 4 - FIBERGLASS ENTRY DOOR WITH WINDOWS (1/4" MASS)

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3/4" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	SHAPED TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



SECOND FLOOR



FIRST FLOOR

UNIT 2 & 3
FIRST / SECOND FLOOR PLANS
ELEVATION STYLE - 'A'

1/4"=1'-0"

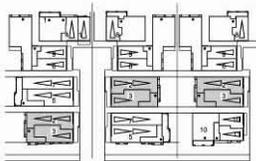
PROVENCE - COURTS
RC NATOMAS, LLC

200804001



1.5.11

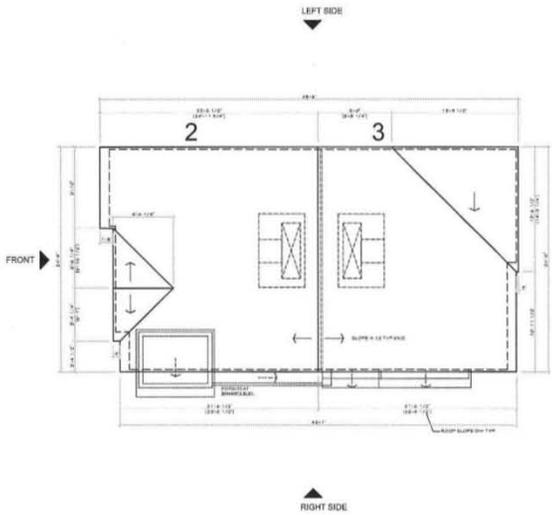
KEYPLAN



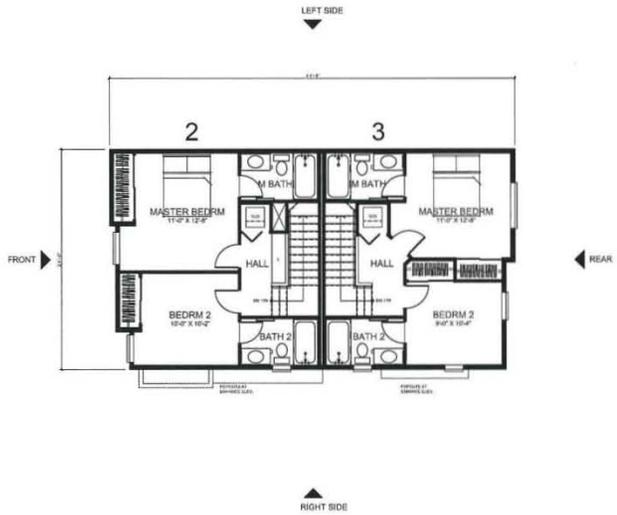
NOTE: THESE FLOOR PLANS SHOW THE GENERAL LAYOUT OF THE UNIT. THE EXACT DIMENSIONS AND FINISHES ARE SUBJECT TO THE ARCHITECT'S FINAL DESIGN AND SHALL BE SHOWN ON THE CONSTRUCTION DOCUMENTS.

1 - THIS PLAN IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.
2 - THIS PLAN IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.
3 - THIS PLAN IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.

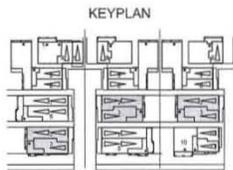
AREA ANALYSIS	
UNIT 2	
FIRST FLOOR ENTRY	124.63 S.F.
SECOND FLOOR	377.60 S.F.
THIRD FLOOR	325.50 S.F.
TOTAL LIVING AREA	827.73 S.F.
GARAGE	380.38 S.F.
DECK	84.55 S.F.
Useful area	1292.66 S.F.
UNIT 3	
FIRST FLOOR ENTRY	124.63 S.F.
SECOND FLOOR	419.58 S.F.
THIRD FLOOR	483.55 S.F.
TOTAL LIVING AREA	1027.76 S.F.
GARAGE	452.83 S.F.
DECK	59.91 S.F.
Useful area	1540.50 S.F.



ROOF PLAN



THIRD FLOOR



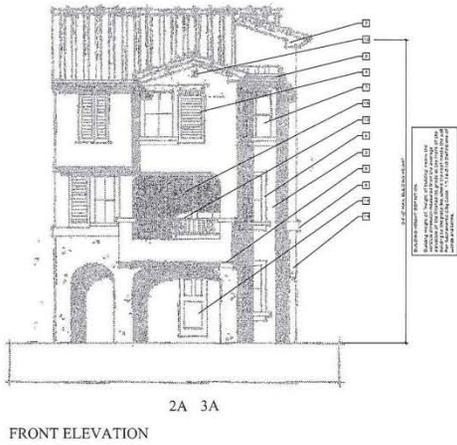
NOTE: ROOMS IDENTIFIED IN THIS KEYPLAN ARE FOR THE MAIN SIDE OF THE COMMON BUILDING.
 APPLY THE SAME STYLE, LINE WEIGHTS AND DIMENSIONS AS SHOWN.
 1 - OTHER REQUIREMENTS ARE AS SHOWN ON SHEET.
 2 - THIS IS A PRELIMINARY PLAN. ALL DIMENSIONS ARE IN FEET.
 3 - DIMENSIONS INDICATED ON THIS PLAN ARE APPROXIMATE.

UNIT 2 & 3
 THIRD FLOOR / ROOF PLAN
 ELEVATION STYLE - 'A'

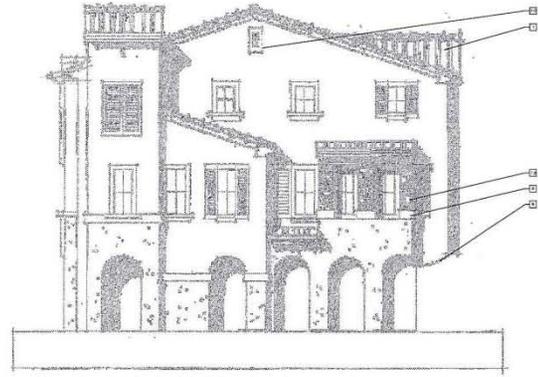
PROVENCE - COURTS
 RC NATOMAS, LLC



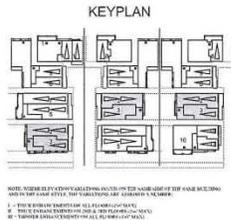
AREA ANALYSIS	
UNIT 2	
FIRST FLOOR FLOOR PLAN	154.83 SQ. FT.
SECOND FLOOR	277.78 SQ. FT.
THIRD FLOOR	538.39 SQ. FT.
TOTAL LIVING AREA	1071.00 SQ. FT.
STAIRS	4.00 SQ. FT.
ROOF	1200.00 SQ. FT.
UNIT 3	
FIRST FLOOR FLOOR PLAN	154.83 SQ. FT.
SECOND FLOOR	277.78 SQ. FT.
THIRD FLOOR	451.11 SQ. FT.
TOTAL LIVING AREA	883.72 SQ. FT.
STAIRS	222.22 SQ. FT.
ROOF	800.00 SQ. FT.
TOTAL AREA	1457.72 SQ. FT.



FRONT ELEVATION



ENHANCED RIGHT SIDE ELEVATION I

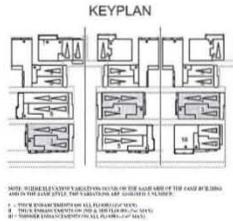
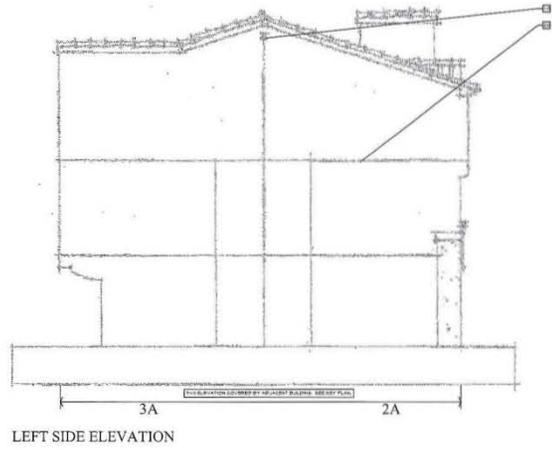
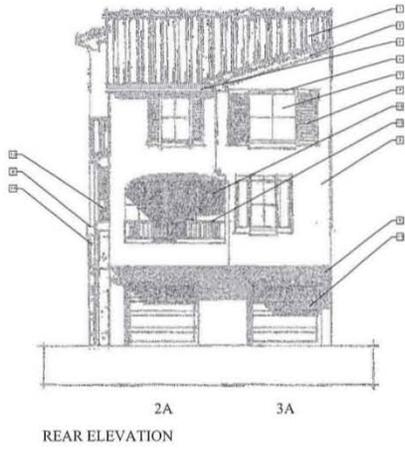


A
 SEE 'B' FOR STANDARD RIGHT
 UNIT 2 & 3
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'A'
 1/2"=1'-0"
PROVENCE - COURTS
 RC NATOMAS, LLC
 2009-0020



1.1.1

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 1/2" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORBEL
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAFFEK TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL MAIL / SPANDREL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND HOOD ELEMENTS TO BE PAINTED	



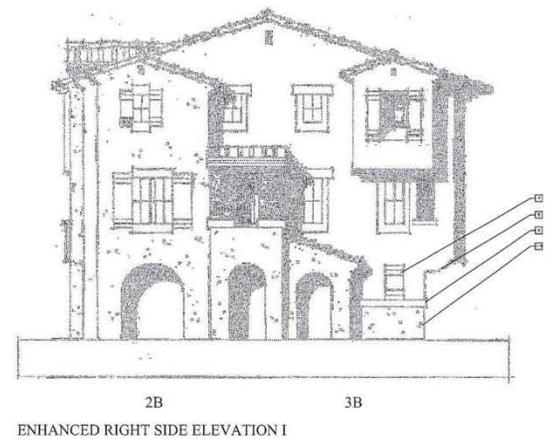
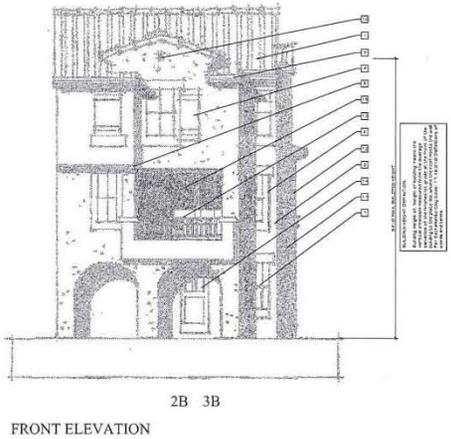
A

UNIT 2 & 3
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

10/11/10
PROVENCE - COURTS
RC NATOMAS, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 1/2" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	ORIGINAL PLASTER PROJECTION
<input type="checkbox"/>	KAFFER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	TEMPERED GLASS ENTRY DOOR
<input type="checkbox"/>	BUILDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOW
<input type="checkbox"/>	SLOPING PLASTER BALL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

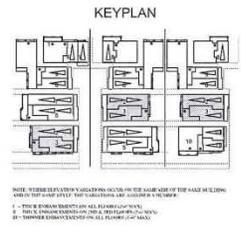


ALL MATERIALS TO BE FINISHED WITH A LIGHT SAND FINISH UNLESS OTHERWISE NOTED.

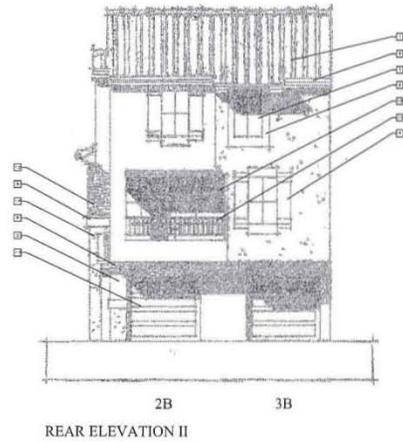
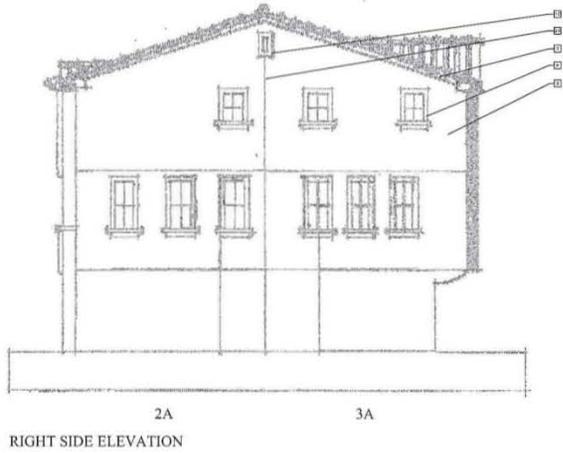
B

UNIT 2 & 3
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

PROVENCE - COURTS
RC NATOMAS, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3/8" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAFFER TAL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / SHARDORAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLIPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PALE
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



A, B

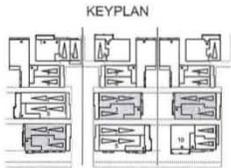
SEE 'A' ELEVATIONS FOR LEFT SIDE

UNIT 2 & 3
EXTERIOR ELEVATIONS
ELEVATION STYLE 'A' & 'B'

10/11/11

PROVENCE - COURTS
RC NATOMAS, LLC

2009/01/08



NOTE: THESE ELEVATIONS ARE PROVIDED FOR THE GENERAL INFORMATION OF THE ARCHITECT AND ARE NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT SHALL VERIFY ALL DIMENSIONS AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THE BUILDING.

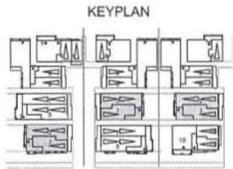
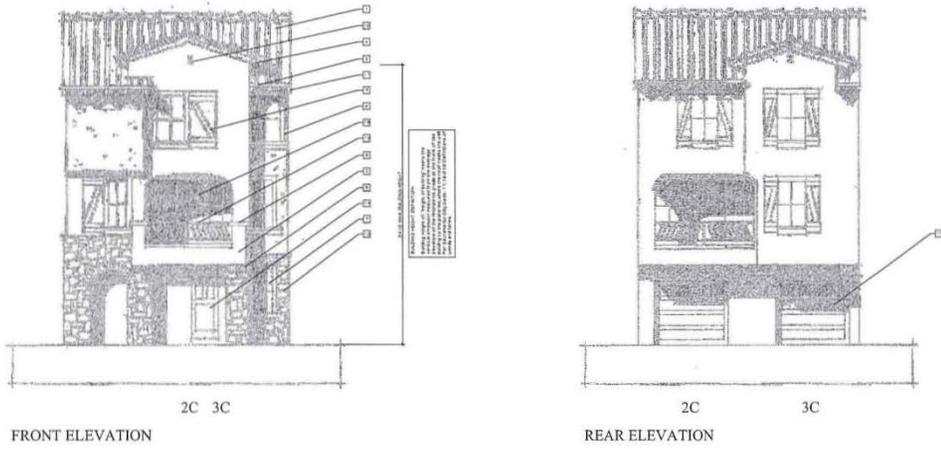
1. THE ARCHITECT SHALL VERIFY ALL DIMENSIONS AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THE BUILDING.

2. THE ARCHITECT SHALL VERIFY ALL DIMENSIONS AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THE BUILDING.

3. THE ARCHITECT SHALL VERIFY ALL DIMENSIONS AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THE BUILDING.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERIAR COLOR 1/2" TILE ROOF
<input type="checkbox"/>	INTERIAR COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAFFER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL MAIL / GUARDRAIL
<input type="checkbox"/>	REINFORCED ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLIPPER PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

17 OF 62



NOTES: 1. THESE ELEVATIONS SHALL BE USED TO IDENTIFY THE EXTERIOR APPEARANCE OF THE UNIT AND TO IDENTIFY THE UNIT'S LOCATION ON THE PROJECT. 2. THIS KEY PLAN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. 3. THIS KEY PLAN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. 4. THIS KEY PLAN IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.

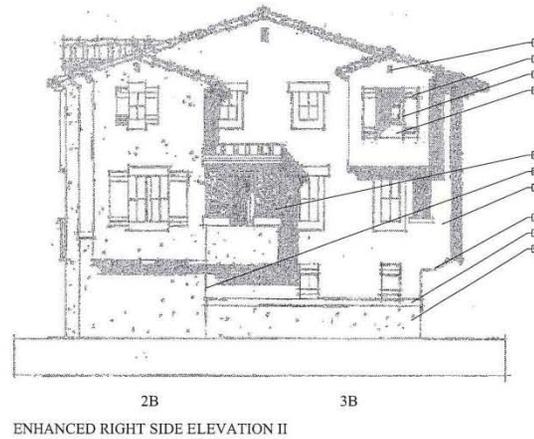
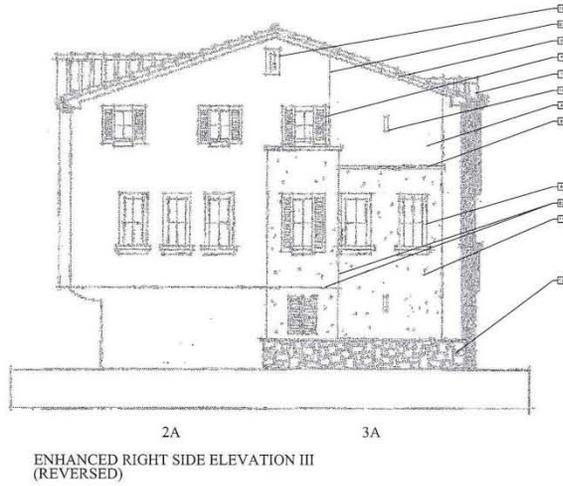
C
SEE 'A' ELEVATIONS FOR STANDARD SIDES

UNIT 2 & 3
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'
6'-0" x 6'-0"
PROVENCE - COURTS
RC NATOMAS, LLC
2009/03/28



13.11

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE BRITNER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAPPORT TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / BARRIER
<input type="checkbox"/>	FRIGGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL RESTROOM GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER RAIL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED RAIL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

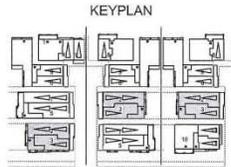


A, B

SEE 'A' ELEVATIONS FOR STANDARD SIDES

UNIT 2 & 3
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A' & 'B'

PROVENCE - COURTS RC NATOMAS, LLC



NOTE: THESE ELEVATION VIEWS ARE INTENDED TO BE USED IN CONJUNCTION WITH THE UNIT ELEVATIONS AND SHOULD BE USED AS A GUIDE ONLY.
1 - THIS ELEVATION SHOWS ALL EXTERIOR WALLS.
2 - THIS ELEVATION SHOWS ALL EXTERIOR WALLS.
3 - THIS ELEVATION SHOWS ALL EXTERIOR WALLS.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 1/2" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER GORBEL
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAPITEAL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED MALL
* ALL METAL AND HOOD ELEMENTS TO BE PAINTED	



ENHANCED RIGHT SIDE ELEVATION III

ENHANCED LEFT SIDE ELEVATION III

B

SEE 'A' ELEVATIONS FOR STANDARD SIDES

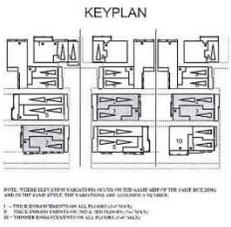
UNIT 2 & 3
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

PROVENCE - COURTS
RC NATOMAS, LLC

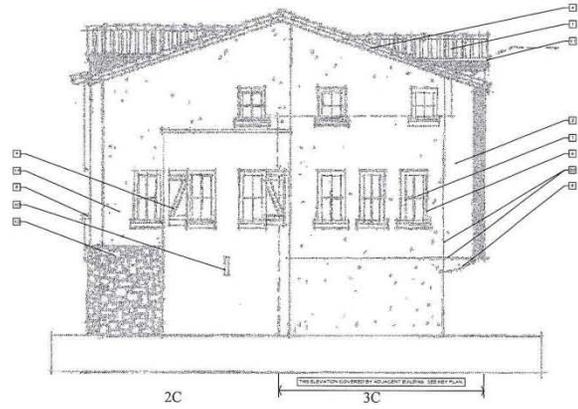
30386-04020



1.E11



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 3/8" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLIPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PAINT
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



ENHANCED RIGHT SIDE ELEVATION III

C

SEE 'A' ELEVATIONS FOR STANDARD SIDES

UNIT 2 & 3
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

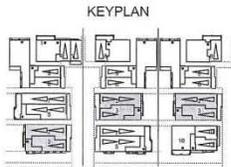
1/8"=1'-0"

PROVENCE - COURTS
RC NATOMAS, LLC

200904020



LS11

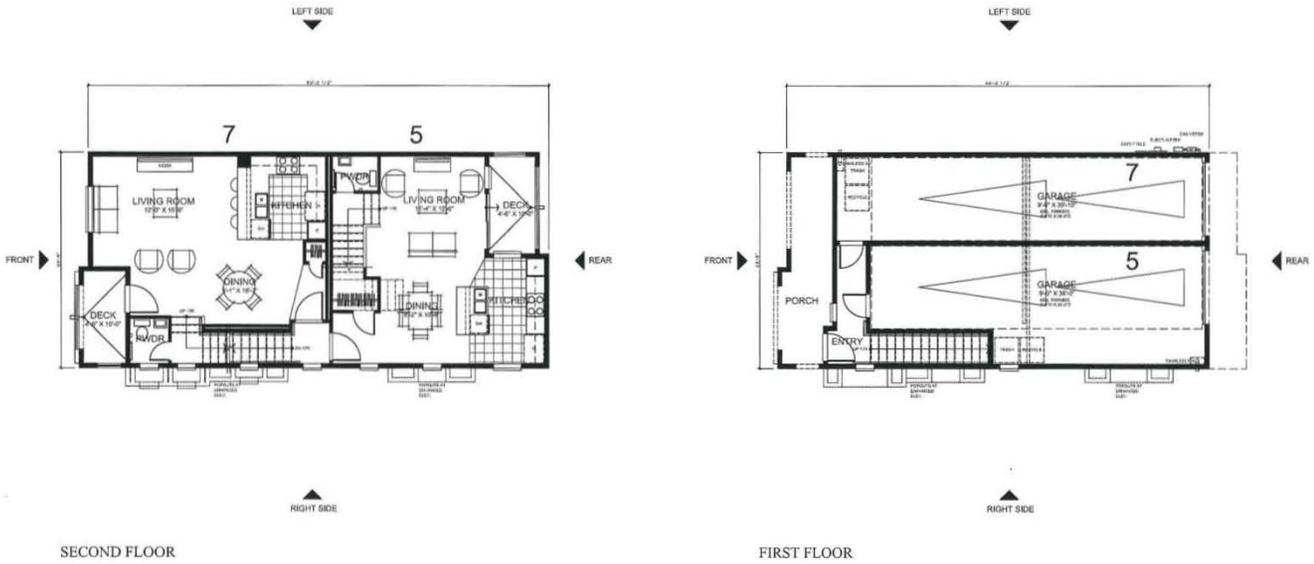


KEYPLAN

NOTE: THESE ELEVATIONS AND MATERIALS LIST ARE FOR INFORMATION ONLY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION OR DIMENSIONS SHOWN HEREIN. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION OR DIMENSIONS SHOWN HEREIN.

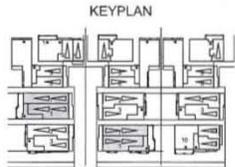
1. THIS ELEVATION IS FOR ALL UNITS OF UNIT 2 & 3.
2. THIS ELEVATION IS FOR THE EXTERIOR OF THE BUILDING.
3. THROUGH DIMENSIONS TO ALL FINISHES (IF APPLICABLE).

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR W/ TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAFFEE TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL K-VAL / GABRIEL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLIDING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED HALL
* ALL METAL AND FOOD ELEMENTS TO BE PAINTED	



SECOND FLOOR

FIRST FLOOR



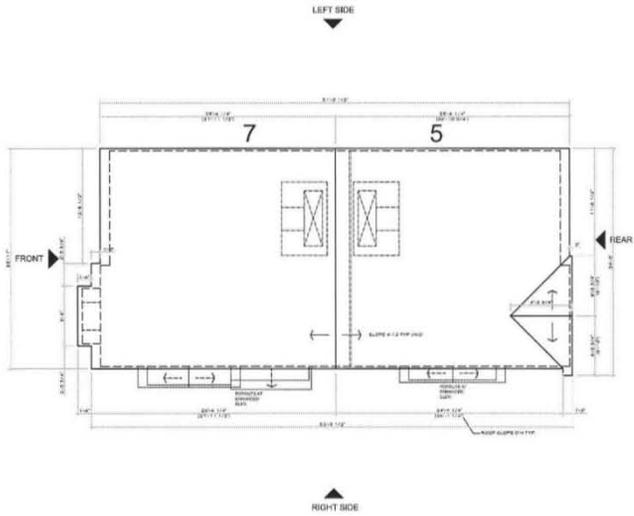
NOTE: WHERE EXISTING CONDITIONS OCCUR ON THE SAME SHEET OF THE SAME BUILDING, SHOW THE FORM STYLE AND NUMBER OF THE EXISTING CONDITION.
 1 - FLOOR FINISHES AND MATERIALS TO BE USED.
 2 - FLOOR FINISHES AND MATERIALS TO BE USED.
 3 - FINISH FINISHES AND MATERIALS TO BE USED.

UNIT 5 & 7
 FIRST / SECOND FLOOR PLANS
 ELEVATION STYLE - 'A'
 1/8" = 1'-0"
PROVENCE - COURTS
 RC NATOMAS, LLC



1311

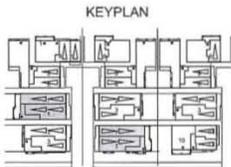
AREA ANALYSIS	
UNIT 5	
FIRST FLOOR AREA	1,062.00 S.F.
SECOND FLOOR	1,062.00 S.F.
TOTAL FLOOR	2,124.00 S.F.
TOTAL LAND AREA	1,062.00 S.F.
GARAGE	463.72 S.F.
DECK	463.72 S.F.
TOTAL AREA	1,525.80 S.F.
UNIT 7	
FIRST FLOOR AREA	1,062.00 S.F.
SECOND FLOOR	1,062.00 S.F.
TOTAL FLOOR	2,124.00 S.F.
TOTAL LAND AREA	1,062.00 S.F.
GARAGE	463.72 S.F.
DECK	463.72 S.F.
TOTAL AREA	1,525.80 S.F.



ROOF PLAN



THIRD FLOOR



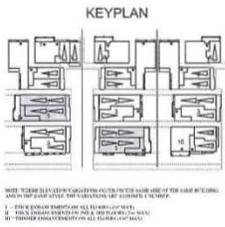
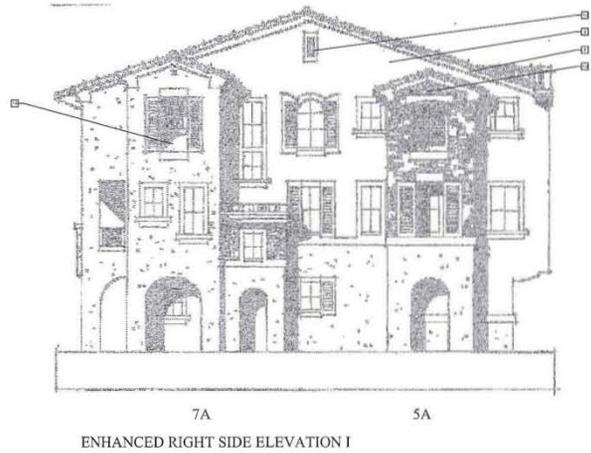
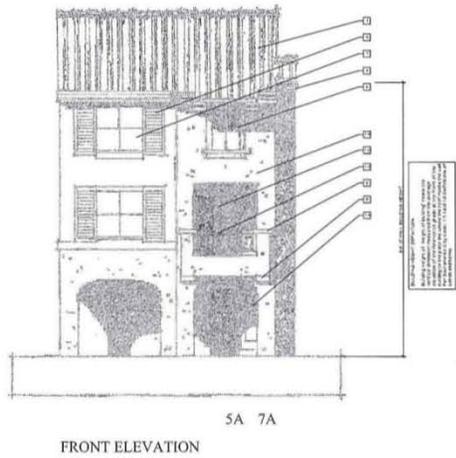
NOTE: REFER TO EXISTING DRAWINGS FOR THE EXACT LOCATION OF THE UNIT BOUNDARY AND TO THE UNIT STYLE AND NUMBERING FOR IDENTIFICATION PURPOSES.
 1 - THIS PLAN AND ELEVATION IS FOR INFORMATION ONLY.
 2 - THIS PLAN AND ELEVATION IS FOR INFORMATION ONLY.
 3 - THIS PLAN AND ELEVATION IS FOR INFORMATION ONLY.

UNIT 5 & 7
 THIRD FLOOR / ROOF PLAN
 ELEVATION STYLE - 'A'
 1/8"=1'-0"
PROVENCE - COURTS
 RC NATOMAS, LLC



1331

AREA ANALYSIS	
UNIT 5	
FIRST FLOOR ENTRY	108.31 S.F.
SECOND FLOOR	481.16 S.F.
THIRD FLOOR	335.87 S.F.
TOTAL LIVING AREA	1025.34 S.F.
STAIRS	453.12 S.F.
STAIR WELLS	48.00 S.F.
TOTAL UNIT	1426.52 S.F.
UNIT 7	
FIRST FLOOR ENTRY	108.31 S.F.
SECOND FLOOR	315.00 S.F.
THIRD FLOOR	844.00 S.F.
TOTAL LIVING AREA	1267.31 S.F.
STAIRS	287.00 S.F.
STAIR WELLS	50.00 S.F.
TOTAL UNIT	1604.31 S.F.



A

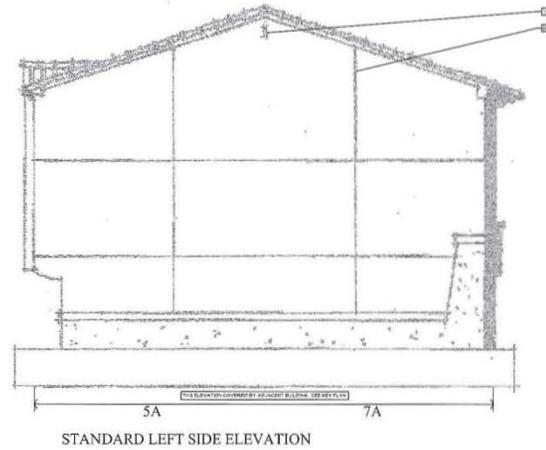
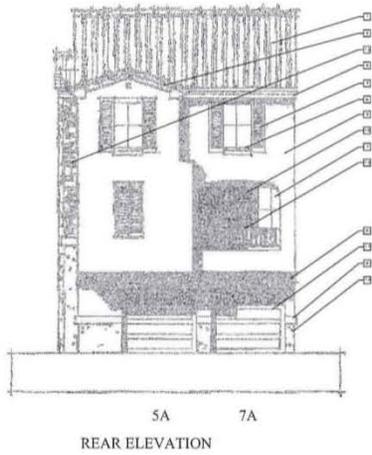
UNIT 5 & 7
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

12/14/11

PROVENCE - COURTS
RC NATOMAS, LLC



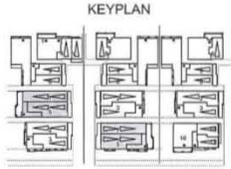
TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR 1/2 TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RATTER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FRIBGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL RESTONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER BALL
<input type="checkbox"/>	HEAVY TEXTURE BTCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED MALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



A

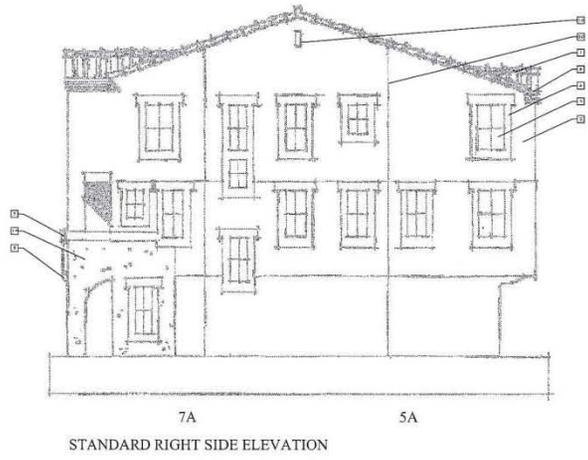
UNIT 5 & 7
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC



NOTES: REAR ELEVATION SHALL BE FINISHED TO THE SAME LEVEL OF THE REAR BUILDING.
 1. THIS ELEVATION SHALL BE FINISHED TO THE SAME LEVEL OF THE REAR BUILDING.
 2. THIS ELEVATION SHALL BE FINISHED TO THE SAME LEVEL OF THE REAR BUILDING.
 3. THIS ELEVATION SHALL BE FINISHED TO THE SAME LEVEL OF THE REAR BUILDING.
 4. THIS ELEVATION SHALL BE FINISHED TO THE SAME LEVEL OF THE REAR BUILDING.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERIAL COLOR TILE ROOF
<input type="checkbox"/>	INTERIAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL FLAG / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER BALL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND MOOD ELEMENTS TO BE PAINTED	



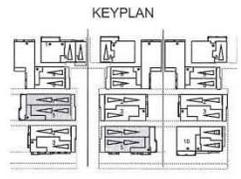
A

UNIT 5 & 7
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC

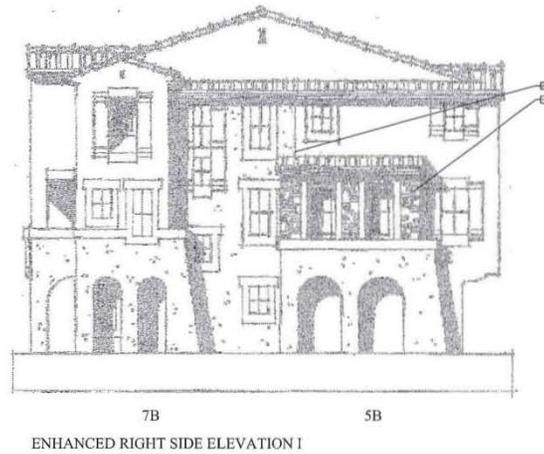
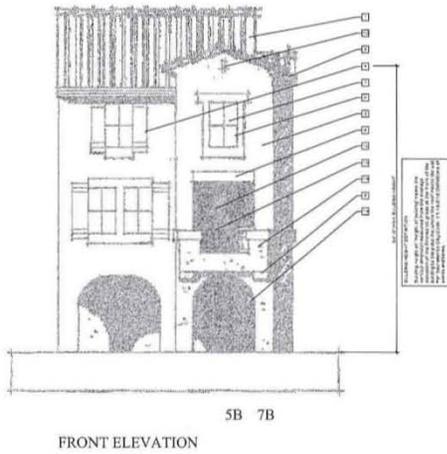


(S11)



NOTE: THESE ELEVATIONS ASSUMED TO BE ON THE SOUTH SIDE OF THE UNIT BEING DRAWN UNLESS OTHERWISE NOTED. THE DRAWING IS FOR INFORMATION AND CLARIFICATION PURPOSES ONLY.
1 - FINISH SYMBOLS SHOWN ON ALL ELEMENTS (S11)
2 - FINISH SYMBOLS SHOWN ON JOINTS, EXPANSION JOINTS (S11)
3 - FINISH SYMBOLS SHOWN ON ALL ELEMENTS (S11)

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR W/ TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAFFER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL NAIL / SHARDRAL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLIDING PLASTER RAIL
<input type="checkbox"/>	HEAVY TEXTURE STICCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
*ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



B

SEE 'A' ELEVATIONS FOR SIDES

UNIT 5 & 7
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

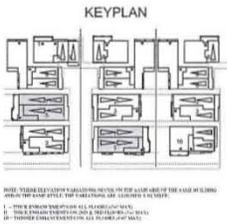
10-11-11

PROVENCE - COURTS RC NATOMAS, LLC

2009-04-02

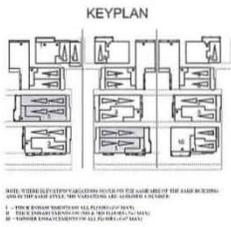
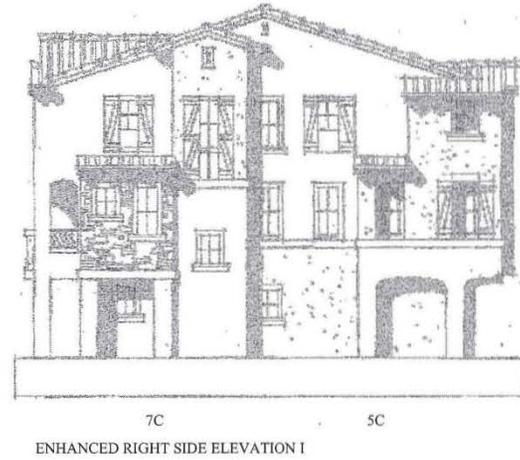
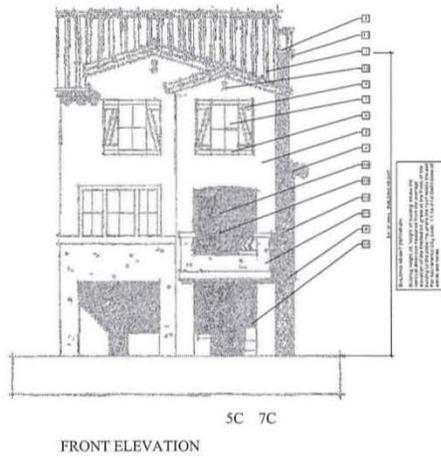


1.5.11



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOUR 1/2 TILE ROOF
<input type="checkbox"/>	INTERNAL COLOUR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / SHADROWAL
<input type="checkbox"/>	THERMALGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL REGIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	BUFFING PLASTER SKU
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED RAIL
*ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

27 OF 62



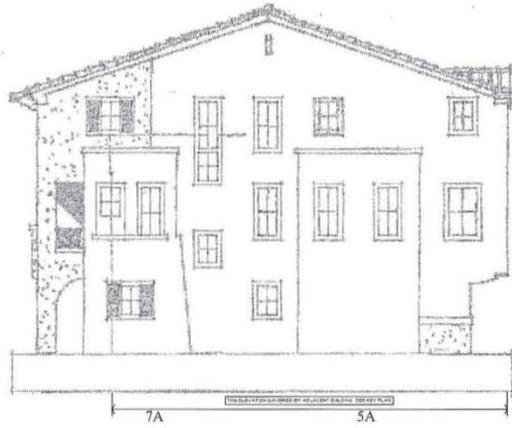
C
 SEE 'A' ELEVATIONS FOR SIDES
 UNIT 5 & 7
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'C'
 10/16/11
PROVENCE - COURTS
 RC NATOMAS, LLC
 200904-030



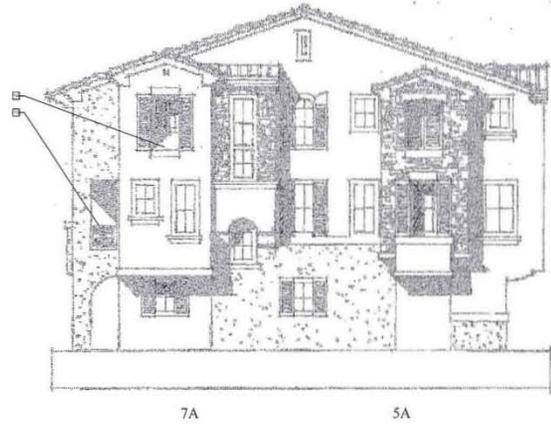
13.11

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR 9" TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAPPEL TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL MAIL GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOW
<input type="checkbox"/>	SLEEPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED MALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

28 OF 62



RIGHT SIDE ELEVATION III



ENHANCED RIGHT SIDE ELEVATION II

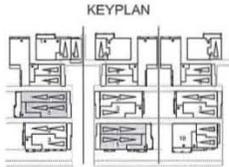
A

UNIT 5 & 7
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC



LS11



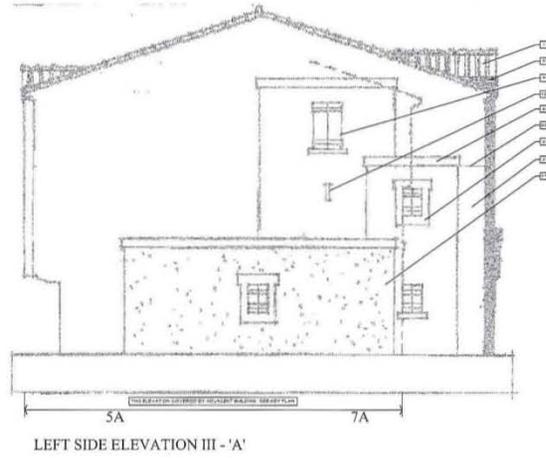
KEYPLAN

NOTES: THESE ELEVATIONS ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE EXTERIOR ELEVATIONS AND HAS FOUND THEM TO BE ACCURATE. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE FACE UNLESS OTHERWISE NOTED.

1 - THIS ELEVATION REPRESENTS ALL PLUMBING LOCATIONS.
2 - THIS ELEVATION REPRESENTS ALL ELECTRICAL LOCATIONS.
3 - THIS ELEVATION REPRESENTS ALL MECHANICAL LOCATIONS.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR 1/2" TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNER
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL MAIL / QUADRANT
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLIDING PLASTER MAIL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED MAIL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

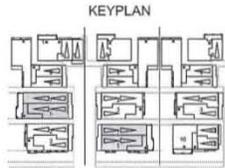
30 OF 62



A,B

UNIT 5 & 7
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A' & 'B'

PROVENCE - COURTS
RC NATOMAS, LLC



NOTE: THESE ELEVATIONS ARE SUBMITTED FOR THE USE OF THE ARCHITECT AND ARE NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE DIMENSIONS AND MATERIALS SHOWN HEREIN.

1 - THIS IS A GENERAL ELEVATION AND DOES NOT SHOW ALL DETAILS.
2 - THIS IS A GENERAL ELEVATION AND DOES NOT SHOW ALL DETAILS.
3 - THIS IS A GENERAL ELEVATION AND DOES NOT SHOW ALL DETAILS.



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR V. TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER PENDENT TRIM
<input type="checkbox"/>	VINYL PENDENT
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL SEAL / BRACKET
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH PENDENT
<input type="checkbox"/>	SLIPPER PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED RAIL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

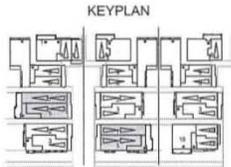


B,C

SEE 'A' ELEVATIONS FOR STANDARD SIDES

UNIT 5 & 7
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B' & 'C'

PROVENCE - COURTS
RC NATOMAS, LLC



NOTE: THESE ELEVATION CALLOUTS REFER TO THE SAME SIDE OF THE FAÇADE AS SHOWN ON THE KEY PLAN AND NOT TO THE OPPOSITE SIDE UNLESS NOTED OTHERWISE.

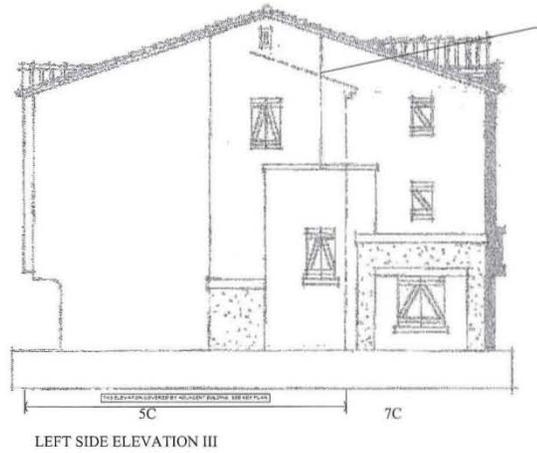
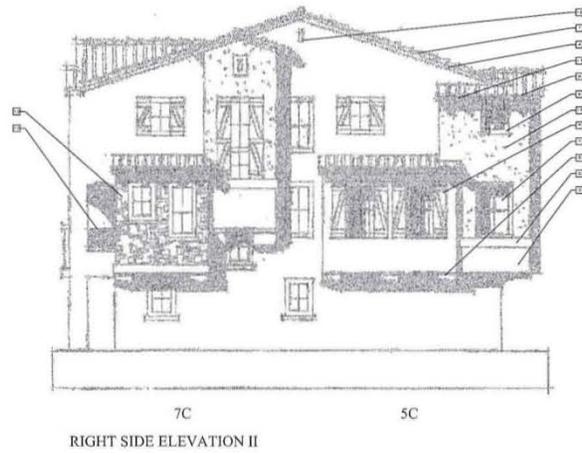
1 - THIS ELEVATION SHOWS THE SIDE OF THE FAÇADE AS SHOWN ON THE KEY PLAN.

2 - THIS ELEVATION SHOWS THE SIDE OF THE FAÇADE AS SHOWN ON THE KEY PLAN.

3 - THIS ELEVATION SHOWS THE SIDE OF THE FAÇADE AS SHOWN ON THE KEY PLAN.

TYPICAL BUILDING MATERIALS	
[Symbol]	INTERNAL COLOR 3/4" TILE ROOF
[Symbol]	INTERNAL COLOR PLASTER
[Symbol]	FASCIA
[Symbol]	RAKE BOARD
[Symbol]	PLASTER CORNICE
[Symbol]	PLASTER WINDOW TRIM
[Symbol]	VINYL WINDOW
[Symbol]	PLASTER TRIM
[Symbol]	DECORATIVE SHUTTER
[Symbol]	DECORATIVE PLASTER PROJECTION
[Symbol]	RAFTER TAIL
[Symbol]	STONE PATTERN VENEER
[Symbol]	METAL RAIL / GUARDRAIL
[Symbol]	FIBERGLASS ENTRY DOOR
[Symbol]	SLIDING GLASS DOOR
[Symbol]	FRENCH DOOR
[Symbol]	METAL REGIONAL GARAGE DOOR WITH WINDOW
[Symbol]	BUFFING PLASTER BALL
[Symbol]	HEAVY TEXTURE STUCCO
[Symbol]	EXPANSION JOINT
[Symbol]	PLASTER BATTERED RAIL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

32 OF 62



C

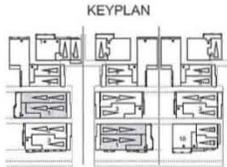
SEE 'A' ELEVATIONS FOR STANDARD SIDES

UNIT 5 & 7
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

PROVENCE - COURTS
RC NATOMAS, LLC



LS11

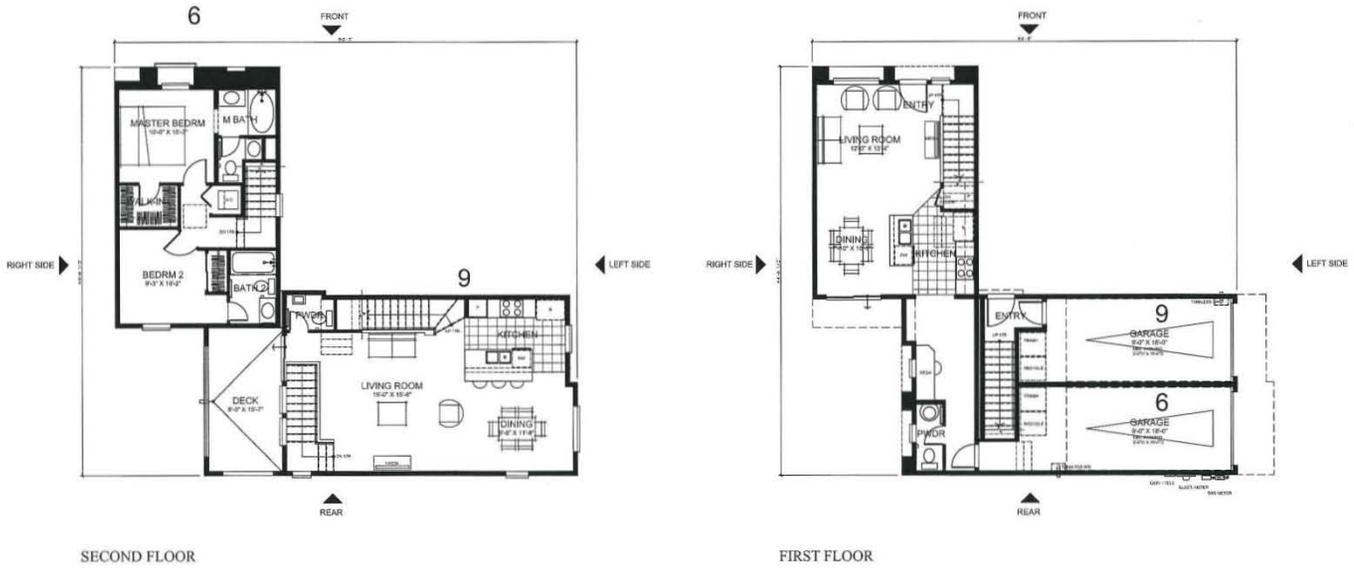


NOTE: THESE ELEVATIONS ARE CONSIDERED FINISHED FOR THE LOCATION OF THE FRAME INCLUDING
CORNICES, GUTTERS, DOWNSPUTTERS, AND DOWNSPUTTER CAPS.

1 - THIS ELEVATION REPRESENTS AN ALTERNATIVE TO THE
2 - THIS ELEVATION REPRESENTS AN ALTERNATIVE TO THE
3 - THIS ELEVATION REPRESENTS AN ALTERNATIVE TO THE

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR V-TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	PARADE
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE BUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL MAIL / DOWNSPUTTER
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER BELT
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

33 OF 62

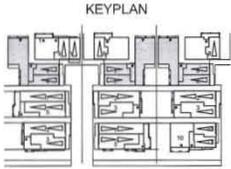


SECOND FLOOR

FIRST FLOOR

UNIT 6 & 9
FIRST / SECOND FLOOR PLANS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC

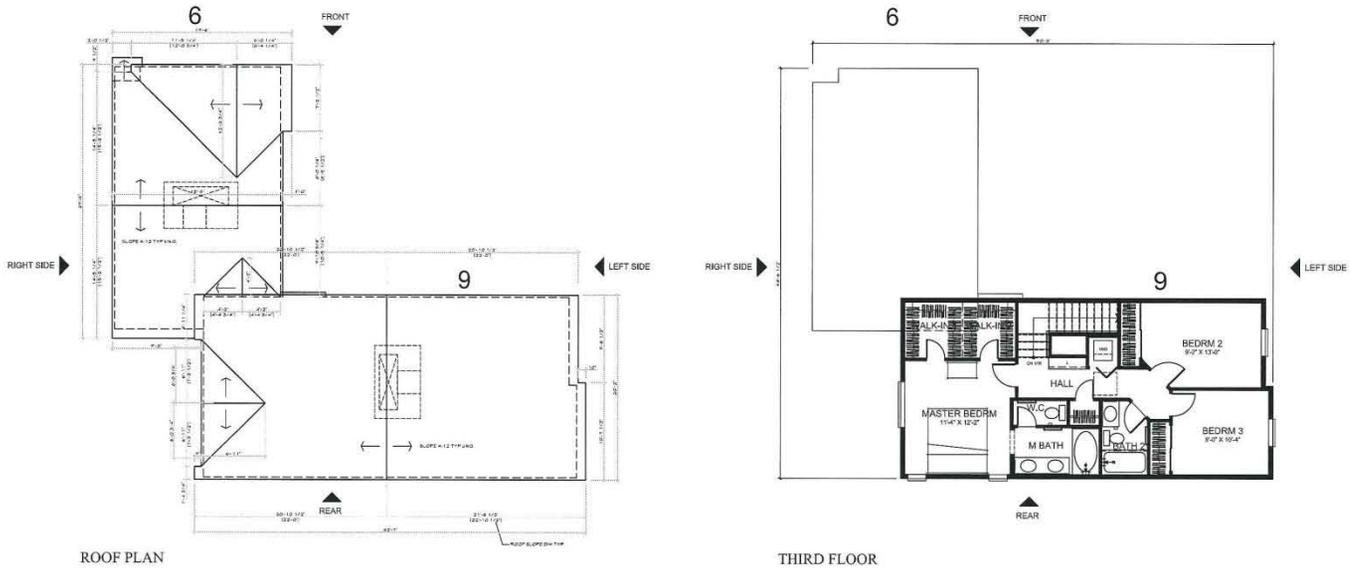


NOTE: THESE ELEVATIONS ARE REPRESENTATIONS OF THE EXTERIOR OF THE BUILDING AND ARE NOT TO BE USED FOR CONSTRUCTION. THEY ARE PROVIDED FOR INFORMATION ONLY.
 1. - THESE ELEVATIONS ARE FOR INFORMATION ONLY.
 2. - THESE ELEVATIONS ARE FOR INFORMATION ONLY.
 3. - THESE ELEVATIONS ARE FOR INFORMATION ONLY.



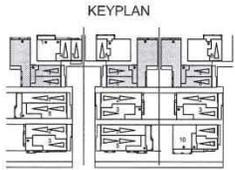
1.1.1

AREA ANALYSIS	
UNIT 6	
FIRST FLOOR	867 SF ±
SECOND FLOOR	492 SF ±
TOTAL LIVING AREA	1359 SF ±
GARAGE	360 SF ±
TOTAL AREA	1719 SF ±
UNIT 9	
FIRST FLOOR	760 SF ±
SECOND FLOOR	440 SF ±
TOTAL LIVING AREA	1200 SF ±
GARAGE	360 SF ±
TOTAL AREA	1560 SF ±



ROOF PLAN

THIRD FLOOR



NOTE: WHERE ELEVATION IS INDICATED ON THE SAME SIDE OF THE SAME WALL, THE TOP ELEVATION IS FOR THE EXTERIOR AND THE BOTTOM ELEVATION IS FOR THE INTERIOR.
 1 - SINGLE FINISH PARTITION AS SHOWN IN SECTION
 2 - DOUBLE FINISH PARTITION AS SHOWN IN SECTION
 3 - FINISH PARTITION ON ONE SIDE ONLY AS SHOWN IN SECTION

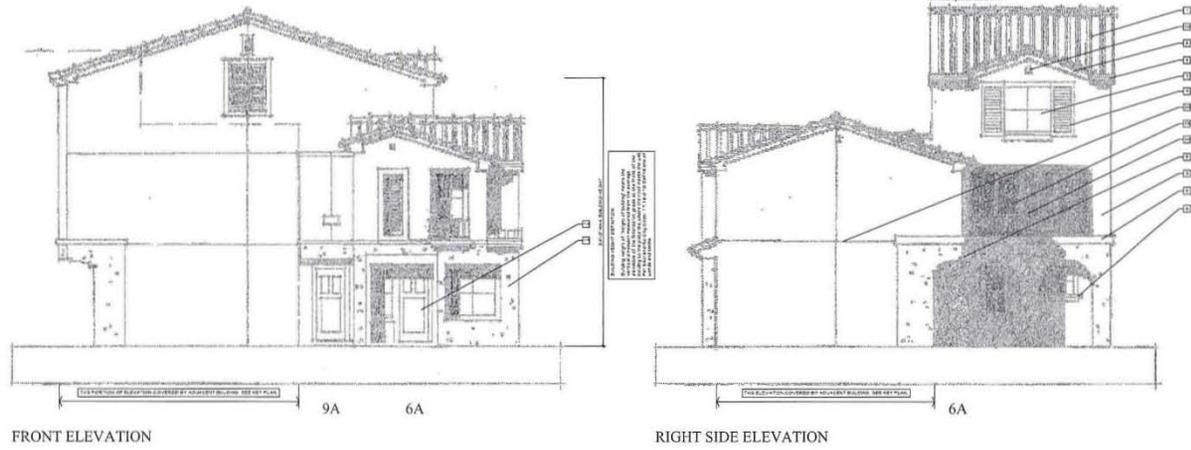
UNIT 6 & 9
 THIRD FLOOR / ROOF PLAN
 ELEVATION STYLE - 'A'

PROVENCE - COURTS
 RC NATOMAS, LLC



1.5.11

AREA ANALYSIS	
UNIT 6	
THIRD FLOOR	867.45 S.F.
ROOF FLOOR	412.31 S.F.
TOTAL LIVING AREA	1279.77 S.F.
STAIRS	100.00 S.F.
NEW AREA	1379.77 S.F.
UNIT 9	
THIRD FLOOR	70.35 S.F.
ROOF FLOOR	341.55 S.F.
TOTAL LIVING AREA	412.90 S.F.
STAIRS	100.00 S.F.
NEW AREA	512.90 S.F.
TOTAL	
THIRD FLOOR	937.80 S.F.
ROOF FLOOR	753.86 S.F.
TOTAL LIVING AREA	1692.67 S.F.
STAIRS	200.00 S.F.
NEW AREA	1892.67 S.F.



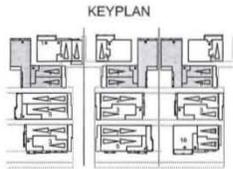
FRONT ELEVATION

RIGHT SIDE ELEVATION

A

UNIT 6 & 9
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

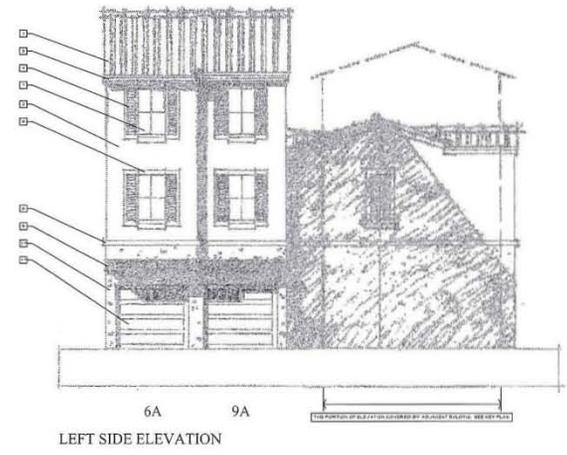
PROVENCE - COURTS
RC NATOMAS, LLC



NOTE: REFER TO SECTION 05200 FOR THE FINISHES OF THE ROOF SYSTEM.
1. THE FINISHES SHOWN ON THIS DRAWING ARE THE FINISHES TO BE USED.
2. THE FINISHES SHOWN ON THIS DRAWING ARE THE FINISHES TO BE USED.
3. THE FINISHES SHOWN ON THIS DRAWING ARE THE FINISHES TO BE USED.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR W/ TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / SWARMAS
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLUING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

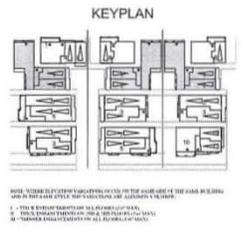
36 OF 62



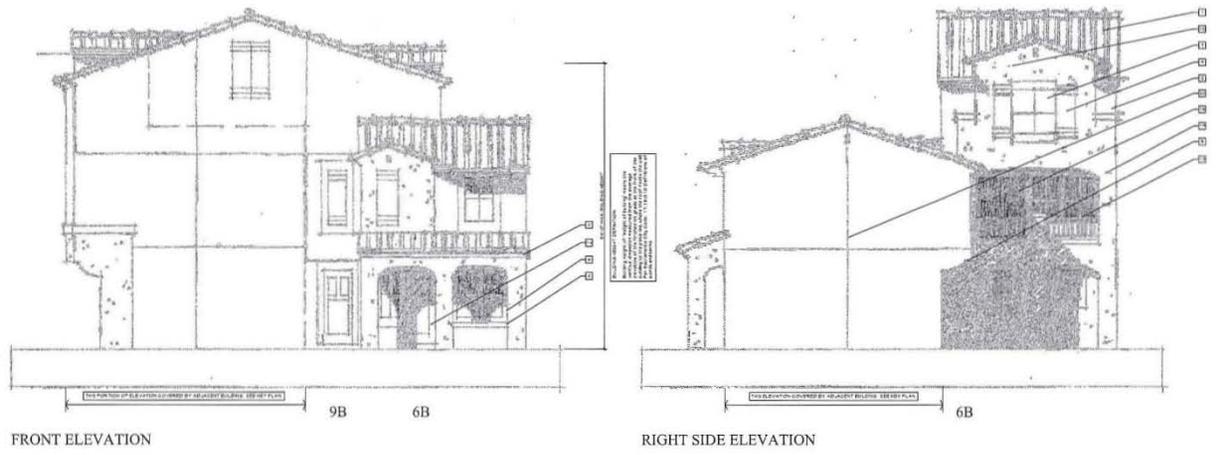
A

UNIT 6 & 9
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC



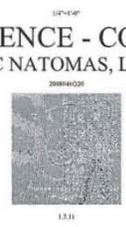
TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	NEUTRAL COLOUR 1/2 TILE ROOF
<input type="checkbox"/>	NEUTRAL COLOUR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PRODUCTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / SHARDING
<input type="checkbox"/>	FIBRE-GLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLIPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



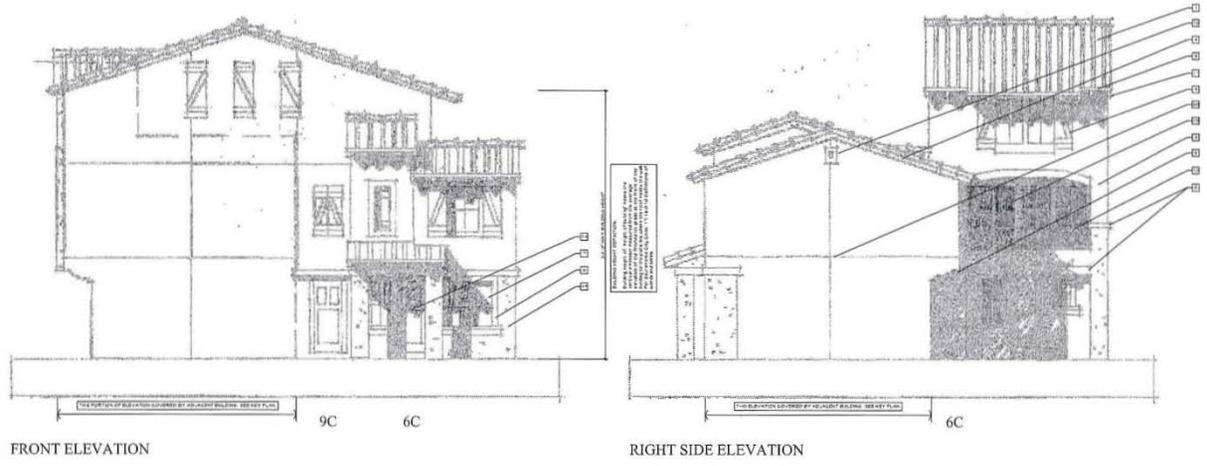
B

UNIT 6 & 9
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

PROVENCE - COURTS
RC NATOMAS, LLC



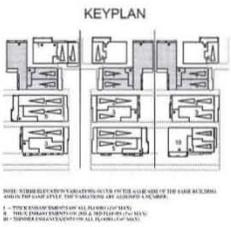
TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR W/ TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER FINISH TRIM
<input type="checkbox"/>	VINYL FINISH
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAFFER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / HANDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER BALL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



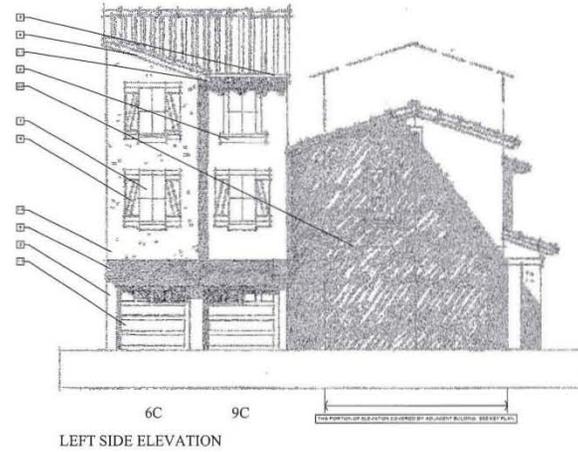
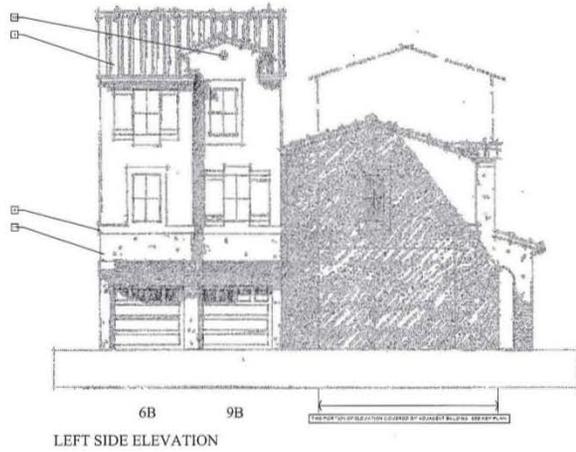
C

UNIT 6 & 9
EXTERIOR ELEVATIONS
ELEVATION STYLE - C

PROVENCE - COURTS
RC NATOMAS, LLC



TYPICAL BUILDING MATERIALS	
[Symbol]	INTERNAL COLOR 3/4" TILE ROOF
[Symbol]	INTERNAL COLOR PLASTER
[Symbol]	FASADA
[Symbol]	RAKE BOARD
[Symbol]	PLASTER CORBEL
[Symbol]	PLASTER FINISH TRIM
[Symbol]	VINYL FINISH
[Symbol]	PLASTER TRIM
[Symbol]	DECORATIVE SHUTTER
[Symbol]	DECORATIVE PLASTER PRODUCTION
[Symbol]	KAFTER TAIL
[Symbol]	STONE PATTERN VENEER
[Symbol]	METAL RAIL / GUARDRAIL
[Symbol]	FIBERGLASS ENTRY DOOR
[Symbol]	SLIDING GLASS DOOR
[Symbol]	FRENCH DOOR
[Symbol]	METAL SECTIONAL GARAGE DOOR WITH PENDORS
[Symbol]	SLOPING PLASTER BALL
[Symbol]	HEAVY TEXTURE STUCCO
[Symbol]	EXPANSION JOINT
[Symbol]	PLASTER BATTERED WALL
* ALL METAL AND FLOOR ELEMENTS TO BE PAINTED	



B,C

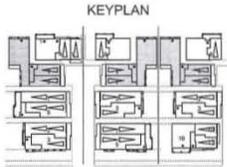
SEE 'A' ELEVATIONS FOR REARS

UNIT 6 & 9
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B' & 'C'

PROVENCE - COURTS
RC NATOMAS, LLC



LS11

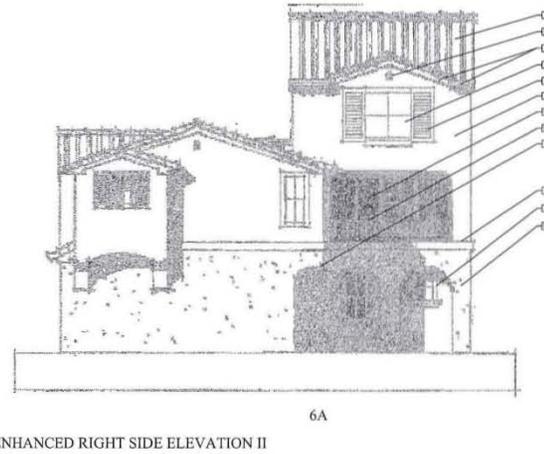
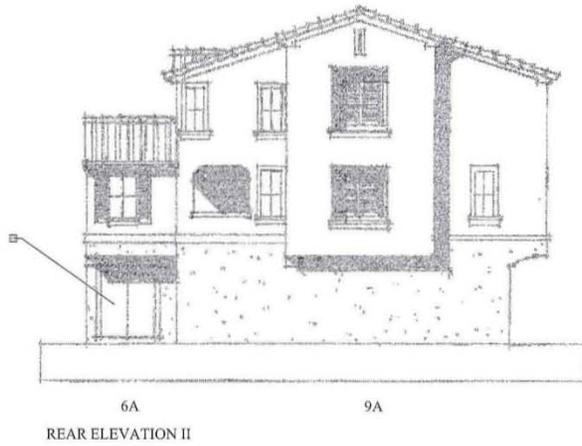


NOTE: THESE ELEVATIONS ARE FOR INFORMATION ONLY AND DO NOT REPRESENT THE FINAL DESIGN OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE FINAL DESIGN AND CONSTRUCTION OF THE PROJECT.

1 - THIS DRAWING IS PART OF A SET OF DRAWINGS.
2 - THIS DRAWING IS PART OF A SET OF DRAWINGS.
3 - THIS DRAWING IS PART OF A SET OF DRAWINGS.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR V-TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER GIMBEL
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAPPTER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL METALLIC GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLIDING PLASTER BALL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

40 OF 62



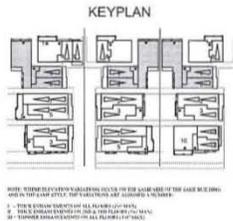
REAR ELEVATION II

ENHANCED RIGHT SIDE ELEVATION II

A

UNIT 6 & 9
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC



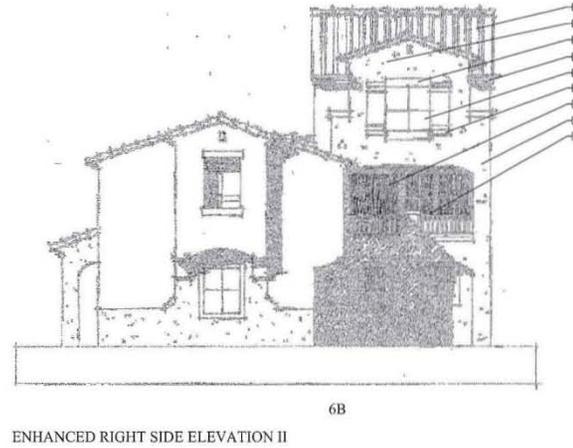
NOTE: THESE ELEVATION DRAWINGS SHALL BE FOR INFORMATION ONLY AND NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
1 - THIS ELEVATION SHALL BE FOR INFORMATION ONLY.
2 - THIS ELEVATION SHALL BE FOR INFORMATION ONLY.
3 - TURNER SHALL VERIFY ALL DIMENSIONS.



L11

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL GLOSS 9" TILE ROOF
<input type="checkbox"/>	INTERNAL GLOSS PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER GIMBREL
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAPPER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL HALL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL RESTONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLEEPING PLASTER BALL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED MALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

41 OF 62

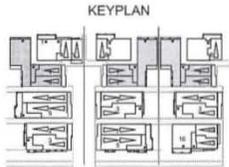


B

SEE 'A' ELEVATIONS FOR STANDARD SIDES

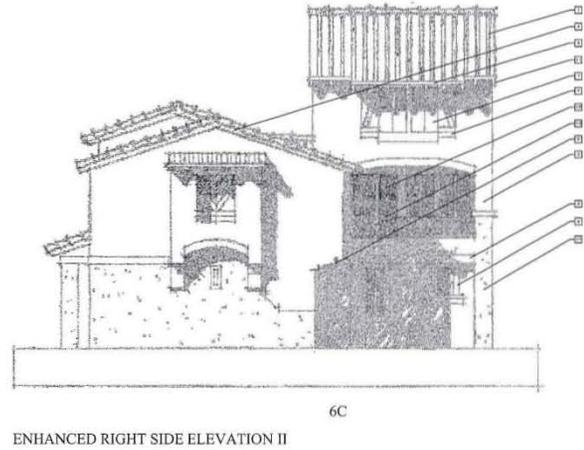
UNIT 6 & 9
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

PROVENCE - COURTS
RC NATOMAS, LLC



NOTE: REAR ELEVATION CORRELATES TO THE REAR VIEW OF THE HOME INCLUDING
 1. THIS ELEVATION REPRESENTS THE EXTERIOR OF THE HOME.
 2. THIS ELEVATION REPRESENTS THE EXTERIOR OF THE HOME.
 3. THIS ELEVATION REPRESENTS THE EXTERIOR OF THE HOME.

TYPICAL BUILDING MATERIALS	
[Symbol]	INTERIAL COLOR TILE ROOF
[Symbol]	INTERIAL COLOR PLASTER
[Symbol]	FASCIA
[Symbol]	RAKE BOARD
[Symbol]	PLASTER CORNICE
[Symbol]	PLASTER WINDOW TRIM
[Symbol]	VINYL WINDOW
[Symbol]	PLASTER TRIM
[Symbol]	DECORATIVE SHUTTER
[Symbol]	DECORATIVE PLASTER PROJECTION
[Symbol]	KAFFER TAIL
[Symbol]	STONE PATTERN VENEER
[Symbol]	METAL HALL / SHARDING
[Symbol]	FRIGGLASS ENTRY DOOR
[Symbol]	BLINDING GLASS DOOR
[Symbol]	FRENCH DOOR
[Symbol]	METAL SECTIONAL GARAGE DOOR WITH WINDOW
[Symbol]	SLIPING PLASTER SILL
[Symbol]	HEAVY TEXTURE STUCCO
[Symbol]	EXPANSION JOINT
[Symbol]	PLASTER BATTERED WALL
* ALL METAL AND MOOD ELEMENTS TO BE PAINTED	



C

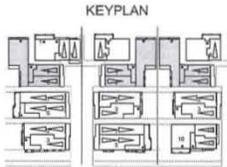
SEE 'A' ELEVATIONS FOR STANDARD SIDES

UNIT 6 & 9
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

PROVENCE - COURTS
RC NATOMAS, LLC



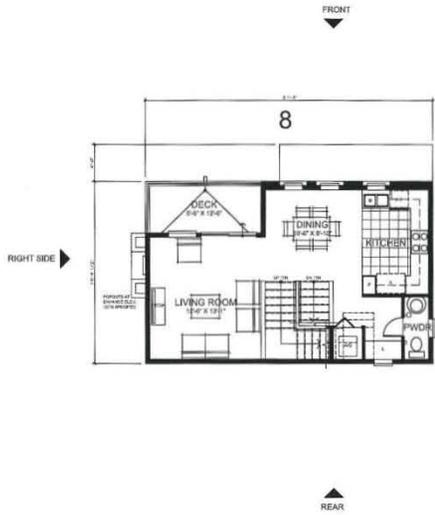
L111



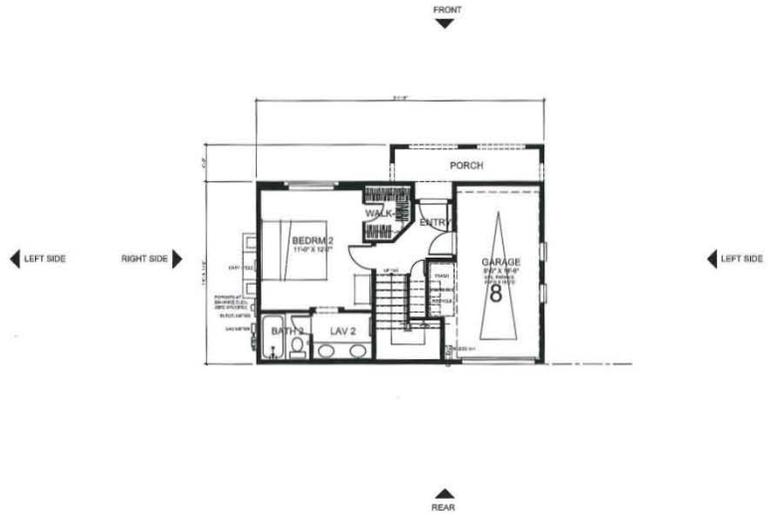
NOTE: THESE ELEVATIONS ARE INTENDED TO BE USED AS A GUIDE ONLY. THE EXACT APPEARANCE OF THE HOME WILL VARY BASED UPON THE CHOICE OF MATERIALS AND FINISHES. ALL DIMENSIONS ARE IN FEET AND INCHES. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR 9" TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RANS BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER FINISH TRIM
<input type="checkbox"/>	VINYL FINISH
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL RAIL / BOARDING
<input type="checkbox"/>	FRIBGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOW
<input type="checkbox"/>	SLIDING PLASTER RAIL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

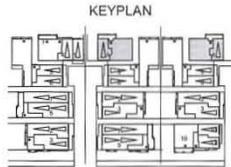
43 OF 62



SECOND FLOOR



FIRST FLOOR



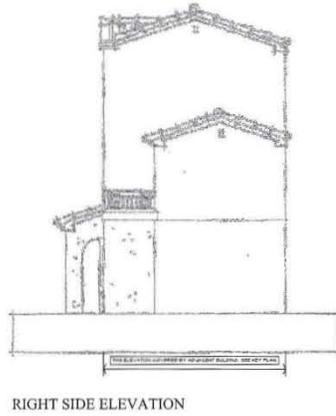
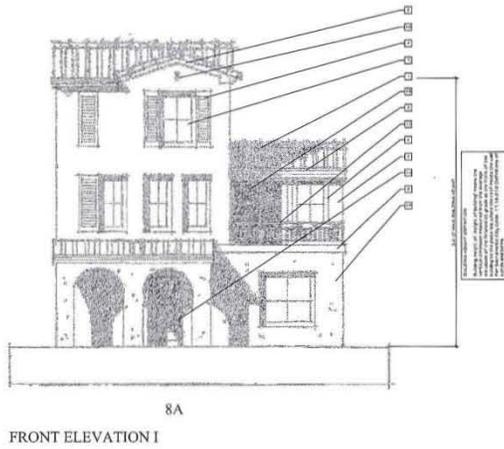
NOTES: THESE PLANS SHALL BE VALID ONLY ON THE DATE OF THE LAST REVISION.
 ANY OTHER DATE OTHER THAN THE DATE OF THE LAST REVISION IS VOID.
 1 - THESE PLANS WERE PREPARED BY THE ARCHITECT FOR THE CLIENT.
 2 - THESE PLANS WERE PREPARED FOR THE CLIENT BY THE ARCHITECT FOR THE CLIENT.
 3 - THESE PLANS WERE PREPARED FOR THE CLIENT BY THE ARCHITECT FOR THE CLIENT.

UNIT 8
 FIRST / SECOND FLOOR PLANS
 ELEVATION STYLE - 'A'
 PROVENCE - COURTS
 RC NATOMAS, LLC



1.1.11

AREA ANALYSIS	
UNIT 8	367.74 S.F.
FIRST FLOOR	241.92 S.F.
SECOND FLOOR	322.89 S.F.
TOTAL LIVING AREA	426.88 S.F.
DECK	96.00 S.F.
PORCH	75.00 S.F.
TOTAL AREA	597.97 S.F.



A

UNIT 8
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC



1:1

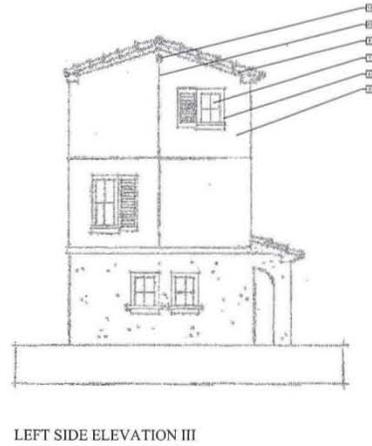
KEYPLAN

NOTE: THESE REPRESENT CALCULATED VALUES ON THE ASSUMPTION OF THE SAME BUILDING
SECTION THROUGHOUT THE ENTIRE LENGTH OF THE BUILDING.

1 - DIM & DIMENSION VALUES ON ALL PLANS SHALL BE IN FEET & INCHES.
2 - DIM & DIMENSION VALUES ON ALL PLANS SHALL BE IN METERS & MILLIMETERS.
3 - DIMENSION VALUES ON ALL PLANS SHALL BE IN METERS & MILLIMETERS.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FABRIC
<input type="checkbox"/>	RAISE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER ARCH/CH/TECH
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAPTEK TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLOPED GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOW
<input type="checkbox"/>	SLOPED PLASTER ALL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
*ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

46 OF 62



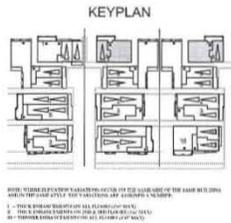
A

UNIT 8
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

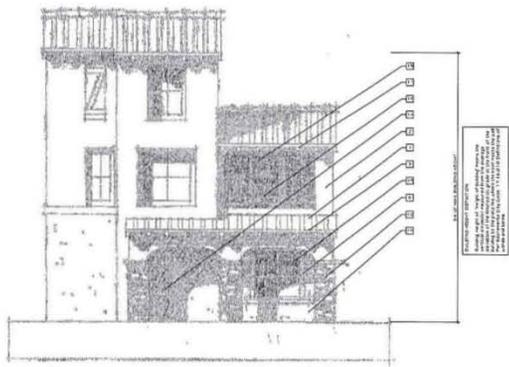
PROVENCE - COURTS
RC NATOMAS, LLC



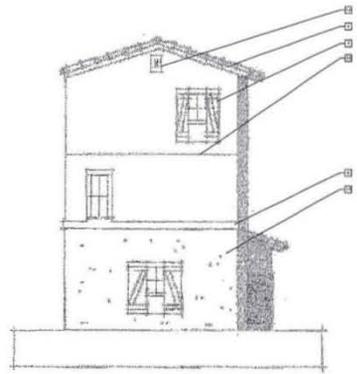
1.2.11



TYPICAL BUILDING MATERIALS	
[Symbol]	INTERNAL COLUMN TILE ROOF
[Symbol]	INTERNAL COLUMN PLASTER
[Symbol]	FABRIC
[Symbol]	RANK BOARD
[Symbol]	PLASTER CORNER
[Symbol]	PLASTER WINDOW TRIM
[Symbol]	VINYL WINDOW
[Symbol]	PLASTER TRIM
[Symbol]	DECORATIVE SHUTTER
[Symbol]	DECORATIVE PLASTER PROJECTION
[Symbol]	RAFTER TAIL
[Symbol]	STONE PATTERN VENEER
[Symbol]	METAL SEAL / SANDWICH
[Symbol]	FIBERGLASS ENTRY DOOR
[Symbol]	SLIDING GLASS DOOR
[Symbol]	FRENCH DOOR
[Symbol]	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
[Symbol]	SLOPING PLASTER SILL
[Symbol]	HEAVY TEXTURE STUCCO
[Symbol]	EXPANSION JOINT
[Symbol]	PLASTER BATTERED PALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



8C
FRONT ELEVATION I



LEFT SIDE ELEVATION III

C

SEE 'A' ELEVATIONS FOR RIGHT SIDE & REAR

UNIT 8
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'
(8B DOES NOT OCCUR)

PROVENCE - COURTS
RC NATOMAS, LLC

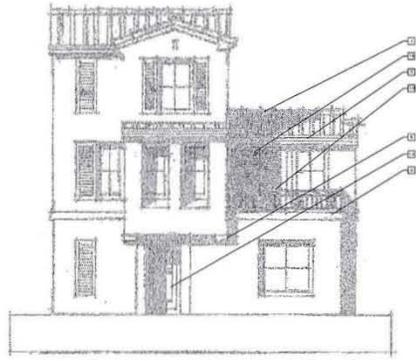


KEYPLAN

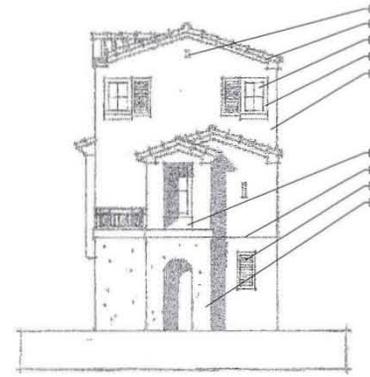
NOTE: THESE ELEVATIONS ARE FOR THE EXTERIOR OF THE UNIT AS SHOWN. UNITS ARE SHOWN WITH THE EXTERIOR OF THE UNIT AS SHOWN. UNITS ARE SHOWN WITH THE EXTERIOR OF THE UNIT AS SHOWN.

1 - THIS IS A SHOWN ELEVATION FOR ALL UNITS OF THIS TYPE.
2 - THIS IS A SHOWN ELEVATION FOR ALL UNITS OF THIS TYPE.
3 - THIS IS A SHOWN ELEVATION FOR ALL UNITS OF THIS TYPE.

TYPICAL BUILDING MATERIALS	
[Symbol]	INTERNAL COLOR TILE ROOF
[Symbol]	INTERNAL COLOR PLASTER
[Symbol]	FABRIC
[Symbol]	RANK BOARD
[Symbol]	PLASTER CORNER
[Symbol]	PLASTER WINDOW TRIM
[Symbol]	VINYL WINDOW
[Symbol]	PLASTER TRIM
[Symbol]	DECORATIVE RAFTER
[Symbol]	DECORATIVE PLASTER PROJECTION
[Symbol]	RAFTER TAIL
[Symbol]	STONE PATTERN VENEER
[Symbol]	METAL SEAL / ANCHORAL
[Symbol]	FIBERGLASS ENTRY DOOR
[Symbol]	SLIDING GLASS DOOR
[Symbol]	FRENCH DOOR
[Symbol]	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
[Symbol]	SLOPING PLASTER SILL
[Symbol]	HEAVY TEXTURE STUCCO
[Symbol]	EXPANSION JOINT
[Symbol]	PLASTER BATTERED MALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



8A
FRONT ELEVATION II



ENHANCED RIGHT SIDE ELEVATION I

A

UNIT 8
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC



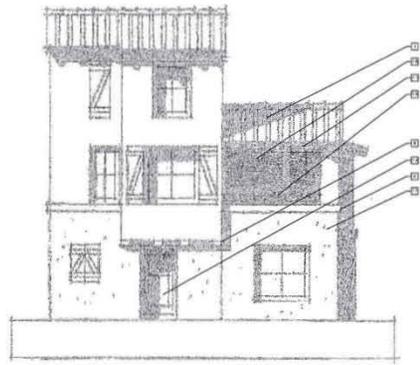
1.5.11

KEYPLAN

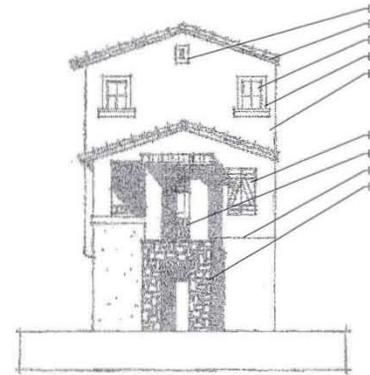
NOTE: THESE ELEVATIONS' COORDINATION WITH THE LAYOUT OF THE UNIT WILL BE MADE BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY THE FINISHES.

1 - UNIT 8 ELEVATION NUMBER ON ALL PLANS AND DETAILS
2 - THESE ELEVATIONS APPLY TO THE UNIT 8 ONLY
3 - THESE ELEVATIONS APPLY TO ALL PLANS AND DETAILS

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FABRICA
<input type="checkbox"/>	MADE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAPTEL TAL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / HANDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER BALL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



8C
FRONT ELEVATION II



ENHANCED RIGHT SIDE ELEVATION I

C

SEE 'A' ELEVATIONS FOR STANDARD RIGHT SIDE & REAR

UNIT 8
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'
(RB DOES NOT OCCUR)

1/2"=1'-0"

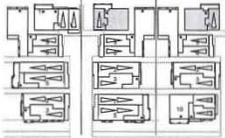
PROVENCE - COURTS
RC NATOMAS, LLC

3/10/09/0200



1:111

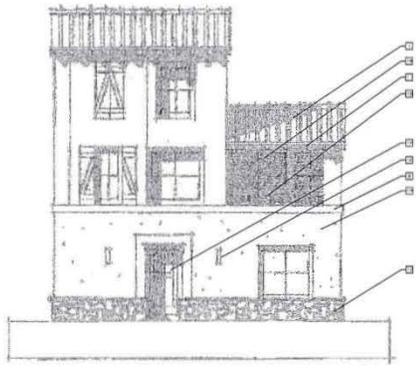
KEYPLAN



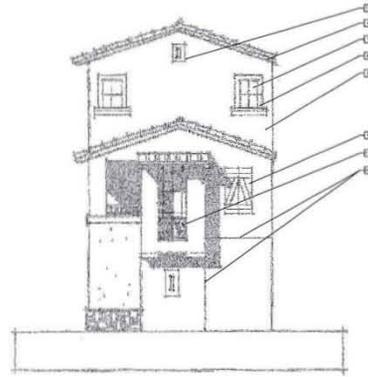
SEE: TYPICAL DEPT. OF CIVIL ENGINEERING FOR THE STATE OF NEW YORK BUILDING CODE FOR THE LATEST CODES, REGULATIONS AND ORDINANCES. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST CODES, REGULATIONS AND ORDINANCES.
1. FOR 8-BUILDING UNITS ON ALL FLOORING PLANS.
2. FOR 8-BUILDING UNITS ON THE 8-BUILDING PLANS.
3. FOR 8-BUILDING UNITS ON ALL PLANS OF THE 8-BUILDING.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	NATURAL COLOR 1" TILE ROOF
<input type="checkbox"/>	NATURAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAPTER TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL PANEL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER BALL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND PLASTER ELEMENTS TO BE PAINTED	

50 OF 62



8C
FRONT ELEVATION III



ENHANCED RIGHT SIDE ELEVATION II

C

SEE 'A' ELEVATIONS FOR STANDARD RIGHT SIDE & REAR

UNIT 8
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'
(8B DOES NOT OCCUR)

1/4"=1'-0"

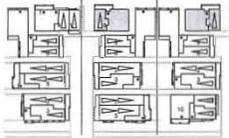
PROVENCE - COURTS RC NATOMAS, LLC

20090209



1.5.11

KEYPLAN



NOTE: THESE ELEVATIONS ARE FOR INFORMATION ONLY. THE EXACT APPEARANCE OF THE BUILDING SHALL BE DETERMINED BY THE ARCHITECT'S FINAL DESIGN.
1 - FOR 8 ELEVATION DETAILS SEE ALL ELEVATION SHEETS.
2 - THIS ELEVATION IS FOR THE EXTERIOR OF THE BUILDING.
3 - THICKER LINES REPRESENT ALL PLASTER AND FINISH.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERAL COLOR TILE ROOF
<input type="checkbox"/>	INTERAL COLOR PLASTER
<input type="checkbox"/>	FABRIC
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER GUTTER
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE BAUTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAFTER TAL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL SILL / HANDRAIL
<input type="checkbox"/>	TERRAZZO ENTRY DOOR
<input type="checkbox"/>	SLOPING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

51 OF 62

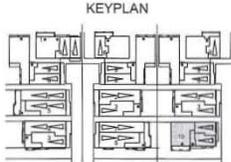


SECOND FLOOR

FIRST FLOOR

UNIT 10 & 11
FIRST / SECOND FLOOR PLANS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC

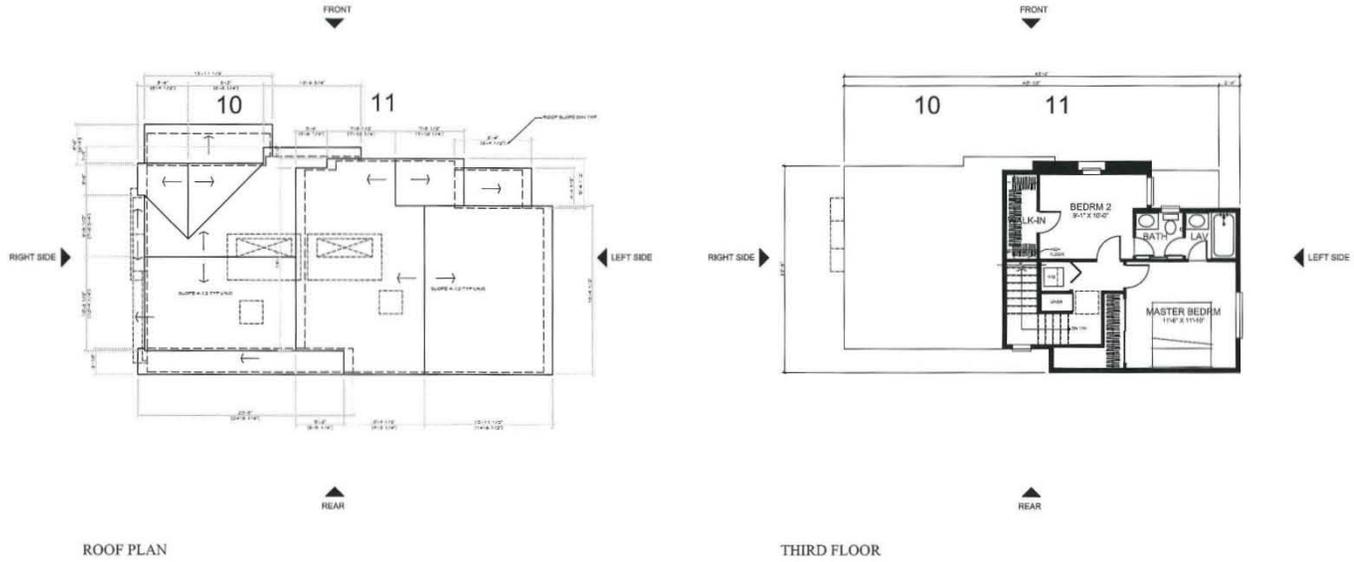


NOTE: THESE PLANS SHOW CONSTRUCTION ON THE SIDE SIDE OF THE CARP HOLDING AREA FOR THE EAST SIDE THE VARIATIONS OF UNITS & VARIATION.
1 - DIMS & DIMENSIONS ON ALL PLANS IN INCHES.
2 - DIMS & DIMENSIONS ON ALL PLANS IN FEET.
3 - DIMS & DIMENSIONS ON ALL PLANS IN FEET.



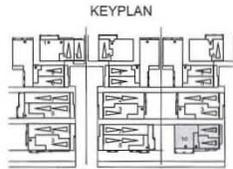
1.5.11

AREA ANALYSIS	
UNIT 10	297.87 S.F.
FIRST FLOOR	297.87 S.F.
SECOND FLOOR	297.87 S.F.
TOTAL LIVING AREA	595.74 S.F.
GARAGE	216.00 S.F.
POUCH	88.33 S.F.
TOTAL AREA	899.07 S.F.
UNIT 11	110.31 S.F.
FIRST FLOOR	110.31 S.F.
SECOND FLOOR	110.31 S.F.
TOTAL LIVING AREA	220.62 S.F.
GARAGE	216.00 S.F.
POUCH	88.33 S.F.
TOTAL AREA	524.95 S.F.



ROOF PLAN

THIRD FLOOR



NOTE: REFER TO PLAN'S DIMENSIONS FOR ALL DIMENSIONS OF THE UNIT BEARING
 UNITS THE EXCEPT THE DIMENSIONS OF COMMON ELEMENTS
 1 = UNIT'S DIMENSIONS ON ALL PLANS (2-DIM)
 2 = TOTAL UNIT DIMENSIONS ON THIS PLAN (2-DIM)
 3 = DIMENSIONS OF COMMON ELEMENTS ON ALL PLANS (2-DIM)

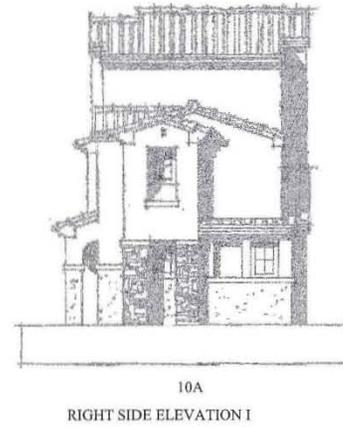
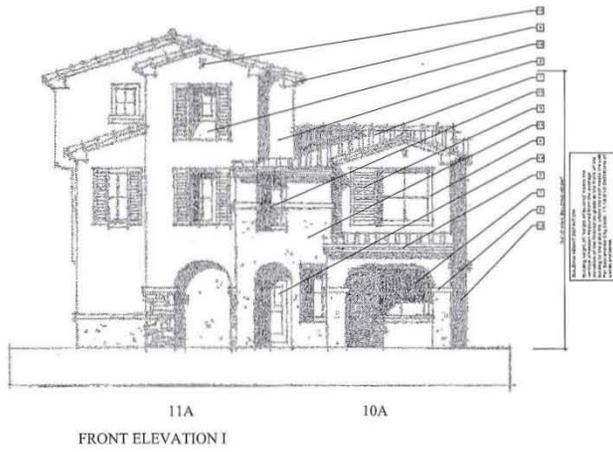
UNIT 10 & 11
 THIRD FLOOR / ROOF PLAN
 ELEVATION STYLE - 'A'

PROVENCE - COURTS
 RC NATOMAS, LLC



1311

AREA ANALYSIS	
UNIT 10	
FIRST FLOOR	417.37 S.F.
SECOND FLOOR	354.36 S.F.
TOTAL LIVING AREA	771.73 S.F.
CORRIDOR	27.87 S.F.
POUCH	88.27 S.F.
TOT. AREA	887.87 S.F.
UNIT 11	
FIRST FLOOR	110.31 S.F.
SECOND FLOOR	420.38 S.F.
THIRD FLOOR	626.33 S.F.
TOTAL LIVING AREA	1157.02 S.F.
CORRIDOR	139.24 S.F.
TOT. AREA	1296.26 S.F.
TOT. AREA	2184.13 S.F.



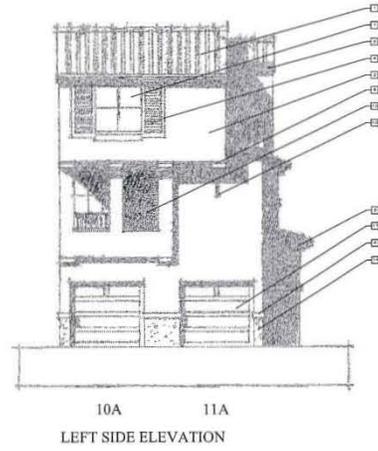
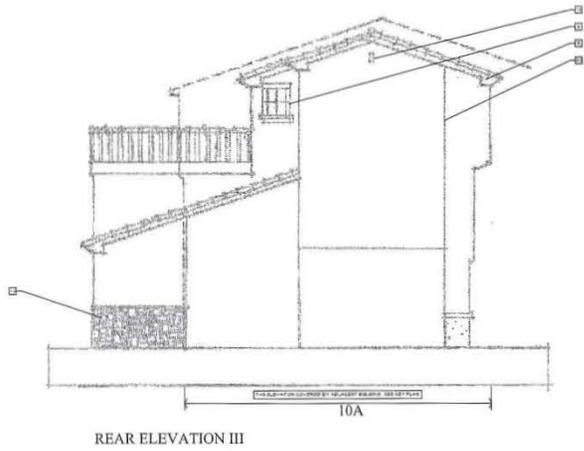
A

UNIT 10 & 11
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

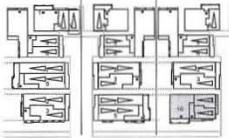
PROVENCE - COURTS
RC NATOMAS, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERIOR COLOR 'T' TILE ROOF
<input type="checkbox"/>	INTERIOR COLOR PLASTER
<input type="checkbox"/>	FABRIKA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAPTEK TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOW
<input type="checkbox"/>	SLOPPAN PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED WALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



KEYPLAN



NOTES: THESE ELEVATIONS ARE INTENDED TO BE USED AS A GUIDE ONLY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.
 1 - FINISH SCHEDULES ARE ALL FINISHES TO BE USED.
 2 - FINISH SCHEDULES ARE TO BE USED AS SHOWN.
 3 - FINISH SCHEDULES ARE TO BE USED AS SHOWN.
 4 - FINISH SCHEDULES ARE TO BE USED AS SHOWN.

A

UNIT 10 & 11
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'A'

1/11/11

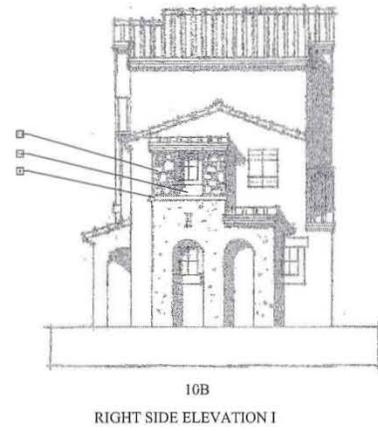
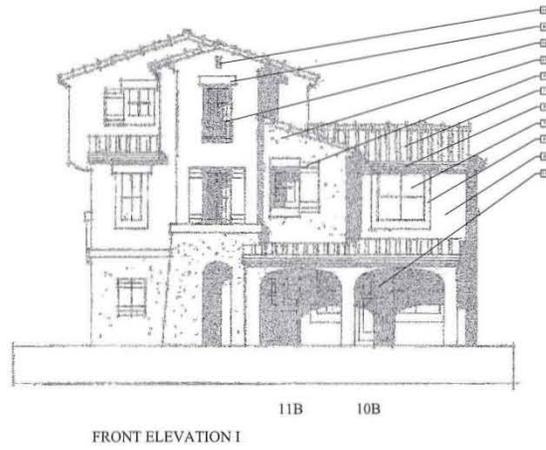
PROVENCE - COURTS
 RC NATOMAS, LLC

300000000



1/11

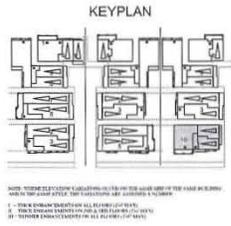
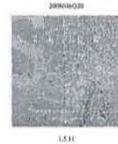
TYPICAL BUILDING MATERIALS	
[Symbol]	INTERNAL COLOR TILE ROOF
[Symbol]	INTERNAL COLOR PLASTER
[Symbol]	FASCIA
[Symbol]	RIDGE BOARD
[Symbol]	PLASTER CORNICE
[Symbol]	PLASTER WINDOW TRIM
[Symbol]	VINYL WINDOW
[Symbol]	PLASTER TRIM
[Symbol]	DECORATIVE SHUTTER
[Symbol]	DECORATIVE PLASTER PROJECTION
[Symbol]	RAPPORT TAIL
[Symbol]	STONE PATTERN VENEER
[Symbol]	METAL RAIL / SHARDRAL
[Symbol]	FIBERGLASS ENTRY DOOR
[Symbol]	BLOWN GLASS DOOR
[Symbol]	FRENCH DOOR
[Symbol]	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
[Symbol]	BLOTTING PLASTER SILL
[Symbol]	HEAVY TEXTURE STUCCO
[Symbol]	EXPANSION JOINT
[Symbol]	PLASTER BATTERED PILL
* ALL METAL AND HARD ELEMENTS TO BE PAINTED	



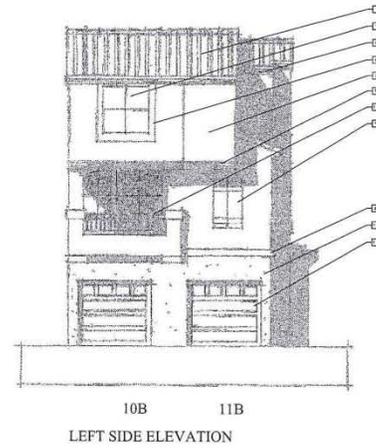
B

UNIT 10 & 11
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

PROVENCE - COURTS
RC NATOMAS, LLC



TYPICAL BUILDING MATERIALS	
[Symbol]	INTERNAL COLOR TILE ROOF
[Symbol]	INTERNAL COLOR PLASTER
[Symbol]	FABRIQ
[Symbol]	RAND BOARD
[Symbol]	PLASTER CORNICE
[Symbol]	PLASTER WINDOW TRIM
[Symbol]	VINYL WINDOW
[Symbol]	PLASTER TRIM
[Symbol]	DECORATIVE BRITTLE
[Symbol]	DECORATIVE PLASTER PROJECTION
[Symbol]	RAFTER TAIL
[Symbol]	STONE PATTERN VENEER
[Symbol]	METAL RAIL / GUARDRAIL
[Symbol]	FIBERGLASS ENTRY DOOR
[Symbol]	SLIDING GLASS DOOR
[Symbol]	FRENCH DOOR
[Symbol]	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
[Symbol]	SLOPING PLASTER SILL
[Symbol]	HEAVY TEXTURE STUCCO
[Symbol]	EXPANSION JOINT
[Symbol]	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



B

SEE 'A' ELEVATION FOR REAR

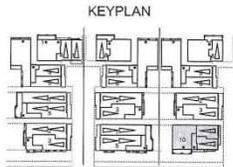
UNIT 10 & 11
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

PROVENCE - COURTS
RC NATOMAS, LLC

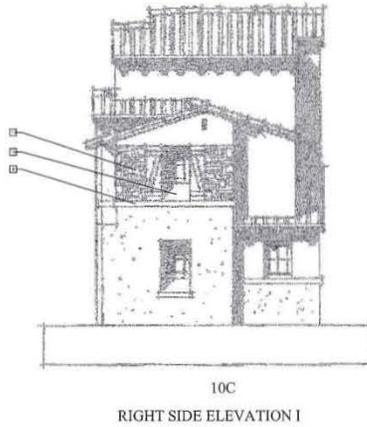
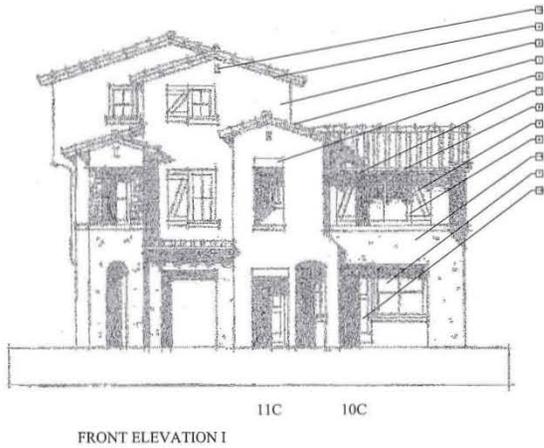


TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR 2' TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	PARGA
<input type="checkbox"/>	RAKE BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAPFER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL TAIL / QUADRANT
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	BLOPPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED HALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

57 OF 62



NOTES: THESE ELEVATIONS SHALL BE USED FOR THE EXTERIOR OF THE HOME IN ALL AREAS WHERE THE HOME IS VISIBLE FROM THE STREET OR ADJACENT VEHICULAR AREAS.
1. THIS ELEVATION REPRESENTS ALL FINISHES AND MATERIALS.
2. THIS ELEVATION IS FOR INFORMATION ONLY. THE FINISHES AND MATERIALS SHALL BE DETERMINED BY THE ARCHITECT.
3. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL FINISHES AND MATERIALS.



C

UNIT 10 & 11
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

PROVENCE - COURTS RC NATOMAS, LLC



KEYPLAN

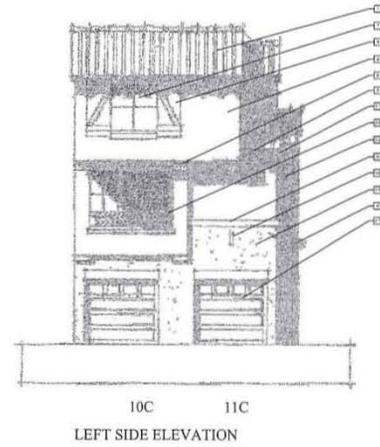
NOTE: REFER TO THE CONSTRUCTION DOCUMENTS FOR THE LOCATION OF THE UNIT TO BE CONSTRUCTED IN THIS AREA OF THE DEVELOPMENT. THE UNITS ARE SHOWN IN THIS KEY PLAN FOR REFERENCE ONLY.

1 - THIS IS EXTERIOR ELEVATION AND ALL FINISHES ARE TO BE SHOWN.

2 - THIS IS EXTERIOR ELEVATION AND ALL FINISHES ARE TO BE SHOWN.

3 - THIS IS EXTERIOR ELEVATION AND ALL FINISHES ARE TO BE SHOWN.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FABRIKA
<input type="checkbox"/>	BASE BOARD
<input type="checkbox"/>	PLASTER CORBEL
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE BUTTRESS
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAPPEL TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PALL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



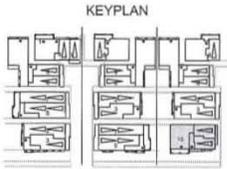
C

SEE 'A' ELEVATION FOR REAR
 UNIT 10 & 11
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - 'C'

PROVENCE - COURTS RC NATOMAS, LLC



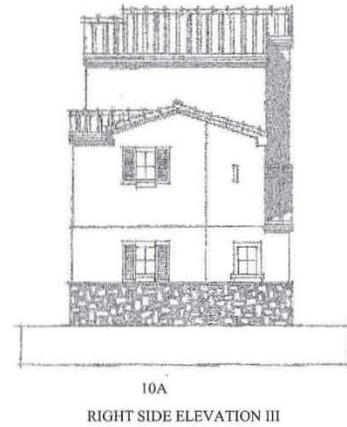
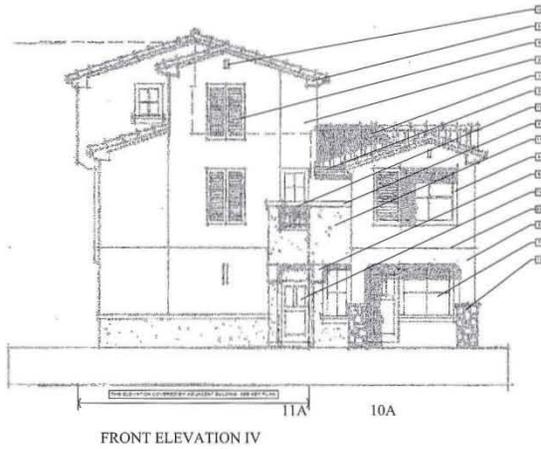
EX-11



NOTE: THESE ELEVATIONS REPRESENT THE PROPOSED APPEARANCE OF THE CASE BUILDING
 UNDER THE ASSUMPTIONS OF THE INFORMATION AND CONDITIONS LISTED BELOW.

1 - THIS IS AN EXTERIOR ELEVATION. ALL FINISHES SHALL BE AS SHOWN.
 2 - THIS ELEVATION IS BASED ON THE 2009 IBC CODES.
 3 - DIMENSIONS SHOWN ARE IN FEET AND INCHES (1" = 1/8").

TYPICAL BUILDING MATERIALS	
	INTEGRAL COLOR TYLE ROOF
	INTEGRAL COLOR PLASTER
	FASCI
	RANK BOARD
	PLASTER CORBEL
	PLASTER WINDOW TRIM
	VINYL WINDOW
	PLASTER TRIM
	DECORATIVE BRITTS
	DECORATIVE PLASTER PROJECTION
	RAPTER TAIL
	STONE PATTERN VENER
	METAL SAIL / GUARDRAIL
	FIBERGLASS ENTRY DOOR
	SLIDING GLASS DOOR
	FRENCH DOOR
	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
	SLOPHS PLASTER SILL
	HEAVY TEXTURE STUCCO
	EXPANSION JOINT
	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



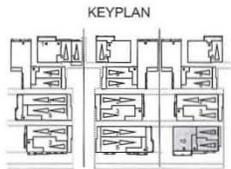
A

UNIT 10 & 11
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'A'

PROVENCE - COURTS
RC NATOMAS, LLC



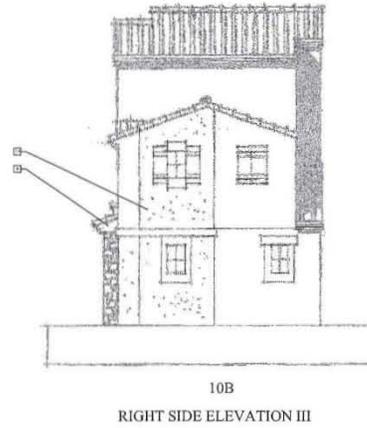
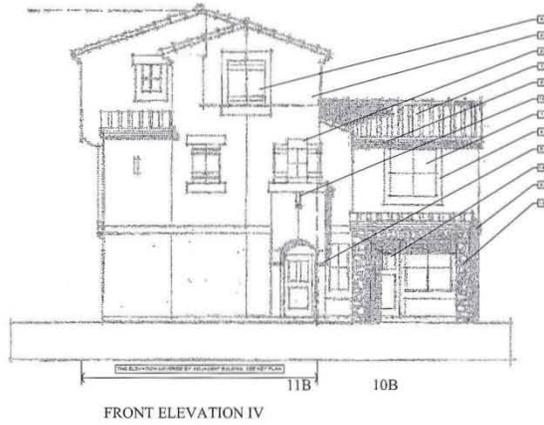
1311



NOTES: THESE ELEVATIONS SHALL BE USED FOR ALL UNITS OF THIS HOUSEHOLD UNLESS OTHERWISE NOTED BY THE ARCHITECT. THE INFORMATION AND DIMENSIONS ARE APPROXIMATE.
1 - THIS IS A BUILDING ELEVATION AND NOT A CONSTRUCTION DRAWING.
2 - THIS DRAWING IS FOR INFORMATION ONLY. THE ARCHITECT SHALL BE CONSULTED FOR ALL DIMENSIONS AND MATERIALS.
3 - DIMENSIONS SHALL BE TO THE CENTER OF ALL DIMENSIONS UNLESS OTHERWISE NOTED.

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR W/ TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RAND BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAFTER TAIL
<input type="checkbox"/>	STONE PATTERN VENER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

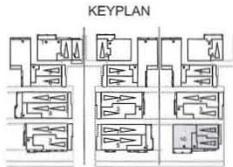
60 OF 62



B

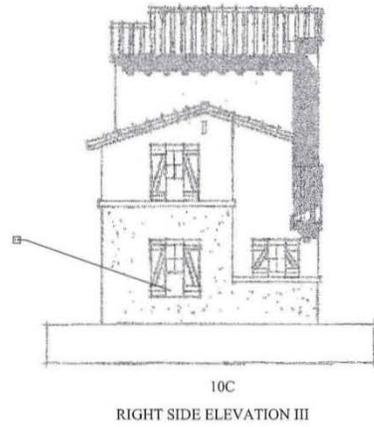
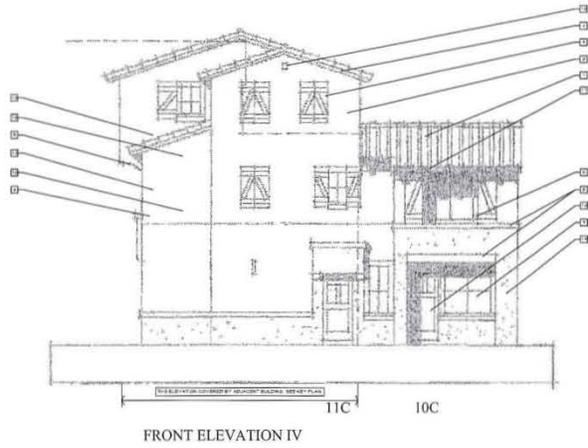
UNIT 10 & 11
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'B'

PROVENCE - COURTS
RC NATOMAS, LLC



NOTES: 1. REFER TO ALL OTHER ELEVATIONS FOR THE LOCATION OF THE UNIT BEING SHOWN.
2. REFER TO THE ARCHITECT'S SPECIFICATIONS AND COMMENTS FOR DETAILS.
3. THIS IS A PRELIMINARY DRAWING. ALL DIMENSIONS SHALL BE AS SHOWN.
4. THIS DRAWING IS SUBJECT TO CHANGE WITHOUT NOTICE.
5. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

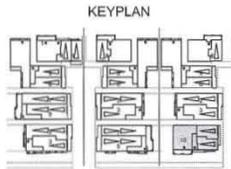
TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR 8" TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	FAÇON
<input type="checkbox"/>	RANGE BISHOP
<input type="checkbox"/>	PLASTER CORBEL
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE BUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	KAFFER TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / SIVERRAL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRENCH DOOR
<input type="checkbox"/>	METAL RECTANGULAR GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLOPING PLASTER BELL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED PILL
* ALL METAL AND FINISH ELEMENTS TO BE PAINTED	



C

UNIT 10 & 11
EXTERIOR ELEVATIONS
ELEVATION STYLE - 'C'

PROVENCE - COURTS
RC NATOMAS, LLC

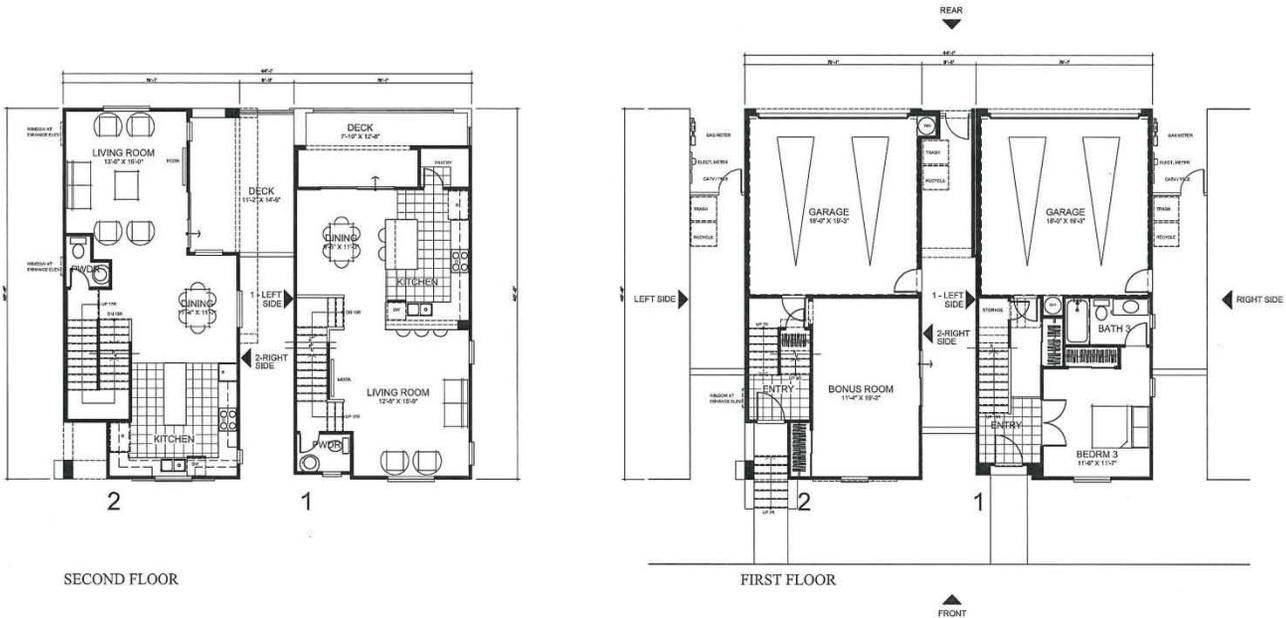


1 - THE 'C' ELEVATION IS A REPRESENTATION OF THE EXTERIOR OF THE BUILDING
2 - THE 'C' ELEVATION IS A REPRESENTATION OF THE EXTERIOR OF THE BUILDING
3 - THE 'C' ELEVATION IS A REPRESENTATION OF THE EXTERIOR OF THE BUILDING
4 - THE 'C' ELEVATION IS A REPRESENTATION OF THE EXTERIOR OF THE BUILDING



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR 'C' TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	FASCIA
<input type="checkbox"/>	RANK BOARD
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	RAPPEL TAIL
<input type="checkbox"/>	STONE PATTERN VENEER
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	FRIGIDA DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR WITH WINDOWS
<input type="checkbox"/>	SLIPON PLASTER SILL
<input type="checkbox"/>	HEAVY TEXTURE STUCCO
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	PLASTER BATTERED FINISH
* ALL METAL AND MOOD ELEMENTS TO BE PAINTED	

Exhibit 41 – Urban Villas – House Plans and Elevations



SECOND FLOOR

FIRST FLOOR

UNIT 1 & 2
FIRST / SECOND FLOOR PLANS
ELEVATION STYLE - 'A'

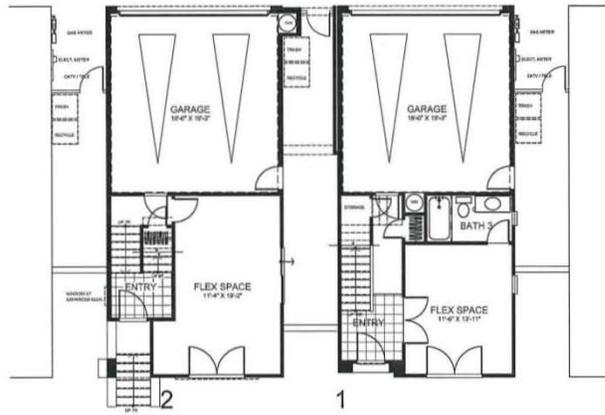
PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



010531

AREA ANALYSIS	
UNIT 1	
FIRST FLOOR	964.95 S.F.
SECOND FLOOR	1114.85 S.F.
THIRD FLOOR	855.98 S.F.
TOTAL LIVING AREA	1935.78 S.F.
Garage	779.97 S.F.
Deck	758.52 S.F.
Other Area	230.23 S.F.
UNIT 2	
FIRST FLOOR	1403.38 S.F.
SECOND FLOOR	1556.82 S.F.
THIRD FLOOR	1233.32 S.F.
TOTAL LIVING AREA	1984.02 S.F.
Garage	780.97 S.F.
Deck	776.86 S.F.
Other Area	230.23 S.F.
UNIT 3	
FIRST FLOOR	491.41 S.F.
SECOND FLOOR	658.95 S.F.
THIRD FLOOR	551.70 S.F.
TOTAL LIVING AREA	1702.06 S.F.
Garage	426.42 S.F.
Deck	354.27 S.F.
Other Area	250.47 S.F.

1 OF 14



FIRST FLOOR



FRONT ELEVATION

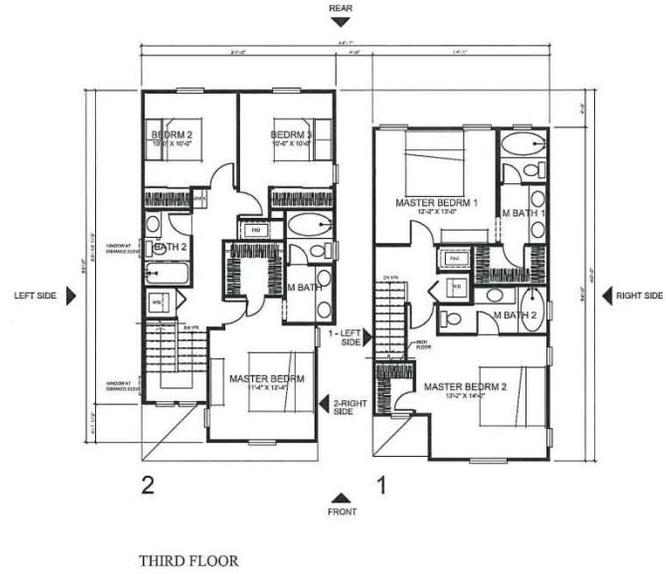
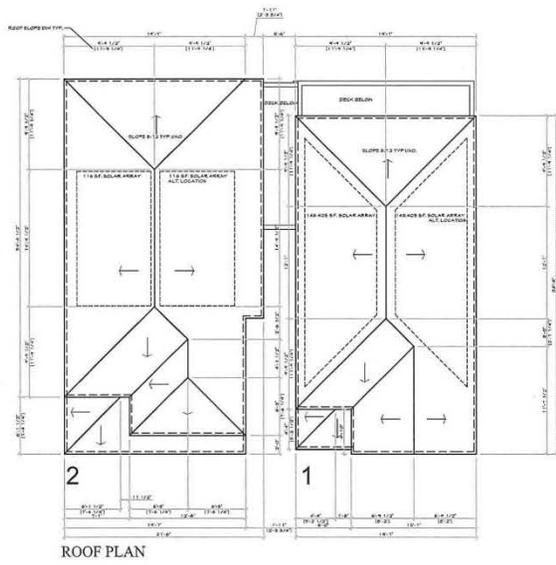
UNIT 1 & 2
FLEX SPACE ALTERNATE
ELEVATION STYLE - 'A'

PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



812111

AREA ANALYSIS	
UNIT 1	
FIRST FLOOR	366.40 S.F.
SECOND FLOOR	615.40 S.F.
THIRD FLOOR	635.88 S.F.
TOTAL LIVING AREA	1617.68 S.F.
SCREENING	379.87 S.F.
POOR	136.33 S.F.
total area	2133.28 S.F.
UNIT 2	
FIRST FLOOR	346.38 S.F.
SECOND FLOOR	606.20 S.F.
THIRD FLOOR	722.22 S.F.
TOTAL LIVING AREA	1674.80 S.F.
SCREENING	388.87 S.F.
POOR	776.88 S.F.
total area	2840.55 S.F.
UNIT 3	
FIRST FLOOR	481.41 S.F.
SECOND FLOOR	654.97 S.F.
THIRD FLOOR	381.76 S.F.
TOTAL LIVING AREA	1518.14 S.F.
SCREENING	436.82 S.F.
POOR	106.57 S.F.
total area	2061.53 S.F.

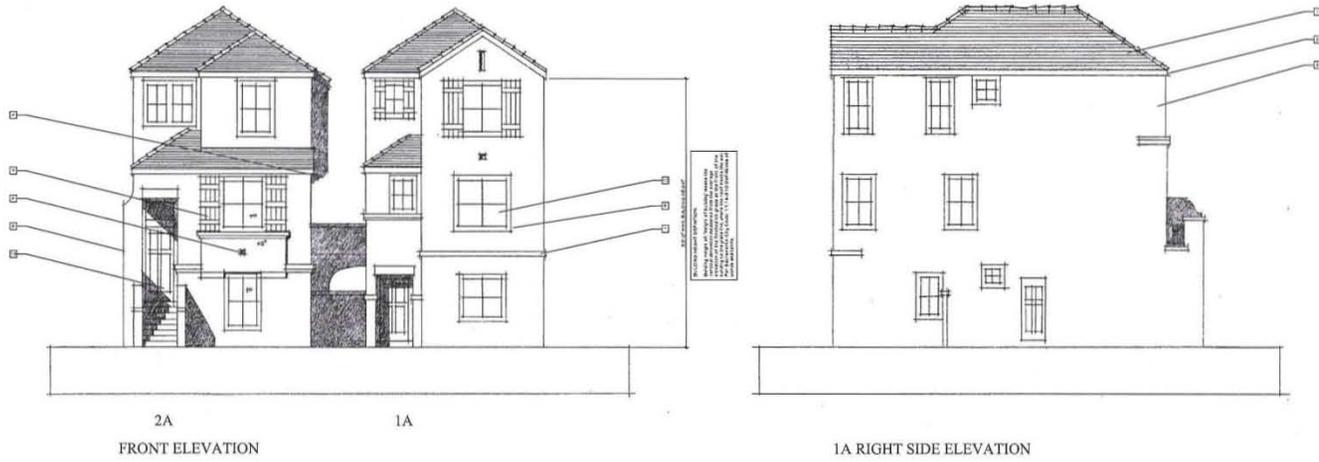


UNIT 1 & 2
THIRD FLOOR / ROOF PLAN
ELEVATION STYLE - 'A'

PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



AREA ANALYSIS	
UNIT 1	
FIRST FLOOR	364.35 S.F.
SECOND FLOOR	615.45 S.F.
THIRD FLOOR	653.88 S.F.
TOTAL LIVING AREA	1633.68 S.F.
DECK	378.91 S.F.
TOTAL AREA	2012.59 S.F.
UNIT 2	
FIRST FLOOR	346.38 S.F.
SECOND FLOOR	655.42 S.F.
THIRD FLOOR	723.22 S.F.
TOTAL LIVING AREA	1725.02 S.F.
DECK	363.81 S.F.
TOTAL AREA	2088.83 S.F.
UNIT 3	
FIRST FLOOR	461.41 S.F.
SECOND FLOOR	655.32 S.F.
THIRD FLOOR	351.70 S.F.
TOTAL LIVING AREA	1468.43 S.F.
DECK	426.93 S.F.
TOTAL AREA	1895.36 S.F.



A

EXTERIOR ELEVATIONS
ELEVATION STYLE - '1A & 2A'

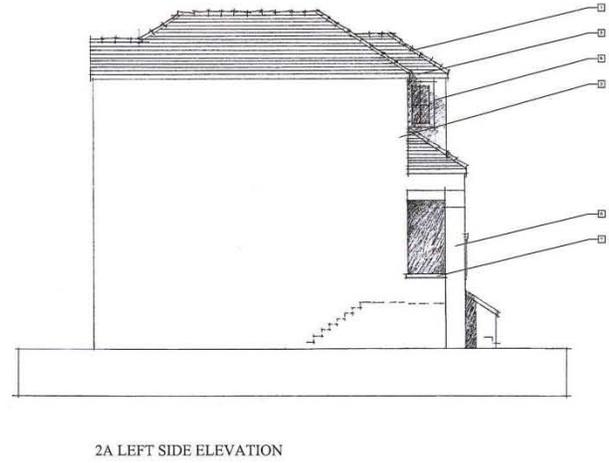
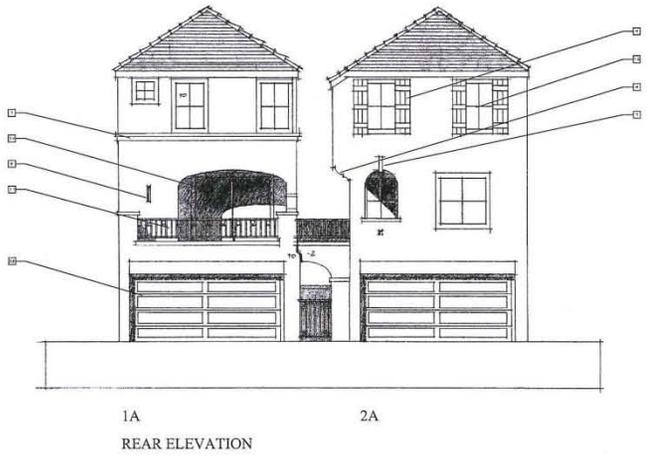
PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



BL511

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERIOR COLOR FLAT TILE ROOF
<input type="checkbox"/>	INTERIOR COLOR PLASTER
<input type="checkbox"/>	2X FASCIA
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER FINISH TRIM
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	PLASTER BATTERED WALL
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	VINYL FINISH
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIP-RESISTANT DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

4 OF 14



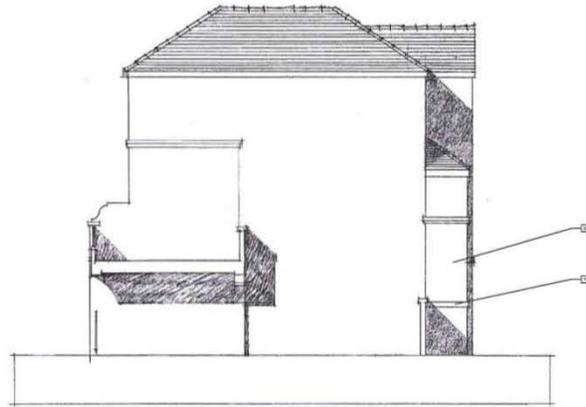
A

EXTERIOR ELEVATIONS
ELEVATION STYLE - '1A & 2A'

PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR FLAT TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	3X FASGA
<input type="checkbox"/>	PLASTER CORBEL
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	PLASTER BATTERED FINISH
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



1A LEFT SIDE ELEVATION



2A RIGHT SIDE ELEVATION

A

EXTERIOR ELEVATIONS
ELEVATION STYLE - '1A & 2A'

PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



01.02.11

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR FLAT TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	2X FASGA
<input type="checkbox"/>	PLASTER GORBEL
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	PLASTER BATTERED WALL
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

6 OF 14



2A
2A ENHANCED LEFT SIDE ELEVATION



1A ENHANCED RIGHT SIDE ELEVATION

A

EXTERIOR ELEVATIONS
ELEVATION STYLE - "1A & 2A"

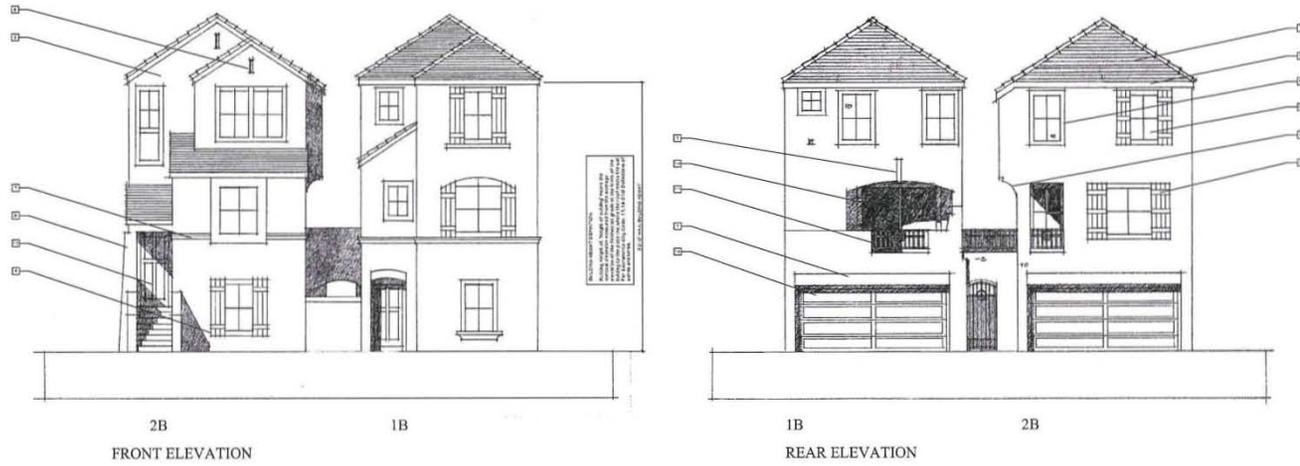
PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



6/25/11

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR FLAT TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	3X FASCIA
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	PLASTER BATTERED PILL
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	VINYL HANDS
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	

7 OF 14



2B
FRONT ELEVATION

1B

1B
REAR ELEVATION

2B

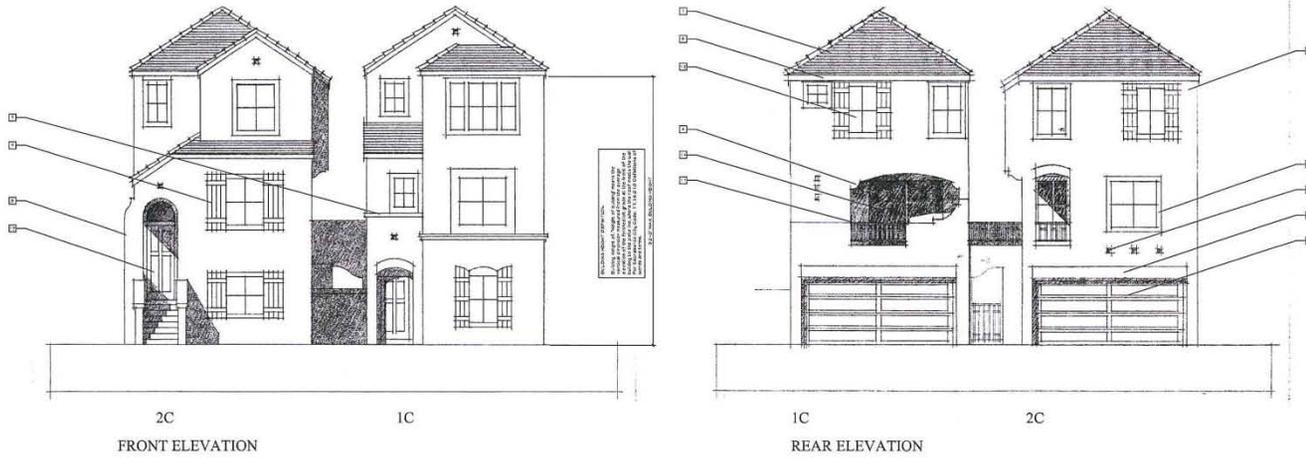
B

SEE 'A' ELEVATIONS FOR SIDES
EXTERIOR ELEVATIONS
ELEVATION STYLE - '1B & 2B'

PROVENCE - URBAN VILLAS RC NATOMAS, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR FLAT TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	2X FASCIA
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	PLASTER BATTERED PAINT
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR
* ALL METAL AND HOOD ELEMENTS TO BE PAINTED	

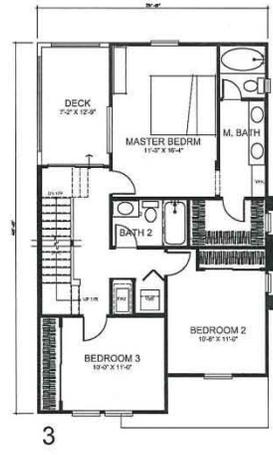


C
 SEE 'A' ELEVATIONS FOR SIDES
 EXTERIOR ELEVATIONS
 ELEVATION STYLE - '1C & 2C'

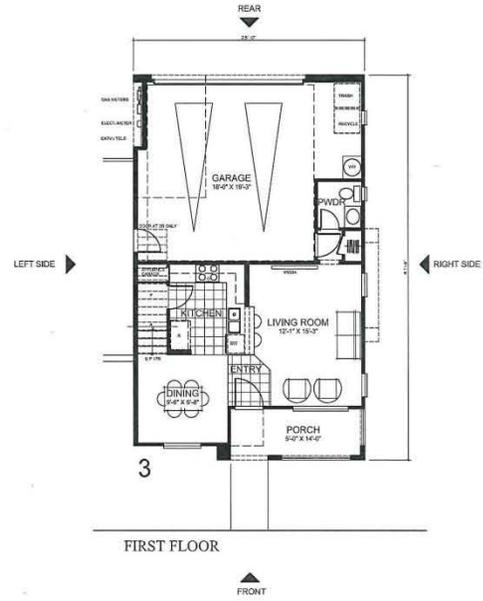
PROVENCE - URBAN VILLAS
 RC NATOMAS, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR FLAT TILE ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	2X FASCIA
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER HINDOJA TRIM
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	PLASTER BATTERED MALL
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	VINYL HINDOJA
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



3
SECOND FLOOR



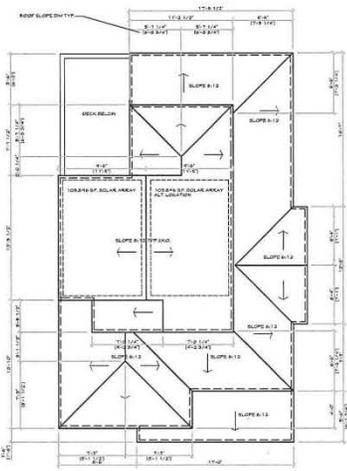
3
FIRST FLOOR

UNIT 3
FIRST / SECOND FLOOR PLANS
ELEVATION STYLE - 'A'

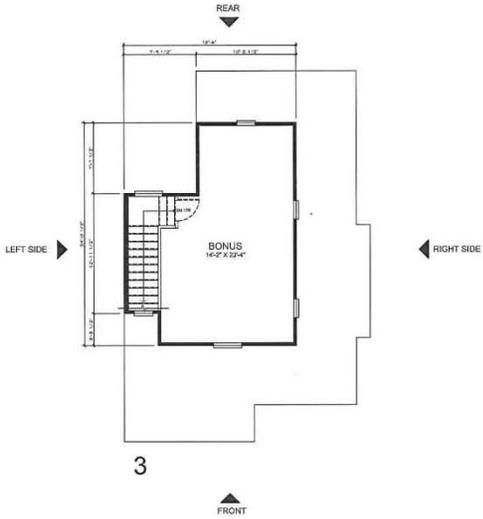
PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



AREA ANALYSIS	
UNIT 1	
FIRST FLOOR	364.83 S.F.
SECOND FLOOR	814.45 S.F.
THIRD FLOOR	655.88 S.F.
TOTAL LIVING AREA	1835.16 S.F.
COMMON	319.97 S.F.
CCDF	136.37 S.F.
TOTAL AREA	2791.51 S.F.
UNIT 2	
FIRST FLOOR	349.33 S.F.
SECOND FLOOR	686.42 S.F.
THIRD FLOOR	723.22 S.F.
TOTAL LIVING AREA	1758.97 S.F.
COMMON	366.87 S.F.
CCDF	178.98 S.F.
TOTAL AREA	2304.79 S.F.
UNIT 3	
FIRST FLOOR	491.41 S.F.
SECOND FLOOR	896.82 S.F.
THIRD FLOOR	351.76 S.F.
TOTAL LIVING AREA	1740.00 S.F.
COMMON	436.97 S.F.
CCDF	194.27 S.F.
TOTAL AREA	2371.24 S.F.



ROOF PLAN



THIRD FLOOR

UNIT 3
THIRD FLOOR / ROOF PLAN
ELEVATION STYLE - 'A'

PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



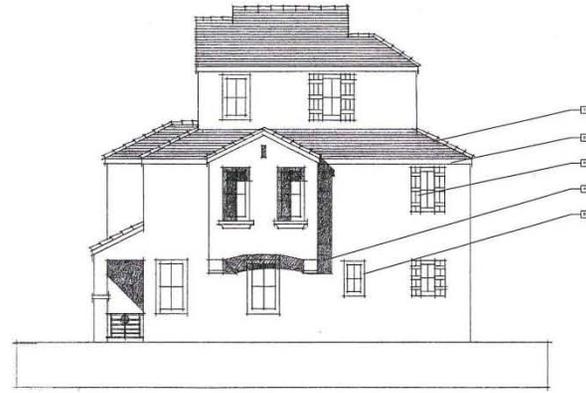
AREA ANALYSIS	
UNIT 1	
FIRST FLOOR	364.46 S.F.
SECOND FLOOR	814.48 S.F.
THIRD FLOOR	685.88 S.F.
TOTAL LIVING AREA	1859.82 S.F.
CORRIDOR	379.91 S.F.
LOBBY	186.33 S.F.
TOTAL area	2526.06 S.F.
UNIT 2	
FIRST FLOOR	340.38 S.F.
SECOND FLOOR	858.42 S.F.
THIRD FLOOR	727.22 S.F.
TOTAL LIVING AREA	1926.02 S.F.
CORRIDOR	360.87 S.F.
LOBBY	776.96 S.F.
TOTAL area	2952.79 S.F.
UNIT 3	
FIRST FLOOR	461.41 S.F.
SECOND FLOOR	858.82 S.F.
THIRD FLOOR	361.70 S.F.
TOTAL LIVING AREA	1681.93 S.F.
CORRIDOR	436.87 S.F.
LOBBY	194.97 S.F.
TOTAL area	2313.77 S.F.

11 OF 14



FRONT ELEVATION

1. ALL METAL AND WOOD ELEMENTS TO BE PAINTED
 2. VINYL WINDOW
 3. METAL RAIL / GUARDRAIL
 4. EXPANSION JOINT
 5. DECORATIVE SHUTTER
 6. PLASTER BATTERED WALL
 7. PLASTER CORNICE
 8. PLASTER FINISH TRIM
 9. 3X FASGA
 10. INTEGRAL COLOR FLAT TILE ROOF
 11. INTEGRAL COLOR PLASTER



ENHANCED RIGHT SIDE ELEVATION

A

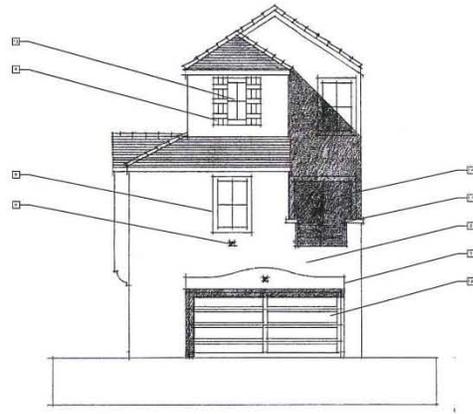
EXTERIOR ELEVATIONS
 ELEVATION STYLE - '3A'

PROVENCE - URBAN VILLAS
 RC NATOMAS, LLC

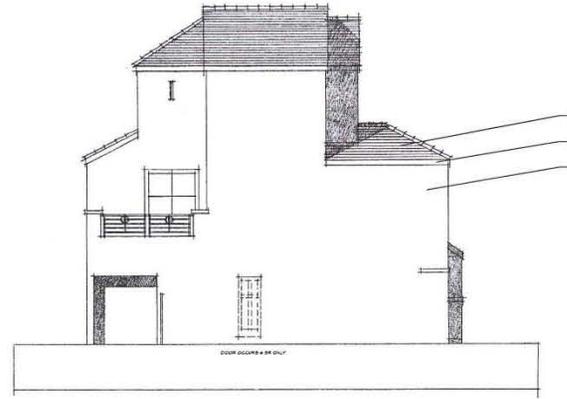


01.05.11

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR FLAT TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	3X FASGA
<input type="checkbox"/>	PLASTER CORNICE
<input type="checkbox"/>	PLASTER FINISH TRIM
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	PLASTER BATTERED WALL
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	THERMALLY-BREAKING ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR
* ALL METAL AND WOOD ELEMENTS TO BE PAINTED	



REAR ELEVATION



LEFT SIDE ELEVATION

A

EXTERIOR ELEVATIONS
ELEVATION STYLE - '3A'

PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



01.05.11

TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTERNAL COLOR FLAT T&G ROOF
<input type="checkbox"/>	INTERNAL COLOR PLASTER
<input type="checkbox"/>	2X FASGA
<input type="checkbox"/>	PLASTER GORBEL
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	PLASTER BATTERED MULL
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	METAL RAIL / GUARDRAIL
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLIDING GLASS DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR
* ALL METAL AND HOOD ELEMENTS TO BE PAINTED	

13 OF 14



FRONT ELEVATION

ENHANCED RIGHT SIDE ELEVATION

REAR ELEVATION

B

EXTERIOR ELEVATIONS
ELEVATION STYLE - '3B'

PROVENCE - URBAN VILLAS
RC NATOMAS, LLC



TYPICAL BUILDING MATERIALS	
<input type="checkbox"/>	INTEGRAL COLOR FLAT TILE ROOF
<input type="checkbox"/>	INTEGRAL COLOR PLASTER
<input type="checkbox"/>	2X FASCIA
<input type="checkbox"/>	PLASTER GORBEL
<input type="checkbox"/>	PLASTER WINDOW TRIM
<input type="checkbox"/>	DECORATIVE PLASTER PROJECTION
<input type="checkbox"/>	PLASTER TRIM
<input type="checkbox"/>	PLASTER BATTERED WALL
<input type="checkbox"/>	DECORATIVE SHUTTER
<input type="checkbox"/>	EXPANSION JOINT
<input type="checkbox"/>	METAL KAIL / GARDRAIL
<input type="checkbox"/>	VINYL WINDOW
<input type="checkbox"/>	FIBERGLASS ENTRY DOOR
<input type="checkbox"/>	SLEIGH GLASS DOOR
<input type="checkbox"/>	METAL SECTIONAL GARAGE DOOR
* ALL METAL AND FLOOD ELEMENTS TO BE PAINTED	

Exhibit 4J – Building Data Charts

PROVENCE - 5088676.00

Structure Square Footage**Existing Structure Square Footage**

PRODUCT	TOTAL LIVING AREA	GARAGE	TOTAL AREA
Unit 1B	1279 SF	429 SF	1708 SF
Unit 2A	1351 SF	429 SF	1780 SF
Unit 3A	1265 SF	429 SF	1694 SF
Unit 2RB	1351 SF	429 SF	1780 SF
Unit 1RC	1279 SF	429 SF	1708 SF

Total Existing Structure Square Footage: **4,730 SF** NOT A PART (P06-194)**Proposed Structure Square Footage**

PRODUCT	TOTAL LIVING AREA	GARAGE	DECK/ PORCH	GROSS AREA PER BLDG.	BLDGS. PER PLAN	TOTAL BLDG. AREA
Courts						
Plan 1/4	1623 SF	402 SF	119 SF	2143 SF	16	34290 SF
Plan 2/3	1806 SF	803 SF	114 SF	2724 SF	14	38133 SF
Plan 5/7	2154 SF	861 SF	118 SF	3133 SF	31	97121 SF
Plan 6/9	2477 SF	473 SF	137 SF	3087 SF	11	33957 SF
Plan 8	1242 SF	215 SF	145 SF	1602 SF	7	11217 SF
Plan 10/11	1793 SF	425 SF	140 SF	2359 SF	10	23585 SF
Urban Villas						
Unit 1	1634 SF	380 SF	136 SF	2150 SF	7	15050 SF
Unit 1&2	3315 SF	761 SF	313 SF	4389 SF	17	74613 SF
Unit 3	1702 SF	437 SF	174 SF	2313 SF	21	48573 SF

Total Proposed Structure Square Footage: **376538 SF****Lot Coverage**

PRODUCT	COVERAGE PER BUILDING	BLDGS. PER PLAN	TOTAL BLDG. COVERAGE
Courts			
Plan 1/4	893 SF	16	14288 SF
Plan 2/3	1024 SF	14	14336 SF
Plan 5/7	1178 SF	31	36518 SF
Plan 6/9	1205 SF	11	13255 SF
Plan 8	743 SF	7	5201 SF
Plan 10/11	1057 SF	10	10570 SF
Urban Villas			
Unit 1	760 SF	7	5320 SF
Unit (1&2)	1540 SF	17	26180 SF
Unit 3	1009 SF	21	21190 SF

Total Building Coverage Area: **146858 SF**Total Residential/Landscape Lot Area: **348,480 SF (8.0AC)**Total Lot Coverage Percentage: **42%**

ATTACHMENT A

PROVENCE - 5088676.00

Building Heights & Materials

Proposed Building Heights

PRODUCT	MAX. BUILDING HEIGHT	NUMBER OF FLOORS
Courts - Plan 1/4	33' - 0" max	3
Courts - Plan 2/3	33' - 0" max	3
Courts - Plan 5/7	35' - 0" max	3
Courts - Plan 6/9	34' - 0" max	3
Courts - Plan 8	33' - 0" max	3
Courts - Plan 10/11	34' - 0" max	3
Urban Villas	32' - 0" max	3

Existing Building Heights

PRODUCT	MAX. BUILDING HEIGHT	NUMBER OF FLOORS
Unit 1B	19' - 3.5"	2
Unit 2A	19' - 3.5"	2
Unit 3A	19' - 3.5"	2
Unit 2RB	19' - 3.5"	2
Unit 1RC	19' - 3.5"	2

Proposed Building Materials

Exterior Walls & Soffits, Trim: Integral color stucco, 2x fascia, plaster corbel, & plaster window trim
rake board, rafter tail, stone pattern veneer,

Roofing: Composit MAXItile

Misc: metal rail/ guardrail, vinyl windows, decorative shutter,
sliding glass door, fiberglass entry door, metal sectional garage door,
metal sectional garage door with windows, and french door

Existing Building Materials

Exterior Walls & Soffits, Trim: Stucco, Stucco over foam trim

Roofing: Class A Fire Retardent flat concrete tiles

Shutters: decorative Foam

Misc: metal exterior balcony guardrail
plywood mounted decorative clay pipe
decorative 3/4" round wrought iron

ATTACHMENT B

Exhibit 4K – Elevation Variation Plotting and Color Schemes

Elev Enhancement Plotting 02-10-2011.xls

Providence-Courts														
2008046														
1/3/2011														
1/24/2011 City revisions, additional plan info														
Elevation Variation Plotting						Color Plotting								
Notes: Not all sides of all buildings are visible and enhanced						Notes: Please refer to the Color Lists for scheme specifications (Schemes 1-4)								
Areas are approximate, see design drawing for accurate plan areas														
Variations											Symbol			
Thick enhancements on all floors (2'-6" max)											I			
Thick enhancements on 2nd & 3rd floors (2'-6" max)											II			
Thinner enhancements (1'-0" max)											III			
Thick enhancements all floors, not full building width(2'-6" max)											IV			
Bldg No	Bldg type	Areas		Br/Ba		Garage		Height	Elev Style	Color Scheme	Front	Right	Rear	Left
31	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	2		I	
32	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	4			
33	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	A	3			
34	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	1		II	
35	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	A	2		I	
36	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	3		III	
37	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	C	1	II	II	
38	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	A	4	II		II
41	10-11	10: 727 sf	11: 1066 sf	10: 1 Br/1 Ba	11: 2 Br/1.5 Ba	10: 1 car	11: 1 car	10: 24'	11: 34'	A	4	I	I	
42	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	2			
43	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	C	3		II	
44	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	A	4			
45	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	C	1			
46	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	B	2			
47	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	A	3		III	
48	10-11	10: 727 sf	11: 1066 sf	10: 1 Br/1 Ba	11: 2 Br/1.5 Ba	10: 1 car	11: 1 car	10: 24'	11: 34'	C	1	I	I	
49	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	2		I	
50	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	4			
51	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	A	1			
52	8	8: 1242 sf		8:2 Br/2.5 Ba		8: 1 car		8: 24'	8: 34'	C	3	I		
53	8	8: 1242 sf		8:2 Br/2.5 Ba		8: 1 car		8: 24'	8: 34'	A	4	I		
54	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	B	2			
55	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	A	1			
56	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	3		I	
57	10-11	10: 727 sf	11: 1066 sf	10: 1 Br/1 Ba	11: 2 Br/1.5 Ba	10: 1 car	11: 1 car	10: 24'	11: 34'	A	4	I	I	
58	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	3		III	
59	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	C	1			
60	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	A	2	I		
61	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	B	3	I	I	
62	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	C	4		III	
63	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	A	1			

Elev Enhancement Plotting 02-10-2011.xls

Bldg No	Bldg type	Areas		Br/Ba		Garage		Height		Elev Style	Color Scheme	Front	Right	Rear	Left
64	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	2		I		III
65	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem			B	2		I		III
66	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	C	1	I	II		
67	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	A	3	I			
68	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	B	4			II	
69	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	C	1				
70	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	A	2		III		
89	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	A	3		I		
90	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	2				
91	10-11	10: 727 sf	11: 1066 sf	10: 1 Br/1 Ba	11: 2 Br/1.5 Ba	10: 1 car	11: 1 car	10: 24'	11: 34'	C	1	IV	I		
92	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	A	4	II	II		
93	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	C	3	II	II		
94	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	B	1		III		III
95	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	A	4		I		
96	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	3		II		
97	10-11	10: 727 sf	11: 1066 sf	10: 1 Br/1 Ba	11: 2 Br/1.5 Ba	10: 1 car	11: 1 car	10: 24'	11: 34'	B	4	IV	III		
98	8	8: 1242 sf		8: 2 Br/2.5 Ba		8: 1 car		8: 24'	8: 34'	A	2	II	I		
99	8	8: 1242 sf		8: 2 Br/2.5 Ba		8: 1 car		8: 24'	8: 34'	C	3	II	I		
100	10-11	10: 727 sf	11: 1066 sf	10: 1 Br/1 Ba	11: 2 Br/1.5 Ba	10: 1 car	11: 1 car	10: 24'	11: 34'	A	2	IV	III		
101	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	A	1				
102	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	4		II		
103	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	2		I		
104	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	A	3				
105	10-11	10: 727 sf	11: 1066 sf	10: 1 Br/1 Ba	11: 2 Br/1.5 Ba	10: 1 car	11: 1 car	10: 24'	11: 34'	C	1	IV	III		
106	8	8: 1242 sf		8: 2 Br/2.5 Ba		8: 1 car		8: 24'	8: 34'	A	4	II	I		
107	8	8: 1242 sf		8: 2 Br/2.5 Ba		8: 1 car		8: 24'	8: 34'	C	1	II	I		
108	10-11	10: 727 sf	11: 1066 sf	10: 1 Br/1 Ba	11: 2 Br/1.5 Ba	10: 1 car	11: 1 car	10: 24'	11: 34'	A	3	IV	III		
109	10-11	10: 727 sf	11: 1066 sf	10: 1 Br/1 Ba	11: 2 Br/1.5 Ba	10: 1 car	11: 1 car	10: 24'	11: 34'	B	2	I	I		
110	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	A	1		I		
111	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	B	4				III
112	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	A	2	I	II		
113	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	B	3	I	I		
114	10-11	10: 727 sf	11: 1066 sf	10: 1 Br/1 Ba	11: 2 Br/1.5 Ba	10: 1 car	11: 1 car	10: 24'	11: 34'	A	2	IV	I		
115	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	1				
116	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	A	4		I		
117	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	1		I		
118	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	2				
119	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	A	4		II		
120	8	8: 1242 sf		8: 2 Br/2.5 Ba		8: 1 car		8: 24'	8: 34'	C	1	III	II		
121	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	B	3		II		
122	2-3	2: 903 sf	3: 903 sf	2: 2Br/2.5 Ba	3: 2Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	A	2				
123	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	4		I		
124	5-7	5: 1021 sf	7: 1133 sf	5: 2Br/2.5 Ba	7: 2Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	3		I		
125	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	C	1		II		
126	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	A	4	III	II		
127	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	C	2	III	II		

Elev Enhancement Plotting 02-10-2011.xls

Bldg No	Bldg type	Areas		Br/Ba		Garage		Height		Elev Style	Color Scheme	Front	Right	Rear	Left		
128	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	B	3		II				
129	5-7	5: 1021 sf	7: 1133 sf	5: 2 Br/2.5 Ba	7: 2 Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	A	4		II		III		
130	6-9	6: 1040 sf	9: 1437 sf	6: 2 Br/2.5 Ba	9: 3 Br/2.5 Ba	6: 1 car	9: 1 car	6: 24'	9: 34'	A	1		II	II			
131	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	B	3	I					
132	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	C	2	II	II				
133	2-3	2: 903 sf	3: 903 sf	2: 2 Br/2.5 Ba	3: 2 Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	B	4		I				
134	5-7	5: 1021 sf	7: 1133 sf	5: 2 Br/2.5 Ba	7: 2 Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	3		I				
135	5-7	5: 1021 sf	7: 1133 sf	5: 2 Br/2.5 Ba	7: 2 Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	A	1		I				
136	1-4	1: 649 sf	4: 974 sf	1: 1 Br/1 Ba	4: 2 Br/1.5 Ba	1: 1 car	4: 1 car	1: 24'	4: 34'	B	2	I					
137	2-3	2: 903 sf	3: 903 sf	2: 2 Br/2.5 Ba	3: 2 Br/2.5 Ba	2: 1 car	3: 2 car tandem	2: 34'	3: 34'	A	4		I				
138	5-7	5: 1021 sf	7: 1133 sf	5: 2 Br/2.5 Ba	7: 2 Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	C	3		I				
139	5-7	5: 1021 sf	7: 1133 sf	5: 2 Br/2.5 Ba	7: 2 Br/2.5 Ba	5: 2 car tandem	7: 2 car tandem	5: 34'	7: 34'	B	2		I				
Provence-Urban Villas																	
2008046																	
1/10/2011																	
Elevation Variation Plotting																	
Color Plotting																	
Notes:		Areas are approximate, see design drawing for accurate plan areas								Notes:		Please refer to the Color Lists for scheme specifications (Schemes 4-6)					
Bldg No	Bldg type	Areas		Br/Ba		Garage		Height		Elev Style	Color Scheme	Front	Right	Rear	Left		
1	3	3: 1702 sf		3: 3 Br/2.5 Ba		3: 2 car tandem		3: 32'		B	5						
2	1-2	1: 1634 sf	2: 1681 sf	1: 3 Br/3.5 Ba	2: 3 Br/2.5 Ba	1: 2 car tandem	2: 2 car tandem	1: 32'	2: 32'	C	bldg1:6/bldg 2:4						
3	1	1: 1634 sf		1: 3 Br/3.5 Ba		1: 2 car tandem		1: 32'		B	5						
4	3	3: 1702 sf		3: 3 Br/2.5 Ba		3: 2 car tandem		3: 32'		AR	6						
5	3	3: 1702 sf		3: 3 Br/2.5 Ba		3: 2 car tandem		3: 32'		B	5						
6	1-2	1: 1634 sf	2: 1681 sf	1: 3 Br/3.5 Ba	2: 3 Br/2.5 Ba	1: 2 car tandem	2: 2 car tandem	1: 32'	2: 32'	A	bldg1:4/bldg 2:6						
7	1	1: 1634 sf		1: 3 Br/3.5 Ba		1: 2 car tandem		1: 32'		B	5						
8	3	3: 1702 sf		3: 3 Br/2.5 Ba		3: 2 car tandem		3: 32'		AR	4						
9	3	3: 1702 sf		3: 3 Br/2.5 Ba		3: 2 car tandem		3: 32'		B	6						
10	1-2	1: 1634 sf	2: 1681 sf	1: 3 Br/3.5 Ba	2: 3 Br/2.5 Ba	1: 2 car tandem	2: 2 car tandem	1: 32'	2: 32'	C	bldg1:4/bldg 2:5						
11	1-2	1: 1634 sf	2: 1681 sf	1: 3 Br/3.5 Ba	2: 3 Br/2.5 Ba	1: 2 car tandem	2: 2 car tandem	1: 32'	2: 32'	A	bldg1:6/bldg 2:4						
12	1-2	1: 1634 sf	2: 1681 sf	1: 3 Br/3.5 Ba	2: 3 Br/2.5 Ba	1: 2 car tandem	2: 2 car tandem	1: 32'	2: 32'	C	bldg1:6/bldg 2:5						
13	1-2	1: 1634 sf	2: 1681 sf	1: 3 Br/3.5 Ba	2: 3 Br/2.5 Ba	1: 2 car tandem	2: 2 car tandem	1: 32'	2: 32'	B	bldg1:4/bldg 2:6						
14	3	3: 1702 sf		3: 3 Br/2.5 Ba		3: 2 car tandem		3: 32'		AR	5						
15	3	3: 1702 sf		3: 3 Br/2.5 Ba		3: 2 car tandem		3: 32'		B	4						
16	1-2	1: 1634 sf	2: 1681 sf	1: 3 Br/3.5 Ba	2: 3 Br/2.5 Ba	1: 2 car tandem	2: 2 car tandem	1: 32'	2: 32'	A	bldg1:5/bldg 2:6						
17	1-2	1: 1634 sf	2: 1681 sf	1: 3 Br/3.5 Ba	2: 3 Br/2.5 Ba	1: 2 car tandem	2: 2 car tandem	1: 32'	2: 32'	B	bldg1:4/bldg 2:5						
18	3	3: 1702 sf		3: 3 Br/2.5 Ba		3: 2 car tandem		3: 32'		A	6						
19	1-2	1: 1634 sf	2: 1681 sf	1: 3 Br/3.5 Ba	2: 3 Br/2.5 Ba	1: 2 car tandem	2: 2 car tandem	1: 32'	2: 32'	C	bldg1:5/bldg 2:4						
20	1	1: 1634 sf		1: 3 Br/3.5 Ba		1: 2 car tandem		1: 32'		B	6						

Elev Enhancement Plotting 02-10-2011.xls

Bldg No	Bldg type	Areas	Br/Ba	Garage	Height	Elev Style	Color Scheme	Front	Right	Rear	Left
21	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	AR	5				
22	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	B	6				
23	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	A	4				
24	1	1: 1634 sf	1: 3 Br/3.5 Ba	1: 2 car tandem	1: 32'	C	5				
25	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	BR	4				
39	1-2	1: 1634 sf 2: 1681 sf	1: 3 Br/3.5 Ba 2: 3 Br/2.5 Ba	1: 2 car tandem 2: 2 car tandem	1: 32' 2: 32'	C	bldg1:6/bldg 2:5				
40	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	AR	4				
71	1-2	1: 1634 sf 2: 1681 sf	1: 3 Br/3.5 Ba 2: 3 Br/2.5 Ba	1: 2 car tandem 2: 2 car tandem	1: 32' 2: 32'	B	bldg1:6/bldg 2:5				
72	1-2	1: 1634 sf 2: 1681 sf	1: 3 Br/3.5 Ba 2: 3 Br/2.5 Ba	1: 2 car tandem 2: 2 car tandem	1: 32' 2: 32'	C	bldg1:4/bldg 2:6				
73	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	AR	5				
74	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	B	4				
75	1-2	1: 1634 sf 2: 1681 sf	1: 3 Br/3.5 Ba 2: 3 Br/2.5 Ba	1: 2 car tandem 2: 2 car tandem	1: 32' 2: 32'	A	bldg1:5/bldg 2:6				
76	1	1: 1634 sf	1: 3 Br/3.5 Ba	1: 2 car tandem	1: 32'	C	4				
77	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	AR	5				
78	1-2	1: 1634 sf 2: 1681 sf	1: 3 Br/3.5 Ba 2: 3 Br/2.5 Ba	1: 2 car tandem 2: 2 car tandem	1: 32' 2: 32'	C	bldg1:4/bldg 2:6				
79	1-2	1: 1634 sf 2: 1681 sf	1: 3 Br/3.5 Ba 2: 3 Br/2.5 Ba	1: 2 car tandem 2: 2 car tandem	1: 32' 2: 32'	B	bldg1:5/bldg 2:4				
80	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	AR	6				
81	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	B	5				
82	1-2	1: 1634 sf 2: 1681 sf	1: 3 Br/3.5 Ba 2: 3 Br/2.5 Ba	1: 2 car tandem 2: 2 car tandem	1: 32' 2: 32'	C	bldg1:6/bldg 2:4				
83	1	1: 1634 sf	1: 3 Br/3.5 Ba	1: 2 car tandem	1: 32'	B	5				
84	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	AR	6				
85	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	B	5				
86	1-2	1: 1634 sf 2: 1681 sf	1: 3 Br/3.5 Ba 2: 3 Br/2.5 Ba	1: 2 car tandem 2: 2 car tandem	1: 32' 2: 32'	A	bldg1:4/bldg 2:6				
87	1	1: 1634 sf	1: 3 Br/3.5 Ba	1: 2 car tandem	1: 32'	C	5				
88	3	3: 1702 sf	3: 3 Br/2.5 Ba	3: 2 car tandem	3: 32'	AR	4				

**PROVENCE – COURTS / RC NATOMAS, LLC
 COLOR SCHEMES / SAAP NO. 2008046
 January 03, 2011**

COLOR SCHEMES	• PLASTER 1 (LOWER)	• PLASTER 2 (UPPER)	• PLASTER TRIM • PLASTER WINDOW TRIM • DECORATIVE PLASTER PROJECTION	• FASCIA • RAKE BOARD • ENTRY DOOR • GARAGE DOOR • FRENCH DOOR	• SHUTTER	• METAL RAIL / GUARDRAIL	• STONE PATTERN VENEER	• COMPOSITE'S' ROOF TILE
1	CL 2923	CL 2911	CL 3163	CL 3165	CL 3105	CL 3226	ADANTE	CLAY
2	CLC 1250	CLC 1249	CL 2934	CL 2955	CL 2996	CL 3226	UMBRIA	RED FLASHED
3	CL 2814	CL 2813	CL 2506	CL 2507	CL 2496	CL 3226	MESETA	CLAY FLASHED
4	CL 2924	CL 2913	CL 2914	CL 3014	CL 3016	CL 3226	PADOVA	CLAY FLASHED

ALL COLOR TO BREAK AT INSIDE CORNERS. RAIN GUTTERS AND DOWNSPOUTS TO BE PAINTED TO MATCH ADJACENT SURFACE – I.E., GUTTERS TO MATCH FASCIA, DOWNSPOUTS TO MATCH STUCCO.

- PLASTER BY EXPO STUCCO - 16/20 SAND FINISH AND HEAVY TEXTURE PLASTER (HEAVY DASH).
- PAINT IS BY FRAZEE (CLW/CLC/CLV/CL 0000).
- STONE PATTERN VENEER: COLOR / STONE TYPE / TEXTURE SIMILAR TO ELDERADO FIELDLEDGE.
- ROOF TILE COMPOSITE 'S' TILE MaxiLITE P10 BY MAXITILE.
- Fourth Color Scheme added 12/07/10
- Changes highlighted 01/03/11, per Jim Murar's request.

**PROVENCE – URBAN VILLAS / RC NATOMAS, LLC
 COLOR SCHEMES / SAAP NO. 2008046
 June 17, 2010**

COLOR SCHEMES	• PLASTER 1 (LOWER)	• PLASTER 2 (UPPER)	• PLASTER TRIM • WINDOW TRIM • DECORATIVE PLASTER PROJECTION	• FASCIA • ENTRY DOOR • GARAGE DOOR	• METAL RAIL / GUARDRAIL • SHUTTER	• FLAT COMPOSITE ROOF TILE
4	CL 2802	CL 2792	CL 2846	CL 2925	CL 2676	FLASHED BROWN
5	CL 1873	CL 2762	CL 2785	CL 2866	CL 2887	OXFORD GRAY
6	CL 2834	CL 2923	CL 2835	CL 2936	CL 2937	FLASHED OXFORD

ALL COLOR TO BREAK AT INSIDE CORNERS. RAIN GUTTERS AND DOWNSPOUTS TO BE PAINTED TO MATCH ADJACENT SURFACE – I.E., GUTTERS TO MATCH FASCIA, DOWNSPOUTS TO MATCH STUCCO.

- PLASTER BY EXPO STUCCO - 16/20 SAND FINISH.
- PAINT IS BY FRAZEE (CLW/CLC/CLV/CL 0000).
- ROOF TILE COMPOSITE FLAT TILE MaxiSHAKE / MaxiSLATE BY MAXITILE.



PROVENCE - COURTS
UNIT 1/4
FRONT ELEVATION
ELEVATION STYLE 'B'





PROVENCE - COURTS
UNIT 2/3
ENHANCED RIGHT ELEVATION
ELEVATION STYLE 'B'





PROVENCE - COURTS
UNIT 5/7
ENHANCED RIGHT ELEVATION
ELEVATION STYLE 'A'





PROVENCE - COURTS
UNIT 6/9
FRONT ELEVATION
ELEVATION STYLE 'A'





PROVENCE - COURTS
UNIT 8
FRONT ELEVATION
ELEVATION STYLE 'C'



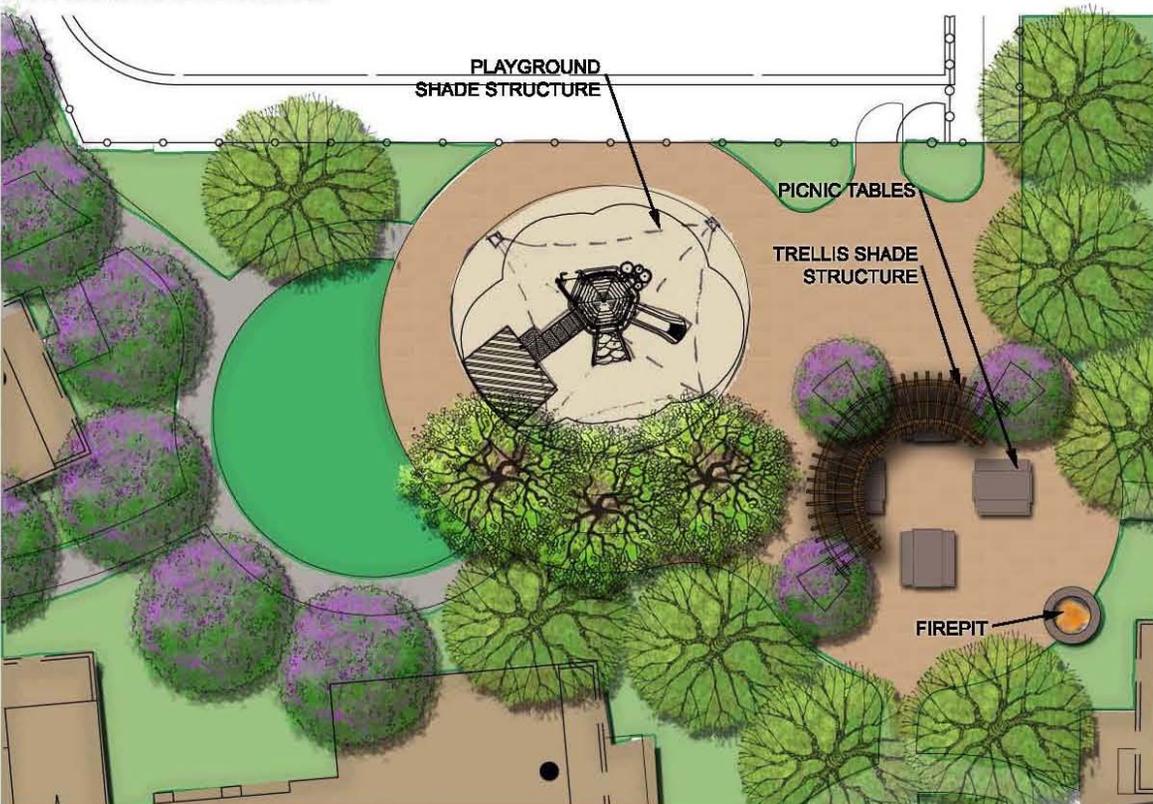


PROVENCE - COURTS
UNIT 10/11
FRONT ELEVATION
ELEVATION STYLE 'C'



Exhibit 4L – Playground Shade Structure and Paseo Concept Plans

NOTE: CONSIDERING OPTIONS FOR SHADE STRUCTURE.
FINAL DESIGN TO BE DETERMINED.



PROVENCE

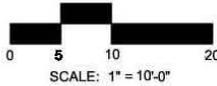
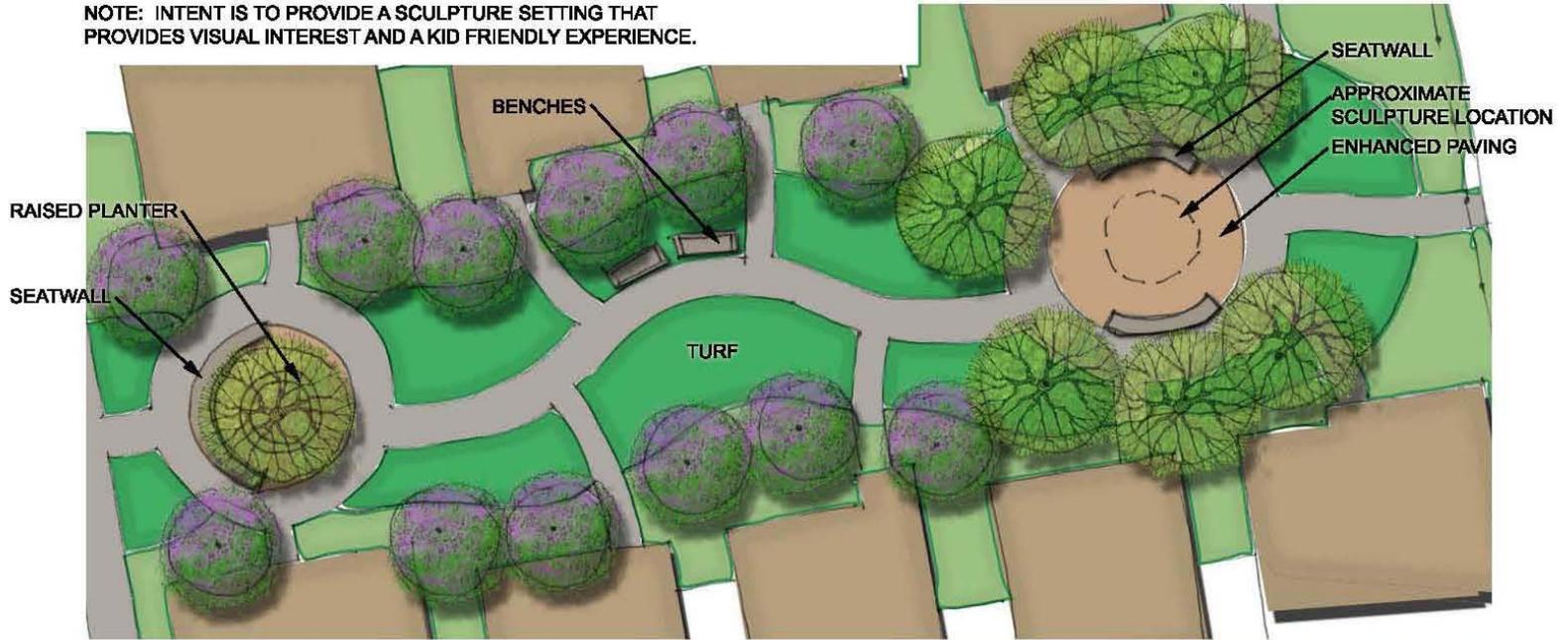
RC NATOMAS, LLC

SACRAMENTO, CA



PLAYGROUND SHADE EXHIBIT

NOTE: INTENT IS TO PROVIDE A SCULPTURE SETTING THAT PROVIDES VISUAL INTEREST AND A KID FRIENDLY EXPERIENCE.



PROVENCE

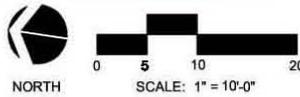
RC NATOMAS, LLC

SACRAMENTO, CA

SOUTH PASEO CONCEPT PLAN



NOTE: INTENT IS TO PROVIDE A SCULPTURE SETTING THAT PROVIDES VISUAL INTEREST AND A KID FRIENDLY EXPERIENCE.



PROVENCE
 RC NATOMAS, LLC

SACRAMENTO, CA 02/22/2011

 NORTH PASEO CONCEPT PLAN

Attachment 5: Private Recreational Facilities Agreement – Draft Resolution

RESOLUTION NO.

Adopted by the Sacramento City Council

APPROVING AN AGREEMENT: PROVENCE (P09-006)

BACKGROUND

- A. On March 28, 2006, the City entered into City Agreement No. 2006-0298 allowing DR Horton Inc. to construct and maintain private recreational facilities (a swimming pool) to serve its 187 unit Carriage Lane III development project (P05-079). In exchange, DR Horton Inc. received 5% parkland dedication credit, valued at \$67,650.
- B. The final map for Carriage Lane III recorded on September 13, 2007, after which five model homes were constructed.
- C. In March 2009, RC Natomas LLC submitted an application to resubdivide the Carriage Lane III project site (with the exception of the five model homes) to develop 233 multi-family units. RC Natomas LLC has requested a new Agreement to Construct and Maintain Private Recreational Facilities to serve the 233 multi-family units, in addition to the five model units, for the Provence development project (P09-006).
- D. City Agreement No. 2006-0298 is specific to the Carriage Lane III project and is not transferable to the Provence project due to the re-subdivision and change in the number of residential units.
- E. Pursuant to Section 16.64.100 of City Code, the City may enter into an agreement to grant parkland dedication credit for eligible private recreational facilities such as pools, recreational buildings and court areas, each of which is eligible for up to 5% of the total parkland dedication requirement.
- F. The agreement that is the subject of this Resolution for the Provence development project (P09-006) stipulates that the facilities shall be adequately maintained by the RC Natomas LLC and shall not be removed from use without consideration by City Council.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

- Section 1. The City Manager, or City Manager's designee, is authorized to execute an agreement for private recreational facilities and parkland fee credit with RC Natomas LLC under Sacramento City Code Chapter 16.64 for the 233 unit Provence development project (P09-006). The agreement also includes the five residential units from the Carriage Lane III project (P05-079), and satisfies 5% of the parkland dedication requirement for the Provence project. The agreement is valued at \$86,657.
- Section 2. The agreement identified in Section 1 is attached as Exhibit A and made a part of this Resolution.

Table of Contents:

Exhibit 5A – Agreement to Construct and Maintain Private Recreational Facilities – 4 pages

Exhibit 5A – Agreement to Construct and Maintain Private Recreational Facilities

DRAFT

Record for the benefit of)
The City of Sacramento)

Fee Exempt Pursuant to)
Government Code)
Section 6103)

When Recorded, Mail to:)

Office of the City Clerk)
Historic City Hall)
915 "I" Street, 1st Floor)
Sacramento CA 95814)

(Space above this line for recorder's use)

AGREEMENT TO CONSTRUCT AND MAINTAIN
PRIVATE RECREATIONAL FACILITIES
(Sacramento City Code Chapter 16.64)
Provence P09-006

This Agreement is made as of _____, 2011 by and between RC Natomas LLC ("Owner") and the City of Sacramento ("City").

RECITALS

1. Owner owns that real property in the City of Sacramento, County of Sacramento, shown and described in Exhibit A - Legal Description and Exhibit A-1 - Plat to Accompany Description, attached and incorporated herein by reference ("the Property").

2. Previous Owner (DR Horton Inc.) obtained approval from City for a tentative subdivision map and special permit for the Property known as Carriage Lane III P05-079 and entered into an Agreement to construct and maintain private recreational facilities to serve the Project, for which it received 0.082 acres in park dedication credits valued at \$67,650 (\$687,750 / acres x 0.082 acres x 1.2). A final map was recorded to create 187 single family residential lots.

3. Owner has obtained approval from City for a tentative subdivision map to resubdivide the Property and a special permit for the Property known as Provence P09-006 ("Project"), subject to certain conditions relating to the dedication of parkland and/or the payment of in-lieu fees for park and recreational facilities to serve the Project pursuant to Sacramento City Code Chapter 16.64 ("Chapter 16.64").

4. Owner has proposed to construct and maintain privately owned open space and/or recreational facilities in the Project for which credits may be granted under sections 16.64.100 and 16.64.110 of Chapter 16.64, and City has agreed to grant the credit as follows:

The owner shall construct a private recreational swim area (swimming pool) and receive 5% credit towards the required dedication for park purposes for the Project (the "Private Recreation Facilities").

5. Granting of the credit is conditioned on Owner entering into an agreement with City providing that the private recreational facilities shall be constructed and adequately maintained in perpetuity, and that use of the facilities shall be limited to park and local recreation purposes and shall not be changed to another use without the express written consent of the City Council.

5. Owner and City enter into this Agreement to provide for the construction, maintenance, and use of the private open space and/or recreational facilities and the granting of credits pursuant to Chapter 16.64.

AGREEMENT

NOW, THEREFORE, the parties agree as follows:

6. Owner shall construct the Private Recreational Facilities as described above in section 4 to the satisfaction of the City's Director of Parks and Recreation. Construction of the Private Recreational Facilities shall be completed no later than issuance of occupancy permits for 50% of the residential units (119 units out of 238 total units) constructed within the project.

7. City shall grant to Owner a credit of 0.105 acres against the required parkland dedication and/or payment of in-lieu fees described above in section 3.

8. Owner shall, in perpetuity, maintain the Private Recreational Facilities in good repair and condition and in compliance with all applicable City Code requirements.

9. Owner shall, in perpetuity, allow use of the Private Recreational Facilities for the residents of the Project and shall not put the Private Recreational Facilities to another use without the express written consent of the City Council.

10. The provisions of this Agreement are in furtherance of and satisfy the conditions of approval of the Project. A breach of this Agreement shall be an abrogation of the contractual agreement that arises from the conditions of approval of the Subdivision and shall render Owner and its successors, heirs, and assigns, liable to City under the Subdivision Map Act (Government Code section 66410 et seq.), City Code Chapter 16.64, and any other applicable state and local ordinances and statutes. The provisions of this Agreement are covenants which will run with the land and will be binding in perpetuity on all parties having or acquiring any right, title, or interest in the Property, including a homeowners association or other legal entity that assumes any right, title, or interest in the Private Recreational Facilities constructed by Owner, and will inure to the benefit of CITY in furtherance of the public welfare.

11. Should Owner, its successors, heirs, and assigns, breach this Agreement, City may seek injunctive relief to enforce this Agreement, or may, at City's option, recover from Owner, its successors, heirs, and assigns, the sum of \$86,394 (\$687,500 per acre x 0.105 acres x 1.2) with interest thereon from the date of this Agreement until the date of payment. Interest shall be calculated at the average rate earned during that period by City's Pool A or such other average rate earned by City on its general investments during that period.

12. In any legal action brought by either party to enforce the terms of this agreement, the prevailing party is entitled to all costs incurred in connection with such an action, including reasonable attorney fees.

13. If any term or provision of this Agreement is held invalid or unenforceable, the remainder of this Agreement shall not be affected; provided that the intent of the Agreement may then be reasonably fulfilled.

14. No waiver by the City of any breach of or default by Owner under this Agreement shall be deemed to be a waiver of any other or subsequent breach or default.

15. This Agreement shall be recorded in the office of the Sacramento County Recorder.

This Agreement has been entered as of the date first above written.

"Owner"

By _____

Printed Name: _____

Title: _____

City of Sacramento

By _____
Cassandra H.B. Jennings, Assistant City Manager
For: Gus Vina, Interim City Manager

APPROVED AS TO FORM

DEPUTY CITY ATTORNEY

ATTEST:

CITY CLERK

NOTARIZATION REQUIRED

Attach Exhibit A and A-1 – Legal Description, Plat Map and Project Map

AGREEMENT TO CONSTRUCT AND MAINTAIN
PRIVATE RECREATIONAL FACILITIES
Provence P09-006
Page 4 of 4

Attachment 6: WALKSacramento Comment Letter



March 15, 2011

David Hung
Associate Planner
Community Development Department
300 Richards Boulevard, 3rd Floor
Sacramento, CA 95811

RE: Provence (P09-006)

Dear Mr. Hung:

We appreciate the effort the applicant has made to improve the pedestrian circulation and provide the greatest opportunities for walking. The project site is adjacent to shopping, restaurants, and office – as such, it should be in demand by people that want a walkable residence north of the American River.

WALKSacramento would like to identify several pedestrian-friendly features of the proposed Provence residential project.

Tree shade on hardscape is important for providing pleasant pedestrian environment, and in the Sacramento region climate tree shade is crucial to creating a hospitable outdoor environment.

The Provence project will provide an exceptionally tree-shaded environment for pedestrians.

- Many of the private (alley) streets in this project include small trees such as Crape Myrtle and Crab Apple. The private streets that are not alleys have many mid-size trees within setbacks and street planters
- Shade trees currently stand within the street planters between the public streets and sidewalks on three sides of the project.
- The landscaped areas of the project have many small- and mid-size trees that will shade the walkways on the site.

Pedestrians and cyclists will have six convenient points of access to the multi-use trail to be constructed along the southern edge of the site.

- This number of access points on a trail segment of less than 500' is outstanding.
- Direct path-of-travel to the trail is provided for all residents and should be a great amenity for the future residents.

Related to these two beneficial components of the project mentioned above, there are two concerns that should be addressed.

1. The preliminary landscape plan seems to show a few trees planted on walkways. We would like to see all of the trees planted and the 50% shading requirement to actually be met. **We recommend staff review of the final landscape plan before occupancy.**
2. Special consideration should be given to the multi-use trail and the public sidewalk at the intersection of East Commerce Way and future Snowy Egret Way. The interface between bicyclists, pedestrians, and vehicles is critical for everyone's safety and comfort. **We recommend that the trail design be routed to the Alternate Modes Coordinator for review to insure the trailhead is designed correctly.**

WALKSacramento encourages people to walk and bicycle in their communities. The benefits include improved physical fitness, less motor vehicle traffic congestion, better air quality, and a stronger sense of cohesion and safety in local neighborhoods. *WALKSacramento* is working to support increased physical activity such as walking and bicycling in local neighborhoods as well as helping to create community environments that support walking and bicycling.

Thank you for your consideration of these comments and recommendations. If you have questions or need additional information, please contact me at (916) 446-9255 or cholm@walksacramento.org.

Sincerely,



Chris Holm
Project Analyst

Attachment 7: Mitigated Negative Declaration

A Copy of the Mitigated Negative Declaration
is available for review at:

City of Sacramento
Community Development Department
300 Richards Boulevard, 3rd Floor
Sacramento, CA 95811
9 a.m. to 4 p.m.
Monday through Friday

It is also currently posted on the Community Development Department's web site at:
<http://www.cityofsacramento.org/dsd/planning/environmental-review/eirs/>

Attachment 8: Land Use & Zoning Map

