



REPORT TO PLANNING COMMISSION City of Sacramento

7

915 I Street, Sacramento, CA 95814-2671

PUBLIC HEARING
April 14, 2011

To: Members of the Planning Commission

Subject: Dollar Tree Sign Variance (P10-090) A request to increase the number of attached signs for a commercial use, located within the Residential Mixed Use Special Planning District (RMX-SPD) Zone in the R Street Corridor Special Planning District. The project requires a variance to increase the number of attached signs in the RMX zone.

- A. Environmental Determination: Exempt per CEQA Guidelines Section 15311, Accessory Structures;
- B. Variance to exceed the allowed number of attached signs for a commercial use, located within the Residential Mixed Use Special Planning District (RMX-SPD) zone in the R Street Corridor Special Planning District.

Location/Council District:

1235 S Street, Sacramento, CA 95816

Assessor's Parcel Number: 009-0081-008,-009,-010

Council District 4

Recommendation: Staff recommends the Planning Commission approve the request based on the findings and subject to the conditions listed in Attachment 1. The Commission has final approval authority over items A and B above, and its decision is appealable to City Council. The project has no outstanding issues and is considered to be non-controversial.

Contact: Matthew Sites, Associate AIA, LEED AP, Urban Design Staff, (916) 808-7646
Stacia Cosgrove, Senior Planner, (916) 808-7110

Applicant: April DeRew, United Sign Systems, (916) 361-3200, 5201 Pentecost Drive, Modesto, CA 95356

Owner: Brink Duffy, Capitol Wholesale Electric, (916) 443-8051, P.O. Box 1466, Sacramento, CA 95812

Dollar Tree Sign Variance (P10-090)

April 14, 2011

Summary: The subject site is located on the northwest corner of S and 13th Streets. Dollar Tree, as the new tenant, is currently rehabilitating and making tenant improvements to the existing retail building.

This corner parcel is zoned Residential Mixed Use (RMX) and is occupied by a 9,120 square foot commercial building; it is considered to be a legal, non-conforming use within the R Street Corridor SPD because it does not have any residential units and the use was established prior to the adoption of the R Street Corridor SPD in 1996. Commercial uses in the RMX zone are allowed signage subject to the provisions of C-1 commercial sign ordinance, limiting the number of attached signs to one per tenant on each street frontage for buildings located on corner lots (Section 15.148.125, 15.148.150, and 15.148.220). The applicant is requesting two additional attached signs for a total of four attached signs. The two additional attached signs are located on the west and north elevations of the building, signs C and D in the attached exhibits. The two signs would be oriented in order to provide visibility from east-bound traffic on S Street and toward the light rail station to the north.

Staff notified all property owners within a 500-foot radius of the project regarding this public hearing and has received an inquiry from a neighbor which is presented in the Public/Neighborhood Outreach and Comments. **The project is considered to be non-controversial at this time.**

Table 1: Project Information
General Plan designation: Urban Corridor High
Existing zoning of site: RMX-SPD (Residential Mixed Use & R Street Corridor Special Planning District)
Existing use of site: 9,120 square foot retail building
Property area: 20,747 +/- square feet (.48 gross acres)

Background Information: The project site has historically been used for retail uses, most recently Capitol Wholesale Electric, selling lighting and household appliances. On May 28, 2010, Design Review staff approved application DR10-098, to rehabilitate the exterior of the existing 9,120 square foot retail building. (See Attachment 4) The applicant has been issued the necessary building permits to begin construction of the improvements and they are underway at this time. No additional planning entitlements were required.

The applicant has submitted a sign permit for the four attached signs (SIG-1010658). Permits are ready to be issued for the two of the attached signs located at the southeast corner of the building at the corner of 13th and S Streets (Signs A and B, Exhibit 1). These permits have not been picked up by the sign contractor, but have been approved

Public/Neighborhood Outreach and Comments: Project and Hearing notification was sent to Capitol Area R Street Association (CARSA), Richmond Grove Neighborhood Association, and the Southside Park Neighborhood Association. Staff received a concern from a community member regarding whether or not Dollar Tree would be providing bathrooms for

Dollar Tree Sign Variance (P10-090)

April 14, 2011

patrons of the establishment and trash receptacles. Staff confirmed with Dollar Tree representatives that bathrooms will be provided for patrons and those bathrooms will have trash receptacles; there will also be trash receptacles within the store. No other comments or concerns have been received by staff as of the writing of this report.

Environmental Considerations: The Community Development Department, Environmental Planning Services Division, has reviewed this project and determined that it is exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15311, Accessory Structures. The project consists of the construction of on-premise signs accessory (appurtenant to) an existing commercial facility.

Policy Considerations:

2030 General Plan

The 2030 General Plan Update was adopted by City Council on March 3, 2009. The 2030 General Plan's goals, policies, and implementation programs define a roadmap to achieving Sacramento's vision to be the most livable city in America. The 2030 General Plan Update designation of the subject site is Urban Corridor High, which anticipates a compact development pattern with high lot coverage, limited side yard setbacks, and buildings sited at or near their front lot lines to create a consistent and well-defined street wall. It also calls for integrated residential, office, and retail uses. The sign proposal is consistent with the following General Plan policies:

- **Neighborhood Enhancement.** The City shall promote infill development, redevelopment, rehabilitation, and reuse efforts that contribute positively (e.g. architectural design) to existing neighborhoods and surrounding areas. (LU 2.1.6)
- **Mixed-Use Corridors:** The City shall create or improve mixed-use corridors by requiring compact development patterns that are oriented to and frame the street, establish a safe and comfortable environment for walking, and avoid encroachment upon adjacent residential areas. (Policy LU 6.1.1)
- **Transformed Corridors:** The City shall facilitate the transformation of major thoroughfares dominated by auto-oriented strip commercial uses to include a broader mix of uses, both horizontal and vertical, that provides opportunities for medium- and higher-density housing, while also addressing local and citywide demand for retail and services. (Policy LU 6.1.2)

The proposed signs will act as wayfinding signage for light rail transit visitors to the site and the sign size and materials will be sensitive to surrounding uses.

R Street Corridor Special Planning District

The R Street Corridor SPD encompasses the fifty-four (54) blocks bounded by Q Street on the north, S Street on the south, 2nd Street on the west, and 29th Street on the east. It

Dollar Tree Sign Variance (P10-090)

April 14, 2011

provides a transition area between the more intensive Central Business District and residential neighborhoods. The provision of additional signs for the subject site, intended to support a neighborhood serving commercial use, is consistent with the following goals of the R Street Corridor SPD: 1) Provide a mix of uses to support an extended-hour central city, and 2) Establish development standards and design guidelines to manage the transition of uses within the corridor.

Project Design:

Building design and landscaping

The existing building has been utilized as a warehouse, and most recently retail, from the time of original construction in the 1940's. The applicant believes there is great neighborhood serving retail potential now and in the future for this section of the R Street Corridor. The building remodel will also assist with the visual upgrade of an existing warehouse and become a catalyst for the area. Modifications to the building exterior include new storefront windows and doors, brick wainscoting and pilasters, smooth finish cement plaster over the existing CMU walls, new awnings, and screened mechanical equipment. Site improvements were also reviewed and approved with the Design Review file, including shade tree planters, site lighting, a trash enclosure, and bicycle parking. Please see Attachment 4 for Design Review comments and conditions. No changes are proposed to the rehabilitated building design with this application, with exception of the proposed attached signs along the north and west elevations.

The proposed internally illuminated individual channel letter signs on the north and west sides of the building will be located on the upper area of the associated elevations to match those provided on the south and east elevations. Due to the building being constructed directly at the back of the sidewalk on both S and 13th Streets, it is likely that the signs on those facades may have a minimal projection into the public right-of-way. If that is the case, those signs will require a revocable permit from the City's Department of Transportation. The signs are of sufficient height on the building face that they will not interfere with pedestrians.

Variance: The applicant is proposing two additional attached signs that would be located on the north and west elevations of the building. The sign on that west elevation would provide visibility to vehicles traveling east on S Street, and the sign on the north would provide visibility to pedestrians and other visitors traveling south from the light rail station. The applicant feels that this additional signage is necessary due to the 13th and S Street corner being a relatively isolated retail location at the present time.

Within the RMX zone, the sign code normally allows retail uses located on corner lots to have one (1) attached sign per street frontage, consistent with the Limited Commercial (C-1) zone, in anticipation of that retail being incorporated into a mixed use commercial/residential building. The total area for all such signs shall not exceed one square foot of sign area for each front foot of building occupancy. The building has a 120-foot frontage on S Street and a 76-foot frontage on 13th Street. The table below lists each sign location and size:

Dollar Tree Sign Variance (P10-090)

April 14, 2011

Sign	Location	Size Allowed	Size Proposed	Variance?
A	S Street	76 sqft	39 sqft	None Required
B	13 th Street	120 sqft	39 sqft	None Required
C	West Façade	-	39 sqft	Yes
D	North Facade	-	39 sqft	Yes
Total		196 sqft	156 sqft	

The applicant is essentially requesting the number of signs that is more consistent with the General Commercial (C-2) zone, where two attached signs are allowed per street frontage, rather than the one per street frontage that is allowed in the RMX zone. The size of the four signs, however, does not exceed the total sign allowance in the RMX zone. Staff supports the additional two attached signs because this site is a legal, non-conforming use with no residential onsite and functions more as a General Commercial site. The surrounding blocks on the south side of S Street are zoned General Commercial, and the adjacent uses are all commercial in nature. The signs are relatively small in size; as this section of the R Street Corridor slowly transitions from heavy commercial uses to more mixed-residential in nature, the two additional attached signs are not expected to be out of character or scale within the area.

In order to grant the variance, the Planning Commission must make the following findings per Section 15.148.1040 (A) (B) and (C) of the Sign Ordinance:

- A. That exceptional or extraordinary circumstances or conditions apply to the case referred to in the application that do not apply generally in the same district and the enforcement of the regulations of this article would have an unduly harsh result upon the utilization of the subject property.
 1. The variance would be appropriate for any property owner facing similar circumstances in that it is reasonable to expect that RMX parcels with a legal, non-conforming commercial use, located across from C-2 zoned parcels would be allowed to meet the same number of signs allowed in the C-2 zone. Limiting the parcel to a reduced number of signs compared to adjacent parcels would put the parcel at a disadvantage and substantially reduce the chance of sustainable, long term, viable retail supporting the neighborhood.
 2. The two additional signs are part of a wayfinding system for a retail use that provides a neighborhood amenity supporting the policies of the General Plan and furthering the goals of the R Street Corridor Special Planning District.
- B. That the variance will not result in a special privilege to one individual property owner and that the variance would be appropriate for any property owner facing similar circumstances.
 1. The variance would be appropriate for any property owner facing similar circumstances in that it is reasonable to expect that some consideration be made

Dollar Tree Sign Variance (P10-090)

April 14, 2011

for non-conforming uses within the RMX zone, as the area slowly transitions to include a higher density of mixed and residential uses. Requiring a reduction in signage compared to adjacent General Commercial parcels would inappropriately create a hardship for this property owner.

- C. A variance must not be injurious to public welfare, nor to property in the vicinity of the applicant.
 - 1. The sign placement and size respects the scale and character of the adjacent neighborhood through attention to views, illumination, font style, building scale and orientation. Adjacent properties are commercial in nature and the additional two signs will not be out of character with the surrounding uses.
 - 2. The signs will be of sufficient height to not interfere with pedestrians or the operation of vehicles in the parking area. If any of the attached signs project into the public right-of-way, the necessary Revocable Permit will be required from the City's Department of Transportation.
 - 3. The cumulative square footage of signs on the building will still fit within the size allowance prescribed by the sign code within the RMX zone.

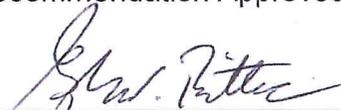
Conclusion:

Staff recommends the Planning Commission approve the requested sign variance to allow two additional attached signs on this commercial building. The signs' number and scale will be consistent with the new façade of the building and provide needed visibility for eastbound travelers on S Street and for light rail patrons on 13th Street.

Respectfully submitted by: 
 MATTHEW SITES, Associate AIA, LEED AP
 Urban Design Staff

Approved by: 
 STACIA COSGROVE
 Senior Planner

Recommendation Approved:


 GREGORY BITTER, AICP
 Principle Planner

Dollar Tree Sign Variance (P10-090)

April 14, 2011

Attachments:

Attachment 1 Recommended Findings of Fact and Conditions of Approval

Attachment 2 Plans and Photos

 Exhibit 1-2 Sign Plans

 Exhibit 3-4 Photos

Attachment 3 Land Use & Zoning Map

Attachment 4 DR10-098 Conditions of Approval and Approved Plans.

Dollar Tree Sign Variance (P10-090)

April 14, 2011

**Attachment 1
Proposed Findings of Fact and Conditions of Approval
Dollar Tree Signage and (P10-090)
1235 S Street**

Findings Of Fact

A. Environmental Determination: Exempt from CEQA pursuant to Section 15311 of the CEQA Guidelines

Based on the determination and recommendation of the City's Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the Project, the Planning Commission finds that the Project is exempt from review under Section 15311, Accessory Structures of the California Environmental Quality Act Guidelines as follows:

The project would allow the installation of signs identifying the occupant of the building on which the sign would be attached. The project consists of the construction of on-premise signs accessory (appurtenant to) an existing commercial facility. Section 15311 provides that the construction or placement of minor structures accessory to existing commercial facilities, including on-premise signs, is exempt from the California Environmental Quality Act. The project would not result in any significant effects on the environment.

B. The Variance to exceed the allowed number of attached signs is approved subject to the following Findings of Fact and Conditions of Approval:

1. That exceptional or extraordinary circumstances or conditions apply to the case referred to in the application that do not apply generally in the same district and the enforcement of the regulations of this article would have an unduly harsh result upon the utilization of the subject property.
 - a. The variance would be appropriate for any property owner facing similar circumstances in that it is reasonable to expect that RMX parcels with a legal, non-conforming commercial use, located across from C-2 zoned parcels would be allowed to meet the same number of signs allowed in the C-2 zone. Limiting the parcel to a reduced number of signs compared to adjacent parcels would put the parcel at a disadvantage and substantially reduce the chance of sustainable, long term, viable retail supporting the neighborhood.
 - b. The two additional signs are part of a wayfinding system for a retail use that provides a neighborhood amenity supporting the policies of the General Plan and furthering the goals of the R Street Corridor Special Planning District.
2. That the variance will not result in a special privilege to one individual property owner and that the variance would be appropriate for any property owner facing similar circumstances.

Dollar Tree Sign Variance (P10-090)

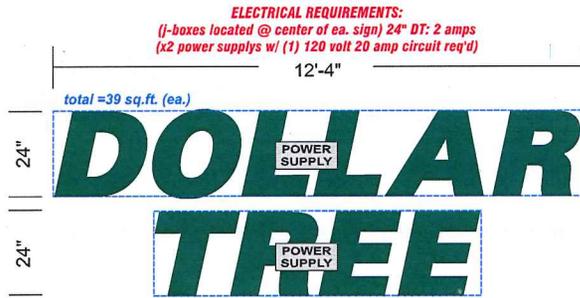
April 14, 2011

- a. The variance would be appropriate for any property owner facing similar circumstances in that it is reasonable to expect that some consideration be made for non-conforming uses within the RMX zone, as the area slowly transitions to include a higher density of mixed and residential uses. Requiring a reduction in signage compared to adjacent General Commercial parcels would inappropriately create a hardship for this property owner.
3. A variance must not be injurious to public welfare, nor to property in the vicinity of the applicant.
 - a. The sign placement and size respects the scale and character of the adjacent neighborhood through attention to views, illumination, font style, building scale and orientation. Adjacent properties are commercial in nature and the additional two signs will not be out of character with the surrounding uses.
 - b. The signs will be of sufficient height to not interfere with pedestrians or the operation of vehicles in the parking area. If any of the attached signs project into the public right-of-way, the necessary Revocable Permit will be required from the City's Department of Transportation.
 - c. The cumulative square footage of signs on the building will still fit within the size allowance prescribed by the sign code within the RMX zone.

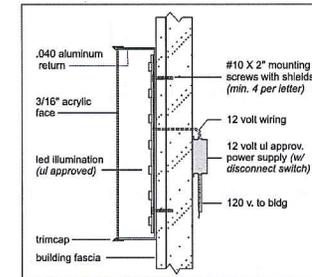
Conditions Of Approval

The **Variance** to exceed the allowed number of attached signs is hereby approved subject to the following conditions:

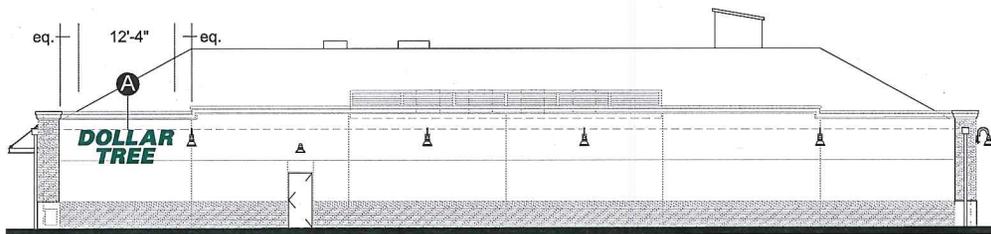
- B1. This Variance constitutes the approval of two additional attached signs for this building tenant, for a total of four (4) attached signs. The signs shall be internally illuminated individual channel letter signs and shall be provided at the north and west elevations of the building per approved plans.
- B2. Applicant shall obtain all necessary building and/or encroachment permits prior to commencing construction of the signs.
- B3. Any modification to the signs, either in size, materials, or location, shall be subject to review and approval by Planning Division staff prior to the issuance of building permits.
- B4. Unless modified by any condition herein, this project shall be developed and constructed in full compliance with the City Code.



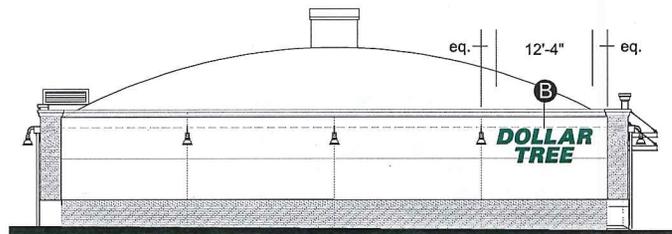
Signs A & B: Led Illuminated Pan Channel Signs
 Scale 3/8"=1'-0"



Led Pan Channel Letter Detail



Building Elevation (back)

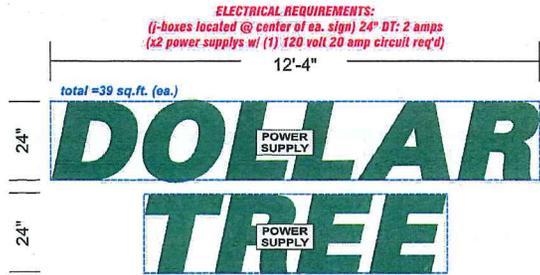


Building Elevation (side)

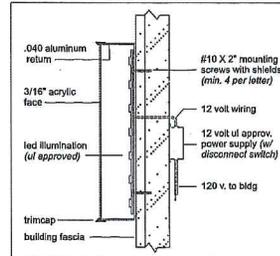


SITE PLAN

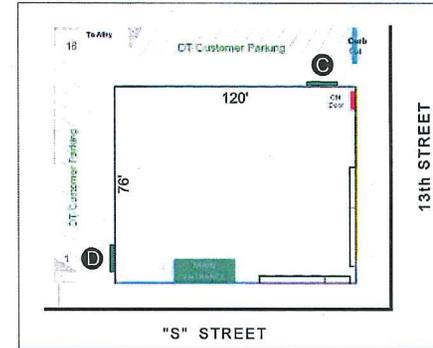
<p>5201 Pentecost Dr. Modesto, Ca. 95356 1-800-481-SIGN C.S.C.L. # 718965 FAX (209) 543-1326</p> <p>DESIGN MANUFACTURING INSTALLATION MAINTENANCE</p>	<p>JOB #: 12391 DEAL # 6033 CLIENT: DOLLAR TREE CONTACT: DATE: 2-23-10 PROJECT LOCATION: SHOPPING CENTER NAME 1235 S STREET SACRAMENTO, CA</p>	<p>JOB INFO</p> <p>SALESPERSON: DAVID RANDOLPH DRAWN BY: BAM/AD PAGE 1 OF 1</p> <p>CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____</p>	<p>REVISIONS: 3-4-10 bam 6-3-10 bam 10-27-10 bam</p>	<p>SCALE: NOTED</p> <p>FILE NAME: DOLLAR TREE- sacto-s.st variance</p>	<p>ELECT.</p> <p>120 Volt <input type="checkbox"/> 277 Volt <input type="checkbox"/> Other <input type="checkbox"/></p> <p>one box above MUST be checked prior to any mfg.</p>	<p>SPECIFICATIONS</p> <p>Signs A & B: Led Illuminated P/C Signs</p> <p>white acrylic with vivid green #156 vinyl overlay, ul approved green led illumination 5" deep BRONZE (aluminum) returns with BRONZE 1" trimcap</p>	<p>CITY CODE</p> <p>allows 3 to 1 of leased frontage per elevation</p> <p>Sign A: 39 sq.ft. 24" Dollar Tree Sign B: 39 sq.ft. 24" Dollar Tree</p> <p>Sheet C-000 eq. ft. 39" Dollar Tree</p>



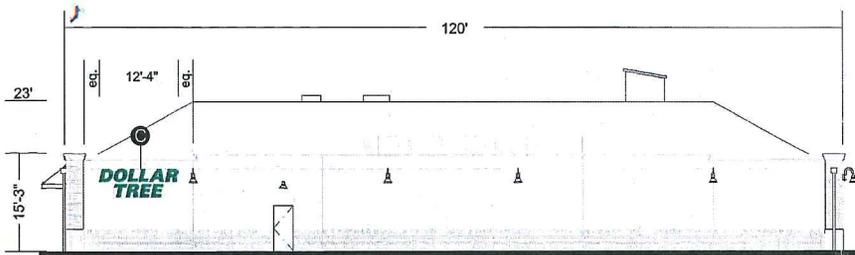
Signs C & D: Led Illuminated Pan Channel Signs
 Scale 3/8"=1'-0"



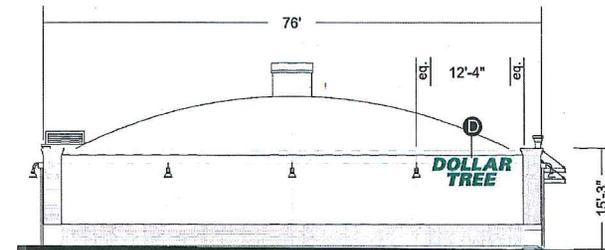
Led Pan Channel Letter Detail



SITE PLAN

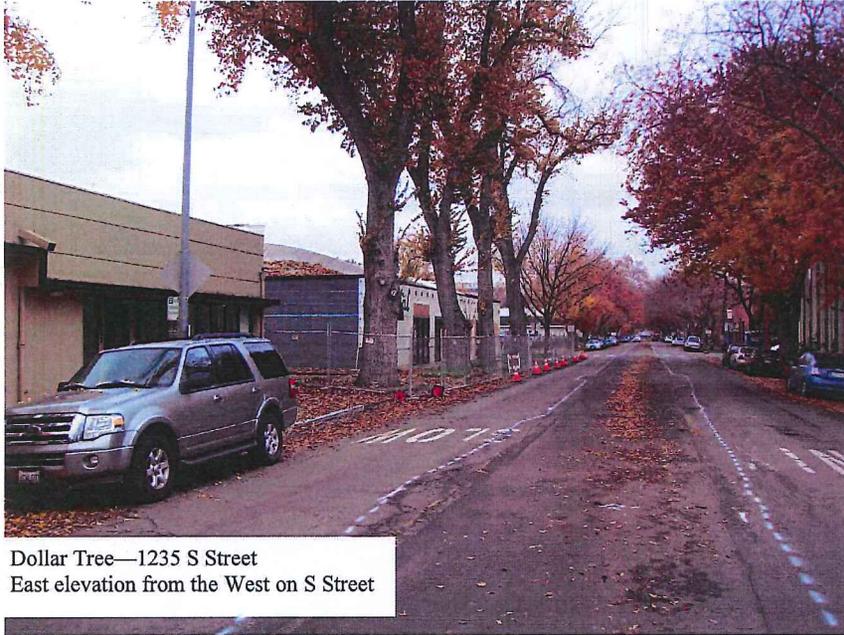


Building Elevation (back) / Scale 1/16"=1'-0"



Building Elevation (side) / Scale 1/16"=1'-0"

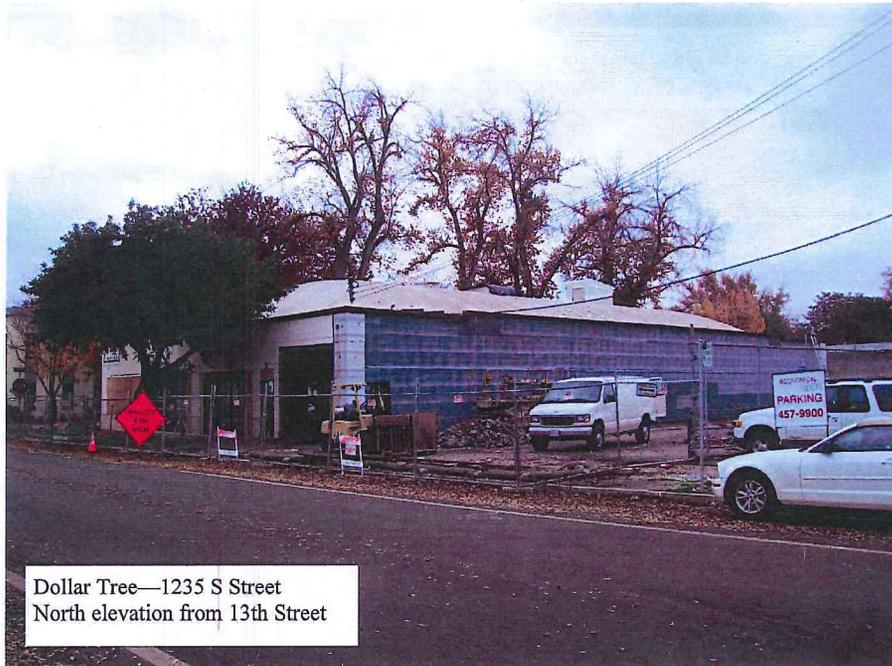
JOB INFO		FILE	ELECT.	SPECIFICATIONS	CITY CODE	
USS UNITED SIGN SYSTEMS 5201 Pentecost Dr. Modesto, Ca. 95356 1-800-481-SIGN C.S.C.L. # 718965 FAX (209) 543-1326 DESIGN MANUFACTURING INSTALLATION MAINTENANCE	JOB #:12391 DEAL #6033 CLIENT: DOLLAR TREE CONTACT: DATE: 2-23-10 PROJECT LOCATION: SHOPPING CENTER NAME 1235 S STREET SACRAMENTO, CA	SALESPERSON: DAVID RANDOLPH DRAWN BY: BAM/AD PAGE 2 OF 2 CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____	REVISIONS: 3-4-10 bam 5-28-10 bam 10-27-10 bam 12-16-10 bam	SCALE: NOTED FILE NAME: DOLLAR TREE- sacto-s.street	120 Volt <input type="checkbox"/> 277 Volt <input type="checkbox"/> Other <input type="checkbox"/> one box above MUST be checked prior to any mfg.	Signs C & D: Led Illuminated P/C Signs white acrylic with vivid green #156 vinyl overlay, ul approved green led illumination 5" deep BRONZE (aluminum) returns with BRONZE 1" trimcap allows 3 to 1 of leased frontage per elevation Sign C: 39 sq. ft. 24" Dollar Tree Sign D: 39 sq. ft. 24" Dollar Tree



Dollar Tree—1235 S Street
East elevation from the West on S Street



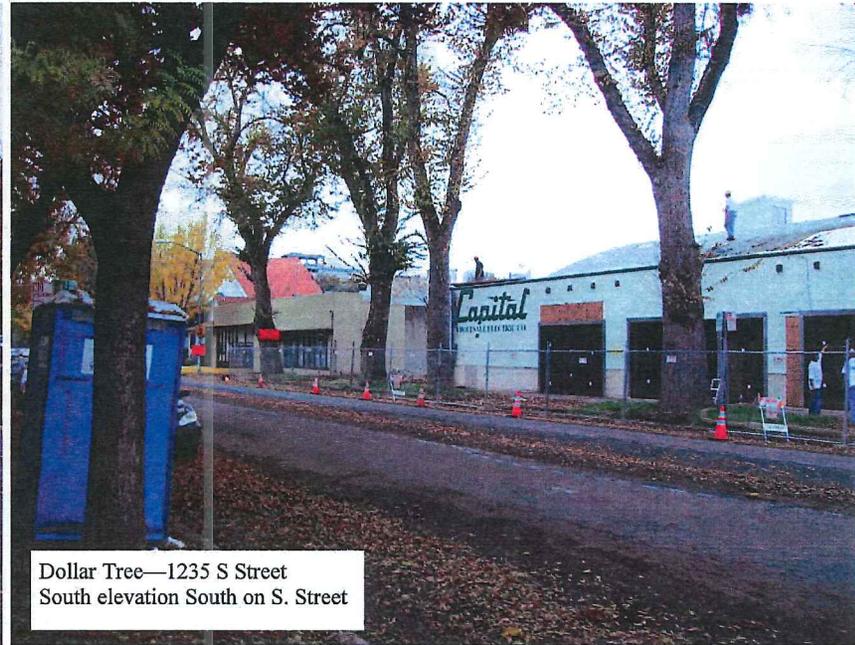
Dollar Tree—1235 S Street
West elevation from S Street



Dollar Tree—1235 S Street
North elevation from 13th Street



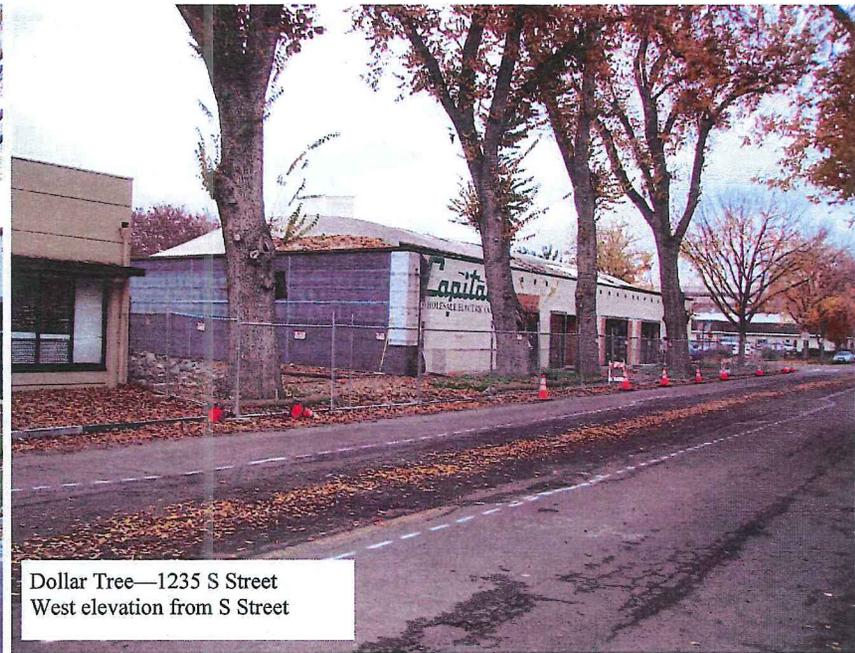
Dollar Tree—1235 S Street
South elevation from 13th Street



Dollar Tree—1235 S Street
South elevation South on S. Street

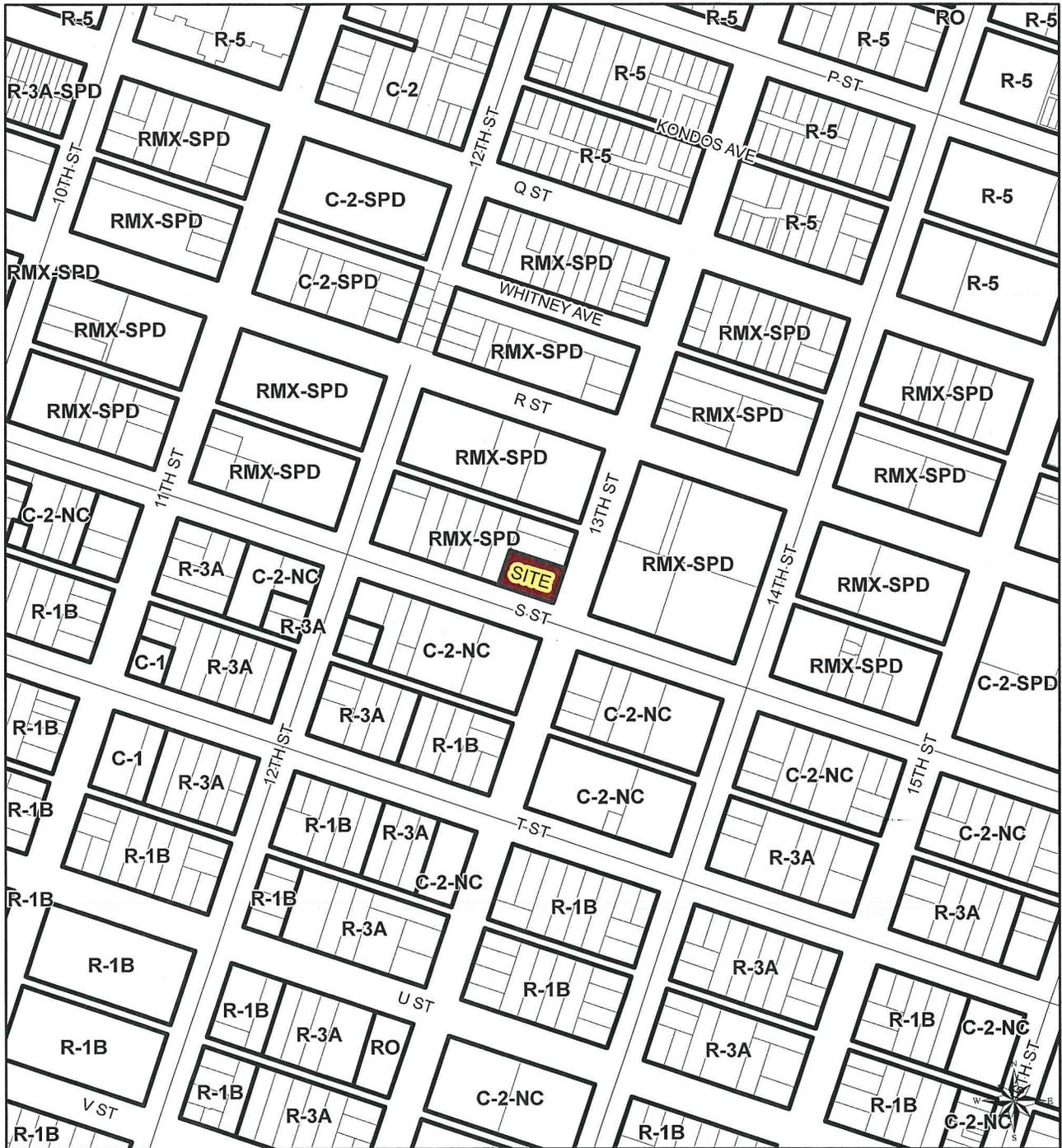


Dollar Tree—1235 S Street
West on S Street from 13th Street

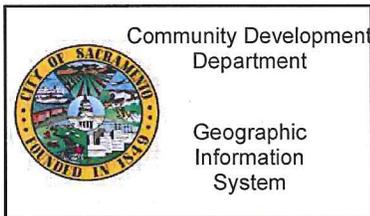


Dollar Tree—1235 S Street
West elevation from S Street

Attachment 3



0 50100
 Feet



April 14, 2011

P10-090

1235 S Street
 009-0081-009
 RMX-SPD zone

Variance:
 Additional Attached Signage.
 R Street Corridor DR





**CITY OF SACRAMENTO
CALIFORNIA**

COMMUNITY DEVELOPMENT
DEPARTMENT

915 I STREET, 3rd Floor
SACRAMENTO, CA 95814

PHONE 916-808-5656

FAX 916-808-7480

DESIGN DIRECTOR LEVEL PROJECT REVIEW

DR Number:	DR10-098	Applicant:	Chris Taylor
Address:	1235 S Street	Date Filed:	May 10, 2010
Description:	Commercial Rehab	Date Approved:	May 28, 2010
APN:	009-0081-008, -009, -010	Staff Contact:	Matthew Sites, 808-7646

DESIGN DIRECTOR CONDITIONS OF APPROVAL:

This project subject to Design Director level review has been deemed to be in substantial compliance with appropriate guidelines and is therefore approved at staff level with the following conditions of approval:

Site Conditions:

The design of the site (see plans attached) is hereby approved subject to the following conditions. These conditions must be met prior to the issuance of a building permit:

1. The project shall have building setbacks and entries as indicated in the exhibits, and meet all Department of Transportation Conditions of Approval.
2. Auto access and site layout shall be as indicated in the report and exhibits.
3. Existing street trees shall be retained per approved plans.
4. Landscaping shall be provided per approved plans.
5. A CMU trash enclosure with brick veneer and prefinished metal gates shall be provided per approved plans.
6. Bicycle parking shall be provided in the public right of way along S Street.
7. Any site mechanical equipment proposed shall be screened as necessary to fit in with the design of the new building. Backflow prevention devices, SMUD boxes, etc., shall be placed where not visible from street views, and screened from any pedestrian view. The Applicant shall submit final mechanical locations and screening to Design Review staff for review and approval prior to Building Permit issuance.

Building Conditions:

The design of the building (see plans attached) is hereby approved subject to the following conditions:

8. The design of the building shall be as indicated on the final plans and color and material board.
9. Final heights and massing shall be as indicated on the plans. The building elevations shall have a consistency of detail and quality as indicated on the plans.
10. Smooth finished cement plaster over existing CMU walls shall be provided per approved plans.
11. Brick veneer pilasters with precast concrete plinths and precast concrete medallions shall be provided per approved plans. Soldier course and a running bond shall be provided per approved plans.
12. A brick wainscot with soldier course sill shall be provided per approved plans.
13. Precast concrete cornice shall be provided per approved plans.
14. Existing windows and doors shall be removed per approved plans.
15. Bronze anodized aluminum storefront system windows and doors with clear glazing shall be provided per approved plans.
16. Bronze anodized aluminum storefront system display windows with clear glazing shall be provided per approved plans.
17. Existing roll up loading door shall be retained and repainted to match new color palette.
18. New prefinished metal service door shall be provided at north elevation per approved plans.
19. Existing awnings shall be removed per approved plans.
20. Prefinished metal rod suspended metal canopies shall be provided per approved plans.
21. Existing scuppers and downspouts shall be provided per approved plans.
22. Lighting shall be provided per approved plans and cut sheets.
23. Existing mechanical systems shall be relocated behind prefinished metal louver mechanical screen per approved plans.
24. Existing mechanical hatches and dormer vent shall be retained per approved plans.

25. Any proposed mechanical equipment shall not exceed the height and be fully screened by the raised parapet wall. All roof mounted HVAC or mechanical equipment shall be located towards the center of the structure and not be visible from any street views.

Signage Conditions:

The design of the site (see plans attached) is hereby approved subject to the following conditions:

26. Staff recommends a non-illuminated prefinished cut aluminum letter be provided above main entry canopy.
27. Staff recommends internally illuminated individual channel letters be provided at area designated in the approved plans.
28. Signage criteria for the project shall be submitted to Design Review staff and the City Sign Coordinator for review and approval prior to sign permit issuance.

Department of Transportation Conditions:

The design of the signage (see plans attached) is hereby approved subject to the following conditions:

29. The applicant shall repair/reconstruct any existing deteriorated or Non-ADA compliant portions of the curb, gutter and sidewalk fronting the property along "S" and 13th Streets per City code and to the satisfaction of the Department of Transportation.
30. The applicant shall remove any exiting driveways that are not in use any more for the building. There appears to be one driveway on S street and one on 13th Street that are not planned to be in use for the building operations.
31. The applicant shall apply fresh paint for the loading zone along 13th street where the planned deliveries are to take place.
32. All new driveways shall be designed and constructed to City Standards and to the satisfaction of the Department of Transportation. The applicant shall apply for driveway permits for all new curb cuts, and shall comply with all the required signage and markings for such driveways.
33. The site plan shall conform to A.D.A. requirements in all respects.
34. The site plan shall conform to the parking requirements set forth in chapter 17 of City Code (Zoning Ordinance).
35. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the

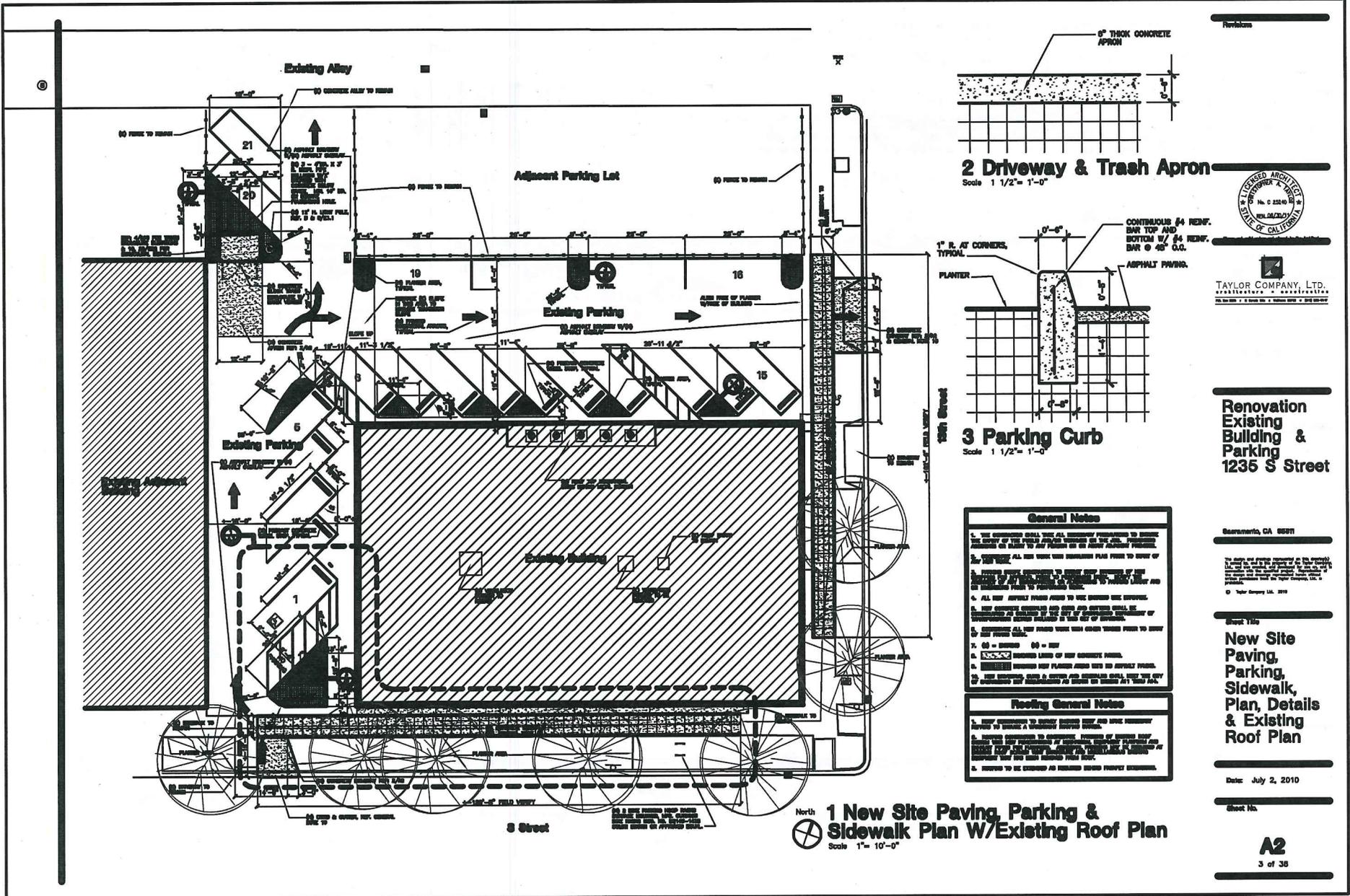
area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Transportation.

General Conditions:

36. No building permit shall be issued until the expiration of the ten (10) business day request for reconsideration period. If reconsideration is requested, no permit shall be issued until final approval is received.
37. Any person dissatisfied with the staff action has the right to request reconsideration by the Design Director. Requests for reconsideration must be received within ten (10) business days of the staff action. The decision of the Design Director after reconsideration shall be final and shall not be subject to appeal.
38. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any changes to the final set of plans stamped by Design Review staff shall be subject to review and approval prior to any changes. Applicant shall comply with all current building code requirements.
39. The approval shall be deemed automatically revoked unless required permits have been issued and construction begun within three years of the date of the approval. Prior to expiration, an extension of time may be granted by the Director upon written request of the applicant.
40. The Conditions of Approval shall be scanned and inserted into the final set as a general sheet to be submitted for building permit.



Matthew Sites, Associate AIA, LEED AP
Design Review Staff



Revisions



TAYLOR COMPANY, LTD.
ARCHITECTS & ENGINEERS
1000 S. G STREET, SUITE 200, SAN ANTONIO, TEXAS 78204
PH: 214-520-1100 FAX: 214-520-1101

Renovation Existing Building & Parking 1235 S Street

San Antonio, CA 95071

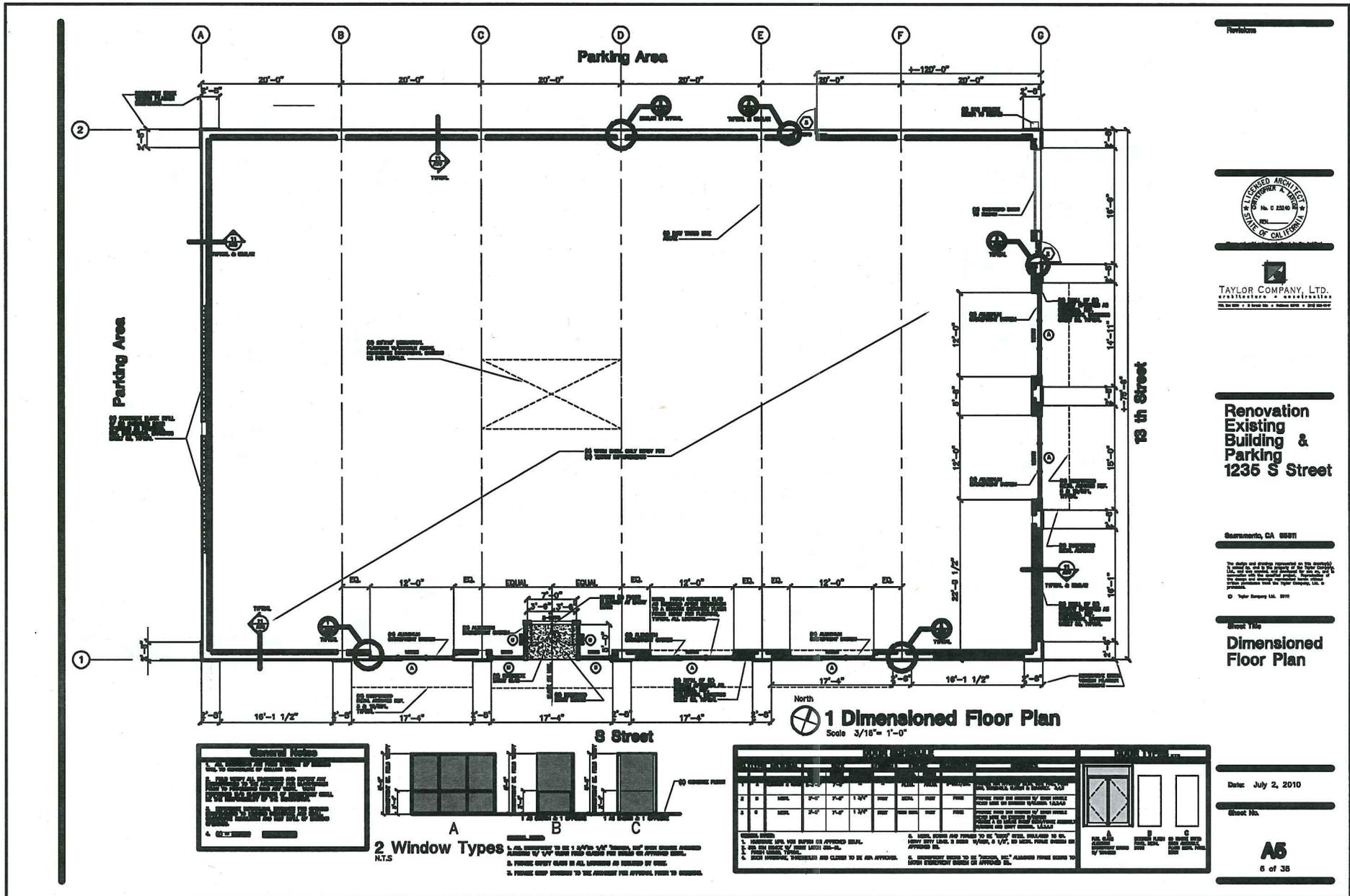
The above and attached documents are the property of Taylor Company, Ltd. and shall not be used for any other project without the written consent of Taylor Company, Ltd. All rights reserved. © Taylor Company, Ltd. 2010

Sheet 113a
New Site Paving, Parking, Sidewalk, Plan, Details & Existing Roof Plan

Date: July 2, 2010

Sheet No.

A2
3 of 38



Revisions



TAYLOR COMPANY, LTD.
 ARCHITECTS & ENGINEERS
 1235 S STREET, SUITE 100, GARDEN GROVE, CA 92641

**Renovation
 Existing Building &
 Parking
 1235 S Street**

Gardenside, CA 92641

The design and drawings incorporated on this contract shall be held in strict confidence and shall not be used for any other project without the written consent of the architect. The architect shall not be responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by the contractor.

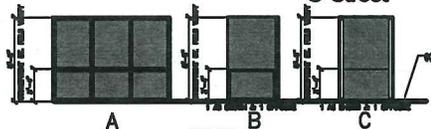
© Taylor Company Ltd. 2010

Sheet Title
**Dimensioned
 Floor Plan**

Date: July 2, 2010
 Sheet No.

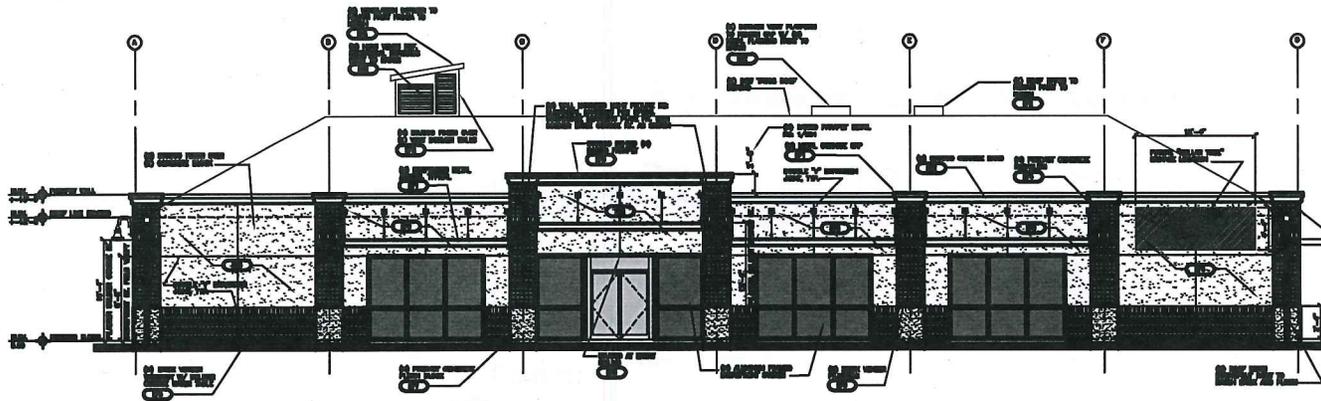
A5
 6 of 36

General Notes
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.



2 Window Types
 N.T.S.
 1. WINDOW TYPES TO BE 1 1/2\"/>

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	WINDOW TYPE A	12	SQ. FT.	120.00	1440.00
2	WINDOW TYPE B	8	SQ. FT.	80.00	640.00
3	WINDOW TYPE C	4	SQ. FT.	40.00	160.00
SUBTOTAL					2240.00
TOTAL					2240.00



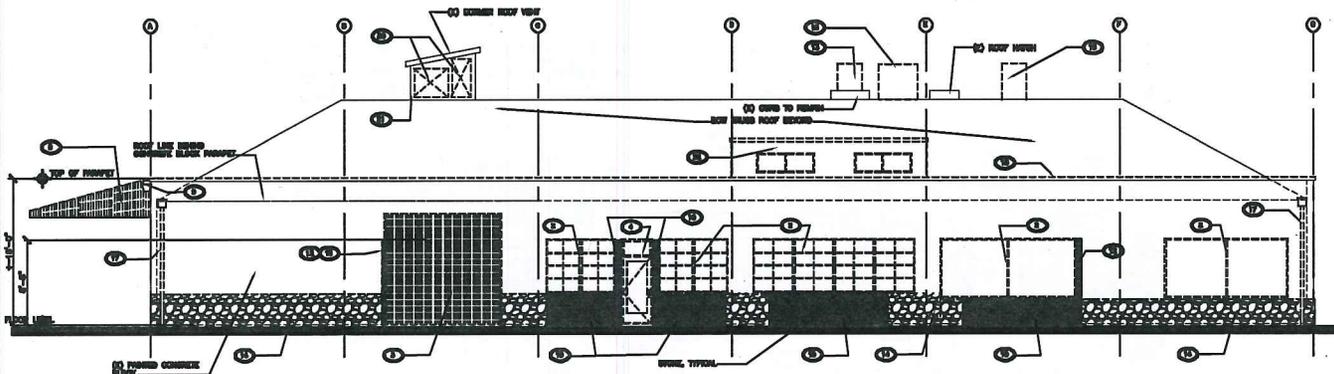
SYMBOL NO.	MATERIAL DESCRIPTION	REMARKS
(1)	REMOVE EXISTING ROOF PANELS	
(2)	REMOVE EXISTING ROOF PANELS	
(3)	REMOVE EXISTING ROOF PANELS	
(4)	REMOVE EXISTING ROOF PANELS	
(5)	REMOVE EXISTING ROOF PANELS	
(6)	REMOVE EXISTING ROOF PANELS	
(7)	REMOVE EXISTING ROOF PANELS	
(8)	REMOVE EXISTING ROOF PANELS	
(9)	REMOVE EXISTING ROOF PANELS	
(10)	REMOVE EXISTING ROOF PANELS	
(11)	REMOVE EXISTING ROOF PANELS	
(12)	REMOVE EXISTING ROOF PANELS	
(13)	REMOVE EXISTING ROOF PANELS	
(14)	REMOVE EXISTING ROOF PANELS	
(15)	REMOVE EXISTING ROOF PANELS	
(16)	REMOVE EXISTING ROOF PANELS	
(17)	REMOVE EXISTING ROOF PANELS	

1 New S Street (South) Elevation

Scale 3/16" = 1'-0"

Abbreviations
 (1) = REMOVE
 (2) = DEMO

General Notes
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR CONSTRUCTION.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR CONSTRUCTION.



2 Demolition S Street (South) Elevation

Scale 3/16" = 1'-0"

Symbol Key
 (1) = REMOVE
 (2) = DEMO

Demolition Notes:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR CONSTRUCTION.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR CONSTRUCTION.

Demolition Key Notes:

- (1) REMOVE EXISTING ROOF PANELS
- (2) REMOVE EXISTING ROOF PANELS
- (3) REMOVE EXISTING ROOF PANELS
- (4) REMOVE EXISTING ROOF PANELS
- (5) REMOVE EXISTING ROOF PANELS
- (6) REMOVE EXISTING ROOF PANELS
- (7) REMOVE EXISTING ROOF PANELS
- (8) REMOVE EXISTING ROOF PANELS
- (9) REMOVE EXISTING ROOF PANELS
- (10) REMOVE EXISTING ROOF PANELS
- (11) REMOVE EXISTING ROOF PANELS
- (12) REMOVE EXISTING ROOF PANELS
- (13) REMOVE EXISTING ROOF PANELS
- (14) REMOVE EXISTING ROOF PANELS
- (15) REMOVE EXISTING ROOF PANELS
- (16) REMOVE EXISTING ROOF PANELS
- (17) REMOVE EXISTING ROOF PANELS



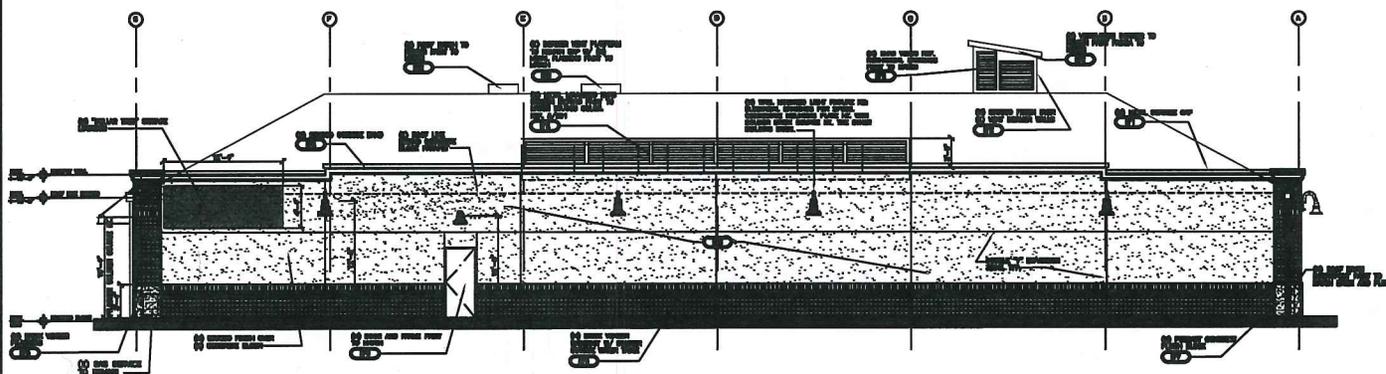
TAYLOR COMPANY, LTD.
 ARCHITECTS & ENGINEERS
 1234 MARKET STREET, SAN FRANCISCO, CALIF. 94102

Renovation Existing Building & Parking 1235 S Street

San Francisco, CA 94111
 Taylor Company, Ltd. 2010

Sheet 115 New & Demolition Exterior Elevations

Date: July 2, 2010
 Sheet No.
A6
 7 of 38



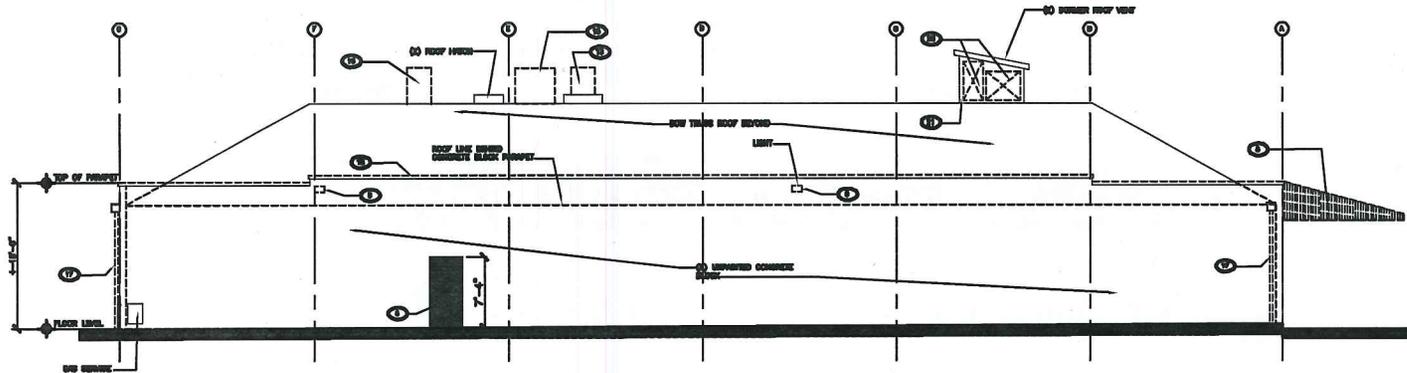
1 New Parking Side (North) Elevation

Scale 3/16" = 1'-0"

Abbreviations
 00 = REMOVE
 01 = NEW

General Note
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

EXTERIOR FINISH SCHEDULE		
FINISH NO.	MATERIAL DESCRIPTION	REMARKS
00	REMOVE EXISTING CONCRETE	
01	INSTALL NEW CONCRETE	
02	INSTALL NEW GROUT	
03	INSTALL NEW PLASTER	
04	INSTALL NEW STUCCO	
05	INSTALL NEW PAINT	
06	INSTALL NEW TILE	
07	INSTALL NEW GLASS	
08	INSTALL NEW METAL	
09	INSTALL NEW WOOD	
10	INSTALL NEW BRICK	
11	INSTALL NEW BLOCK	
12	INSTALL NEW CMU	
13	INSTALL NEW CONCRETE BLOCK	
14	INSTALL NEW CONCRETE WALL	
15	INSTALL NEW CONCRETE CURB	
16	INSTALL NEW CONCRETE DRIVE	
17	INSTALL NEW CONCRETE SIDEWALK	
18	INSTALL NEW CONCRETE CURB	
19	INSTALL NEW CONCRETE DRIVE	
20	INSTALL NEW CONCRETE SIDEWALK	
21	INSTALL NEW CONCRETE CURB	
22	INSTALL NEW CONCRETE DRIVE	
23	INSTALL NEW CONCRETE SIDEWALK	
24	INSTALL NEW CONCRETE CURB	
25	INSTALL NEW CONCRETE DRIVE	
26	INSTALL NEW CONCRETE SIDEWALK	
27	INSTALL NEW CONCRETE CURB	
28	INSTALL NEW CONCRETE DRIVE	
29	INSTALL NEW CONCRETE SIDEWALK	
30	INSTALL NEW CONCRETE CURB	
31	INSTALL NEW CONCRETE DRIVE	
32	INSTALL NEW CONCRETE SIDEWALK	
33	INSTALL NEW CONCRETE CURB	
34	INSTALL NEW CONCRETE DRIVE	
35	INSTALL NEW CONCRETE SIDEWALK	
36	INSTALL NEW CONCRETE CURB	
37	INSTALL NEW CONCRETE DRIVE	
38	INSTALL NEW CONCRETE SIDEWALK	
39	INSTALL NEW CONCRETE CURB	
40	INSTALL NEW CONCRETE DRIVE	
41	INSTALL NEW CONCRETE SIDEWALK	
42	INSTALL NEW CONCRETE CURB	
43	INSTALL NEW CONCRETE DRIVE	
44	INSTALL NEW CONCRETE SIDEWALK	
45	INSTALL NEW CONCRETE CURB	
46	INSTALL NEW CONCRETE DRIVE	
47	INSTALL NEW CONCRETE SIDEWALK	
48	INSTALL NEW CONCRETE CURB	
49	INSTALL NEW CONCRETE DRIVE	
50	INSTALL NEW CONCRETE SIDEWALK	
51	INSTALL NEW CONCRETE CURB	
52	INSTALL NEW CONCRETE DRIVE	
53	INSTALL NEW CONCRETE SIDEWALK	
54	INSTALL NEW CONCRETE CURB	
55	INSTALL NEW CONCRETE DRIVE	
56	INSTALL NEW CONCRETE SIDEWALK	
57	INSTALL NEW CONCRETE CURB	
58	INSTALL NEW CONCRETE DRIVE	
59	INSTALL NEW CONCRETE SIDEWALK	
60	INSTALL NEW CONCRETE CURB	
61	INSTALL NEW CONCRETE DRIVE	
62	INSTALL NEW CONCRETE SIDEWALK	
63	INSTALL NEW CONCRETE CURB	
64	INSTALL NEW CONCRETE DRIVE	
65	INSTALL NEW CONCRETE SIDEWALK	
66	INSTALL NEW CONCRETE CURB	
67	INSTALL NEW CONCRETE DRIVE	
68	INSTALL NEW CONCRETE SIDEWALK	
69	INSTALL NEW CONCRETE CURB	
70	INSTALL NEW CONCRETE DRIVE	
71	INSTALL NEW CONCRETE SIDEWALK	
72	INSTALL NEW CONCRETE CURB	
73	INSTALL NEW CONCRETE DRIVE	
74	INSTALL NEW CONCRETE SIDEWALK	
75	INSTALL NEW CONCRETE CURB	
76	INSTALL NEW CONCRETE DRIVE	
77	INSTALL NEW CONCRETE SIDEWALK	
78	INSTALL NEW CONCRETE CURB	
79	INSTALL NEW CONCRETE DRIVE	
80	INSTALL NEW CONCRETE SIDEWALK	
81	INSTALL NEW CONCRETE CURB	
82	INSTALL NEW CONCRETE DRIVE	
83	INSTALL NEW CONCRETE SIDEWALK	
84	INSTALL NEW CONCRETE CURB	
85	INSTALL NEW CONCRETE DRIVE	
86	INSTALL NEW CONCRETE SIDEWALK	
87	INSTALL NEW CONCRETE CURB	
88	INSTALL NEW CONCRETE DRIVE	
89	INSTALL NEW CONCRETE SIDEWALK	
90	INSTALL NEW CONCRETE CURB	
91	INSTALL NEW CONCRETE DRIVE	
92	INSTALL NEW CONCRETE SIDEWALK	
93	INSTALL NEW CONCRETE CURB	
94	INSTALL NEW CONCRETE DRIVE	
95	INSTALL NEW CONCRETE SIDEWALK	
96	INSTALL NEW CONCRETE CURB	
97	INSTALL NEW CONCRETE DRIVE	
98	INSTALL NEW CONCRETE SIDEWALK	
99	INSTALL NEW CONCRETE CURB	
100	INSTALL NEW CONCRETE DRIVE	



2 Demolition Parking Side (North) Elevation

Scale 3/16" = 1'-0"

Symbol Key
 00 = REMOVE
 01 = NEW

Demolition Note:

ALL EXISTING MATERIALS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

Demolition Key Note:

- 01 REMOVE EXISTING CONCRETE
- 02 REMOVE EXISTING ROOF
- 03 REMOVE EXISTING WALL
- 04 REMOVE EXISTING WINDOW
- 05 REMOVE EXISTING DOOR
- 06 REMOVE EXISTING METAL
- 07 REMOVE EXISTING WOOD
- 08 REMOVE EXISTING BRICK
- 09 REMOVE EXISTING BLOCK
- 10 REMOVE EXISTING CMU
- 11 REMOVE EXISTING CONCRETE BLOCK
- 12 REMOVE EXISTING CONCRETE WALL
- 13 REMOVE EXISTING CONCRETE CURB
- 14 REMOVE EXISTING CONCRETE DRIVE
- 15 REMOVE EXISTING CONCRETE SIDEWALK
- 16 REMOVE EXISTING CONCRETE CURB
- 17 REMOVE EXISTING CONCRETE DRIVE
- 18 REMOVE EXISTING CONCRETE SIDEWALK
- 19 REMOVE EXISTING CONCRETE CURB
- 20 REMOVE EXISTING CONCRETE DRIVE
- 21 REMOVE EXISTING CONCRETE SIDEWALK
- 22 REMOVE EXISTING CONCRETE CURB
- 23 REMOVE EXISTING CONCRETE DRIVE
- 24 REMOVE EXISTING CONCRETE SIDEWALK
- 25 REMOVE EXISTING CONCRETE CURB
- 26 REMOVE EXISTING CONCRETE DRIVE
- 27 REMOVE EXISTING CONCRETE SIDEWALK
- 28 REMOVE EXISTING CONCRETE CURB
- 29 REMOVE EXISTING CONCRETE DRIVE
- 30 REMOVE EXISTING CONCRETE SIDEWALK
- 31 REMOVE EXISTING CONCRETE CURB
- 32 REMOVE EXISTING CONCRETE DRIVE
- 33 REMOVE EXISTING CONCRETE SIDEWALK
- 34 REMOVE EXISTING CONCRETE CURB
- 35 REMOVE EXISTING CONCRETE DRIVE
- 36 REMOVE EXISTING CONCRETE SIDEWALK
- 37 REMOVE EXISTING CONCRETE CURB
- 38 REMOVE EXISTING CONCRETE DRIVE
- 39 REMOVE EXISTING CONCRETE SIDEWALK
- 40 REMOVE EXISTING CONCRETE CURB
- 41 REMOVE EXISTING CONCRETE DRIVE
- 42 REMOVE EXISTING CONCRETE SIDEWALK
- 43 REMOVE EXISTING CONCRETE CURB
- 44 REMOVE EXISTING CONCRETE DRIVE
- 45 REMOVE EXISTING CONCRETE SIDEWALK
- 46 REMOVE EXISTING CONCRETE CURB
- 47 REMOVE EXISTING CONCRETE DRIVE
- 48 REMOVE EXISTING CONCRETE SIDEWALK
- 49 REMOVE EXISTING CONCRETE CURB
- 50 REMOVE EXISTING CONCRETE DRIVE
- 51 REMOVE EXISTING CONCRETE SIDEWALK
- 52 REMOVE EXISTING CONCRETE CURB
- 53 REMOVE EXISTING CONCRETE DRIVE
- 54 REMOVE EXISTING CONCRETE SIDEWALK
- 55 REMOVE EXISTING CONCRETE CURB
- 56 REMOVE EXISTING CONCRETE DRIVE
- 57 REMOVE EXISTING CONCRETE SIDEWALK
- 58 REMOVE EXISTING CONCRETE CURB
- 59 REMOVE EXISTING CONCRETE DRIVE
- 60 REMOVE EXISTING CONCRETE SIDEWALK
- 61 REMOVE EXISTING CONCRETE CURB
- 62 REMOVE EXISTING CONCRETE DRIVE
- 63 REMOVE EXISTING CONCRETE SIDEWALK
- 64 REMOVE EXISTING CONCRETE CURB
- 65 REMOVE EXISTING CONCRETE DRIVE
- 66 REMOVE EXISTING CONCRETE SIDEWALK
- 67 REMOVE EXISTING CONCRETE CURB
- 68 REMOVE EXISTING CONCRETE DRIVE
- 69 REMOVE EXISTING CONCRETE SIDEWALK
- 70 REMOVE EXISTING CONCRETE CURB
- 71 REMOVE EXISTING CONCRETE DRIVE
- 72 REMOVE EXISTING CONCRETE SIDEWALK
- 73 REMOVE EXISTING CONCRETE CURB
- 74 REMOVE EXISTING CONCRETE DRIVE
- 75 REMOVE EXISTING CONCRETE SIDEWALK
- 76 REMOVE EXISTING CONCRETE CURB
- 77 REMOVE EXISTING CONCRETE DRIVE
- 78 REMOVE EXISTING CONCRETE SIDEWALK
- 79 REMOVE EXISTING CONCRETE CURB
- 80 REMOVE EXISTING CONCRETE DRIVE
- 81 REMOVE EXISTING CONCRETE SIDEWALK
- 82 REMOVE EXISTING CONCRETE CURB
- 83 REMOVE EXISTING CONCRETE DRIVE
- 84 REMOVE EXISTING CONCRETE SIDEWALK
- 85 REMOVE EXISTING CONCRETE CURB
- 86 REMOVE EXISTING CONCRETE DRIVE
- 87 REMOVE EXISTING CONCRETE SIDEWALK
- 88 REMOVE EXISTING CONCRETE CURB
- 89 REMOVE EXISTING CONCRETE DRIVE
- 90 REMOVE EXISTING CONCRETE SIDEWALK
- 91 REMOVE EXISTING CONCRETE CURB
- 92 REMOVE EXISTING CONCRETE DRIVE
- 93 REMOVE EXISTING CONCRETE SIDEWALK
- 94 REMOVE EXISTING CONCRETE CURB
- 95 REMOVE EXISTING CONCRETE DRIVE
- 96 REMOVE EXISTING CONCRETE SIDEWALK
- 97 REMOVE EXISTING CONCRETE CURB
- 98 REMOVE EXISTING CONCRETE DRIVE
- 99 REMOVE EXISTING CONCRETE SIDEWALK
- 100 REMOVE EXISTING CONCRETE CURB

Provisions



Taylor Company, Ltd.
 ARCHITECTS - CONSULTANTS
 1000 S. GARDEN ST. SUITE 200
 ANAHEIM, CA 92805

Renovation Existing Building & Parking 1235 S Street

San Francisco, CA 94107

© Taylor Company, Ltd. 2010

Sheet Title
New & Demolition Exterior Elevations

Date: July 2, 2010

Sheet No.

A8
 8 of 38

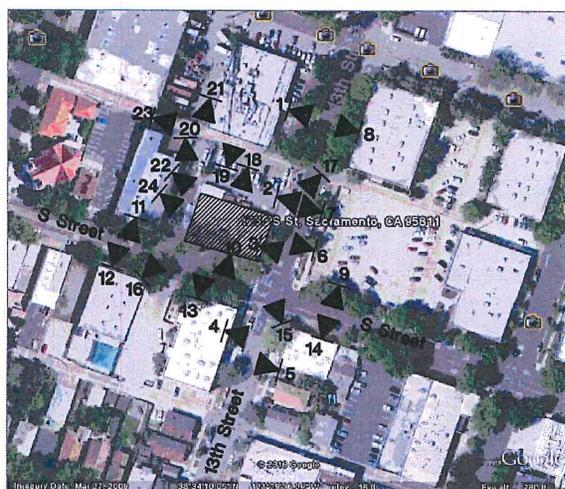
Revisions



1 2 3 4 5 6 7 8



9 10



11 12



TAYLOR COMPANY, LTD.
ARCHITECTS • ENGINEERS

**Renovation
Existing
Building &
Parking
1235 S Street**

Sacramento, CA 95811

The design and drawings submitted on this project are the property of Taylor Company, Ltd. and shall remain the property of Taylor Company, Ltd. and shall not be used for any other project without the written consent of Taylor Company, Ltd. in writing.

© Taylor Company Ltd. 2010



13 14



15 16

Sheet Title
**Design
Review
Submittal**



17 18 19 20 21 22 23 24

**Project Site
Photos**

Date: May 7, 2010

Sheet No.

DR11
11 of 11