



# REPORT TO PLANNING COMMISSION City of Sacramento

# 4

915 I Street, Sacramento, CA 95814-2671

PUBLIC HEARING  
**October 27, 2011**

**To:** Members of the Planning Commission

**Subject: McDonalds on Stockton Boulevard and 2<sup>nd</sup> Avenue.** A request to construct a new 3,897 square foot restaurant with drive-through facility on approximately .99 acres in the General Commercial (C-2) zone. (P10-071)

**A.** Environmental Determination: Mitigated Negative Declaration

**B.** Special Permit to construct a new restaurant with drive-through service facility within the General Commercial (C-2) zone.

**Location/Council District:**

Northwest corner of Stockton Boulevard and 2<sup>nd</sup> Avenue, 2624 Stockton Boulevard, Sacramento, CA 95817

Assessor's Parcel Number 014-0085-046

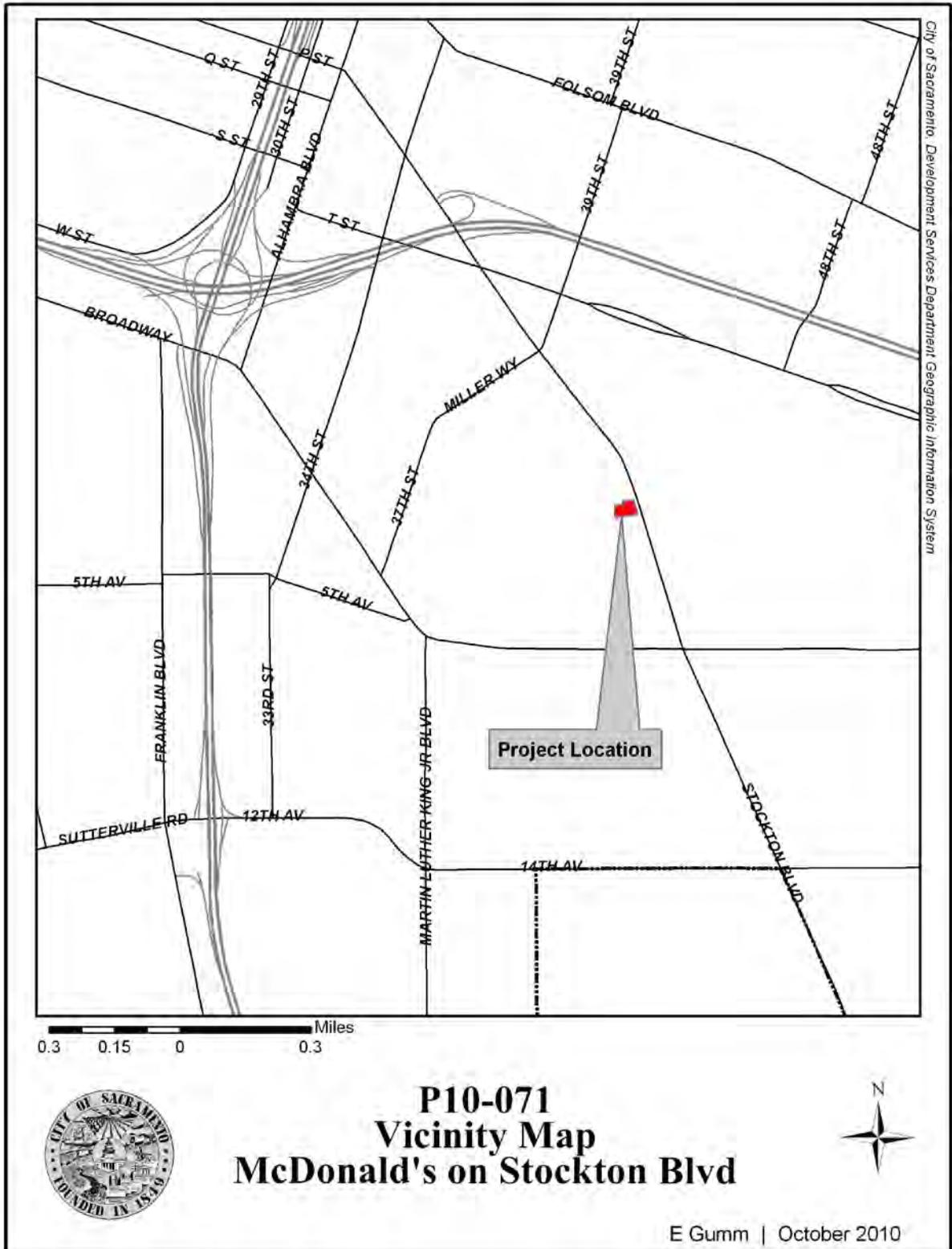
Council District 5

**Recommendation:** Staff recommends that the Commission deny the request based on the findings listed in Attachment 1. The Commission has final approval authority over items A & B above, and its decision may be appealed to City Council. At the time of writing the report **the outstanding neighborhood issues associated with the project involve site layout, building design, traffic, quality of life, air quality, noise, and proposed hours of operation.**

**Contact:** Heather Forest, Associate Planner, 808-5008; Lindsey Alagozian, Senior Planner, (916) 808-2659

**Applicant:** Mark McIlvain, CRM Architects, 5921 Folsom Boulevard, Sacramento, CA 95819, (916) 451-1500

**Owner:** John Saca, Sacramento Development for Stockton Boulevard Partners LLC., 77 Cadillac Drive, Suite 150, Sacramento, CA 95864, (916) 920-0400



**Summary:** The applicant seeks to construct a new 3,897 square foot restaurant with drive-through, on approximately .99 acres within the General Commercial (C-2) zone. City staff does not support the proposed project as it is inconsistent with the goals and policies contained in the 2030 General Plan and the design of the proposed restaurant conflicts with the Oak Park Design Guidelines.

<b>Table 1: Project Information</b>
<b>General Plan designation:</b> Urban Corridor Low
<b>Existing zoning of site:</b> General Commercial (C-2)
<b>Existing use of site:</b> Vacant
<b>Property area:</b> 0.99± acres or 42,912 square feet

### **Background Information:**

The site is an existing vacant parcel located on the northwest corner of Stockton Boulevard and 2<sup>nd</sup> Avenue.

On May 8, 2003, the City Council approved entitlements for the project site and adjacent parcels to the north, for the project known as The Stockton Boulevard Mixed Use Building (P02-009). The Stockton Boulevard Mixed Use Building project consisted of one level of subterranean parking, 6,000 square feet of ground level retail and parking, 54,800 square feet of second and third level office space, and 12-market rate apartments located on the fourth level. The Stockton Boulevard Mixed Use Building was not constructed, many of the entitlements expired, and the previously merged parcels, were subsequently subdivided, resulting in the current parcel layout.

The proposed McDonald's restaurant with drive-through facility was submitted on September 30, 2010. On November 5, 2010 city staff sent a letter to the applicant requesting that the site plan be revised to provide a pedestrian-oriented layout, and that the building itself be redesigned in order to be compatible with the surrounding neighborhood. Subsequently, city staff met with the applicant on several occasions re-emphasizing the requested changes; also stating that staff does not support the proposed layout of the project. The applicant chose not to revise the project plans and requested the necessary public hearing. At this time, staff does not support the project as currently proposed.

**Public/Neighborhood Outreach and Comments:** Upon the project submittal, notification of the proposal was sent to WALK Sacramento, Oak Park Business Association, Oak Park Neighborhood Association (OPNA), Oak Park Redevelopment Advisory Committee (RAC), Stockton Boulevard Partnership, and the Medical Center Neighborhood Association. City staff received numerous phone calls, letters, and emails from neighbors and the neighborhood groups, stating concern and opposition to the proposed project. As stated previously, the concerns were in regard to safety, pedestrian accessibility, lighting, noise, proposed hours of operation, quality of life, air

quality, and traffic. All emails and letters received are attached, see Attachment 2. City staff also received 264 pages of a standardized petition, with a total of approximately 1,720 signatures, submitted on behalf of the group Healthy Development of Oak Park. A single page of the entire petition is included as Page 73 of Attachment 2, of the staff report.

### **Environmental Considerations:**

Environmental Planning Services has prepared an Initial Study and a Mitigated Negative Declaration for the proposed project. On March 3, 2009, the City Council approved the 2030 General Plan and certified the Master Environmental Impact Report (Master EIR). Development consistent with the C-2 zoning was included in the Master EIR and the Initial Study prepared for the project examined the project for the purpose of identifying any additional significant environmental effects, or project-specific effects, that could occur with the project and that were not examined in the Master EIR.

The Mitigated Negative Declaration was circulated for public review Monday, August 1, 2011 through Wednesday, August 31, 2011. The City received numerous comment letters regarding the proposed project. The majority of comment letters consist of statements of opposition to the project for a variety of general issues including traffic, noise, lighting, health, quality of life, property values, vagrancy, crime, trash and general plan consistency. A few of the comment letters raised specific concerns with the initial study/draft mitigated negative declaration, but none would require changes to the initial study or mitigated negative declaration that would result in the need for recirculation of the document.

The draft mitigated negative declaration for the McDonald's project is available for review at the following URL:

<http://www.cityofsacramento.org/dsd/planning/environmental-review/eirs/>

CEQA review is not required for projects that the lead agency determines it will not approve. Because staff is recommending denial of the project application, staff has not prepared findings for adoption of the mitigated negative declaration and mitigation monitoring plan. The majority of comments received for this project did not distinguish between typical project comments and comments specifically directed towards the environmental review of the project. Staff reviewed all comment letters for both project and environmental concerns and has attached all letters received in Attachment 2 of this staff report.

### **Policy Considerations:**

#### ***2030 General Plan***

The 2030 General Plan Update was adopted by City Council on March 3, 2009. The 2030 General Plan's goals, policies, and implementation programs define a roadmap to

achieving Sacramento's vision to be the most livable city in America. The 2030 General Plan Update designation of the subject site is Urban Corridor Low, which is defined as:

“Urban Corridor Low includes street corridors that have multistory structures and more-intense uses at major intersections, lower-intensity uses adjacent to neighborhoods, and access to transit service throughout. At major intersections, nodes of intense mixed-use development are bordered by lower-intensity single-use residential, retail, service, and office uses. Street-level frontage of mixed-use projects is developed with pedestrian-oriented uses. The streetscape is appointed with landscaping, lighting, public art, and other pedestrian amenities. (p. 2-88)”

The proposed restaurant with drive-through facility conflict with key urban form characteristics envisioned for parcels designated as Urban Corridor Low. These conflicts include:

- *A development pattern with moderate lot coverage, limited side yard setbacks, and buildings sited up to the corridor to create a consistent wall.*

The proposed restaurant with drive-through comprises approximately 10% of the overall site and does not provide moderate lot coverage. The proposed restaurant with drive-through is situated on the site such that the drive-through lane borders the southern and eastern property lines, creating a large 20' street-side setback and large 43' front setback. The restaurant is therefore not sited up to the corridor, and a consistent street wall development pattern is unattainable.

- *More intense mixed-use development at intersections with stepped down residential uses in between.*

The proposed restaurant with drive-through would be located at the northwest intersection of Stockton Boulevard and 2<sup>nd</sup> Avenue, which should trigger development to be more intense in nature, incorporating a mix of uses. The proposed restaurant with drive-through facility is not a mixed use development as it is a single-story, relatively small stand-alone restaurant. Additionally, the project site directly abuts residential uses to the west, without providing a buffer of less intense uses in between.

- *Building facades and entrances directly addressing the street.*

While the restaurant itself faces Stockton Boulevard, the main entrance is located along the northern elevation, which faces the onsite parking lot. The proposed design does not directly address the street, but in fact places a strong emphasis upon the drive-through facility.

- *Buildings with pedestrian-oriented uses such as outdoor cafes located at the street level.*

The proposed restaurant with drive-through does provide an outdoor patio dining area at the front of the building at street level however; the patio dining area is

disconnected from the sidewalk along Stockton Boulevard as the drive-through exit lane lies between the two. Therefore, pedestrians walking along the sidewalk on Stockton Boulevard must walk through the internal parking lot or drive-through lane in order to reach the outdoor patio dining area, which can be a safety concern. The restaurant with drive-through is therefore, not pedestrian oriented but vehicle oriented.

- *Limited number of curb cuts along arterial streets, with shared and/or rear alley access to parking and service functions.*

The proposed restaurant with drive-through includes a large driveway off of Stockton Boulevard and second smaller driveway off of 2<sup>nd</sup> Avenue. The site plan has been reviewed by the City's Department of Transportation and they do not object to the number of curb cuts. Shared or alley access is not available for the site as the adjacent parcel to the north has already been developed and does not contain viable connections.

- *Attractive pedestrian streetscape, with sidewalks designed to accommodate pedestrian traffic, that includes appropriate landscaping, lighting, and pedestrian amenities/facilities.*

As stated previously, the proposed restaurant with drive-through is not sited directly on the corner of Stockton Boulevard and 2<sup>nd</sup> Avenue, as the drive-through lane lies between the restaurant and the adjacent sidewalks. Pedestrian accessibility to the site is therefore impaired. Furthermore, an onsite sidewalk connecting the restaurant to the existing sidewalks along either Stockton Boulevard or 2<sup>nd</sup> Avenue, is not provided. It is staff's position that pedestrian accommodation has not been met and conflicts strongly with the drive-through facility.

The allowed uses within the Urban Corridor Low as described in the 2030 General Plan includes retail/service uses, such as the proposed project. However, the 2030 General Plan has identified goals and policies related to Corridors, many of which are in direct conflict with the development of the site with a restaurant with drive-through facility as it is not a pedestrian oriented use; such as:

- *Corridors:* Support the development of major circulation corridors that balance their vehicular function with a vibrant mix of uses that contribute to meeting local and citywide needs for retail, services, and housing and provide pedestrian-friendly environments that serve as gathering places for adjacent neighborhoods. (Policy LU 6.1)
- *Corridor Uses:* The City shall encourage residential, mixed-use, retail, service, commercial, and other pedestrian-oriented development along mixed-use corridors to orient to the front of properties with entries and stoops fronting the street. (Policy LU 6.1.5)

- *Visual and Physical Character:* The City shall promote development patterns and streetscape improvements that transform the visual and physical character of typical automobile-oriented corridors by:
  - Enhancing the definition of the corridor by locating buildings at the back of the sidewalk, and establishing a consistent street wall. (Policy LU 6.1.12)

In addition to the 2030 General Plan goals and policies related to Corridors, the proposed restaurant with drive-through directly conflicts with Citywide Land use and Urban Design policies in the General Plan as it is not a pedestrian oriented use and directly adjacent to an established residential neighborhood. Such policies include:

- *Protect Established Neighborhoods.* The City shall preserve, protect, and enhance established neighborhoods by providing sensitive transitions between these neighborhoods and adjoining areas, and requiring new development, both private and public, to respect and respond to those existing physical characteristics, buildings, streetscapes, open spaces, and urban form that contribute to the overall character and livability of the neighborhood. (Policy LU 2.1.2)
- *Complete and Well-Structured Neighborhoods.* The City shall promote the design of complete and well-structured neighborhoods whose physical layout and land use mix promote walking to services, biking, and transit use; foster community pride; enhance neighborhood identity; ensure public safety; are family-friendly and address the needs of all ages and abilities. (LU 2.1.3)
- *Buildings that Engage the Street.* The City shall require buildings to be oriented to and actively engage and complete the public realm through such features as building orientation, build-to and setback lines, façade articulation, ground-floor transparency, and location of parking. (LU 2.7.7)

Although the Floor Area Ratio (FAR) standard within the 2030 General Plan for Urban Corridor Low development is 0.30 minimum and 3.00 maximum, the project site is exempt from the minimum FAR requirement as the site is less than one acre in size, and designated for such a commercial use.

Overall, the proposed McDonald's restaurant with drive-through does not meet the 2030 General Plan goals and policies related to Corridors, nor does it comply with many other policies related to larger Citywide Land Use and Urban Design principles because the proposed site layout is not pedestrian oriented, is not engaging to the Stockton Boulevard streetscape, and does not provide a buffer to the adjacent residential uses to the west.

### **Project Design:**

### **Land Use**

The applicant proposes to construct a new 3,897 square foot McDonald's Restaurant with drive-through window. Restaurants which meet the City's development standards are allowed within the General Commercial (C-2) zone without the approval of

entitlements. However, a Special Permit pursuant to 17.24.050(44) of the Zoning Code is required for a drive-through service facility.

In evaluating Special Permit proposals of this type, the Commission is required to make the following findings:

1. *Sound Principles of Land Use. A special permit shall be granted upon sound principles of land use.*

The Special Permit for the drive-through should not be granted as the proposed project is not based upon sound principles of land use in that it is inconsistent with the goals and policies of the 2030 General Plan. The proposed project is inconsistent with the goals and policies relating to providing pedestrian oriented development within Corridors, locating buildings at the back of sidewalk so that they engage the street, and promotion of walking to services, biking, and transit use. Additionally, the proposed project is not based upon sound principles of land use in that the design of facility conflicts with the Oak Park Design Guidelines.

2. *Not Injurious. A special permit shall not be granted if it will be detrimental to the public health, safety or welfare, or if it results in the creation of a nuisance.*

As proposed the drive-through service facility is detrimental to the public health, safety or welfare because it directly impedes pedestrian movement from adjacent public sidewalks to the proposed restaurant, thereby jeopardizing the safety of pedestrians.

3. *Must Relate to a Plan. A special permit use must comply with the objectives of the general or specific plan for the area in which it is to be located.*

The proposed drive-through service facility does not comply with the objectives of the 2030 General Plan in that the project site layout, including the location of the drive-through, conflicts with the urban form guidelines for the Urban Corridor Low General Plan designation by not siting the building up to the corridor, the main entrance does not directly address the street, and the layout of the site does is not pedestrian oriented. The proposed drive-through service facility also does not comply with many other goals and policies contained in the 2030 General Plan, by not providing a sensitive transition between the existing neighborhood and the new commercial use, and the layout of the site which does not promote walking to services, biking, and transit. Additionally, the design of the building as proposed conflicts with the Oak Park Design Guidelines.

4. *The design and location of the facility will not contribute to increased congestion on public or private streets or alleys adjacent to the subject property;*

A Traffic Impact Study for the proposed project was prepared by the City's Department of Transportation and it has been determined that, as designed, the project will not contribute to increased congestion on streets adjacent to the subject property.

5. *The design or location of the facility will not impede access to or exiting from the parking lot serving the business, impair normal circulation within the parking lot or impede pedestrian movement;*

As evaluated in the Traffic Impact Study for the proposed project, and reviewed by the City's Department of Transportation, the design and location of the drive-through will not impede access to or exiting from the parking lot for the McDonald's restaurant, nor will it impair normal circulation within the parking lot. However, the location of the drive-through lane will directly impede pedestrian movement to/from the adjacent City sidewalks located along Stockton Boulevard and 2<sup>nd</sup> Avenue, as the drive-through lane lies between the sidewalk and the building entrances. Additionally, sidewalks connecting the proposed McDonald's restaurant to the City sidewalks are not proposed, thus impeding direct pedestrian movement on to the site.

6. *The design and location of the facility will not create a nuisance for adjacent properties.*

As the proposed restaurant with drive-through will not be located directly adjacent to the residential properties to the west, it is not expected to create a nuisance. Additionally, an 18' landscaped area will separate the adjacent residential uses from the parking lot. As required by code, a six-foot high solid masonry block wall separating the residential and commercial use will be constructed, in order to reduce environmental aspects associated with the drive-through service facility. Overall, the location and design is similar to other restaurants with drive-through facilities, with the exception being that the drive-through lane impedes pedestrian movement. However, the design and location of the proposed facility is not expected to create a nuisance for adjacent properties.

In addition to the above findings, the Zoning Ordinance establishes the following standards for drive-through service facilities that are to be used in reviewing the adequacy of project design:

1. *A minimum stacking distance of one hundred eight (180) feet shall be provided to each pick-up window or automated machine.*

The proposed drive-through service facility provides a stacking distance in excess of one hundred eighty (180) feet or ten (10) vehicles, thus meeting the minimum stacking distance.

2. *A facility with separate ordering point(s) and pick-up window(s) shall provide*

*stacking space for at least four vehicles in advance of each ordering point and stacking space for at least four vehicles between each ordering point and pick up window.*

The proposed drive-through service facility provides a stacking distance for six vehicles from the entrance to the drive-through lane and the menu/order board, and provides a stacking distance for four vehicles from the menu/order board to the pick-up window. Thus, the proposed drive-through service facility meets the required stacking spaces.

*3. Entrances to drive-through lanes shall be at least twenty-five (25) feet from driveways entering a public or private street or alley.*

The entrance to the proposed drive-through lane would be located approximately eighty (80) feet from the nearest driveway along 2<sup>nd</sup> Avenue, thus meeting the distance requirement.

*4. Drive-through service facilities shall not be considered as justification for reducing the number of required parking spaces.*

The proposed ninety (90) seat McDonald's restaurant is required to provide thirty (30) onsite parking spaces and thirty (30) parking spaces are proposed. Therefore, the parking requirement is met, and a reduction in the number of required parking spaces has not been requested.

*5. The minimum width of each drive-through lane shall be eleven (11) feet. The entrance to the lane and the direction of traffic flow shall be clearly designated by signs and pavement marking or raised curbs.*

The proposed drive-through lane(s) would be approximately twelve (12) feet in width, with directional signs and pavement markings directing the traffic flow, at both the entry and exit points. Therefore, the drive-through requirements have been met.

*6. A solid six-foot high masonry sound wall shall be constructed on the property boundary when the site is contiguous to residentially zoned or used property(ies).*

As part of the proposed project, a new six-foot high CMU wall along the western property boundary would be constructed, where the site is contiguous to residentially zoned properties, thus meeting the requirement.

*7. Operation of the drive-through service facility shall be restricted to between the hours of seven a.m. and ten p.m. when the site is contiguous to residentially zoned or used property(ies) unless the planning commission approves different hours of operation during the review of the special permit.*

The applicant has requested that the hours of the proposed drive-through service facility be between five a.m. and eleven p.m., seven days a week. City staff does not support the requested extension of the proposed drive-through service facility hours as the site is contiguous to residentially zoned/used properties.

**Setbacks, height and bulk**

<b>Table 2: Height and area standards</b>			
<b>Standard</b>	<b>Required</b>	<b>Proposed</b>	<b>Deviation?</b>
Height	35'	23'-4" at corner cap element	no
Front setback	7.5'	43'	no
Side setback	0'	110'	no
Rear setback	15'	130'	no
Street side setback	5'	21'	n/a
Floor Area Ratio (FAR)*	No Minimum to 3.0 Maximum	.09	no
Lot coverage	40,000 sq. ft. max.	3,897 sq. ft.	no

\* Per the General Plan, small commercial (less than 1 acre), where permitted by the land use designation, shall be exempt from the minimum FAR requirement.

As indicated above, the project meets or exceeds all applicable height and area requirements.

**Access, circulation, and parking**

Vehicle Parking: The Zoning Code specifies one parking space per three (3) seats of a restaurant. The proposed McDonald's restaurant will provide ninety (90) seats within the restaurant, requiring thirty (30) on-site parking spaces. The proposed site plan provides thirty parking spaces, thus meeting the requirement.

Bicycle Parking: The project is required to provide bicycle parking based on the number of required vehicular parking spaces. The Sacramento City Code, Section 17.64.050, requires one (1) bicycle parking space for every twenty (20) required vehicle parking spaces. The McDonald's restaurant is required to provide two bicycle parking spaces; one a Class I, the other a Class I, II, or III. Although a bike rack is shown on the site plan, a Class I bicycle parking space/locker is not shown.

Access: As stated previously, ingress and egress to the site will be provide via a driveway (ingress and egress) off of Stockton Boulevard, as well as a driveway (ingress and egress) off of 2<sup>nd</sup> Avenue, with a large internal parking lot connecting the two driveways. The drive-through lane will provide egress to the internal parking lot, parallel to Stockton Boulevard. The City's Department of Transportation has reviewed the site plan and has no objections to site access or internal circulation.

Pedestrian Circulation: Off-site pedestrian access is provided via an attached sidewalk along both Stockton Boulevard and 2<sup>nd</sup> Avenue. However, in order to walk from the attached sidewalk to the building, a pedestrian must walk through the drive-through lane or parking lot. A direct sidewalk connecting the street sidewalk to a building entrance is not provided. Direct pedestrian access to the restaurant is not provided and onsite pedestrian circulation is poor.

### **Building design, signage and landscaping**

The proposed McDonald's restaurant is rectangular in shape, approximately eighty-five (85) feet long and forty-six (46) feet in width, with the main entrance facing the internal parking lot. The exterior walls are proposed to consist of cement plaster stucco, with horizontal score lines. Striped metal awnings placed above the windows are proposed for the front elevation, continuing at the northern side intermittently. Aluminum trellises following the length of the drive-through lane adjacent to the building, are proposed along the southern elevation. A small, taller corner element is proposed at the southeastern portion of the restaurant, with a roof-cap at the top. The proposed colors are brick reds, yellows, and orange. The building design, color scheme, and signage are not individual for the site, as it appears to be a standard corporate platform. The landscaping plan provided complies with the City's Parking Lot Tree Shading Design and Maintenance Guidelines.

As the project site is located within the Oak Park Design Review area, the applicant was provided comments and suggested revisions in order for the building to be consistent with the established guidelines. As stated in the Oak Park Design Guidelines, the purpose of the Oak Park Design Guidelines and Standards is, "...to provide consistent design principles for residential and commercial structures that can contribute to the creation of neighborhoods with a strong, cohesive sense of place, and can improve the overall character of neighborhoods, by making them more attractive, safe, and inviting places to live." The following is the list of comments that were given to the applicant, which have not been incorporated into the project design:

1. Reconsider the layout of the drive-through, so it will be less conspicuous to the public. Our policy is to design the drive-through facility so it has minimum visibility from street views.
2. Design the site and building layout to encourage pedestrian activity.
3. Consider a corner element to emphasize the corner of Stockton Boulevard and 2<sup>nd</sup> Avenue, so there will be a pedestrian path that connects the street crossing, sidewalks, and the site.
4. Brick treatment should be used for elevations, so that the building is consistent with surrounding structures.
5. A wainscot veneer can be integrated into the elevations, as on the County building across the street from 2<sup>nd</sup> Avenue.
6. Consider using a metal roof and/or awnings, to better complement the hotel and hospital buildings across the street from Stockton Boulevard.
7. Reconsider the color scheme by using more compatible colors with the surrounding neighborhood.

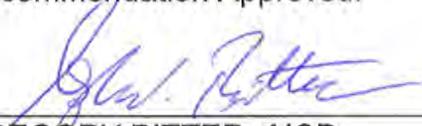
- 8. Use high quality building materials so that the restaurant further complements the existing neighborhood.
- 9. Provide a detailed landscaping plan. Design the site with appropriate landscaping to help reduce the visibility of the drive-through.

When originally submitted, the proposed project was considered to be a Design Director level of review for Design Review. However, due to the unresolved issues with the project, outstanding planning issues with the site layout, and neighborhood opposition, the level of review was elevated to the Design Commission. Because of the underlying lack of support for the currently proposed project, the project has not yet been reviewed by the Design Commission, as the City Planning Commission entitlement (Special Permit) is necessary in order to proceed with the project.

Respectfully submitted by:  \_\_\_\_\_  
 HEATHER FOREST  
 Associate Planner

Approved by:  \_\_\_\_\_  
 LINDSEY ALAGOZIAN  
 Senior Planner

Recommendation Approved:

  
 \_\_\_\_\_  
 GREGORY BITTER, AICP  
 Principal Planner

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**Attachment 1 – Recommended Findings of Fact:**

**Findings Of Fact**

**B. The Special Permit** to construct a new restaurant with drive-through service facility within the General Commercial (C-2) zone is denied based on following Findings of Fact:

1. The Special Permit for the drive-through should not be granted as the proposed project is not based upon sound principles of land use in that it is inconsistent with the goals and policies of the 2030 General Plan. The proposed project is inconsistent with the goals and policies relating to providing pedestrian oriented development within Corridors, locating buildings at the back of sidewalk so that they engage the street, and promotion of walking to services, biking, and transit use. Additionally, the proposed project is not based upon sound principles of land use in that the design of facility conflicts with the Oak Park Design Guidelines.
2. As proposed the drive-through service facility is detrimental to the public health, safety or welfare because it directly impedes pedestrian movement from adjacent public sidewalks to the proposed restaurant, thereby jeopardizing the safety of pedestrians.
3. The proposed drive-through service facility does not comply with the objectives of the 2030 General Plan in that the project site layout, including the location of the drive-through, conflicts with the urban form guidelines for the Urban Corridor Low General Plan designation by not siting the building up to the corridor, the main entrance does not directly address the street, and the layout of the site does is not pedestrian oriented. The proposed drive-through service facility also does not comply with many other goals and policies contained in the 2030 General Plan, by not providing a sensitive transition between the existing neighborhood and the new commercial use, and the layout of the site which does not promote walking to services, biking, and transit. Additionally, the design of the building as proposed conflicts with the Oak Park Design Guidelines.
4. As evaluated in the Traffic Impact Study prepared for the proposed project, and reviewed by the City's Department of Transportation, the location of the drive-through lane will directly impede pedestrian movement to/from the adjacent City sidewalks located along Stockton Boulevard and 2<sup>nd</sup> Avenue, as the drive-through lane lies between the sidewalk and the building entrances. Additionally, sidewalks connecting the proposed McDonald's restaurant to the City sidewalks are not proposed, thus impeding direct pedestrian movement on to the site.

Exhibit A: Land Use & Zoning Map

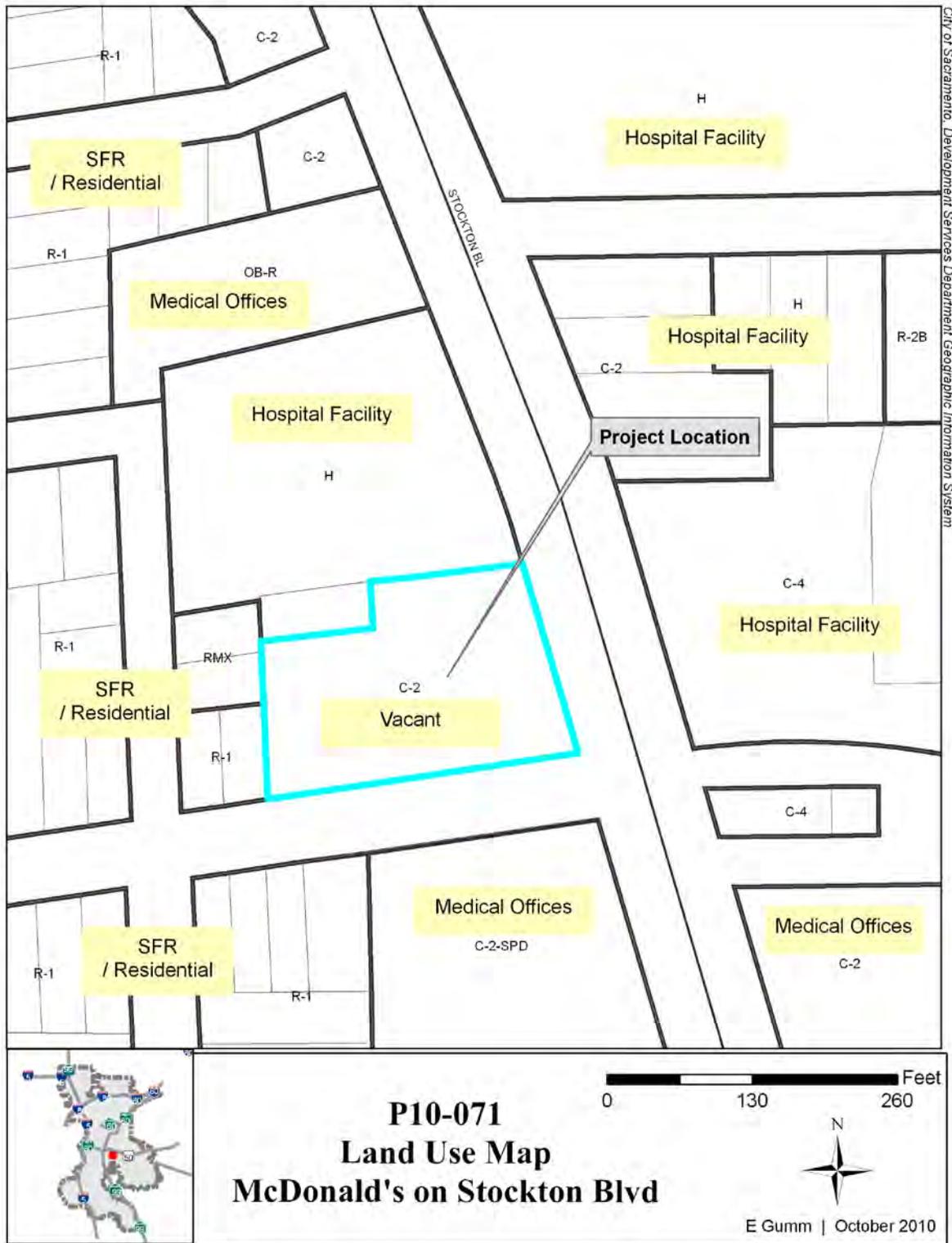




Exhibit C: Floor Plan

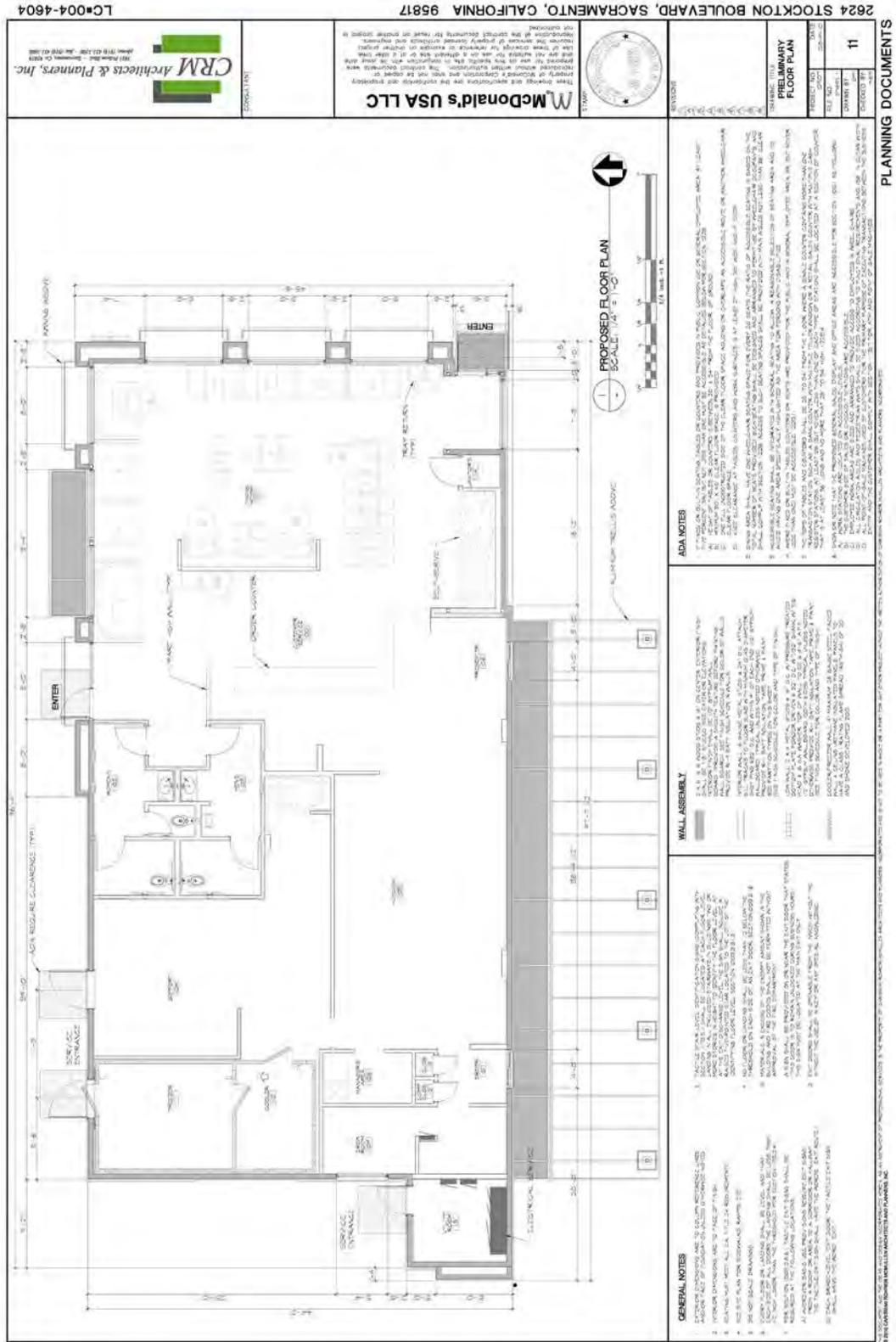




Exhibit E: Exterior Elevations

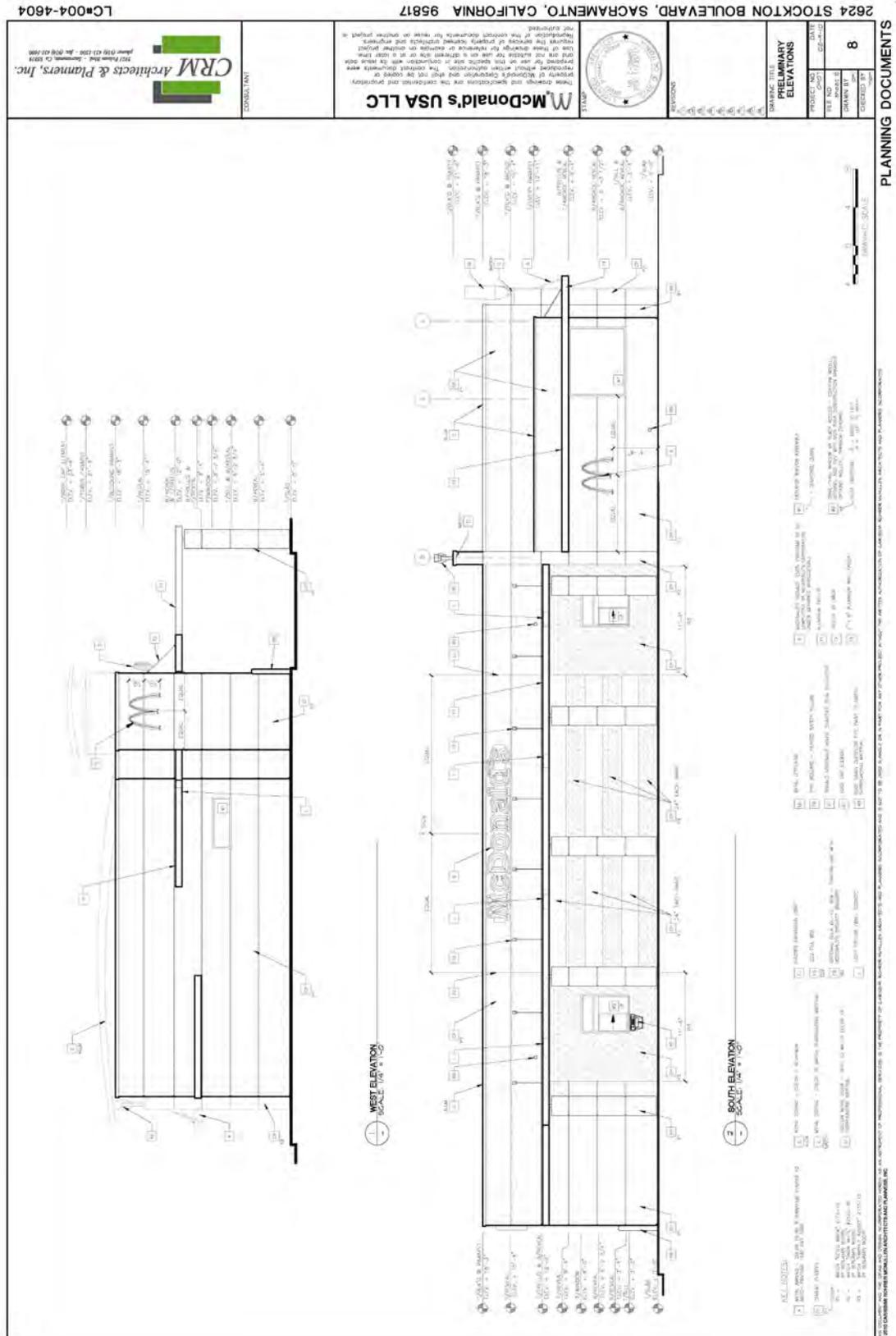




Exhibit G: Exterior Elevations

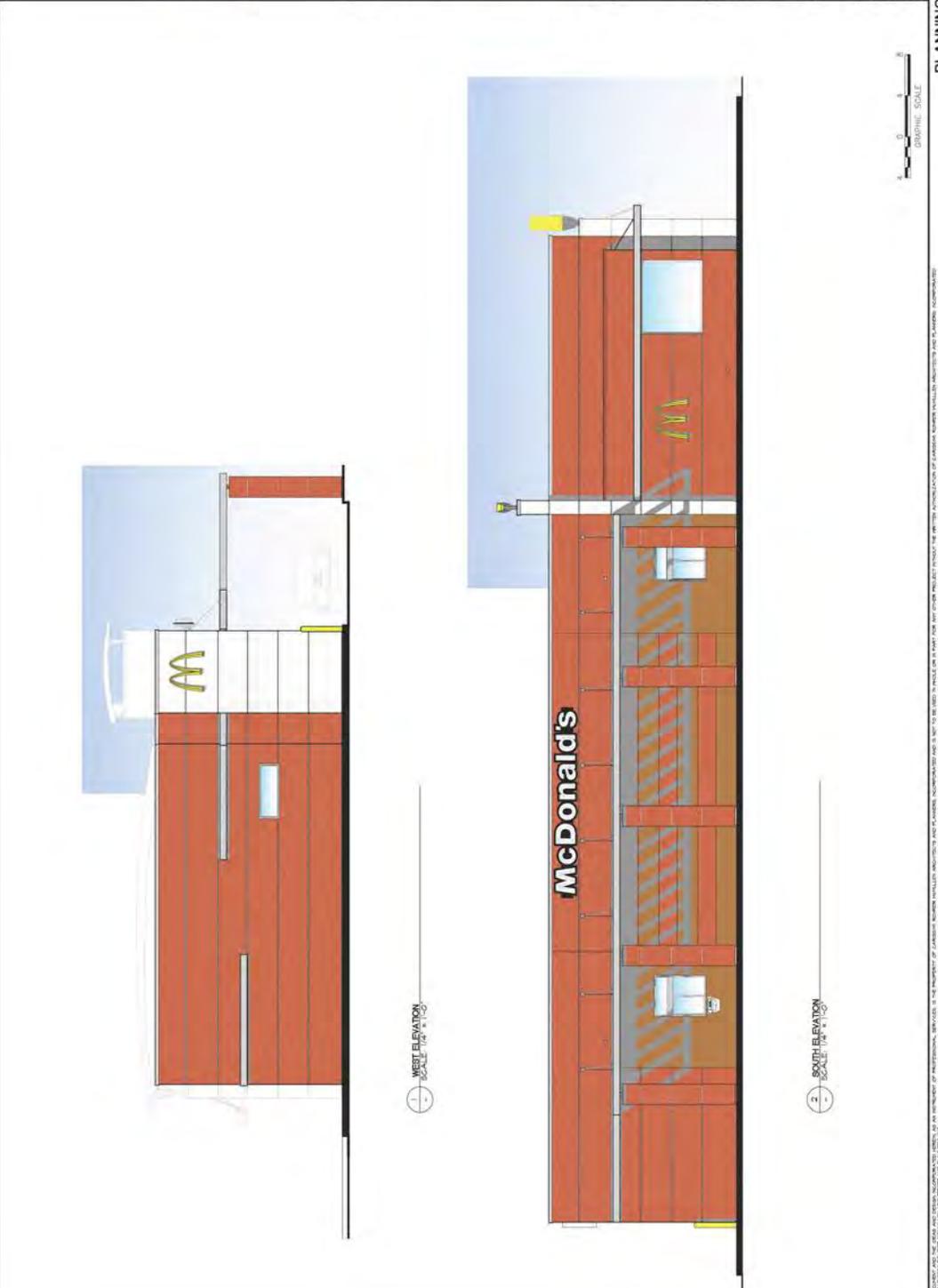
 <p>CRM Architects &amp; Planners, Inc.          2525 Franklin Blvd., Suite 100, San Diego, CA 92108          Phone: (619) 441-1100 Fax: (619) 441-1108</p>	<p><b>M. McDonald's USA LLC</b></p> <p>These drawings and specifications are the property of McDonald's Corporation and shall not be copied, reproduced, or used in any manner without the written consent of McDonald's Corporation. The copyright government was secured for use on this matter. All in conjunction with the same and one or more copies of any or different size or a different use of these drawings for reference purposes on other projects requires the services of properly licensed architect and engineer. Reproduction of the project documents for reuse on another project is not authorized.</p>	 <p>REGISTERED PROFESSIONAL ENGINEER          STATE OF CALIFORNIA          No. 45827          EXPIRES 12/31/12</p>	<p>DATE: 10/27/11          PROJECT NO.: 10-071          DRAWN BY: [Name]          CHECKED BY: [Name]          SHEET NO.: 10</p>	<p>PLANNING DOCUMENTS</p>
 <p>1 WEST ELEVATION SCALE: 1/4" = 1'-0"</p> <p>2 SOUTH ELEVATION SCALE: 1/4" = 1'-0"</p> <p>GRAPHIC SCALE</p>				

Exhibit H: Color Board







Attachment 2: Letters of Opposition

Weather Forest, Associate Planner  
City of Sacramento, Community Dev. Dept  
300 Richards Blvd  
Sacramento Ca 95811  
(916) 808-5000

You are right, now is time to Act

1. Increase in migrant population & parking
2. Increase traffic congestion
3. Increased crime

4. Inappropriate location for commercial building

5. Like parking problem throughout this neighborhood is the most inconvenient thing that I've ever happened to see whole

neighborhood. No one knows how annoying inconvenient it is to not be able to park

your own car in front of our home or have <sup>company</sup> coming & absolutely cannot park

anywhere near your home. Our neighborhood has enough problems

& doesn't deserve anymore. Please help us

Thank you

Sharon Fison

3972 Sherman Way

Heather Forest, Associate Planner  
City of Sacramento, Community Dev Dept  
300 Kieckhefer Blvd.  
Sacto Cal.

1. Increased traffic
2. Unpleasant smell of idling cars + fast food preparation
3. In our neighborhood we have excessive parking every week end - now they park at nites + now it is daytime parking with temporary parking in daytime - even tho this is a neighborhood that is "B" section - it just seems so unfair for us to have all the inconveniences for our own neighborhood. Last winter I had the problem of 3 times ~~before~~ that someone ~~parked~~ parked across my driveway.
4. I realize that I am giving problems about 2 blocks from 3rd Ave + Stockton, but what I am concerned about is the block that McDonald's wants would just spread problems all over our neighborhood

Thank

Barbara Bear  
3985 Sherman Way

August 26 '2011

Dear Heather Forest;

I am concerned and frustrated to hear of plans to put in a McDonalds' on the corner of Stocton and 2<sup>nd</sup> Avenue. That corner is already the most dangerous portion of our route when my children and I go on bicycles to ride around town. We have had several close calls and almost-accidents from distracted drivers not looking out for children on bikes. <sup>at that intersection.</sup> Having a drive through there would make the situation much worse for all bicyclists.

I don't think our neighborhood will benefit at all from having a McDonalds there. If there must be a restaurant there could it please be something local and healthy? We just don't need a fast-food restaurant increasing traffic congestion, making 2<sup>nd</sup> Ave unsafe for cyclists and trashing up our neighborhood.

Thank You  
Virginia Bowland

August 30, 2011

Heather Forest, Associate Planner  
City of Sacramento  
Community Development Dept  
300 Richards Blvd  
Sacramento, CA 95811

Dear Ms. Forest,

As an Oak Park resident & home owner I do not want a McDonalds at the corner of 2nd Ave. and Stockton Blvd. We don't need bad food across from our UCD Medical Center. This would set a poor example for folks.

Further, we don't want any more fast food in Oak Park. As you may know, it took years to secure a decent grocery (Raley's Food Source) in our neighborhood.

Additionally, we do not want the added traffic & pollution on 2nd Ave, which is already an expressway between Riverside on the west & Stockton Blvd. on the east. It will draw more vagrants & trash!

I admonish you to vote NO on the McDonalds. I would love to have a locally owned & operated healthy

- 2 -

food restaurant there.

Sincerely,

Laura J. Cornwell

TO WHOM IT MAY CONCERN:

I AM A NEIGHBOR OF A FAST FOOD  
CHAIN AND HAD NO IDEA TILL I MOVED  
IN OF ALL THE DRAW BACKS.

1. HAZEROUS TRAFFIC BACK UPS
2. EXCESSIVE GARBAGE
3. IRATE CUSTOMERS
4. EXCESSIVE NOISES
5. WATER GUTTER FLOODERS
6. PARKING IN FRONT OF HOMES
7. CONSTANTLY MAKING U-TURNS
8. FOOD ODORS
9. 4 AM FOOD DELIVERIES
10. CRIME/ROBBERIES
11. LOUD MUSIC IN CUSTOMER CARS

I AM ONLY GRATEFUL I AM 3  
HOUSES AWAY SINCE MY NEIGHBORS  
THAT ARE ONLY 1 OR 2 HOUSES  
AWAY HAVE TO LISTEN EVERY FOOD  
ORDER OF THE DRIVE-THRU!

~~IF I LIVED WHERE ALL~~

MANY OF THE NEIGHBORS WENT TO  
CITY HALL AND FINALLY ELIMINATED  
THE 24 HOUR DRIVE-THRU WHICH  
HAS HELPED SOME BUT, IF WE  
HAD A CHOICE WE WOULD HAVE  
MADE THEM MOVE ~~ACROSS~~ THE  
STREET <sup>TO</sup> THE MAIN SHOPPING STRIP.

KAREN ORTIZ  
1412 57TH ST  
SACTO., CA.  
95819

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MITIGATED NEGATIVE DECLARATION FOR THE MCDONALD'S - 2ND Ave & STOCKTON BLVD  
PROJECT (P10-071) CALIFORNIA (APN 014-0085-046-0000)

Tuesday, August 02, 2011

From: Barbara J. Gridley  
2319 S. 67<sup>th</sup> St.  
Fort Smith, AR 72903

To: Scott Johnson, Associate Planner  
City of Sacramento, Community  
Development Department  
300 Richards Boulevard  
Sacramento, CA 95811

SUBJECT: Complaint for building this project.

Dear Sir,

My house is two blocks from this proposed building site at 2623 41<sup>st</sup> St. on the cross street of 41<sup>st</sup> St. and 2<sup>nd</sup> Ave. There are already three McDonalds Fast Food Restaurants in this area. One is 1/2 block over from the Safeway on Alhambra Ave and where there are always beggars in front of asking for spare change and handouts. The other one's are on Stockton Blvd and Fruitridge Ave. and one on Broadway a few blocks from Alhambra Blvd. The Veterans Hospitals in Palo Alto and Fort Miley in San Francisco both have Fast Food restaurants in their lobbies. A Burger King, Domino's Pizza and a Long John Silver Franchise. They already have a Marriott's Hotel that has a full service dining restaurant in their Hotel plus a Starbucks there, also. There is also a Delicatessen right across the street from the University Davis Medical Hospital with another Starbucks just two blocks south of the Hospital on Stockton Blvd. McDonald's restaurants are junk food restaurants and I am opposed to locating one so close to my home which is one of the historical buildings in Oak Park. Ours is one of the better and nicer areas of Oak Park.

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MITIGATED NEGATIVE DECLARATION FOR THE MCDONALD'S - 2ND Ave & STOCKTON BLVD  
PROJECT (P10-071) CALIFORNIA (APN 014-0085-046-0000)

But another aspect of the building in this area is that there is an enormously rampant drug problem in this area. Three blocks from Broadway on 2<sup>nd</sup> Ave. there is a store that is predominantly where people sell right out in the open their drugs right on this particular street corner while the entire four block and sometimes eight block areas. They sell crack cocaine, heroin, methamphetamine and marijuana. There is also another store across Broadway to the north of 2<sup>nd</sup> Ave. where it's the same criteria and scenario with a four and eight block radius that is just amazingly rampant with drug trafficking. My house was broken into while it was under renovation where these druggies came in through the kitchen window and took \$10,000.00 worth of tools that belonged to the contractors and the neighbors saw them loading up a new microwave, dishwasher, table saw, paint sprayer and all other kinds of tools that the Insurance wouldn't cover because no one was living in the house at the time. There was a police report taken at the time in 2006. I am so deathly afraid that if they build this McDonalds at this site that it will become another place where all these drug transactions will move to and will bring this community down to another level of slum and ghetto deteriorations. Bringing down the nice Medical area also.

Like I said before that they should put their business in the lobby of the Hospitals where they would probably fare much better. There are already respectable restaurants right in this area on Stockton Blvd. I really don't think we need another Junk Fast Food Restaurant in our area where it will promote a criminal enterprise environment just two blocks from my house. I would be in constant fear of being broken into again and wouldn't want to have anyone come to my house and see all of these criminal activities going on in my neighborhood. I am fully and whole heartedly opposed to this idea. We have been trying to better our neighborhood while not detracting from it. It scares me that this is being considered at all while this is happening and the police are doing absolutely nothing about it.

Sincerely,



Barbara J. Gridley

**Heather Forest**

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**From:** Eric Eric [ericliamg@gmail.com]  
**Sent:** Tuesday, August 09, 2011 11:19 AM  
**To:** Heather Forest  
**Cc:** Scott Johnson  
**Subject:** McDonalds

Dear Heather Forest,

You worked on the design review for my house that I built at 4312 2nd Ave. in 2008.

The City of Sacramento scrutinized every detail of my home construction. I spent tens of thousands in additional funds to meet the requirements.

Now I understand that the City is going to approve a McDonalds directly across the street from my house. There will be a constant flow of traffic in front of my house.

If there is a mandate to preserve the community, how does a fast food restaurant fit into community and historical preservation?

Earlier this year I specifically requested to be notified by city planners as this project was moving forward. I was told that this project had been pulled and no further planning was scheduled. Why have I not been notified until an Intent to Adopt has been approved? This is looking like some kind of cover-up to allow McDonalds to sneak around community approval.

UC Davis performed an impact study a few years back when they built the Center for Biophotonics. This study should have been used as a basis for the McDonalds study and the McDonalds traffic should be added to this study. Surely traffic will increase significantly on this relatively quiet street.

Is there a copy of the proposed construction plan?

Thank you,

Eric Jones

August 11, 2011

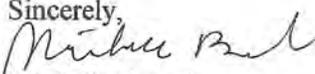
Oak Park Neighbors vs. McDonalds\

To Whom It May Concern:

Recently I was approached by a member of the Healthy Development of Oak Park Committee. I was asked to submit a letter regarding my experiences of living near a McDonalds drive-thru. I will gladly write this letter in the understanding that I do not have anything against McDonalds as a corporation or against McDonalds in a non-residential area. Unfortunately I live on 56<sup>th</sup> St., in East Sacramento, which does have a McDonalds drive-thru at the end of our street. The following problems have occurred:

- 1). Increased traffic /parking on 56<sup>th</sup> St.
- 2). Increased noise and garbage, specifically related to McDonalds – people throwing out wrappings, cups and trays as well as the noise of the dumpsters being emptied.
- 3). Increase in vagrants in the area, being attracted to fast food places.
- 4). Delivery noises and congestion.
- 5). Smell from the restaurant – both cooking and garbage.

These are the most common problems that our neighborhood has had to deal with. As I mentioned earlier I do not have anything against McDonalds or any other fast food restaurant that is located outside of a residential area. Regardless of what kind of drive-thru restaurant is located on 56<sup>th</sup> St., I am sure the same type of problems would occur.

Sincerely,  
  
Michelle Brough

**Scott Johnson**

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**From:** Kim Stevenson [kimstevenson8@gmail.com]  
**Sent:** Thursday, August 11, 2011 1:25 PM  
**To:** Scott Johnson  
**Subject:** No more McDonalds PLEASE!

**Scott Johnson**

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**From:** John Bauer [treeguybauer@cwo.com]  
**Sent:** Thursday, August 11, 2011 4:55 PM  
**To:** Scott Johnson  
**Subject:** Proposed McDonalds @ Stockton & 2nd Ave

Dear Scott, I think that the proposed McDonalds will not be good for our neighborhood and I find the idea repulsive. Do you see that there is an epidemic of obesity in our culture? Does that matter? What do you base your decision on? Maybe that there will be more tax dollars going to the city of Sacramento? The traffic, litter and... urban blight it brings will drag the neighborhood down! Drive south on Stockton a mile or two, there are plenty of fast food restaurants there, and it looks like...a well I am going to try and not stoop too low and use the kind of language that is common if you drive down there.

Bad, very bad. You may get a pat on the back from your boss if you give this McDonalds at second Ave & Stockton the go ahead but the whole idea deeply offends me. I will fight it at every turn! I will make posters, I will go to meetings, I will if I can bring it down. Thank You John Bauer (Oak Park resident & home owner for over 10 years)

Re: Update from Healthy Development for Oak Park - Inbox - Yahoo! Mail

Page 1 of 1

We have moved out of the Oak Park area--in fact, we no longer live in Sacramento at all. I do have to say that I was so impressed by the efforts being made to upgrade the neighborhood (I really, really miss Mighty Kong muffins!). I think having a McDonald's in that neighborhood is a GINORMOUS step backward and hope that you are successful in stopping it! It won't bring more jobs, and it's not close enough to UCDCMC to make it a worthwhile venue for those employees to grab a meal.

There are plenty, plenty of markets in Sacramento that could really use another McDonald's... that part of Oak Park isn't one of them.

I wish you all the best in your efforts.

Best wishes,  
Jerrilynn Willis

### Comments on McDonalds Mitigated Negative Declaration McDonald's – 2<sup>nd</sup> Avenue & Stockton Blvd (P10-071)

After reviewing the Mitigated Negative Declaration (Declaration), I have found several instances where the data is incorrect and/or incomplete, where assumptions are unwarranted and where the conclusions are unsubstantiated.

1. Study Area - The Traffic Impact Study (Study) confined its study of traffic impacts and noise solely to the McDonald site and the corner of 2<sup>nd</sup> Avenue & Stockton Blvd. The Study assumes that all car traffic to the proposed McDonalds would arrive via Stockton Blvd and exit either directly to Stockton Blvd or make a left turn from the 2<sup>nd</sup> Avenue driveway to return to Stockton Blvd. **This is an assumption which is not supported by current traffic patterns of Med Center/Shriner/Marriott employees and clients.** It is more realistic to assume that a significant number of vehicles will enter the neighborhood on residential streets (example: Y Street, Sherman Way, Colonial Way or Miller Way) and then travel on residential streets to avoid congestion on Stockton Blvd. Similarly, automobiles exiting the McDonalds parking lot onto 2<sup>nd</sup> Avenue would turn right, rather than left, to travel down 2<sup>nd</sup> Avenue to Broadway or to utilize residential streets to avoid traffic on Stockton Blvd. A complete study should include the residential streets within at least a four to five block radius of the proposed McDonalds.

With the exception of 2<sup>nd</sup> Avenue, the streets in the neighborhood adjacent to the proposed building site are relatively narrow. The bulk of the homes were built in the 1920s and lack the off-street parking that is required in newer neighborhoods. This means that many of the residents park on the street. Combined with parking by Med Center/Shriners/Marriott employees, these streets effectively have only one-lane access. Adding additional traffic to this neighborhood would have a significant negative impact.

The study also assumes that all McDonalds customers will arrive by automobile. Since there are three major employers within a few block of the proposed fast-food restaurant, and a number of the employees and clients already park in the adjoining residential neighbors, it is reasonable to assume that there would be measurable foot traffic across Stockton Blvd to McDonalds, and by employees and clients walking between their autos and the Med Center/Shriners/Marriott locations. Jay-walking across Stockton Blvd is already a problem, especially at shift changes. Addition of more pedestrians would make the problem worse.

2. Trip Generation – The Study begins with an estimate of 1,933 trips per day to the proposed McDonalds. This number is reduced to 1,018 trips per day, a 44% reduction, through what is described as pass-by analysis. Even though the standard reduction for pass-by traffic is 40%, the Study for some reason describes their larger reduction as "conservative".

The proposed fast-food restaurant is on the opposite side of a busy street from its main customer source (Med Center, Shriners and Marriott employees and clients). The most direct route between Med Center/Shriners/Marriott and the freeway entrances does not take commuters past the proposed McDonalds site. In order to get to McDonalds most drivers would have to make a special trip in that direction. Actual traffic patterns do not support a 44% pass-by reduction.

3. **Roadway System** – The MND lists five major roadways in the vicinity of the project. They are Stockton Blvd, Second Avenue, Broadway, X Street and Y Street. The descriptions of two of these five roads are incorrect or incomplete.

*Second Avenue is an east-west roadway that extends from Franklin Boulevard to 49<sup>th</sup> Street. Within the study area, 2<sup>nd</sup> Avenue is a two-lane roadway, with one lane in each direction. Second Avenue serves residential and commercial land uses and has a posted speed limit of 30 mph.*

Between Stockton Blvd and Broadway, Second Avenue is primarily a residential street. Currently there is an office building at the corner of Stockton Blvd and 2<sup>nd</sup> Avenue opposite the vacant lot where McDonalds is proposing to build. There is also a cluster of small businesses at 2<sup>nd</sup> Avenue and Broadway. The rest of the street has houses and apartments. The primary function of 2<sup>nd</sup> Avenue is as a residential street. To describe it as "serves residential and commercial land uses" is misleading.

*Y Street is an east-west roadway located north of the project site that extends from Stockton Boulevard to 45<sup>th</sup> Street, then from 48<sup>th</sup> Street to 51<sup>st</sup> Street. Y Street provides one lane in each direction. This street serves also as one of three main roadways to access US Davis Sacramento Campus and Shriner's Hospital east of Stockton Boulevard.*

According the Sacramento County Assessor's maps, Y Street consists of several sections. One segment runs from Stockton Blvd to 45<sup>th</sup> Street; another from 48<sup>th</sup> Street to 49<sup>st</sup> Street; and a third segment originates on 51<sup>st</sup> Street and dead-ends before reaching 49<sup>th</sup> Street. The segment running east from Stockton Blvd provides only limited access to the UC Davis Medical Center. The segment running east from Stockton Blvd does provide access to the Courtyard Marriott Inn. The Study also neglects to state that the Courtyard Marriott Inn is located on Y Street just north of Stockton Blvd. The existence of this business is completely ignored in the Study or in the Negative Declaration.

A longer segment of Y Street runs west from Stockton Blvd to Broadway, roughly parallel to 2<sup>nd</sup> Avenue. Sacramento High School is located at Y Street and 34<sup>th</sup> Streets. There are also two small churches on this segment of Y Street. The remainder of the street is residential. This segment of Y Street has significant potential of being adversely impacted by McDonald's traffic but is ignored in the study.

*There is an existing driveway on the east side of Stockton Boulevard about 150 feet north of the intersection of Stockton Boulevard and 2<sup>nd</sup> Avenue. It provides access to a 58 spaces parking lot that serves UC Davis Sacramento Campus medical services buildings.*

The Study fails to take note of the park that directly opposite the proposed McDonalds. The parking lot described in the Study is north of the park. Below is a description of the park located at Stockton Blvd and 2<sup>nd</sup> Avenue and its purpose.

The Richard and Annette Bloch Cancer Survivors Park at UC Davis Medical Center provides a peaceful environment for reflection and rest. It is intended as a place of hope and inspiration for people from throughout the region who have been affected by cancer.<sup>1</sup>

<sup>1</sup> Source: UC Davis Cancer Center website

It is difficult to see how a fast-food restaurant is compatible with a park intended as a "peaceful environment". It is even harder to see how the proposed restaurant would have no impact on the park.

The description of the Roadway System included in the Study is incomplete and misleading. McDonalds is proposing to build in an established residential neighborhood and directly across the street from a park. The Study's conclusion of negative traffic impact on the neighborhood ignores the residential character of the area and is not supported by a comprehensive examination of the neighborhood.

3. Transit Facilities – This in another section of the Study where incomplete information leads to unsupported conclusions. The Study lists several bus routes in the area. What the Study fails to report is that there is a bus stop on Stockton Blvd just north of 2<sup>nd</sup> Avenue. This is also the site where McDonalds plans to locate a driveway to their facility. The Study makes no mention of the close proximity of the McDonalds driveway to an existing bus stop, nor does it examine the impact of McDonalds' traffic on bus traffic.

4. Pedestrians – The Study assumes that all of McDonald's customers will arrive by automobile. This assumption is not supported by traffic at existing restaurants and coffee shops in the area. The primary customer base will be the staff and clients of the UCD Medical Center, Shriners Hospital and the Courtyard Marriot Inn, all of which are located on the east side of Stockton Blvd. Pedestrian traffic crossing Stockton Blvd is already problematic. Construction of a fast food restaurant would only exacerbate the existing problem.

5. Delivery Times – The Declaration states that "regular" deliveries to the fast food restaurant would take approximately 1 hour and would be scheduled between 2 pm and 11 pm. This means that McDonalds could have a tractor-trailer delivering supplies late at night at least twice a week. There is no way to assure that there would be only two deliveries a week, or that they would proceed as quickly as forecast. There is not way to assure that deliveries will not interfere with regular traffic. No mitigation is provided for this problem other than to schedule "regular" deliveries between 2 pm and 11 pm.

The Mitigated Negative Declaration and Traffic Study fail to include several significant factors. There is no mention of a third employer in the study area (the Courtyard Marriot Inn) or of a park directly opposite the proposed McDonalds site. There is no acknowledgement that the location of the proposed McDonalds fast-food restaurant is on the periphery of an established residential neighborhood, across the street from a park and blocks from their major customer base. This report should be rejected on the basis that it is incomplete and cannot support its conclusion of negative impact. A trip to the proposed site and the adjacent neighborhood by the Planning Commission and staff would be helpful in understanding the full impact of the proposed development.

Thank you

Nancy Bougher  
2541 41<sup>st</sup> Street  
Sacramento, CA

Planning Commission,

August 18, 2011

I have some concerns with the proposed placement of McDonald's at 2<sup>nd</sup> Avenue and Stockton Blvd. This site is next to a mental health facility, Crestwood Manor. I worked at Crestwood Manor for twenty years as an adult education teacher. Crestwood serves clients with mental health issues, including alternative sentenced residents ( individuals who are ordered by the courts to be incarcerated for criminal acts). Many residents at Crestwood are able to access the community with another resident or by themselves after they have shown they are capable and responsible. The residents with a history of sexual misconduct with minors are not permitted in the community unless accompanied by staff under special circumstances. The outings are planned with limited child access and have been made to the stores down the street: Walgreens , Food Source and Orange Freeze. This route passes in front of the proposed McDonalds. Crestwood residents with a history misconduct with children are not to be near schools, day care centers and other public institutions with children. Other residents at Crestwood have passes to access the community and would probably frequent the premises. Because Crestwood Manor is home to people with mental health issues, some which are registered sex offenders, I believe building a McDonald's drive-through restaurant is not an appropriate, safe or healthy location for its patrons or employees.

Could you please respond to my inquiry: If there is an incident involving minors on McDonald's premises or departing from McDonald's, is the city liable for placing children in harm's way? Or does the approval of the McDonalds by the Planning Commission or City Council invalidate such a claim?



Cris Johnson

4216 2<sup>nd</sup> Avenue Resident

Frankie Hansbearry  
4210 2<sup>nd</sup> Avenue  
Sacramento, CA 95817

TO: Planning Commission Members

RE: McDonald's - 2<sup>nd</sup> Avenue & Stockton Blvd. Project (P10-071)

DATE: August 18, 2011

I am a resident of Oak Park, having lived at the above address for the past 25 years. I am proud to live here and have seen many positive changes take place in this community over the years.

Last summer I was approached by two women who knocked on my door and asked me which design I liked better of two sample buildings for a McDonald's restaurant. This was how I learned about the proposed project. I asked why we (neighbors) hadn't been notified formally of this but they didn't know and were just doing the job they were hired to do. I began talking with other neighbors in the area and found that not only were others unaware of what was being planned, but that most were adamantly opposed to having a fast food drive-through restaurant at the corner of 2<sup>nd</sup> Avenue and Stockton Blvd. The proposed location is zoned mixed-use. Currently, most of the buildings in the area are medical. Next to the proposed site is a mental health facility, Crestwood Manor. Nowhere in the immediate vicinity are there other fast food restaurants with drive-through lanes. However, approximately 3 blocks south on Stockton Blvd. there is a Jack-in-the-Box, Subway, a major grocery store, Walgreens and other commercial enterprises. That seems to be an appropriate location for another drive-through restaurant.

I am concerned about the effect of having a drive-through so close to our homes will have on the quality and safety of our lives. Having lived here for 25 years, I have noticed the increase in traffic, both on Stockton Blvd. and 2<sup>nd</sup> Avenue. I have seen an increase in the number of bicyclists who use 2<sup>nd</sup> Avenue as a main artery for travel. I am concerned about the safety of pedestrians as well, who will have to cross lanes of drivers entering and exiting the parking area of McDonald's.

Besides increased traffic, I am quite unhappy about living so close to a business that I will have to smell, ie, the pollution of idling cars, the continuous smell of fast food being prepared. Since deliveries and garbage pickup for fast food restaurants have to take place during non-operational hours, I am certain that we will hear all of this from where we live. I also believe that there will be an increase in trash, and increase in the vagrant

population and panhandlers. These problems already exist over at the hub of fast food and commercial business I mentioned earlier, but that is NOT a residential area.

As a homeowner, I believe my property value will decrease because of the close proximity of a fast food restaurant with a drive-through. Certainly, if I had known, 25 years ago, that this charming neighborhood would be near a fast food chain, I would not have purchased my home. Can you imagine living next to a McDonald's, a Burger King, etc.? Would this affect the quality of your life?

I am aware that McDonald's corporation can and does employ vast numbers of people. I think here in Oak Park we can do better and I would love to support another kind of business that promotes walking, social networking and healthy commerce. I would fully support a local franchise that is sensitive to the needs of the immediate community. I know that I am not the only one who feels this way because I have taken the time to walk this neighborhood and speak with other residents. It is not an overstatement to say that at least 95% of the people I have spoken with DO NOT WANT a McDonald's drive-through restaurant at the corner of 2<sup>nd</sup> and Stockton. Will this be another instance in which corporate power supersedes the wishes of the majority of the people?

I strongly urge the Planning Commission members to vote against the building of a McDonald's double drive-through and that they consider the implications by imagining what it would be like for them and their families if they were forced to live next to a fast food restaurant.

Sincerely,

  
Frankie Hansberry

August 19, 2011

Heather Forest, Associate Planner  
City of Sacramento, Community Development Department  
300 Richards blvd.  
Sacramento, CA 95811

Dear Heather,

I want to voice my opinion as to the planning commission that has a filed report that STATES, "there will be no negative impact relating to traffic congestion, air pollution, NOISE pollution regarding the proposed McDonald's double drive-through at 2nd Avenue and Stockton blvd.."

I've been to the McDonalds' near 54<sup>th</sup> street on Folsom blvd. The neighbors deplore that McDonalds. Needless to say the McDonalds will make a MESS of our neighborhood.

My reason:

Increased traffic congestion  
Increased TRASH  
Loud noise from speakers, cars with boom boxes, delivery trucks and garbage pickup.  
Increase in vagrant population and panhandling  
Danger to pedestrians and bicyclists trying to pass the entrance/exit.  
Cars doing U-TUTNS in the middle of neighborhood blocks.  
Unpleasant SMELL of idling cars and fast food preparation.  
The crazies next door will jump the fence for fast food

This McDonalds will be RIGHT BEHIND my home!

  
Rick Grelle  
2643 43<sup>rd</sup> Street  
Sacramento, CA 95817  
(916) 952-8507

**Heather Forest**

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**From:** Kathy Adcock [jazzlily@sbcglobal.net]  
**Sent:** Friday, August 19, 2011 10:26 AM  
**To:** Heather Forest  
**Subject:** Proposed McDonald's at 2nd Ave & Stockton Blvd.

August 19, 2011

Heather Forest, Associate Planner  
City of Sacramento, Community Development Dept.  
300 Richards Blvd.  
Sacramento, CA 95811

Dear Ms. Forest:

Re: Proposed McDonald's at the corner of 2<sup>nd</sup> Ave and Stockton Blvd.

I live one and half blocks away from the proposed site. We already have the VFW Club and an eating establishment at the corner of 3<sup>rd</sup> Ave. and Stockton Blvd and one block further down we have a drug store, a grocery store and a Jack In The Box. In the other direction we have LaBou, the Bistrø at the Courtyard, the Stockton Burger and a Starbucks further up. And there is some sort of another small eatery near the college book store.

There seems to be enough places to eat in this area. I have some very serious concerns about this proposal. And it **astounds** me that that the Planning Commission believes there will be *No Negative Impact* if a McDonalds is built on this corner.

First, I hate walking on Stockton Blvd because of the car/truck fumes. When I walk I avoid walking on Stockton Blvd as much as possible. This proposal will definitely increase the traffic causing more auto exhaust.

Second, I pick up trash from my front yard regularly because of the Orange Freeze Stand just a half block away. I would not want to live on Second Ave. if a McDonald's was built there. I hate to say it but many people are slobs and have little regard for their neighbors.

Third, I hear the large rumble and roar of the garbage truck that picks up the VFW's trash twice a week. The noise pollution is very high in this neighborhood especially at night. And it is 90% vehicle traffic noise. It will only increase day and night if a McDonald's is built here.

Fourth, I am approached by pan handlers in the Food Source parking lot on a regular bases. I try to avoid looking at a person and walking quickly so as to avoid being approached. This will just give them another place to hang out and hit people up for money and cigarettes. (I'm glad I don't smoke!) Don't get me wrong, I'm very glad Walgreen's and Food Source were built. It is was something this neighborhood really needed. But we don't need another fast food establishment.

Fifth, I could not stand the smell of French fries and burgers all day and night, it makes me sick to my stomach just to think about it. Yuck! I would not be able to keep my doors and windows open for fresh air as much as I do now.

If McDonald's really wants to build a fast food restaurant in the area, wouldn't it be better to put it near or next to the Ronald McDonald House in back of the hospital grounds?

I don't have any suggestions for what I'd rather see built on the corner of 2<sup>nd</sup> Ave and Stockton Blvd. But I know it's not a McDonalds.

Sincerest regards,

Kathy Adcock  
4338 3<sup>rd</sup> Ave  
Sacramento, CA 95817  
916-456-9085

**Heather Forest**

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**From:** mmgoodson1@comcast.net  
**Sent:** Wednesday, August 24, 2011 9:47 PM  
**To:** Heather Forest  
**Subject:** Negative Impact on corner of Stockton and 2nd Avenue ?? !

Heather:

I am writing regarding the proposed McDonald's at 2nd Avenue and Stockton. I have lived two blocks from the corner of Stockton Boulevard and Sherman Way (since 1989), and about 5 blocks from the proposed McDonalds.

There would be an issue of increased traffic congestion with the building of a McDonalds at this intersection. I believe the Sacramento residents who are not familiar with this part of Stockton Boulevard do not realize how much the traffic congestion on Stockton Boulevard has increased the last couple of years due to the additions to the UC DMed Center, Shriner's Hospital, and other new health related buildings. On weekdays, around 3:30 p.m., until 5:30, traffic on Stockton coming from Broadway and 2nd Avenue, are two lanes backed-up all the way to the 50 and 80 freeway entrance.

Nearby the 2nd and Stockton location, there is a Jack in the Box, a Subway, and a Merlino Kiosk. The Elmhurst, MedCenter, and Oak Park neighborhoods and businesses in the area, need a cafe/restaurant, one that has healthier choices than a McDonalds, and not another fast food restaurant. We do not have a healthier-choice restaurant in this area, one that is within walking distance and open in the evenings for employees and residents. The fast food type of establishment would increase traffic congestion, increase delivery and garbage trucks, and bring additional air pollution from idling cars due to the commercial double-drive-through lanes. This proposed McDonalds on the corner of 2nd Avenue, is in the neighborhoods that are in the process of a renaissance with residents trying to improve their homes, community, and their lives.

I have not seen the plans but have been told by neighbors that are worried about the negative impact of this proposed plan, that it is an inappropriate location for a commercial drive-through.

PLEASE RECONSIDER the NO NEGATIVE IMPACT, and please notify the residents in the surrounding neighborhoods the date of this Planning Commission meeting so that we may attend to express our concerns.

Why would a NO NEGATIVE IMPACT be filed as related to this location???

Mina Goodson  
3929 Sherman Way  
Sacramento, CA 95817  
[mmgoodson1@comcast.net](mailto:mmgoodson1@comcast.net)

**Heather Forest**

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**From:** JoEllen Arnold [jarnold@macnexus.org]  
**Sent:** Sunday, August 28, 2011 7:43 PM  
**To:** Heather Forest  
**Cc:** Healthydevelopmentforoakpark@googlegroups.com  
**Subject:** McDonald's-2nd Ave. & Stockton Blvd. (P10-071)

Heather Forest, Associate Planner  
City of Sacramento  
Community Development Department  
300 Richards Blvd.  
Sacramento, CA 95811  
[HFforest@cityofsacramento.org](mailto:HFforest@cityofsacramento.org)

Re: McDonald's-2nd Ave. & Stockton Blvd. (P10-071)

I am writing to register my strong opposition to the proposed development of a McDonald's restaurant with double drive-thru in my neighborhood.

As a resident of 4041 2nd Avenue since 1982, I am happy to say that I have seen steady improvement in the nearby surroundings since I first arrived. I enjoy seeing the increase in families walking and bicycling, both homeowners and renters caring for and improving their homes and more neighbors getting to know one another.

Despite what the Mitigated Negative Declaration says about this project, a McDonald's with a drive-thru would be very detrimental to the positive changes that I see here. The drive-thru would endanger pedestrians and cyclists with increased traffic and dangerous driveways crossing sidewalks. We would see trash from the drive-thru tossed from passing cars as they cut through the small streets in the neighborhood to avoid the snarled traffic at the already difficult corner of 2nd Ave. and Stockton Blvd.

A residential neighborhood is an inappropriate location for any development with a drive-thru. Neighbors adjacent to existing drive-throughs complain about the noise from the loudspeakers, the increased traffic in front of their homes and the endless trash littering their streets, sidewalks and yards. They say the hours the drive-throughs are open (5 AM to 2 AM) are incompatible with a pleasant quality of life and that delivery and trash pick-up take place in the middle of the night, making the restaurants even less compatible with residential life.

The hours proposed for the drive-thru in the project in question are 7AM-11PM Monday through Thursday with extended hours until 1AM Friday, Saturday and Sunday. Those hours are out of compliance with the City of Sacramento's laws governing hours of operation for drive-throughs adjacent to homes.

Cars streaming down 2nd Avenue, cutting through the smaller surrounding streets and idling while waiting in line at the drive-thru will generate noise and air pollution we absolutely do not need. Idling is linked to increases in asthma, allergies, heart and lung disease and cancer. We don't want to increase any of those!

I am not in favor of decreasing the quality of life in my neighborhood by adding the amount of traffic a drive-thru restaurant would draw. There are already 5 existing McDonald's with drive-throughs within a two mile radius of the site; adding another is not in the best interest of the immediate neighborhood or Sacramento as a whole. The empty lot in question has so much potential to become an asset and an enhancement to our charming older neighborhood. A mixed use development that would provide an attractive meeting place for people to walk and bike to, rather than another socially isolating drive-thru is what is needed there.

Please do not allow development of a McDonald's with drive-thru to proceed. I want my neighborhood to improve, not decline.

JoEllen Arnold  
4041 2nd Avenue  
Sacramento CA 95817  
[jarnold@macnexus.org](mailto:jarnold@macnexus.org)  
916 501 8995

**Scott Johnson**

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**From:** deb belt [fab.studio@att.net]  
**Sent:** Monday, August 29, 2011 5:05 PM  
**To:** Scott Johnson  
**Subject:** 2nd Avenue McDonald's

Aug. 29, 2011

Dear Mr. Johnson,

Please consider the surrounding neighborhood and Sacramento at large when reviewing the proposed McDonald's for the corner of Stockton Blvd. and 2nd Ave. I understand the McDonald's is to have a drive-through, which requires a special permit. Please do not allow this special privilege at the expense of the surrounding neighborhood, and Sacramento in general. Air pollution is a problem in our valley, and, as you know, legislation such as AB 32 is working to reduce greenhouses gases. Please be forward thinking and deny such outdated and poorly planned development such as drive through windows for fast food restaurants. Thank you for your consideration,  
Debra Belt + Stephen Henry  
2469 41st Street  
Sacramento, CA 95817

**Scott Johnson**

**From:** Charlene Hauser [charlene.hauser@gmail.com]  
**Sent:** Tuesday, August 30, 2011 2:39 PM  
**To:** Scott Johnson  
**Subject:** MND comments to Scott Johnson

Scott,

I appreciate your time meeting with us earlier this month to discuss the proposed drive-thru for 2nd and Stockton. As a community member living near the proposed site and primary care physician for the local area, below are some concerns I have with the Mitigated Negative Declaration.

1) Inconsistency of the project with the City of Sacramento Drive Through Service Facility Guidelines: (page 5 of MND)

- the guidelines clearly specify hours of operation for a drive thru adjacent to residential property as 7a-10 pm.
- the project hours proposed are 5a-11 pm, with extended hours to 1am on weekends (including Sunday night) <http://www.cityofsacramento.org/dsd/planning/long-range/drive-thru-regulations.cfm>
- This inconsistency is not discussed at all in the mitigated negative declaration, leaving the MND incomplete.

2) Inconsistency with the General Plan: (Page 10 of MND) although the MND says it is consistent.

- according to Sac General Plan, the FAR for urban corridor low is 0.4-3.0
- although the FAR does not apply to lots less than 1 acre, and this lot is 0.99 acres, the point of FAR is to specify density of development. A FAR of 0.09 is not just out of the recommended range, it is not even remotely close to being higher density development, which indicates that there was no attempt for higher density development, and rather a complete disregard for GP guidelines. This project is 78% deficient of the minimum density required for a parcel that is only 0.01 acre larger than it's current size.
- This inconsistency is not discussed at all in the mitigated negative declaration, leaving the MND incomplete.

3) Traffic study is incomplete (page 45 of MND)

- although it evaluates multiple east/west streets in the grid around the proposed area, it does not address multiple north/south streets in the surrounding grid.
- It also describes 2nd ave as both residential and commercial, although clearly this is a residential section of 2nd Ave, with only a few scattered businesses within one mile from the site. This is an incorrect discussion of the roadway.
- it describes traffic as flowing mainly on Stockton Ave, and does not discuss how traffic will avoid the already difficult to maneuver intersection. Traffic patterns suggest cars will exit onto 2nd ave and travel through residential sections of Oak Park (such as on 43rd st) to return to the their original destination, leading to increased traffic on other streets. This traffic pattern is not even considered in the MND, although it is an obvious consideration if you live these traffic patterns every day.

4) Pedestrian/bicycle safety

- although the MND evaluate reports no impact to pedestrian safety, WalkSacramento has evaluated the project and has made recommendations that would improve pedestrian safety (moving drive through to the back, or eliminating it all together), but these recommendations have not been adopted in the current proposal. Clearly this is not the safest design for a restaurant on this corner.
- the only discussion of ped/bike safety states that the project will not remove existing bike/ped facilities. What it does NOT address is how 1018 newly distracted drivers entering onto 2nd Ave will impact the pedestrians and bicyclists who travel that road. The MND also does not address how it will impact already tenuous bike

traffic on Stockton Blvd, which does not have a designated bike lane and already forces cyclists onto the sidewalk to travel north and south on Stockton Blvd. A drive-thru will further jeopardize these already high risk people. The MND does not discuss the current status of pedestrian and bicycle traffic at the corner, let alone the impact a drive thru restaurant would have on these equally (if not more) important forms of transportation.

- the traffic study is inadequate and does not assess ped/bike use of the intersection and completely disregards how 1018 new trips might impact alternate forms of transportation.

5) Air Quality and sensitive receptors

"There are sensitive receptors, including residential uses, and a care facility located adjacent to the subject site; however based upon the new net trips of approximately 1,018, and the existing conditions of the adjacent street segments, the project would not create significant impacts related to TACs. The Project Site is not located within 500 feet from the edge of travel lane for Highway 99 or I-5 and does not include any sensitive receptors; therefore, impacts related to TACs would not result in any new significant effect."

Although the MND reports there will be no issues for sensitive receptors because they the project site does not "include" them, these "adjacent" sensitive receptors (nearby residences, patients at the adjacent care facilities) are the TARGET CONSUMERS for this business and will clearly be on the premises of the proposed site. TACs should be evaluated with the consideration of sensitive receptors being located on the project site or require that McDonald's submit a business plan proving these people will not be their customers.

6) Noise

From the MND "As described earlier, deliveries related to the project are conditioned to occur during business hours. As a result, the restaurant drive thru operations would have a less than significant noise impact."

- 2pm-11pm are **NOT business hours** and there is no mitigation provided for the impact of this noise. As deliveries are "expected" to last an hour, it is conceivable that there would be tractor trailer noise at midnight, immediately adjacent to a care facility and a residence. There needs to be mitigation provided for this possibility.

Sincerely,  
Neighbor and concerned physician,

--  
Charlene Hauser, MD, MPH

University of California-Davis  
Department of Family and Community Medicine  
cell: (814)777-5097  
[charlene.hauser@gmail.com](mailto:charlene.hauser@gmail.com)

**Heather Forest**

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**From:** panetela@comcast.net  
**Sent:** Tuesday, August 30, 2011 9:41 PM  
**To:** Scott Johnson; Heather Forest; Jay Schenirer  
**Cc:** jthomason@shra.org  
**Subject:** Stockton and 2nd McDonalds

Hi, I'm Jeff Thomason of 2701 43rd street, I also own 2744 43rd street and 4300 2nd ave., the house next door to my home. I moved to Oak Park in 1980.

In 1980 there where two more homes in my neighborhood on 2nd ave., they where torn down for Crestwood Manor to expand. It never happened. Now john saca wants to build the 2 lane drive-thru where two homes once stood for about 75 years. That is wrong.

You know that every house on that block, ( 2nd ave ,between 43rd and Stockton blvd. ) has 2 front windows. One is the living room and the other is a bed room. Would YOU want lights and noise from a drive thru across the street all night long? WOULD YOU RENT THAT HOUSE, WOULD YOU BUY THAT HOUSE? WOULD YOU want to live there?????

There are 6 property owners who will be devastated by this plan. Do they count?

This would be the first McDs. in Sacramento county to have it's main drive way entrance across from a residential home.

john saca is not neighborhood friendly. 2700 Stockton blvd. This was built by deceiving neighbors/owners. At Design And Review told that it would be office building. Then after ok'ed the city gave him a Special Permit, (no public hearings and major modification ok ). WHY? Because no body would want to have the sound,{ 50dp } of 3 large fans dispersing toxic chemical vapors continuously, even when power goes out, [ A large loud generator comes on. it also tests once a week], in your back yard/outdoor living space. He should not be involved with this property. He is a crook and maybe so is some city leaders too..

A plan submitted to city years ago was a 3 story mix use, about 5 retail on ground level, 2nd floor office space, top floor market rate residential lofts. I guess 2700 wouldn't mix with a mix use. ha ha Thanks city.

I know all 6 owners do not want the McDs

Should not the real neighbors have a **sensible** say in these matters?

Jeff 455-2592

**Heather Forest**

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**From:** Asael Sala [asael@pesticidewatch.org]  
**Sent:** Tuesday, August 30, 2011 1:06 PM  
**To:** Heather Forest  
**Subject:** Re: McDonald's-2nd Ave. & Stockton Blvd. (P10-071)  
**Attachments:** McDonald's 2nd Ave. & Stockton Blvd.\_Opposition.docx

August 30, 2011

Heather Forest, Associate Planner  
City of Sacramento Community Development Department 300 Richards Blvd.  
Sacramento, CA 95811  
Re: McDonald's-2nd Ave. & Stockton Blvd. (P10-071)

Dear Sacramento City Planning Commission Members:

Pesticide Watch strongly opposes the proposed development of the drive-thru McDonald's on 2nd Avenue and Stockton Boulevard based on the following principles:

- The Proposed construction of the drive-thru McDonald's is incompatible use with adjacent residential neighborhood and UC-Davis Cancer Survivors' Park. (City of Sacramento General Plan policies LU 2.1.2, 2.1.3, 2.1.6 )
- The proposed plans Scored 1.2 out of possible 4 as reviewed by the Oak Park Neighborhood Association Land Use Committee evaluation.
- This plan does not maximize the development possibility of an infill space, which if fully utilized, leads to improved air quality, increased alternative transportation, and higher economic return to the city. (City of Sacramento General Plan policies LU 2.1.6, 2.6.1)
- This plan would be detrimental to the public health, safety, or welfare, or if it results in the creation of a nuisance.
- A drive-through encourages social isolation.
- A drive-through leads to littering, as trash is carried from the restaurant and discarded haphazardly, creating a nuisance for nearby residents.
- Pedestrian safety is compromised by the drive-through presence and location as noted in Walk Sacramento's recommendations (already submitted).
- This proposal is inconsistent with the Sacramento General Plan because the proposal has a FAR (floor to area ratio) of 0.09, which is clearly out of the range as set forth in the General Plan for parcels designated Urban Corridor Low [FAR 0.3- 3.0].
- This proposal is inconsistent with SACOG Blueprint Plan of encouraging compact development and alternative transportation as it is auto oriented and has a very low FAR.
- This proposal is inconsistent with the Broadway Stockton Urban Design Plan, which describes a drive through as an "undesirable use" and "discouraged use."
- This proposal is inconsistency with historic, underserved neighborhood, and health corridor.

Sincerely,  
Asael M. Sala  
Community Organizer  
Pesticide Watch & Pesticide Watch Education

**Heather Forest**

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**From:** David [dahaugen@gmail.com]  
**Sent:** Tuesday, August 30, 2011 7:49 AM  
**To:** Heather Forest  
**Subject:** say no to McDonald's

Dear Ms. Forest,

Please do not allow McDonald's to develop property at Stockton Blvd and 2nd Avenue.

I am a homeowner and single father of one boy; we live just around the corner from this location at 2532 42nd Street.

I am very concerned regarding:

1. Increased traffic congestion
2. Increased trash
3. Increased noise
4. Increased vagrancy (it's bad enough already)
5. Increased danger to pedestrians

Please do not allow such a negative development in our neighborhood. McDonald's represents everything that is "bad" about our society and culture -- to me, this mostly means encouraging poor diet habits and representing a multinational corporation that does so, right in my backyard!

Thank you for not supporting such a development in our neighborhoods.  
David Haugen  
916.320.9997

Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

RE: Proposed McDonald's Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

To the Planning Commission Members:

Our organization, Sacramento League of Urban Gardeners (SLUG) supports Healthy Development for Oak Park (HDOP) in their opposition to the planned construction of a McDonald's restaurant with a double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard in Oak Park.

Building healthy neighborhoods is critical to the overall health of our city. Supporting local businesses, having a voice in what happens in our communities, having places to gather in which the youngest to the oldest members are welcome and safe are important principles and foster connection within the community that ultimately lead to safer, healthier places to live and work. Community gardens, sit-down restaurants and coffee shops, having parks and places to rest or recreate, being able to walk or bike safely to work, school or to the local grocery store are examples of the healthy planning choices HDOP supports. Setting examples for our youth and families about the importance of physical activity, eating wholesome, fresh and locally grown food is also an important component in the legacy we wish to leave future generations.

The City of Sacramento's master plan for making neighborhoods pedestrian and bicycle-friendly is not fulfilled by putting in another fast food restaurant with a double-drive through. The long-term impact of fast food consumption is linked to chronic diseases such as diabetes, obesity and coronary disease, creating an additional long-term and costly burden on the community by increasing the health care costs of the most expensive diseases to treat. Healthy Development for Oak Park is fostering collaboration with the neighborhood to encourage the development of stable, local sources of revenue that will create a healthier Oak Park for generations to come.

SLUG has a vested interest in the health and future of this community and we strongly urge you to reject the application of McDonald's to build a fast food restaurant with a double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard.

Sincerely,



Josh Cadji  
Sacramento League of Urban Gardeners

cc: Healthy Development for Oak Park



1107 9th Street, Ste. 601  
Sacramento, CA 95814

Ph: 916.551.1883  
Ex: 916.448.4560

www.pesticidewatch.org  
info@pesticidewatch.org

August 30, 2011

Health Forest, Associate Planner  
City of Sacramento Community Development Department  
300 Richards Blvd.  
Sacramento, CA 95811

Re: McDonald's-2nd Ave. & Stockton Blvd. (P10-071)

Dear Sacramento City Planning Commission Members:

Pesticide Watch strongly opposes the proposed development of the drive-thru McDonald's on 2<sup>nd</sup> Avenue and Stockton Boulevard based on the following principles:

- The Proposed construction of the drive-thru McDonald's is incompatible use with adjacent residential neighborhood and UC-Davis Cancer Survivors' Park. (City of Sacramento General Plan policies LU 2.1.2, 2.1.3, 2.1.6 )
- The proposed plans Scored 1.2 out of possible 4 as reviewed by the Oak Park Neighborhood Association Land Use Committee evaluation.
- This plan does not maximize the development possibility of an infill space, which if fully utilized, leads to improved air quality, increased alternative transportation, and higher economic return to the city. (City of Sacramento General Plan policies LU 2.1.6, 2.6.1)
- This plan would be detrimental to the public health, safety, or welfare, or if it results in the creation of a nuisance.
- A drive-through encourages social isolation.
- A drive-through leads to littering, as trash is carried from the restaurant and discarded haphazardly, creating a nuisance for nearby residents.
- Pedestrian safety is compromised by the drive-through presence and location as noted in Walk Sacramento's recommendations (already submitted).
- This proposal is inconsistent with the Sacramento General Plan because the proposal has a FAR (floor to area ratio) of 0.09, which is clearly out of the range as set forth in the General Plan for parcels designated Urban Corridor Low [FAR 0.3- 3.0].
- This proposal is inconsistent with SACOG Blueprint Plan of encouraging compact development and alternative transportation as it is auto oriented and has a very low FAR.
- This proposal is inconsistent with the Broadway Stockton Urban Design Plan, which describes a drive through as an "undesirable use" and "discouraged use."
- This proposal is inconsistency with historic, underserved neighborhood, and health corridor.

Sincerely,

Sarah M. Sala

Community Organizer

Pesticide Watch & Pesticide Watch Education

**Heather Forest**

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**From:** Ephriam West [ephwest@comcast.net]  
**Sent:** Wednesday, August 31, 2011 8:48 PM  
**To:** Heather Forest  
**Subject:** FW: McDonalds at 2nd and Stockton

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**From:** [healthydevelopmentforoakpark@googlegroups.com](mailto:healthydevelopmentforoakpark@googlegroups.com) [mailto:[healthydevelopmentforoakpark@googlegroups.com](mailto:healthydevelopmentforoakpark@googlegroups.com)]  
**On Behalf Of** Jamie Davis  
**Sent:** Wednesday, August 31, 2011 7:58 PM  
**To:** [hdoakpark@gmail.com](mailto:hdoakpark@gmail.com)  
**Subject:** Fw: McDonalds at 2nd and Stockton

--- On **Wed, 8/31/11, Jamie Davis** <[cynon767@yahoo.com](mailto:cynon767@yahoo.com)> wrote:

From: Jamie Davis <[cynon767@yahoo.com](mailto:cynon767@yahoo.com)>  
Subject: McDonalds at 2nd and Stockton  
To: [HForest@cityofsacramento.org](mailto:HForest@cityofsacramento.org)  
Date: Wednesday, August 31, 2011, 7:56 PM

We're writing to give our input on the proposed McDonald's restaurant at the corner of 2<sup>nd</sup> Avenue and Stockton Boulevard. We urge the Planning Department to reconsider the plan to allow this project to continue as proposed. As neighborhood residents and property owners we feel that our community can do better than this, and should do better. We hope that something which better represents local interests and local identity can be done with the property in question. The addition of another drive through restaurant chain to this stretch of Stockton Boulevard will hardly enrich or improve the community the way a locally owned business or creative endeavor would do. We hope that you will reconsider this decision and look for better, healthier ways to direct the use of this property... ways that are beneficial to the surrounding community rather than harmful.

Jamie Davis & Emily Woolford

2483 San Jose Way

Sacramento, CA

**Heather Forest**

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**From:** Yudell, Zanja [zyudell@csuchico.edu]  
**Sent:** Wednesday, August 31, 2011 8:27 PM  
**To:** Heather Forest  
**Subject:** McDonald's at Stockton and 2nd Ave

Dear Ms. Forest,

I am writing to register my objection to the proposed McDonald's restaurant on Stockton Blvd. at 2nd Ave. I live at 2528 41st St., which is about two blocks from the site. As someone who regularly walks and bikes on both Stockton Blvd. and 2nd Ave, I am concerned about the likely increase in traffic, in particular the cars that will be crossing the paths of pedestrians and cyclists as they enter the drive-in and parking lot. I am especially concerned about the increased noise pollution produced by the idling cars and patrons of the restaurant, in particular in the evenings. I hope you will take seriously my objections as well as those of other neighborhood residents who would be affected by this project. I appreciate your consideration.

Sincerely,  
Zanja Yudell  
Assistant Professor, Department of Philosophy  
CSU Chico

**Heather Forest**

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**From:** Jamie Davis [cynon767@yahoo.com]  
**Sent:** Wednesday, August 31, 2011 7:57 PM  
**To:** Heather Forest  
**Subject:** McDonalds at 2nd and Stockton

We're writing to give our input on the proposed McDonald's restaurant at the corner of 2<sup>nd</sup> Avenue and Stockton Boulevard. We urge the Planning Department to reconsider the plan to allow this project to continue as proposed. As neighborhood residents and property owners we feel that our community can do better than this, and should do better. We hope that something which better represents local interests and local identity can be done with the property in question. The addition of another drive through restaurant chain to this stretch of Stockton Boulevard will hardly enrich or improve the community the way a locally owned business or creative endeavor would do. We hope that you will reconsider this decision and look for better, healthier ways to direct the use of this property... ways that are beneficial to the surrounding community rather than harmful.

Jamie Davis & Emily Woolford

2483 San Jose Way

Sacramento, CA

**Heather Forest**

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**From:** jmvini@aol.com  
**Sent:** Wednesday, August 31, 2011 4:56 PM  
**To:** Heather Forest  
**Subject:** Opposition to proposed McDonald's (P10-071)

Heather Forest, Associate Planner  
City of Sacramento  
Community Development Department  
300 Richards Blvd.  
Sacramento, CA 95811  
[HForest@cityofsacramento.org](mailto:HForest@cityofsacramento.org)

We are writing in opposition to the development of a McDonald's restaurant with a double drive-through at the corner of 2<sup>nd</sup> Avenue and Stockton Boulevard (P10-071). We totally disagree with the City staff's conclusion in the Mitigated Negative Declaration that there will be no negative impact on the area in terms of increased traffic, noise, and air pollution.

We have lived on Downey Way, which is six or seven blocks down Stockton Boulevard from the site of the proposed McDonald's, for over 25 years. As people who drive on Stockton Boulevard and walk through the neighborhood between Downey Way and 2<sup>nd</sup> Avenue on a daily basis, we are concerned about the increase in traffic and litter that will undoubtedly accompany the operation of a double drive-through McDonald's restaurant at 2<sup>nd</sup> Ave. and Stockton Blvd. In addition, last year we purchased rental property at the corner of 1<sup>st</sup> Ave. and 42<sup>nd</sup> St., which is directly behind the property just next to the proposed restaurant. We are very alarmed about the impact the proposed McDonald's will have on our tenants' enjoyment of the property, as well as the value of the property itself.

The area to the west of the proposed McDonald's is a quiet residential area with narrow, tree-lined streets, well-maintained homes, and little traffic. Many employees of the UCD Medical Center live there and walk to and from work. Bicycle riders are common. It is a quiet corner that is especially attractive to homeowners and renters because of its proximity to the Medical Center. Homes in the area have been stable or, as in the case of several homes on 42<sup>nd</sup> Street just behind the McDonald's property, have been improved recently.

Anyone who lives in the area knows that traffic can be heavy and back-up on Stockton Blvd. The conclusion in the Mitigated Negative Declaration that there will be no impact to traffic in the area is baffling. Having driven in the area for many years, and I can predict with certainty that people exiting the McDonald's property on Stockton Blvd. will turn to the right, even if they wish to head back towards downtown on Stockton Blvd., because it will be easier than making a left-hand turn. Then, they will likely turn right on 2<sup>nd</sup> Ave. (no U-turns are permitted at the intersection), make the next right (on 43<sup>rd</sup> St.), and wind through the quiet residential neighborhood. Those cars will travel right past our rental property, and past the back of the Crestwood Facility, which includes a long grassy lawn — a perfect place to throw some fast food packaging. I have often seen fast food garbage and other discarded items on that stretch when I have visited our rental property. A stream of traffic exiting a McDonald's restaurant one block away with a double drive-through open from 5:00 in the morning until 11:00 at night (and until 1:00 a.m. on Friday, Saturday and Sunday) will result in a great increase in the amount of traffic and litter on this otherwise pleasant little corner.

I understand that the City's planning regulations require a special permit for a drive-through. The proposed plan does not meet the regulatory requirements for granting such a permit. The proposed drive-through will

create a nuisance for adjacent properties, not only those homes on property directly next to or across the street from the proposed McDonald's, but the homes in the surrounding area as well. The drive-through will contribute to increased congestion on the surrounding streets. The design actually places the drive-through lane right along 2<sup>nd</sup> Ave., wrapping around the restaurant before exiting onto Stockton Blvd. This design makes pedestrian and bike travel along both streets less attractive, if not downright dangerous. I know that the Master Plan for the Sacramento area promotes pedestrian and bike traffic. The proposed drive-through restaurant will not advance that plan.

As residents and owners of two properties in the area that will be impacted by the proposed McDonald's, we ask you to support our efforts to keep our neighborhood the kind of place that attracts committed long-term residents. Please do not allow the development of the proposed McDonald's at the corner of 2<sup>nd</sup> Avenue and Stockton Boulevard.

Janet Vining and Eric Vega  
3932 Downey Way  
Sacramento, CA 95817  
[jmvini@aol.com](mailto:jmvini@aol.com)

**Heather Forest**

---

**From:** Tiffany Wilson [wilson.tiff@gmail.com]  
**Sent:** Wednesday, August 31, 2011 2:51 PM  
**To:** Heather Forest  
**Subject:** Fwd: Proposed McDonald's

Heather,

Per a previous email, below is another email that was sent to HDOP expressing concern for the proposed McDonald's at 2nd Avenue and Stockton.

Thanks,

Tiffany

----- Forwarded message -----

**From:** <kahlberg@surewest.net>  
**Date:** Wed, Aug 31, 2011 at 1:21 PM  
**Subject:** Proposed McDonald's  
**To:** hdoakpark@gmail.com  
**Cc:** jschenirer@cityofsacramento.org

Dear Healthy Development for Oak Park and Councilman Schenirer,

I am writing out of concern for the proposed plan to place a drive-through McDonald's at the location of Stockton Boulevard and 2nd Avenue. I am opposed to this project altogether, and even more opposed to allowing drive-through access. This plan will impact the neighborhood with increased traffic and increased noise. Speeding, red light running, and jaywalking are already too common between X Street and Broadway. Placing a busy drive-through restaurant on that corner will only increase the problems we currently contend with on a routine basis.

I am an oncology nurse at UCD Cancer Center and this restaurant is not in congruence with any known healthy lifestyle habits. Oak Park will absolutely not benefit from the high-fat, high-sodium, processed foods offered by McDonald's.

Furthermore, I live very near to the intersection of Stockton Boulevard and Broadway and routinely note the homeless sleeping and loitering around Jack in the Box, litter blowing down the street and piled at the bus stops and County Clinic, and late night traffic in the drive-through.

It is distasteful and disrespectful to the citizens of our region to be mobbed by the intentions of corporate, fast food America.

We should be honoring the diversity of our community and reflecting this in the offerings available for meals and gatherings. McDonald's does not meet this standard.

Most Sincerely,  
Kristine Ahlberg  
4740 7th Avenue  
Sacramento  
(916) 451-4104

**Heather Forest**

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**From:** Keith Klassen [keithklassen@gmail.com]  
**Sent:** Wednesday, August 31, 2011 10:53 AM  
**To:** Heather Forest  
**Subject:** Letter regarding McDonalds on 2nd Ave. and Stockton Blvd.

Hello Heather,

I am writing to voice my strong opposition to having a McDonald's built at the above location. I am part owner of the property at 4320 and 4324 2nd Ave. I feel that this fast food restaurant will be a detriment to the overall neighborhood and adversely affect my property and diminish its value, especially as a rental property. My income will go down and I will have a hard time finding renters as a result. I am especially concerned and oppose to the late night drive through being installed with the outlet dumping right out in front of my property - put yourself in my shoes... how would you like cars shining their headlights into your bedroom at all hours of the night.

If you have any authority and good will on this issue, please help to block this front happening, not just for me, but for the neighborhood that I represent.

Thank you.

Keith

--

Keith A. Klassen, Broker  
Burmaster Real Estate Services, Inc.  
2020 Hurley Way Suite 105, Sacramento CA 95825  
Direct - 916.669.9030  
Fax - 916.978.0999

DRE.# 01509214

**Heather Forest**

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**From:** Ephriam West [ephwest@comcast.net]  
**Sent:** Wednesday, August 31, 2011 6:08 AM  
**To:** Heather Forest  
**Subject:** McDonald's Opposition Letter  
**Attachments:** My McDonald's Opp Letter.doc

Heather Forest, Associate Planner  
City of Sacramento  
Community Development Department  
300 Richards Blvd.  
Sacramento, CA 95811  
[HForest@cityofsacramento.org](mailto:HForest@cityofsacramento.org)

August 31st, 2011

Re: Proposed McDonald's-2nd Ave. & Stockton Blvd.

Dear Sacramento City Planning Commission Members,

I've been a homeowner in Oak Park since October 1<sup>st</sup>, 1990. My home is just two blocks from the corner of 2<sup>nd</sup> Ave. and Stockton Blvd. In my opinion, this proposed site for the McDonald's Fast-Food Restaurant with a double drive-through, is a very bad idea. Although the entire UCD Medical Center Hospital Complex, along with the Shriners Hospital, has brought many jobs to our community, this intersection is an extremely busy and dangerous site for such a plan. Many people race down 2<sup>nd</sup> Ave. early to mid morning, throughout the day, and well after employees depart to go home. Quite a few people employed at the Med Center have bought homes here over the 21 years that I've been a resident, and they enjoy walking and riding their bicycles to and from work. There is plenty of Pedestrian and Bicycle Traffic that will be greatly affected by this plan. As well as the additional automobile congestion entering and leaving this site, we will have to put up with the noise of those cars, a decline in our air quality, and the discarded trash by patrons. Drive-through restaurants do not bring positive changes, or a "Sense of Community", to adjoining neighborhoods. Earlier this month, I along with a couple of my neighbors, canvassed 56<sup>th</sup> and 57<sup>th</sup> Streets off of Folsom Blvd. to get the resident's feedback about both the McDonald's and Taco Bell drive-through restaurants located nearby (on Folsom Blvd). We heard many complaints of traffic, noise, trash, etc. that echoes our own concerns here in Oak Park. If you are aware, or not aware, there are at least four McDonald's drive-through restaurants within a two mile radius of this proposed location, plus a Jack-In-The-Box located just 3-blocks south at the corner of Broadway and Stockton Blvd.

This planned site for a new McDonald's is an undesirable location for such a business, and I strongly oppose it. We want our neighborhood to be safe!

Chalmers E. West III  
2700 42<sup>nd</sup> Street

**Heather Forest**

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**From:** Jack Klassen [jackklassen@earthlink.net]  
**Sent:** Thursday, September 01, 2011 10:46 AM  
**To:** Heather Forest  
**Subject:** RE McDonald's at 2nd Avenue and Stockton, Sacramento

Dear Heather,

I've just returned from vacation and found the deadline to drop you a note was yesterday. I hope you'll consider this opinion in any case.

I am part owner, with my two sons, in the property located at 4320/4324 2nd Avenue: directly across the street from the proposed restaurant.

I want to let you know of my opposition to the proposed McDonald's to be built at the 2nd Avenue location. I understand the property is appropriately zoned for commercial use, however, this particular type of use will adversely affect our property value. As I understand the proposal, the traffic pattern would be to exit the drive-thru onto 2nd Avenue in front of our property. This, together with the normal activity of a McDonald's, i.e. constant customer traffic, cooking odor, noise, garbage, vagrants, etc, will make our property difficult to rent and consequently lower the property value immensely. We've already been impacted by property values dropping and can't sustain another negative impact.

Other forms of commercial use would be far better in terms of being adjacent to a residential neighborhood.

I'm not sure of your capacity in this matter. Your email address was given to me without explanation. However, anything you are able to do to block this development would be appreciated by myself and others in this neighborhood.

Thank you for your consideration.

Sincerely,  
--Jack--

Jack Klassen  
415-990-0998



## OAK PARK NEIGHBORHOOD ASSOCIATION

### **POSITION ON PROPOSED MCDONALD'S RESTAURANT AT 2<sup>ND</sup> AVENUE & STOCKTON BOULEVARD    SEPTEMBER 20, 2011**

In response to community input, The Oak Park Neighborhood Association's (OPNA) Land Use Committee has taken a position of non-support of the proposed McDonald's restaurant, 2<sup>nd</sup> Avenue and Stockton Boulevard.

While we are aware there are many issues confronting the proposed project, OPNA has confined our position to the project as it affects land use and development in Oak Park.

OPNA has a dual matrix system which is based on community and expert input. Our goal is to evaluate each proposed. The proposed McDonald's scored a 1.3 and is therefore not supported by the Association.

OPNA encourages development in Oak Park that meets the design and commerce needs of the community. We encourage any developer to inform us if our scoring is in error or if improvements have been made to the plans that would benefit from further consideration.

The scoring is attached to this letter. The areas that received the low scores and are a cause for concern are:

- The low-density of the project consisting of a single floor with only a .09 floor area ratio
- Increased traffic impacts to 2nd Avenue between Broadway and Stockton Blvd
- Impacts to bicycle and pedestrian circulation within the medical district
- The inclusion of a double drive-thru directly adjacent to residences
- The project is in direct conflict with intent of the Broadway Stockton Urban Design Plan which states:
  - There should be a reduction in the inventory of commercial land
  - Mixed use land uses should be encouraged
  - Drive-thru restaurants should be discouraged
  - Undesirable land uses include fast food
  - Massing should be of a large scale
- Overwhelming vocal opposition from the Oak Park community

OPNA represents our community based on the input of our residents. We look forward to working with developers who bring jobs, progress and much needed services to our community. Please feel free to contact us with your thoughts as to how we can work with you to satisfy your needs and the needs of the community.

Sincerely,

Sam Allen  
Chair, Land Use & Planning Committee

Michael Boyd  
OPNA President

**Heather Forest**

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**From:** Steve Tavares [stavares916@hotmail.com]  
**Sent:** Thursday, September 29, 2011 10:23 PM  
**To:** Heather Forest  
**Subject:** McDonald's on 2nd Ave & Stockton

Hello,

I am writing to express my opposition to the construction of a McDonald's on the corner of 2nd Ave & Stockton. I feel this would have a negative impact on the neighborhood and surrounding community.

Thank you for your time and consideration.  
Steve & Margaret Tavares

**Heather Forest**

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**From:** Micah Baginski [baginski.micah@gmail.com]  
**Sent:** Thursday, September 29, 2011 9:05 AM  
**To:** Heather Forest  
**Subject:** Opposition to the McDonald's on 2nd Ave and Stockton Blvd

Please add the following comments to the public record.

I am a resident of Oak Park and live one block from the proposed location of McDonanld's restaurant. There are already five existing McDonald's within a two-mile radius of the site; adding another is not in the best interest of the immediate neighborhood or Sacramento as a whole. We need to add local, healthy, affordable and sustainable businesses that will contribute to the positive changes taking place in Oak Park, not another fast food restaurant.

The fact that a variance is required for a locally unwanted land use is just cause for a rejection of this proposal. Please do not support this proposal. Thank you.

--

Micah Baginski  
C. 916.600.4040  
Lic.#957507



TO: Heather Forest, Associate Planner  
City of Sacramento Community Development Department  
300 Richards Boulevard  
Sacramento, CA 95811

FROM: Healthy Development for Oak Park

DATE: August 19, 2011

RE: McDonald's – 2<sup>nd</sup> Ave. and Stockton Blvd. Project (P10-071)

Enclosed for your review are (1) signed petitions compiled by our neighborhood organization, (2) letters of support which oppose the proposed building of a double drive-through McDonald's restaurant at the above-referenced location and (3) a summary of technical failures of the proposal.

If you have any questions, please feel free to contact Tiff Wilson at [wilson.tiff@gmail.com](mailto:wilson.tiff@gmail.com).

### **WHY THIS PROPOSED DEVELOPMENT IS NOT APPROPRIATE USE FOR 2<sup>ND</sup> AVENUE AND STOCKTON BOULEVARD**

**According to Sacramento City Code 17.212.010 Special Permit Approval REQUIRES, but the proposal DOES NOT FULFILL:**

#### Sound principles of land use

- **Incompatible use** with adjacent residential neighborhood and UC-Davis Cancer Survivors' Park. (City of Sacramento General Plan policies LU 2.1.2, 2.1.3, 2.1.6 )
- Scored **1.2 out of possible 4** as reviewed by the Oak Park Neighborhood Association Land Use Committee evaluation <http://www.scribd.com/doc/61943399/Development-Matrix>
- Because of the drive-thru, this plan does not maximize the development possibility of an infill space (City of Sacramento General Plan policies LU 2.1.6, 2.6.1)
- Although there are other McDonald's in Sacramento that ARE designed to fit with surrounding environment, this one has not been designed to be consistent with the neighborhood, resulting in **inequity of design for Oak Park**

#### Not injurious

*(detrimental to the public health, safety, or welfare, or if it results in the creation of a nuisance)*

- A drive-thru encourages **social isolation**, which is associated with early death<sup>1</sup>
- A drive-thru leads to **littering**, as trash is carried from the restaurant and discarded haphazardly, creating a nuisance for nearby residents
- **Pedestrian safety is compromised** by the drive-through presence and location as noted in WalkSacramento's recommendations (already submitted)
- There are frequent **sexual assaults, property crimes, and robberies** with a 0.5 mile radius of other drive-thrus in Sacramento <http://www.sacpd.org/crime/mapping/>

#### Must Relate to a Plan

- This proposal *is inconsistent with the Sacramento General Plan* because the proposal has a **FAR (floor to area ratio) of 0.09**, which is clearly out of the range as set forth in the General Plan for parcels designated Urban Corridor Low [FAR 0.3- 3.0].
- This proposal **is inconsistent with SACOG Blueprint Plan** of encouraging compact development and alternative transportation as it is auto oriented and has a very low FAR.
- This proposal **is inconsistent with the Broadway Stockton Urban Design Plan**, which describes a drive through as an "undesirable use" and "discouraged use."
- The drive-thru hours proposed by McDonald's are **inconsistent with City of Sacramento Drive-Thru Regulations**<sup>2</sup> (proposal: 5am-11pm, extended to 1am on Fri/Sat/Sun, whereas the guidelines are: 7a-10pm when adjacent to residential property)

#### Comment on Mitigated Negative Declaration

- Drive thru hours are inconsistent with Sac City Guidelines (as above)
- FAR is inconsistent with General Plan guidelines for Urban Corridor Low (as above)
- The traffic study is incomplete, as it addresses multiple east/west streets in the grid surrounding the proposal site, but only addresses one north/south street in the area

<sup>1</sup> House JS, Landis KR, Umberson D. Social Relationships and Health. Science 1988.

<sup>2</sup> <http://www.cityofsacramento.org/dsd/planning/long-range/drive-thru-regulations.cfm>

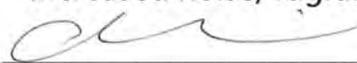
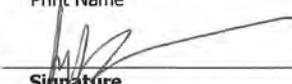
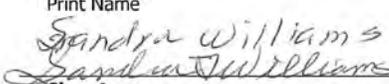
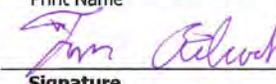
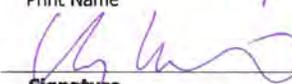
**WHY THIS PROPOSED DEVELOPMENT IS NOT AN APPROPRIATE USE FOR  
2<sup>ND</sup> AVENUE AND STOCKTON BOULEVARD**

**IN SUMMARY:** Denying approval for the drive through is based on sound principles of land use, improves public health, avoids creating a nuisance, and is consistent with multiple planning documents.

# Healthy Development for Oak Park

We the undersigned believe that having a McDonald's built at the corner of 2nd Ave and Stockton Blvd. will contribute to increased traffic congestion, increased danger to pedestrians and cyclists, increased noise, vagrancy and trash in our neighborhood.



	3908 2nd	amarazucena@hotmail.com
<b>Signature</b>	<b>Address</b>	<b>Email</b>
AMAR AZUCENA CID	SAC CA 95817	916 5492389
Print Name	City	Phone #
	3908 2nd	illustrator@hotmail.com
<b>Signature</b>	<b>Address</b>	<b>Email</b>
JOSE PORRAS	SAC CA 95817	916 549-2389
Print Name	City	Phone #
	3920 2nd Ave	Santa CA 95817
<b>Signature</b>	<b>Address</b>	<b>Email</b>
BASHARAT ZAMIAN	3946 2nd AVE	916 730-3757
Print Name	City	Phone #
	4210 2nd AVE	redagnino@yahoo.com
<b>Signature</b>	<b>Address</b>	<b>Email</b>
RAQUEL DAGNINO	SACRAMENTO 95817	619 665-8046
Print Name	City	Phone #
	4338-3 ave	mission.org/jesucpeople
<b>Signature</b>	<b>Address</b>	<b>Email</b>
Tom Adcock		
Print Name	City	Phone #
	4356 3rd AVE	Alaintu@gmail.com
<b>Signature</b>	<b>Address</b>	<b>Email</b>
Heather Ramsey	Sacramento CA 95817	415-810-7742
Print Name	City	Phone #
	4306 2nd Ave	916 736 9042
<b>Signature</b>	<b>Address</b>	<b>Email</b>
Clay Cahill	Sac, 95817	rockdang
Print Name	City	Phone #
		rockdang@gmail.com

**Village Drive In**

3810 60th St  
Sacramento, CA 95820  
916) 457-3196

Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

RE: Opposition to proposed McDonald's Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

Planning Commission Members:

As the owner of a local business—the Village Drive In in Tahoe Park, I support Healthy Development for Oak Park (HDOP) in their **opposition** to the planned construction of a McDonald's restaurant with a 24-hour double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard in Oak Park for the following reasons:

Drive-through restaurants thrive on car turnover, which results in more traffic, endangering children, pedestrians, and bicyclists in the neighborhood.

- Large corporations, such as McDonald's, take jobs and money away from our thriving local businesses.
- The business model of a drive-through McDonald's impairs social gathering, a known necessity for a strong community.
- Allowing a drive-through restaurant in the Oak Park community is antithetical to the City of Sacramento's Master Pedestrian and Bicycle Plan.
- McDonald's promotes food that contributes to obesity, diabetes, and heart disease, which then costs the community as it pays for lifelong treatment of these chronic conditions.

Healthy Development for Oak Park is fostering collaboration within the neighborhood to encourage the development of stable, local sources of revenue that will create a healthier Oak Park, and city of Sacramento, for generations to come. We all have a vested interest in the health and future of this community and I strongly urge you to reject McDonald's application for a drive-through restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard.

Sincerely



Hui Jum, Owner  
February 14, 2011

Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

RE: Opposition to proposed McDonald's Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

Dear Planning Commission Members:

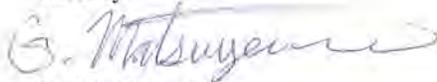
As a concerned citizen and local business owner, I *Geoffrey Matsuyama co owner of Café Lumiere* support Healthy Development for Oak Park (HDOP) in their **opposition** to the planned construction of a McDonald's restaurant with a 24-hour double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard in Oak Park for the following reasons:

Drive-through restaurants thrive on car turnover, which results in more traffic, endangering children, pedestrians, and bicyclists in the neighborhood.

- McDonald's promotes food that contributes to obesity, diabetes, and heart disease, which then costs the community as it pays for lifelong treatment of these chronic conditions.
- The business model of a drive-through McDonald's impairs social gathering, a known necessity for a strong community.
- Large corporations, such as McDonald's, take jobs and money away from our thriving local businesses.
- Allowing a drive-through restaurant in the Oak Park community is antithetical to the City of Sacramento's Master Pedestrian and Bicycle Plan.

Healthy Development for Oak Park is fostering collaboration within the neighborhood to encourage the development of stable, local sources of revenue that will create a healthier Oak Park, and city of Sacramento, for generations to come. I have a vested interest in the health and future of this community and strongly urge you to reject McDonald's application for a drive-through restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard.

Sincerely



Geoffrey Matsuyama  
Co owner of Café Lumiere (Bakery Lumiere)  
5701 Broadway Suite B  
Sacramento, CA 95820

Loving Hut Restaurant  
3500 Stockton Blvd  
Sacramento, CA 95820  
(916) 451-6842

Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

RE: Opposition to proposed McDonald's Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

Planning Commission Members:

As a the owner of a local business—Loving Hut Restaurant on Stockton Blvd, I support Healthy Development for Oak Park (HDOP) in their **opposition** to the planned construction of a McDonald's restaurant with a 24-hour double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard in Oak Park for the following reasons:

Drive-through restaurants thrive on car turnover, which results in more traffic, endangering children, pedestrians, and bicyclists in the neighborhood.

- McDonald's promotes food that contributes to obesity, diabetes, and heart disease, which then costs the community as it pays for lifelong treatment of these chronic conditions.
- Large corporations, such as McDonald's, take jobs and money away from our thriving local businesses.
- The business model of a drive-through McDonald's impairs social gathering, a known necessity for a strong community.
- Allowing a drive-through restaurant in the Oak Park community is antithetical to the City of Sacramento's Master Pedestrian and Bicycle Plan.

Healthy Development for Oak Park is fostering collaboration within the neighborhood to encourage the development of stable, local sources of revenue that will create a healthier Oak Park, and city of Sacramento, for generations to come. We all have a vested interest in the health and future of this community and I strongly urge you to reject McDonald's application for a drive-through restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard.

Sincerely



Manh Huynh and Thùy Nguyen, Co-owners  
February 14, 2011

Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

RE: Opposition to proposed McDonald's Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

Planning Commission Members:

As a concerned citizen (or member of a particular organization), I (*we*) support Healthy Development for Oak Park (HDOP) in their **opposition** to the planned construction of a McDonald's restaurant with a 24-hour double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard in Oak Park for the following reasons:

1. Drive-through restaurants thrive on car turnover, which results in more traffic, endangering children, pedestrians, and bicyclists in the neighborhood.
2. McDonald's promotes food that contributes to obesity, diabetes, and heart disease, which then costs the community as it pays for lifelong treatment of these chronic conditions.
3. The business model of a drive-through McDonald's impairs social gathering, a known necessity for a strong community.
4. Large corporations, such as McDonald's, take jobs and money away from our thriving local businesses.
5. Local businesses offer more financial return per dollar to the city than large corporations.
6. Allowing a drive-through restaurant in the Oak Park community is antithetical to the City of Sacramento's Master Pedestrian and Bicycle Plan.

Healthy Development for Oak Park is fostering collaboration within the neighborhood to encourage the development of stable, local sources of revenue that will create a healthier Oak Park, and city of Sacramento, for generations to come. I (*we*) have a vested interest in the health and future of this community and strongly urge you to reject McDonald's application for a drive-through restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard.

Sincerely,  
Chung Oh, Stockton Burgers  
2033 Stockton Blvd.  
Sacramento, CA 95817



Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

RE: Opposition to proposed McDonald's Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

Planning Commission Members:

As a concerned citizen (or member of a particular organization), I (we) support Healthy Development for Oak Park (HDOP) in their **opposition** to the planned construction of a McDonald's restaurant with a 24-hour double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard in Oak Park for the following reasons:

1. Drive-through restaurants thrive on car turnover, which results in more traffic, endangering children, pedestrians, and bicyclists in the neighborhood.
2. McDonald's promotes food that contributes to obesity, diabetes, and heart disease, which then costs the community as it pays for lifelong treatment of these chronic conditions.
3. The business model of a drive-through McDonald's impairs social gathering, a known necessity for a strong community.
4. Large corporations, such as McDonald's, take jobs and money away from our thriving local businesses.
5. Local businesses offer more financial return per dollar to the city than large corporations.
6. Allowing a drive-through restaurant in the Oak Park community is antithetical to the City of Sacramento's Master Pedestrian and Bicycle Plan.

Healthy Development for Oak Park is fostering collaboration within the neighborhood to encourage the development of stable, local sources of revenue that will create a healthier Oak Park, and city of Sacramento, for generations to come. I (we) have a vested interest in the health and future of this community and strongly urge you to reject McDonald's application for a drive-through restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard.

Sincerely,  
Chang Park, Serv-Rite Market  
3994 2<sup>nd</sup> Ave.  
Sacramento, CA 95817



Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

RE: Opposition to proposed McDonald's Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

Planning Commission Members:

As a concerned citizen (or member of a particular organization), I (*we*) support Healthy Development for Oak Park (HDOP) in their **opposition** to the planned construction of a McDonald's restaurant with a 24-hour double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard in Oak Park for the following reasons:

1. Drive-through restaurants thrive on car turnover, which results in more traffic, endangering children, pedestrians, and bicyclists in the neighborhood.
2. McDonald's promotes food that contributes to obesity, diabetes, and heart disease, which then costs the community as it pays for lifelong treatment of these chronic conditions.
3. The business model of a drive-through McDonald's impairs social gathering, a known necessity for a strong community.
4. Large corporations, such as McDonald's, take jobs and money away from our thriving local businesses.
5. Local businesses offer more financial return per dollar to the city than large corporations.
6. Allowing a drive-through restaurant in the Oak Park community is antithetical to the City of Sacramento's Master Pedestrian and Bicycle Plan.

Healthy Development for Oak Park is fostering collaboration within the neighborhood to encourage the development of stable, local sources of revenue that will create a healthier Oak Park, and city of Sacramento, for generations to come. I (*we*) have a vested interest in the health and future of this community and strongly urge you to reject McDonald's application for a drive-through restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard.

Sincerely,  
Nina Waraich, Subway Sandwiches  
3000 Stockton Blvd.  
Sacramento, CA 95817

TEJINDER SINGH Business Partner.  
Tejinder Singh.

Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3rd Floor  
Sacramento, CA 95811

RE: Opposition to proposed McDonald's Restaurant at 7th Avenue and Stockton Boulevard

Planning Commission Members:

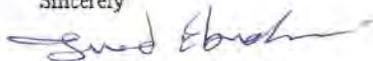
As a concerned citizen (or member of a particular organization), I (we) support Healthy Development for Oak Park (HDOP) in their **opposition** to the planned construction of a McDonald's restaurant with a 24-hour double drive-through at 7th Avenue and Stockton Boulevard in Oak Park for the following reasons:

Drive-through restaurants thrive on car turnover, which results in more traffic, endangering children, pedestrians, and bicyclists in the neighborhood.

- McDonald's promotes food that contributes to obesity, diabetes, and heart disease, which then costs the community as it pays for lifelong treatment of these chronic conditions.
- The business model of a drive-through McDonald's impairs social gathering, a known necessity for a strong community.
- Large corporations, such as McDonald's, take jobs and money away from our thriving local businesses.
- Allowing a drive-through restaurant in the Oak Park community is antithetical to the City of Sacramento's Master Pedestrian and Bicycle Plan.

Healthy Development for Oak Park is fostering collaboration within the neighborhood to encourage the development of stable, local sources of revenue that will create a healthier Oak Park, and city of Sacramento, for generations to come. I (we) have a vested interest in the health and future of this community and strongly urge you to reject McDonald's application for a drive-through restaurant at 7th Avenue and Stockton Boulevard.

Sincerely



Your name

Fred Ebrahimi

2/22/2011

Milano Pizza  
3900 60th St.  
Sacramento, CA 95820

Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

RE: Opposition to proposed McDonald's Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

Planning Commission Members:

As a concerned citizen (or member of a particular organization), I (*we*) support Healthy Development for Oak Park (HDOP) in their **opposition** to the planned construction of a McDonald's restaurant with a 24-hour double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard in Oak Park for the following reasons:

1. Drive-through restaurants thrive on car turnover, which results in more traffic, endangering children, pedestrians, and bicyclists in the neighborhood.
2. McDonald's promotes food that contributes to obesity, diabetes, and heart disease, which then costs the community as it pays for lifelong treatment of these chronic conditions.
3. The business model of a drive-through McDonald's impairs social gathering, a known necessity for a strong community.
4. Large corporations, such as McDonald's, take jobs and money away from our thriving local businesses.
5. Local businesses offer more financial return per dollar to the city than large corporations.
6. Allowing a drive-through restaurant in the Oak Park community is antithetical to the City of Sacramento's Master Pedestrian and Bicycle Plan.

Healthy Development for Oak Park is fostering collaboration within the neighborhood to encourage the development of stable, local sources of revenue that will create a healthier Oak Park, and city of Sacramento, for generations to come. I (*we*) have a vested interest in the health and future of this community and strongly urge you to reject McDonald's application for a drive-through restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard.

Sincerely,  
Abbas-Ali, Cig's & Snacks Market  
3022 Stockton Blvd.  
Sacramento, CA 95817



Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

6/2/2011

Subject: Proposed McDonalds at 2<sup>nd</sup> Avenue and Stockton Boulevard

Dear Planning Commissioners,

I am writing to share with you my concerns regarding the proposed McDonald's development at 2<sup>nd</sup> Avenue and Stockton Boulevard. As a registered dietitian who cares for patients near the project site, I am concerned and alarmed by the development proposal. My patients are **young children and teenagers who are** vulnerable to the community in which they live. They suffer from asthma, diabetes, and heart disease while they breathe polluted air, largely attributed to vehicle emissions, a necessary means of travel due to our car centric development pattern.

**I work in the pediatric endocrinology clinic where I see children and teenagers every week to discuss healthy eating for weight management.** In the United States, childhood overweight and obesity affect approximately 32% of children and teens with the prevalence of obesity among adults being 34%. The treatment of obesity continues to be reducing calories by choosing healthy foods and exercising more. Building a McDonald's across the street from the pediatric clinics will send the wrong message to these kids and teens (and their parents) who are trying to improve their lifestyle and lose weight. McDonalds markets and sells "kids meals." Just one of these "kids meals" provides up to 65-70% of the daily calories, ~100% of the daily fat, >100% of the saturated fat, and >60% of the salt that a 4-8 year old needs for the entire day. Making these types of unhealthy foods more available and easy to access with a drive-through is not in the best interest of the kids and teens who live in Oak Park and/or come to the UC Davis Medical Center for their health care.

According to the Centers for Disease Control and Prevention, healthy community design can improve people's health by:

- Increasing physical activity,
- Reducing injury, increasing access to healthy food,
- Improving air quality, and
- Strengthening the social fabric of a community.<sup>1</sup>

According to the World Health Organization, there are multiple social factors that determine health, regardless of the medical services available. These include:

- Social cohesion
- Access to a variety of healthy foods

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<sup>1</sup> [www.cdc.gov/healthyplaces](http://www.cdc.gov/healthyplaces)

- Cycling, walking, and the use of public transportation<sup>2</sup>

A drive-through fast food restaurant depends on heavy vehicle traffic, which leads to *decreased* physical activity, *increased* injury of pedestrians and bicyclists, air pollution, and *less* social cohesion. If we instead focus on designing a healthy community (e.g., healthy food establishments, decreased dependence on automobiles due to increased active transportation facilities), my patients, and the citizens of Sacramento, may one day be able to finally escape the shackles of obesity, diabetes, asthma, and other chronic diseases. As a civic leader responsible for development decisions that impact the health of your constituents and our community, please support the citizens of Sacramento by rejecting the drive through permit request for 2<sup>nd</sup> Ave and Stockton Boulevard.

Sincerely,

Colleen S. Baucom-Pro, MAS, RD  
Clinical Dietitian  
Food and Nutrition Services  
UC Davis Medical Center  
2315 Stockton Blvd O118  
Sacramento, CA 95817

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<sup>2</sup> Wilkinson, Richard and Michael Marmot. *Social Determinants of Health: the solid facts*. 2<sup>nd</sup> ed. World Health Organization. 2003

Christoph Troppmann, MD, FACS  
1128 43<sup>rd</sup> Street  
Sacramento, CA 95819

June 6, 2011

Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

Subject: Proposed McDonalds Drive-Through Fast Food Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

Dear Planning Commissioners,

I am writing to share with you my concerns regarding the proposed McDonald's development at 2<sup>nd</sup> Avenue and Stockton Boulevard. As a physician who cares for patients near the project site, I am concerned and alarmed by the development proposal. Many of my patients are elderly, underserved, obese and highly susceptible to any negative influences emanating from the community in which they live. They suffer from asthma, diabetes, and heart disease while they breathe polluted air, largely attributed to vehicle emissions.

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Sincerely,

A handwritten signature in black ink, appearing to read 'Troppmann', with a long horizontal flourish extending to the right.

Christoph Troppmann, MD, FACS.

Kathrin Troppmann, MD, FACS  
1128 43<sup>rd</sup> Street  
Sacramento, CA 95819

June 6, 2011

Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

Subject: Proposed McDonalds Drive-Through Fast Food Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

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Sincerely,

A handwritten signature in blue ink, appearing to read 'Kathrin Troppmann', written over a faint, illegible background.

Kathrin Troppmann, MD, FACS.



Catalyst for Community Thrives

RE: PROPOSED MCDONALD'S AT 2ND AVE AND STOCKTON BLVD

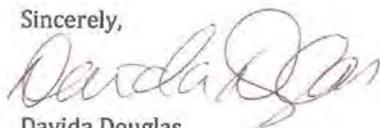
To Whom It May Concern:

Alchemist CDC supports the efforts of Healthy Development for Oak Park in opposing the construction of a McDonald's restaurant at 2nd Avenue and Stockton Boulevard.

This proposed McDonald's ~~does not~~ promote health or safety in the Oak Park Community. Alchemist CDC opposes its construction for many reasons, including the following:

1. McDonald's promotes food that contributes to obesity, diabetes, and heart disease, which then costs the community as it pays for lifelong treatment of these chronic conditions.
2. Drive-through restaurants thrive on car turnover, which results in more traffic, endangering children, pedestrians, and bicyclists in the neighborhood.
3. The business model of a drive-through McDonald's impairs social gathering, a critical requirement for a strong community.
4. There are five McDonald's restaurants with drive-throughs within a two-mile radius of the proposed location. There is already an imbalance in the ratio of fast food outlets to healthy food outlets in this area.
5. Large corporations, such as McDonald's, take jobs and money away from our thriving local businesses.
6. Local businesses offer more financial return per dollar to the city than large corporations.
7. Allowing a drive-through restaurant in the Oak Park community is antithetical to the City of Sacramento's Master Pedestrian and Bicycle Plan.
8. There will likely be increased trash and litter, as evidenced by other fast food restaurants already within 0.3 miles of the proposed location.
9. Community members should have a voice in the planning process for businesses that impact their community in such a dramatic way.

Sincerely,



Davida Douglas  
Executive Director

916.204.8260 • 1800 21st St., Ste. 100 • Sacramento, CA 95811 • [alchemistcdc.org](http://alchemistcdc.org)



July 28, 2011

Planning Commission - City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

RE: Proposed McDonald's Restaurant at 2<sup>nd</sup> Avenue and Stockton Boulevard

To the Planning Commission Members:

As a concerned citizen and business owner of Freedom Farms, I support Healthy Development for Oak Park (HDOP) in their opposition to the planned construction of a McDonald's restaurant with a 24-hour double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard in Oak Park.

Building healthy neighborhoods is critical to the overall health of our city. Supporting local businesses, having a voice in what happens in our communities, having places to gather in which the youngest to the oldest members are welcome and safe are important principles and foster connection within the community that ultimately lead to safer, healthier places to live and work. Community gardens, sit-down restaurants and coffee shops, having parks and places to rest or recreate, being able to walk or bike safely to work, school or to the local grocery store are examples of the healthy planning choices Freedom Farms and HDOP supports. Setting examples for our youth and families about the importance of physical activity, eating wholesome, fresh and locally grown food is also an important component in the legacy we wish to leave future generations.

The City of Sacramento's master plan for making neighborhoods pedestrian and bicycle-friendly and California Endowments' 'Building Healthy Communities' initiative will not be fulfilled by putting in another fast food restaurant with a double-drive through. The long-term impact of fast food consumption is linked to chronic diseases such as diabetes, obesity and coronary disease, creating an additional long-term and costly burden on the community by increasing the health care costs of the most expensive diseases to treat. Freedom Farms and Healthy Development for Oak Park is fostering collaboration with the neighborhood to encourage the development of stable, local sources of revenue that will create a healthier Oak Park for generations to come.

We at Freedom Farms have a vested interest in the health and future of this community and strongly urge you to reject the application of McDonald's to build a fast food restaurant with a double drive-through at 2<sup>nd</sup> Avenue and Stockton Boulevard.

Sincerely,

Kory Grant Clift, Program Manager

[www.freedomfarmsfood.org](http://www.freedomfarmsfood.org)

cc: Healthy Development for Oak Park

**Heather Forest**

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**From:** Steven Root [thrillyo@gmail.com]  
**Sent:** Monday, October 10, 2011 10:59 AM  
**To:** Heather Forest  
**Subject:** Opposition to McDonald's Proposal to build drive-through restaurant at 2nd & Stockton

Greetings,

I am sharing my opposition to adding a McDonald's at the intersection of 2nd Avenue and Stockton Boulevard. Having lived at 4312 2nd Avenue for 2 years, directly across from the empty lot, I can honestly say it will not be a good fit for that part of the Oak Park Neighborhood.

I have nothing against McDonald's corporate or the other 5 locations within 2 miles of that empty lot. What I abhor is the City Planning Commission deciding what is right for a neighborhood instead of the actual residents who live there. The city has collected \$100's of my Oak Park (Sacramento) invested dollars from its selective ticketing practices along 2nd Avenue during the 2 years I lived there. It has done so for many other residents much longer. So instead of letting the neighborhood live in peace to then force the noise pollution, odor pollution, and unhealthy majority of a McDonald's food menu into their neighborhood interior just seems so disrespectful to me.

In light of the recent redistricting decision by City Council this matter will likely not go unnoticed. Please examine this issue not solely based on blueprints, sound walls, or egress, but rather the will of the actual residents to live in peace and wait however long it takes for a healthier option to fill that particular empty lot.

P.S. If the city is interested in filling up empty lots there are plenty in South Oak Park!

Sincerely,  
Steven Root

**Heather Forest**

---

**From:** aeron.terry@gmail.com on behalf of Aeron Terry [aterry@stjohnsshelter.org]  
**Sent:** Tuesday, October 11, 2011 1:59 AM  
**To:** Heather Forest  
**Subject:** No more mcdonald's please!

Hello,

I got your email from Healthy Development for Oak Park and would like to add my voice to the cause and ask that we do not add another McDonald's to the Oak Park area. There are already several within blocks of each other, and another is not needed. Surely there is something better that could be put in that location!

-Aeron Terry, current Oak Park resident.

Planning Commission  
City of Sacramento  
300 Richards Boulevard, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

10/14/11

Subject: Proposed McDonalds at 2<sup>nd</sup> Avenue and Stockton Boulevard

Dear Planning Commissioners,

I am writing to strongly urge you to oppose the proposed McDonald's development at 2<sup>nd</sup> Avenue and Stockton Boulevard. As a pediatric dietician who cares for patients near the project site, I am extremely concerned about the potential impact of this development proposal. My young patients, are the underserved, lower socioeconomic population that is so very vulnerable to the local community environment. These children suffer from chronic diseases, including cancers, asthma, diabetes, and heart disease which can be further exacerbated by exposure to environmental hazards, including vehicle emissions. A drive-through fast food restaurant will increase their exposure to harmful environmental chemicals, right near the healthcare site for which they are being treated for their chronic diseases.

The McDonald's corporation has worked hard to earn their poor reputation for marketing unhealthful foods to children. By seeking a new drive-thru site so close to a major medical center, it appears they are seeking to prey further on the children that suffer from the chronic illnesses to which they contributed. What kind of message are we sending our families when we have one of the leading fast food, drive-thru restaurants within blocks of their healthcare facility?

I strongly encourage the Planning Commissioners to consider the negative impact of the proposed McDonald's drive-thru restaurant on the health of your constituents and our community. Please support the citizens of Sacramento by rejecting the drive-thru permit request for 2<sup>nd</sup> Ave and Stockton Boulevard.

Sincerely,

Dianne Mills, RD  
Pediatric Dietician



October 14, 2011

VIA EMAIL

Heather Forest, Associate Planner  
City of Sacramento Planning Division  
300 Richards Blvd, 3rd Floor  
Sacramento, CA 95811

**RE: McDonalds – Stockton Blvd. (P10-071)**

Dear Ms. Forest:

The McDonalds – Stockton Blvd project (P10-071) proposes a 3897 square foot restaurant with thirty parking spaces and a drive through facility. WALKSacramento previously commented on this project in a letter dated November 30, 2010. We would like to take this opportunity to reiterate and expand upon some of our comments.

The site of the proposed project is surrounded by residential and hospital land uses. The corner location is close to residents to the west and many employees and visitors to the hospital uses to the north, south, and east. It can be a superior pedestrian destination. However, the site design doesn't take advantage of its location.

The main entrance to the restaurant is near the middle of the building's north side, facing the parking lot and about 110' from the sidewalk. This is a long way to get into a building that, according to the general plan design guidelines for the site, should be "sited up to the corridor to create a consistent street wall." In addition to the long walk to the entrance, pedestrians must cross the drive-thru aisle and contend with customers that have just picked up their orders.

The drive-thru lane that wraps around the two sides of the restaurant facing the streets results in more than just an inconvenient and hazardous walk for pedestrians. It requires a deep setback from the street – about 55' from Stockton Boulevard and 37' from 2nd Avenue. It also results in a street wall with just two small drive-thru service windows and one window in the dining area.

WALKSacramento still recommends the same changes to the site plan and building design as we made in our previous comment letter. Those recommendations are:

- 1. Move the building to the corner of Stockton Boulevard and Second Avenue.**
- 2. Locate the main entrance at the corner of Stockton Boulevard and Second Avenue.**
- 3. Widen the sidewalks at the corner to create a larger pedestrian landing.**
- 4. Eliminate the drive through or locate it at the rear of the building.**

909 12th Street, Suite #122 • Sacramento, CA 95814 • 916-446-9255 • fax 916-443-9255

[www.walksacramento.org](http://www.walksacramento.org)

WALKSacramento encourages people to walk and bicycle in their communities. The benefits include improved physical fitness, less motor vehicle traffic congestion, better air quality, and a stronger sense of cohesion and safety in local neighborhoods. WALKSacramento is working to support increased physical activity such as walking and bicycling in local neighborhoods as well as helping to create community environments that support walking and bicycling.

Thank you for your consideration of these comments and recommendations. If you have questions or need additional information, please contact me at (916) 446-9255 or [cholm@walksacramento.org](mailto:cholm@walksacramento.org).

Sincerely,



Chris Holm  
Project Analyst