



ADDENDUM TO AN ADOPTED MITIGATED NEGATIVE DECLARATION

The City of Sacramento, California, a municipal corporation, does hereby prepare, make declare, and publish the Addendum to an adopted mitigated negative declaration for the following described project:

BOD Raley Warehouse (P12-007): The project is the construction and operation of a 117,000 square foot warehouse on 7.9 acres in the Light Industrial Review (M-1-R) zone. The project requires a plan review. The project is located at the southeast corner of Raley Boulevard and Vinci Avenue, APN 215-0244-026.

The City of Sacramento, Community Development Department, has reviewed the proposed project and on the basis of the whole record before it, has determined that there is no substantial evidence that the project, as identified in the attached addendum, would have a significant effect on the environment beyond that which was evaluated in the attached EIR. A Subsequent EIR is not required pursuant to the California Environmental Quality Act of 1970 (Sections 21000, et. Seq., Public Resources Code of the State of California).

This Addendum to an adopted mitigated negative declaration has been prepared pursuant to Title 14, Section 15164 of the California Code of Regulations; the Sacramento Local Environmental Regulations (Resolution 91-892) adopted by the City of Sacramento.

A copy of this document and all supportive documentation may be reviewed or obtained at the City of Sacramento, Community Development Department, Planning Division, 300 Richards Boulevard, Sacramento, California 95811.

Environmental Services Manager, City of Sacramento,
California, a municipal corporation

By: *[Handwritten Signature]*

Date: 8/1/12

BOD RALEY WAREHOUSE (P12-007)
Addendum to a Mitigated Negative Declaration
adopted for BLT Raley Warehouse (P04-160)

Project Name/File: BOD Raley Warehouse (P12-007)

Project Location: Southeast corner of Raley Boulevard and Vinci Avenue; APN 215-0244-026 (See Attachment A, Vicinity Map)

Existing Plan Designations and Zoning: The 2030 General Plan land use designation for the project site is Employment Center Low Rise. The zoning designation is Light Industrial Review (M-1-R)

Project Background: The project parcel was originally part of an approximately 11.8-acre parcel. In Project P04-160, the Planning Commission approved a parcel merger to merge four parcels into two parcels, and a plan review to construct a 100,800-square foot warehouse. The Planning Commission adopted a mitigated negative declaration and mitigation monitoring plan for the project. (See Attachments B and C)

Following project approval, the applicant completed the parcel merger. One of the substantial concerns in the previous project as proximity of any development to Don Julio Creek, which ran through the parcels on the southeast portion. The parcel serving as the project site is located to the west and northwest of the creek, avoiding impacts on the creek.

Project Description: The project would construct and operate a 116,700-square foot warehouse on the 7.9-acre site.

Discussion

An Addendum to a certified environmental impact report may be prepared if only minor technical changes or additions are required, and none of the conditions identified in CEQA Guidelines Section 15162 are present. The following identifies the standards set forth in section 15162 as they relate to the project.

- 1. No substantial changes are proposed in the project which would require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.**

The original project was approved by the Planning Commission on July 28, 2005. The project evaluated in the Mitigated Negative Declaration (MND) included a 100,799-square foot warehouse. The current project includes a warehouse with 116,964 square feet. The increase in size would not result in any significant increase in construction impacts, and would have no substantial effect in terms of operation of the facility. While some minor increase in traffic may be

anticipated, this would be slight in terms of the traffic levels in the project area, and the impact would be less than significant.

- 2. No substantial changes have occurred with respect to circumstances under which the project is undertaken that would require major revisions of the previous Mitigated Negative Declaration due to the involvement of new significant environmental effect or a substantial increase in the severity of previously indemnified significant effects.**

The Mitigation Monitoring Program that was adopted for the original project included mitigation for biological resources and cultural resources. In the case of biological resources, mitigation includes pre-development surveys to identify sensitive biological resources and measures to avoid and minimize impacts. For cultural resources, the mitigation includes standards provisions that relate to discovery of cultural resources during construction activities. These mitigation measures will continue to apply to the project.

The project site was the subject of a reconnaissance on August 25, 2011 for the purpose of determining whether there were any waters on the property subject to the jurisdiction of the U.S. Army Corps of Engineers or California Department of Fish and Game. The letter report confirms that there are no such resources present on the site. (See Attachment D)

- 3. No new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or adopted, shows any of the following:**
 - a) The project will have one or more significant effects not discussed in the previous EIR;**
 - b) Significant effects previously examined will be substantially more severe than shown in the previous EIR;**
 - c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative, or;**
 - d) Mitigation measures or alternatives which are considerable different from those analyzed in the previous would substantially reduce on or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.**

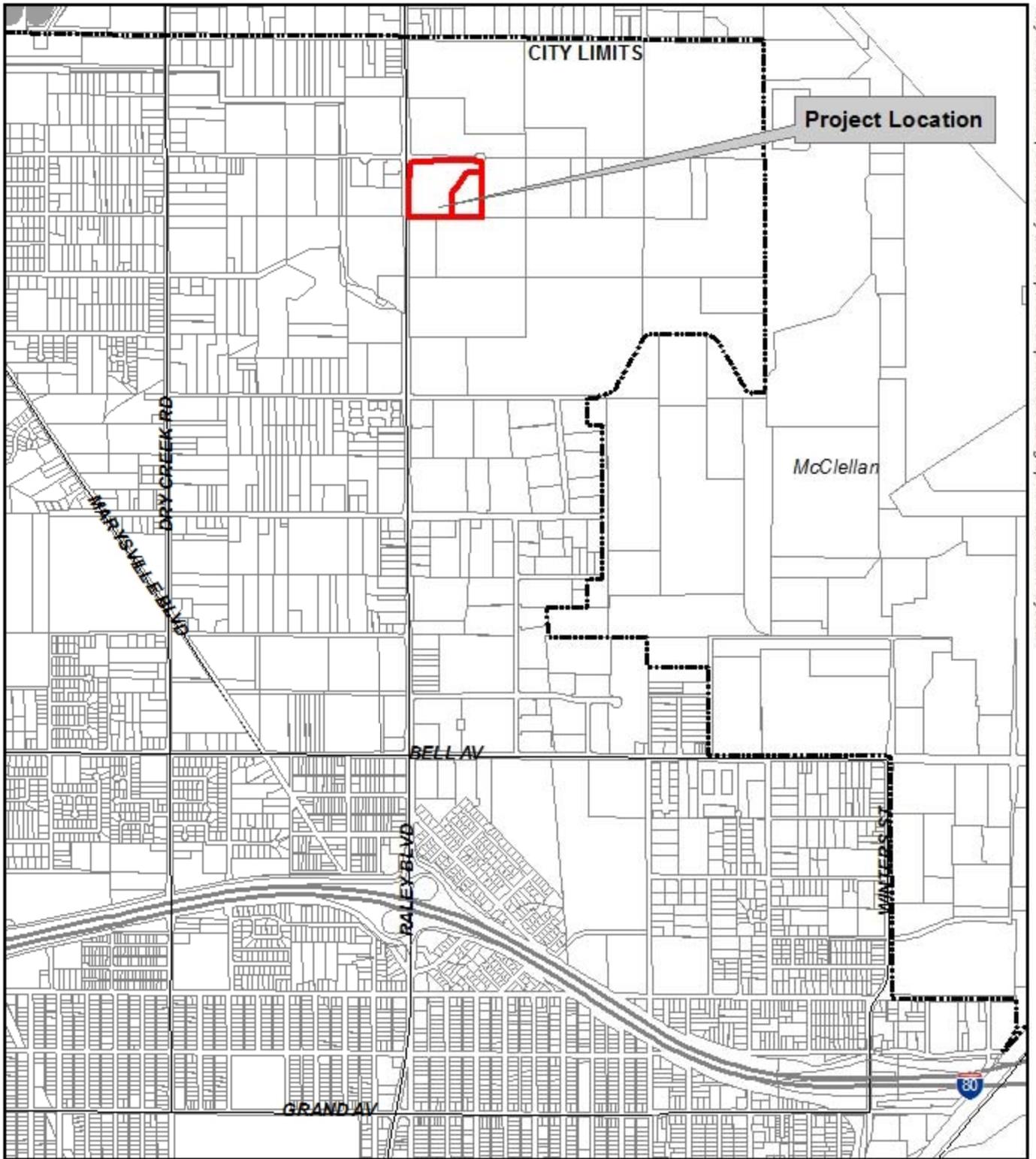
The proposed project is substantially the same as the original project. There have been no new activities or development in the project vicinity that would change the evaluation of effects as set

forth in the MND, and the project would have no new significant effects that have not already been identified and evaluated.

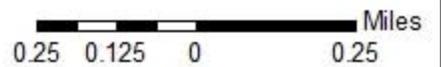
Based on the above analysis, this Addendum to the previously-certified Environmental Impact Report for the project has been prepared.

Attachments:

- A) Vicinity Map
- B) Mitigated Negative Declaration for P04-160 BLT Raley Warehouse
- C) Notice of Decision and Findings of Fact for P04-160 (Planning Commission, July 28, 2012)
- D) Letter report regarding wetlands, Bumgardner Biological Consulting, August 30, 2011



P12-007
Vicinity Map
BOD Raley
Southeast Corner of
Raley Blvd & Vinci Ave



D. Hung | August 2012

ATTACHMENT B



DEVELOPMENT SERVICES
DEPARTMENT

CITY OF SACRAMENTO
CALIFORNIA

1231 I STREET
ROOM 300
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PLANNING DIVISION

ENVIRONMENTAL PLANNING
SERVICES
916-808-1909
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MITIGATED NEGATIVE DECLARATION

The City of Sacramento, California, a municipal corporation, does hereby prepare, make declare, and publish this Negative Declaration for the following described project:

P04-160 BLT Raley Warehouse -entitlements to merge four parcels on 11.82± undeveloped acres into two parcels and to allow the construction of a 100,799± square foot warehouse building on a 7.5± acres parcel in the Light Industrial Review (M-1-R) zone (APN: 215-0244-022, -023, -024, -025).

- A. **Parcel Merger** to merge four parcels on 11.82± undeveloped acres into two parcels in the Light Industrial Review (M-1-R) zone;
- B. **Plan Review** to construct a 100,799± square foot warehouse building on a 7.5± acres parcel in the Light Industrial Review (M-1-R) zone;

The City of Sacramento, Development Services Department, has reviewed the proposed project and on the basis of the whole record before it, has determined that there is no substantial evidence that the project, with mitigation measures as identified in the attached Initial Study, will have a significant effect on the environment. This Mitigated Negative Declaration reflects the lead agency's independent judgment and analysis. An Environmental Impact Report is not required pursuant to the Environmental Quality Act of 1970 (Sections 21000, et seq., Public Resources Code of the State of California).

This Negative Declaration has been prepared pursuant to Title 14, Section 15070 of the California Code of Regulations; the Sacramento Local Environmental Regulations (Resolution 91-892) adopted by the City of Sacramento; and the Sacramento City Code.

A copy of this document and all supportive documentation may be reviewed or obtained at the City of Sacramento, Development Services Department, Planning Division, 1231 I Street, 3rd Floor, Sacramento, California 95814.

Environmental Services Manager, City of Sacramento,
California, a municipal corporation

By: LA Bafes

BLT RALEY WAREHOUSE (P04-160)
INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

This Initial Study has been prepared by the Development Services Department, Environmental Planning Services, 1231 I Street, Room 300, Sacramento, CA 95814, pursuant to Title 14, Section 15070 of the California Code of Regulations; the Sacramento Local Environmental Regulations (Resolution 91-892) adopted by the City of Sacramento, and the Sacramento City Code.

This Initial Study is organized into the following sections:

SECTION I. - BACKGROUND: Page 3 - Provides summary background information about the project name, location, sponsor, when the Initial Study was completed, and a project introduction.

SECTION II. - PROJECT DESCRIPTION: Page 5 - Includes a detailed description of the Proposed Project.

SECTION III. - ENVIRONMENTAL CHECKLIST AND DISCUSSION: Page 6 - Contains the Environmental Checklist form together with a discussion of the checklist questions. The Checklist Form is used to determine the following for the proposed project: 1) "Potentially Significant Impacts" that may not be mitigated with the inclusion of mitigation measures, 2) "Potentially Significant Impacts Unless Mitigated" which could be mitigated with incorporation of mitigation measures, and 3) "Less-than-significant Impacts" which would be less-than-significant and do not require the implementation of mitigation measures.

SECTION IV. - ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED: Page 46 - Identifies which environmental factors were determined to have either a "Potentially Significant Impact" or "Potentially Significant Impacts Unless Mitigated," as indicated in the Environmental Checklist.

SECTION V. - DETERMINATION: Page 47 - Identifies the determination of whether impacts associated with development of the Proposed Project are significant, and what, if any, additional environmental documentation may be required.

ATTACHMENTS: **A** – Vicinity Map/Location Map
 B -- Project Plans

SECTION I. BACKGROUND

File Number, Project Name:

P04-160, BLT Warehouse

Project Location:

Southeast corner of Raley Boulevard and Vinci Avenue in the North Sacramento Community Plan area of the City of Sacramento, Sacramento County. (APNs: 215-0244-022, -023, -024, and -025).

Project Applicant, Project Planner, and Environmental Planner Contact Information:

Project Applicant

Mark III Engineering Contractors
5101 Florin-Perkins Road
Sacramento, CA 95826
(916) 381-8080

Project Planner

David Hung, Associate Planner
City of Sacramento, Development Services Department
1231 I Street, Room 300
Sacramento, CA 95814
(916) 808-5530

Environmental Planner

Scott Johnson, Assistant Planner
City of Sacramento, Development Services Department
1231 I Street, Room 300
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Introduction

The proposed project consists of a request for various entitlements to construct a 100,799± square foot warehouse on 7.5± acres in the Light Industrial Review (M-1S-R) zone.

The City of Sacramento, as lead agency, has determined that the appropriate environmental document for the proposed project is a Mitigated Negative Declaration. This environmental document examines project effects which are identified as potentially significant effects on the environment or which may be substantially reduced or avoided by the adoption of revisions or conditions to the design of project specific features. It is believed at this time that the project will not result in potentially significant impacts. Therefore, a Mitigated Negative Declaration is the proposed environmental document for this project.

BLT WAREHOUSE (P04-160)
INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

The City is soliciting views of interested persons and agencies on the content of the environmental information presented in this document. Due to the time limits mandated by state law, your response must be sent at the earliest possible date, but no later than the 20-day review period ending, Wednesday, June 29, 2005.

Please send written responses to:

Scott Johnson, Environmental Project Manager
Development Services Department
Environmental Planning Services
1231 I Street, Ste. 300
Sacramento, CA 95814
Fax (916) 264-7185
srjohnson@cityofsacramento.org

SECTION II. PROJECT DESCRIPTION

Project Location

The project site is located at the southeast corner of Raley Boulevard and Vinci Avenue in the North Sacramento Community Plan area of the City of Sacramento, Sacramento County (APNs: 215-0244-022, -023, -024 and -025).

Project Background

The project site is vacant and has been historically vacant. The area that encompasses the proposed project site has a North Sacramento Community Plan designation of Industrial. The site is located west of the former McClellan Air Force Base.

Project Purpose

The purpose of the proposed project is to develop a speculative warehouse in the Light Industrial Review (M-1S-R) zone.

Project Components

The proposed project consists of various entitlements to merge four parcels on 11.82± undeveloped acres into two parcels and to allow the construction of a 100,799± square foot warehouse building on a 7.5± acres parcel in the Light Industrial Review (M-1-R) zone (APN: 215-0244-022, -023, -024, -025).

- A. **Parcel Merger** to merge four parcels on 11.82± undeveloped acres into two parcels in the Light Industrial Review (M-1-R) zone;
- B. **Plan Review** to construct a 100,799± square foot warehouse building on a 7.5± acres parcel in the Light Industrial Review (M-1-R) zone.

REFERENCES (available at 1231 I Street, Room 300, Sacramento, CA 95814):

- City of Sacramento, 1988. *General Plan Update*.
- City of Sacramento. 1988. *Sacramento General Plan Update Draft Environmental Impact Report (SGPU DEIR)*.
- City of Sacramento. 1984 *North Sacramento Community Plan*
- City of Sacramento. 1984. *North Sacramento Community Plan DEIR*
- County of Sacramento / EDAW. 2002. *McClellan AFB Draft Final Reuse Plan Final SEIR*.
- SMAQMD, 1994 *Air Quality Thresholds of Significance Handbook*
- Foothill Associates. 2005. *Biological Resources Assessment, ± 11-Acre BLT Warehouse Site, City of Sacramento, California*. (Foothill).

SECTION III. ENVIRONMENTAL CHECKLIST AND DISCUSSION

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
1. LAND USE <i>Would the proposal:</i>			
A) Result in a substantial alteration of the present or planned use of an area?			✓
B) Affect agricultural resources or operation (e.g., impacts to soils or farmlands, or impact from incompatible land uses?)			✓

Environmental Setting

The City of Sacramento General Plan identifies the site as Heavy Commercial or Warehouse. The North Sacramento Community Plan identifies the site as Industrial. The site is zoned Light Industrial - Review (M-1S-R) zone.

The project site is currently vacant and undeveloped. The area to the north (across Vinci Avenue) and west (across Raley Boulevard) consists of developed industrial uses. The area to the south and east is vacant undeveloped land. Further to the east is the former McClellan Air Force Base.

Standards of Significance

For the purposes of this analysis, an impact is considered significant if the project would:

- Substantially change land use of the site;
- Be incompatible with long-term uses on adjacent properties; or
- Conflict with applicable land use plans.

Answers to Checklist Questions

Questions A and B

The proposed project consists of developing a 100,799± square foot warehouse on 7.5± acres in the Light Industrial Review (M-1S-R) zone. The proposed use is consistent with the designated use as identified in the General Plan and North Sacramento Community Plan. Therefore, impacts to land use are anticipated to be less-than-significant.

The project site is not currently in agricultural use. Therefore, a less-than-significant impact on land use would occur.

Mitigation Measures

No mitigation is required.

Findings

The proposed project would not result in impacts to land uses.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
2. POPULATION AND HOUSING			
<i>Would the proposal:</i>			
A) Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)?			✓
B) Displace existing housing, especially affordable housing?			✓

Environmental Setting

The City of Sacramento General Plan identifies the site as Heavy Commercial or Warehouse. The North Sacramento Community Plan identifies the site as Industrial. The site is zoned Light Industrial - Review (M-1S-R) zone.

The project site is currently vacant and undeveloped. The area to the north (across Vinci Avenue) and west (across Raley Boulevard) consists of developed industrial uses. The area to the south and east is vacant undeveloped land. Further to the east is the former McClellan Air Force Base. There is no housing on site or immediately adjacent to the site. Existing residential uses do exist less than a quarter mile to the north on Raley Boulevard. Additionally, there are existing residences located on Raley Boulevard approximately a half mile to the south.

Standards of Significance

Section 15131 of the California Environmental Quality Act (CEQA) Guidelines states that the economic or social effects of a project shall not be treated as a significant effect on the environment. However, CEQA indicates that social and economic effects be considered in an EIR only to the extent that they would result in secondary or indirect adverse impacts on the physical environment.

This environmental document does not treat population/housing as an environmental impact, but rather as a social-economic impact. If there are clear secondary impacts created by a

population/housing increase generated by the project, those secondary impacts will be addressed in each affected area (e.g., transportation, air quality, etc).

For the purposes of this analysis, an impact is considered significant if the project would induce substantial growth that is inconsistent with the approved land use plan for the area or displace existing affordable housing.

Answers to Checklist Questions

Questions A & B

The proposed project consists of developing a 100,799± square foot warehouse on 7.5± acres in the Light Industrial Review (M-1S-R) zone. The proposed use is consistent with the designated use as identified in the General Plan and North Sacramento Community Plan (NSCP). The proposed project would not induce significant growth in the area, as the project is consistent with the NSCP and the General Plan. The project will not displace any housing. Therefore, the proposed project is anticipated to have a less-than-significant impact on population and housing.

Mitigation Measures

No mitigation is required.

Finding

The proposed project would result in less-than-significant impacts to population and housing.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
3. SEISMICITY, SOILS, AND GEOLOGY			
<i>Would the proposal result in or expose people to potential impacts involving:</i>			
A) Seismic hazards?			✓
B) Erosion, changes in topography or unstable soil conditions?			✓
C) Subsidence of land (groundwater pumping or dewatering)?			✓
D) Unique geologic or physical features?			✓

Environmental Setting

Seismicity. The Sacramento General Plan Update (SGPU) Draft Environmental Impact Report (DEIR) identifies all of the City of Sacramento as being subject to potential damage from earthquake groundshaking at a maximum intensity of VIII of the Modified Mercalli scale (SGPU DEIR, 1987, T-16). No active or potentially active faults are known to cross within close proximity to the project site.

Topography. Terrain in the City of Sacramento features very little relief (SGPU, DEIR, 1987, T-3). The potential for slope instability within the City of Sacramento is minor due to the relatively flat topography of the area.

Regional Geology. The surface geology of the project site consists of Pleistocene Alluvium (Victor Formation). The Victor Formation forms a broad plain between the Sacramento River and the foothills of the Sierra Nevada mountains (SGPU DEIR, T-1). It is a complex mixture of consolidated, ancient river-borne sediments of all textures (SGPU DEIR, T-1). Weathering subsequent to formation during the Ice Ages has typically caused a hardpan layer to develop near the surface, generally allowing only a moderate-to-low rate of rainwater infiltration (SGPU DEIR, T-1).

The general soils of the area consist of San Joaquin, which are moderately deep, well-drained soils that are underlain by a cemented hardpan (SGPU DEIR, T-5). The soils are formed in alluvium from granitic rock sources. Permeability of this soil is very slow and runoff is slow or very slow (Foothill 2005, pg. 8).

Standards of Significance

For the purposes of this analysis, an impact is considered significant if it allows a project to be built that will either introduce geologic or seismic hazards by allowing the construction of the project on such a site without protection against those hazards.

Answers to Checklist Questions

Question A

Cities in California are required to consider seismic safety as part of the General Plan safety elements. The City of Sacramento also recognizes that it is prudent for the City to prepare for seismic related hazards and has, therefore, adopted policies as a part of the General Plan, Health and Safety Element. These policies require that the City protect lives and property from unacceptable risk due to seismic and geologic activity or unstable soil conditions to the maximum extent feasible, that the City prohibit the construction of structures for permanent occupancy across faults, that soils reports and geologic investigations be required for multiple story buildings, and that the Uniform Building Code requirements that recognize State and Federal earthquake protection standards in construction be used. The policies listed above are implemented through the building permit for new construction projects and reduce the potential significant health and safety impacts. Thus, for the purposes of this environmental analysis, the potential for a significant geologic, soils, or seismic impact created by construction of the project has been substantially lessened by the use of regulatory requirements. Because the project must comply with these regulatory requirements, seismic hazards are considered to be less-than-significant.

Question B

Title 15, Chapter 15.88 of the City's Municipal Code requires a grading permit be obtained prior to construction activities. In accordance with the grading permit requirements, the applicant must submit an Erosion and Sediment Control (ESC) plan to reduce the amount of erosion and retain sediment on the project site. In addition, the Sacramento General Plan Update Draft Environmental Impact Report indicates that there are no highly erodible soils within the City (T-13). For these reasons, the proposed project would not result in substantial soil erosion or loss of topsoil, and geo-technical impacts related to erosion and soil loss would be less than significant.

Question C

According to the SGPU DEIR, no significant subsidence of land had occurred within the City of Sacramento (T-13). State regulations and standards related to geo-technical considerations are reflected in the Sacramento City Code. Construction and design would be required to comply with the latest City-adopted code at the time of construction, including the Uniform Building Code. The code would require construction and design of buildings to meet standards that would reduce risks associated with subsidence or liquefaction. Since the topography of the area is relatively flat, landslides do not present a hazard in the project site. Therefore, this impact is considered less-than-significant and no mitigation is required.

Question D

No unique geologic features exist in close proximity to the project. Therefore, the project would not result in any impacts from or to unique geologic or natural features.

Mitigation Measures

No mitigation is required.

Findings

The proposed project would not have a significant impact on seismicity, soils, and geology.

BLT WAREHOUSE (P04-160)
INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
4. WATER <i>Would the proposal result in or expose people to potential impacts involving:</i>			
A) Changes in absorption rates, drainage patterns, or the rate and amount of surface/stormwater runoff (e.g. during or after construction; or from material storage areas, vehicle fueling/maintenance areas, waste handling, hazardous materials handling or storage, delivery areas, etc.)?			✓
B) Exposure of people or property to water related hazards such as flooding?			✓
C) Discharge into surface waters or other alterations to surface water quality that substantially impact the temperature, dissolved oxygen, turbidity, beneficial uses of receiving waters or areas that provide water quality benefits, or cause harm to the biological integrity of the waters?			✓
D) Changes in flow velocity or volume of stormwater runoff that cause environmental harm or significant increases in erosion of the project site or surrounding areas?			✓
E) Changes in currents, or the course or direction of water movements?			✓
F) Change in the quantity of ground waters, either through direct additions or withdrawal, or through interception of an aquifer by cuts or excavations or through substantial loss of recharge capability?			✓
G) Altered direction or rate of flow of groundwater?			✓
H) Impacts to groundwater quality?			✓

Environmental Setting

Drainage/Surface Water. Topography on the site is relatively level. Elevations on the site range from approximately 42 to 50 feet above mean sea level. Surface runoff flows towards and exits the site via a roadside ditch on the western boundary of the site and via Don Julio/Magpie Creek that is located to the east and south of the site (Foothill, pg. 8).

Water Quality. The City's municipal water is received from the American River and Sacramento River. The water quality of the American River is considered very good. The Sacramento River water is considered to be of good quality, although higher sediment loads and extensive irrigated agriculture upstream of Sacramento tends to degrade the water quality. During the spring and fall, irrigation tailwaters are discharged into drainage canals that flow to the river. In the winter, runoff flows over these same areas. In both instances, flows are highly turbid and introduce large amounts of herbicides and pesticides into the drainage canals, particularly rice field herbicides in May and June. The aesthetic quality of the river is changed from relatively clear to turbid from irrigation discharges.

The Central Valley Regional Water Quality Control Board (RWQCB) has primary responsibility for protecting the quality of surface and groundwaters within the City. The RWQCB's efforts are generally focused on preventing either the introduction of new pollutants or an increase in the discharge of existing pollutants into bodies of water that fall under its jurisdiction.

The RWQCB is concerned with all potential sources of contamination that may reach both these subsurface water supplies and the rivers through direct surface runoff or infiltration. Storm water runoff is collected in City drainage facilities and is sent directly to the Sacramento River. RWQCB implements water quality standards and objectives that are in keeping with the State of California Standards.

The City of Sacramento has obtained a National Pollution Discharge Elimination System (NPDES) permit from the State Water Resources Control Board under the requirements of the Environmental Protection Agency and Section 402 of the Clean Water Act. The goal of the permit is to reduce pollutants found in storm runoff. The general permit requires the permittee to employ BMPs before, during, and after construction. The primary objective of the BMPs is to reduce non-point source pollution into waterways. These practices include structural and source control measures for residential and commercial areas, and BMPs for construction sites. BMP mechanisms minimize erosion and sedimentation, and prevent pollutants such as oil and grease from entering the storm water drains. BMPs are approved by Department of Utilities before beginning construction (the BMP document is available from the Department of Utilities, Engineering Services Division, 1395 35th Avenue, Sacramento, CA). Components of BMPs include:

- Maintenance of structures and roads;
- Flood control management;
- Comprehensive development plans;
- Grading, erosion and sediment control ordinances;
- Inspection and enforcement procedures;
- Educational programs for toxic material management;
- Reduction of pesticide use; and

- Site-specific structural and non-structural control measures.

Flooding. The Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map revised as of July 6, 1998 indicates that the northern portion of the project site is within the Flood Zone X (un-shaded) and the southern portion of the project site are located in Flood Zones X (shaded) and AE. The southeastern portions of parcels 215-0244-023, -024, and the southern 2/3 of parcel 215-0244-025 are located in the AE Flood Zone. Flood Zone X (un-shaded) is defined as: Areas determined to be outside of the 500-year flood-plain. Flood Zone X (shaded) is defined as: Areas of 500-year flood: areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood. The AE Flood Zone is areas with 100-year flood elevations determined.

The Sacramento Area Flood Control Agency (SAFCA) and U.S. Army Corps of Engineers (Corps) are conducting on-going projects in the area of Raley Boulevard / Magpie Creek. The proposed project site is located west and north of Don Julio Creek and north of Magpie Creek. The very southeastern tip of parcel 215-0244-023 and the southern portion of 215-0244-024 is located in the Magpie Creek 100-year floodplain. Based upon this project the Corps has done modeling that provides updated 100-year flood water surface elevations. These "without project" elevations range from 47.56 feet just upstream from Raley Boulevard to 47.61 feet at the upstream end of the proposed BLT project. This is approximately 0.3 feet higher than the Regulatory FEMA Base Flood Elevation (B.F.E.) per the current FIRM. The 100-year "with project" flood water surface elevations range from 47.98 feet to 48.04 feet at the upstream end of the BLT project. This is an increase of approximately 0.4 feet above the Corps' 100-year "without project" and approximately 0.7 feet above the FEMA B.F.E.

Standards of Significance

Surface/Ground Water. For purposes of this environmental document, an impact is considered significant if the proposed project would substantially degrade water quality and violate any water quality objectives set by the State Water Resources Control Board, due to increased sediments and other contaminants generated by consumption and/or operation activities.

Flooding. Substantially increase exposure of people and/or property to the risk of injury and damage in the event of a 100-year flood.

Answers to Checklist Questions

Questions A, C, D and E

The proposed project consists of constructing a 100,799± square foot warehouse with parking, loading docks and truck maneuvering area on 7.5± acres. Development of the proposed project would alter absorption rates and surface runoff through the addition of paved surfaces and buildings (impervious surfaces). The proposed project would be required to connect to the City's storm drain system, to the satisfaction of the Department of Utilities. Additionally, the applicant/developer would be required to comply with the City's Grading, Erosion and Sediment Control Ordinance (Title 15). This ordinance requires the applicant to prepare erosion and sediment control plans for both during and post construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction. This ordinance also requires that a Post Construction Erosion and Sediment Control Plan be prepared to minimize the increase of urban runoff pollution caused by development of the area. Since the project

is not served by a regional water quality control facility and is greater than one acre, both source controls and on-site treatment control measures are required. Specific source controls are required for (1) commercial/industrial material storage, (2) commercial/industrial outdoor loading/unloading of materials, (3) commercial/industrial vehicle and equipment fueling, (4) commercial/industrial vehicle and equipment maintenance, repair and washing, (5) commercial/industrial outdoor process equipment operations and maintenance and (6) commercial/industrial waste handling. Storm drain maintenance is required at all drain inlets.

During construction, sediment may contribute to runoff. However, the proposed project is required to comply with the City's Grading, Erosion and Sediment Control Ordinance (Title 15) as described above.

Improvement plans must include the source control measures selected for the site. Because the project is required to comply with the City's ordinances, the project impacts to water quality is anticipated to be less-than-significant.

General Stormwater Construction Permit

Development of the site would be required to comply with regulations involving the control of pollution in stormwater discharges under the National Pollutant Discharge Elimination System (NPDES) program (Section 402(p), Clean Water Act). The City has obtained a NPDES permit from the State Water Resources Control Board (SWRCB) under the requirements of the U.S. Environmental Protection Agency (USEPA) and Section 402 of the Clean Water Act. The regulations, which apply to new construction projects affecting more than one acre that would not involve dredging and filling of wetlands, are administered by the SWRCB on behalf of the USEPA. Under the program, the developer would file a Notice of Intent with the SWRCB to obtain a General Construction Activity Storm Water Permit prior to construction of the proposed project.

The developer would be required to prepare and submit to the Department of Utilities for approval, a Storm Water Pollution Prevention Plan (SWPPP), which would include information on runoff, erosion control measures to be employed, and any toxic substances to be used during construction activities. Surface runoff and drainage would be handled on site. Potential for erosion due to surface water flow would be primarily limited to embankment slopes and areas disturbed by grading during construction. Short-term, construction-related, erosion control would be readily available by means of Best Management Practices (BMPs) (e.g., use of erosion control barriers, synthetic slope covers, hydroseeding, etc.). Long-term erosion control, particularly for embankment slopes, would be available by means of establishing vegetation and controlling surface water flow (e.g., use of crown ditches, paved downdrains, vegetated swales, detention basins, etc.).

The SWRCB requires that the best available technology that is economically achievable, and best conventional pollutant control technology be used to reduce pollutants. These features would be discussed in the SWPPP. A monitoring program would be implemented to evaluate the effectiveness of the measures included in the SWPPP. The RWQCB may review the final drainage plans for the project components.

Compliance with all applicable regulatory requirements, designed to maintain and improve water quality from development activities, the proposed project is anticipated to have a less-than-significant

impact on drainage and water quality.

Question B

The project site is located in an area that has multiple flood zone designations. The western and northern portion of the project site are in areas designated as Flood Zone X (un-shaded) and X (shaded). The southern two-thirds of parcel 215-0244-025 and the southeast corners of parcels 215-0244-023 and -024 are located in the AE Flood Zone. Flood Zone X (un-shaded) is defined as: Areas determined to be outside of the 500-year flood-plain. Flood Zone X (shaded) is defined as: Areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood. The AE Flood Zone is areas with 100-year flood elevations determined. The Base Flood Elevation for this parcel is approximately 47+ feet.

The Sacramento Area Flood Control Agency (SAFCA) and U.S. Army Corps of Engineers (Corps) are conducting on-going projects in the area of Raley Boulevard / Magpie Creek. The proposed project site is located north of Magpie Creek. The very southeastern tip of parcel 215-0244-023 and the eastern portion of 215-0244-024 are located in the Magpie Creek 100-year floodplain. The proposed project is located primarily within the western three parcels (215-0244-022, -023, -024), which is mostly within the X Flood Zones. There is a portion of a driveway proposed to occur on the northern edge of the eastern parcel (215-0244-025) along Vinci Avenue (see Attachment B); however, this area is also located in the X Flood zones. No structural development is proposed to occur in areas that are not protected from 100-year flood according to the FIRM maps. The areas of the proposed project that are within the 100-year Magpie Creek Floodplain consist of truck maneuvering areas. The proposed building is located in the north central portion of the site, located in the 500-year Magpie Creek Floodplain area. Additionally, the finished floor elevation of the proposed project is listed at 50.0 feet, this is approximately two feet above the 100-year floodplain. However, the southern portion of the project site, which is proposed to be paved and used for truck maneuvering and loading dock uses. This area could be directly affected by a 100-year flood event as the area will be designed to contain flood waters during a 100-year event with flood levels reaching 4.0± feet at the maximum depth. Therefore, impacts from flooding are anticipated to be less-than-significant.

Questions F – H

Dewatering or groundwater pumping is not proposed as a part of the project. However, during construction of future development, groundwater may be encountered and may need to be withdrawn. Any groundwater pumping would need to comply with the California Regional Water Quality Control Board (CRWQCB) Standards. Therefore, impacts to groundwater are anticipated to be less-than-significant.

Mitigation Measures

No mitigation required

Findings

This project would result in less-than-significant impacts to water resources.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
5. AIR QUALITY			
<i>Would the proposal:</i>			
A) Violate any air quality standard or contribute to an existing or projected air quality violation?			✓
B) Exposure of sensitive receptors to pollutants?			✓
C) Alter air movement, moisture, or temperature, or cause any change in climate?			✓
D) Create objectionable odors?			✓

Environmental Setting

The project area lies within the Sacramento Valley Air Basin (SVAB). The climate of the SVAB is Mediterranean in character, with mild, rainy winter weather from November through March, and warm to hot, dry weather from May through September. The SVAB is subject to eight unique wind patterns. The predominant annual and summer wind pattern is the full sea breeze, commonly referred to as Delta breezes. Wind direction in the SVAB is influenced by the predominant wind flow pattern associated with the season.

The SVAB is subject to federal, state, and local regulations. Both the federal Environmental Protection Agency and the California Air Resources Board classifies the SVAB as non-attainment for ozone and PM₁₀ (particulate matter less than 10 microns in diameter). Carbon monoxide (CO) is designated as unclassified/attainment (California Air Resources Board, 1998). The project site is in Sacramento County, under the jurisdiction of the Sacramento Metropolitan Air Quality Management District (SMAQMD). The SMAQMD is responsible for implementing emissions standards and other requirements of federal and state laws.

Standards of Significance

Ozone and Particulate Matter. An increase of nitrogen oxides (NOx) during the construction of the project (short-term effects) above 85 pounds per day would result in a significant impact. An increase of reactive organic gases (ROG) and/or NOx during the operation of the project (long-term effects) above 65 pounds per day would result in a significant impact.

Carbon Monoxide. The pollutant of concern for sensitive receptors is carbon monoxide (CO).

Motor vehicle emissions are the dominant source of CO in Sacramento County (SMAQMD, 1994). For purposes of environmental analysis, sensitive receptor locations generally include parks, sidewalks, transit stops, hospitals, rest homes, schools, playgrounds and residences. Commercial buildings are generally not considered sensitive receptors.

Carbon monoxide concentrations are considered significant if they exceed the 1-hour state ambient air quality standard of 20.0 parts per million (ppm) or the 8-hour state ambient standard of 9.0 ppm (state ambient air quality standards are more stringent than their federal counterparts).

Answers to Checklist Questions

Questions A and B

Operational Impacts: In order to assess whether mobile source emissions for ozone precursor pollutants (NO_x and ROG), PM₁₀ and CO are likely to exceed the standards of significance due to operation of the project once completed, an initial project screening was performed using Table 4.2 in the SMAQMD Guide to Air Quality Assessment (July 2004). This table provides project sizes for land use types which, based on default assumptions for modeling inputs using the URBEMIS2002 model, are likely to result in mobile source emissions exceeding the SMAQMD thresholds of significance for these pollutants. For projects approaching or exceeding the thresholds indicated in the table, a more detailed analysis is required. Those projects which do not approach or exceed the threshold levels in the table can be conservatively assumed not to be associated with significant emissions of NO_x, ROG, PM₁₀ and CO.

Projects categorized as "Warehouse" land use development types are considered potentially significant at the NO_x Screening Level for operational impacts at 2,100,000 square feet or higher. The size of the proposed project is 100,799± square feet, which is well below the Table 4.2 criteria for single family residential. Therefore, no potentially significant operational impacts are expected to air quality due to mobile source emissions for these criteria pollutants.

Project-Related Construction Impacts: The project was also screened for potential impacts to air quality due to construction of the proposed project, also using Table 4.2 in the SMAQMD Guide to Air Quality Assessment (July 2004) as described above. For projects categorized as "Warehouse" land use development types, 57,000 square feet or larger are considered potentially significant at the NO_x Screening Level for construction impacts. The size of the proposed project is 100,799± square feet, which is higher than the Table 4.2 criteria for warehouses. Therefore, estimates were calculated using the URBEMIS 2002 for Windows, Version 7.5.0 to better determine whether the project would generate air quality impacts associate with construction activities.

Construction-related emissions would result from site preparation and grading activities, construction worker commute trips, mobile and stationary construction equipment exhaust, and asphalt paving. Unmitigated emissions from both site grading and construction activities were estimated using URBEMIS 2002 for Windows, Version 7.5.0. The maximum emissions per day were calculated based on a 12-month construction schedule, assuming 7.5± acres of total land area to be graded and developed.

Unmitigated NO_x emissions:
76.65 lbs/day in 2005
83.09 lbs/day in 2006

The calculated unmitigated NOx emissions do not exceed the construction-related threshold of significance. The proposed project will also be required to comply with the SMAQMD Rules 403 (Fugitive Dust) and 442 (Architectural Coatings) along with the City requirements regarding the prevention of dust from construction activities (Sacramento City Code, Chapter 15.40.050). Based upon the size of the project, review of the project in comparison to the SMAQMD screening criteria, and emissions estimated using the URBEMIS mode, and the compliance with all applicable rules and ordinances, the proposed project is anticipated to have a less-than-significant impact on air quality.

Question C and D

The project would not result in the alteration of air movement, moisture, temperature, or in any change in climate, either locally or regionally. Objectionable odors emanating from the proposed project are not anticipated. Development of the site and eventual operation (residences living at the site) will be required to comply with all applicable codes regarding the management of waste products. Therefore, impacts associated with alterations of air movements, moisture, temperature, or change in climate; and objectionable odors are anticipated to be less-than-significant.

Mitigation Measures

No mitigation is required.

Findings

With compliance of the applicable regulatory requirements, the proposed project will have a less-than-significant impact on air quality.

BLT WAREHOUSE (P04-160)
INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
6. TRANSPORTATION/CIRCULATION			
<i>Would the proposal result in:</i>			
A) Increased vehicle trips or traffic congestion?			✓
B) Hazards to safety from design features (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?			✓
C) Inadequate emergency access or access to nearby uses?			✓
D) Insufficient parking capacity on-site or off-site?			✓
E) Hazards or barriers for pedestrians or bicyclists?			✓
F) Conflicts with adopted policies supporting alternative transportation (e.g., bus turnouts, bicycle racks)?			✓
G) Rail, waterborne or air traffic impacts?			✓

Environmental Setting

Roadways. Proposed access to the project site is via Raley Boulevard and Vinci Avenue. Regional access to the project occurs via Interstate 80 (I-80) to Raley Boulevard. Raley Boulevard two to four lane, north-south roadway providing regional access to I-80.

Public Transportation. Regional Transit is the major public transportation service provider within Sacramento County providing 20.6 miles of light rail service and fixed-route bus service on 77 routes covering a 418 square-mile area, 7 days a week, 365 days a year. Light rail service and many of the bus routes are currently oriented to the downtown area. Currently bus routes 19 travel near the project site on Dry Creek Road with connections at both the Watt/I-80 and Arden/Dell Paso Light Rail Stations. Also bus route 18 travels on Bell Avenue near Dry Creek Road.

Bikeways. There are existing on-street bike lanes on Raley Boulevard to the east, and proposed on-street bike lanes on Ascot Avenue to the north, Dry Creek Road to the west, and Claire Avenue to the south according to the City of Sacramento Bicycle Master Plan.

Parking. Currently, there is no parking located as the site is vacant and undeveloped.

Standards of Significance

Roadways: An impact is considered significant for roadways when:

- The project causes the facility to degrade from LOS C or better to LOS D or worse
- For facilities operating at LOS D, E or F without the project, an impact is considered significant if the project increases the v/c ratio by 0.02 or more

Intersections: A significant traffic impact occurs under the following conditions:

- The addition of project-generated traffic causes the level of service of the intersection to change from LOS A, B, or C to LOS D, E or F
- The addition of project-generated traffic increases the average stopped delay by five seconds or more at an intersection already operating worse than LOS C

Bicycle Facilities: A significant Bikeway impact would occur if:

- The project hindered or eliminated an existing designated bikeway, or if the project interfered with implementation of a proposed bikeway
- The project is to result in unsafe conditions for bicyclists, including unsafe bicycle/pedestrian or bicycle/motor vehicle conflicts

Pedestrian Facilities: A significant pedestrian circulation impact would occur if:

- The project would result in unsafe conditions for pedestrians, including unsafe increase in pedestrian/bicycle or pedestrian/motor vehicle conflicts.

Transit Facilities: A significant impact to the transit system would occur if the project-generated ridership, when added to existing or future ridership, exceeds available or planned system capacity. Capacity is defined as the total number of passengers the system of busses and light rail vehicles can carry during the peak hour of operation.

Parking: A significant impact to parking would occur if the anticipated parking demand of the proposed project exceeds the available or planned parking supply for typical day conditions. However, the impact would not be significant if the project is consistent with the parking requirements stipulated in the City Code.

Answers to Checklist Questions

Question A

The proposed project will generate additional trips on the roadway network; the anticipated trip generation for the project is 718 Average Daily trips, and 82 AM and 74 PM peak hour trips. The project is consistent with the land uses designated for the project site as reflected in the City of Sacramento General Plan, and North Sacramento Community Plan. Additionally, the applicant of the proposed project will be required to widen Raley Blvd to its ultimate width as part of the

frontage improvements, in addition to construct roadway and frontage improvements on Vinci Avenue to City Standards and to the satisfaction of Development Engineering and Finance Division of the Development Services Department.

In view of the above, and in view of the fact that the project is consistent with the land uses designated in the previously approved land use plans, no new or additional impacts of the current proposed project are anticipated over and above the previously identified impacts in the EIRs for the approved land use plans. In view of this, the impact of the proposed project on transportation and circulation system is considered as less than significant, and no mitigations are therefore necessary.

Question B

Public improvements required for the project will be designed to appropriate standards. Therefore, creation of hazards is not expected and no mitigation is required.

Question C

Existing road infrastructure provides adequate emergency access to the proposed project site. The project proposes two new driveways on Raley Boulevard and two new driveways on Vinci Avenue to provide emergency access. The project site will be designed to appropriate standards, to the satisfaction of the City of Sacramento Development Engineering and Finance Division (DE&F) of the Development Services Department, and the Fire Department. Potential emergency access impacts are considered to be less than significant and do not require mitigation.

Question D

Inadequate parking is not anticipated to result from the proposed project as the proposed parking is within the requirements of the City's Zoning Code. Additionally, there is space for grading equipment and employees to park on site. As a result, a less-than-significant parking impact is anticipated.

Question E

The proposed project may increase potential bicycle/pedestrian or bicycle/motor vehicle conflicts. However, the frontage improvements along the project site will include sidewalks to appropriate standards to the satisfaction of City of Sacramento Development Engineering and Finance Division of the Development Services Department. In addition, the proposed project driveways along with sidewalks, curbs, and gutters shall be designed in accordance with City standards to the satisfaction of the Development Engineering and Finance Division. Impacts arising from potential bicycle/pedestrian or bicycle/motor vehicle conflicts are therefore considered less than significant and no mitigation is required.

Question F

No policies concerning alternative forms of transportation would be impacted because the proposed project is not anticipated to impact the existing or planned bike lanes. Therefore, a less-than-significant impact is anticipated.

Question G

The project would not result in waterborne or air traffic impacts because the project improvements would be contained within the project site and would be at ground-level. There are no railroad tracks within the project site, so impacts to rail would also be less-than-significant.

Mitigation Measures

No mitigation is required.

Findings

The project would not result in significant impacts to transportation or circulation.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
7. <u>BIOLOGICAL RESOURCES</u>			
<i>Would the proposal result in impacts to:</i>			
A) Endangered, threatened or rare species or their habitats (including, but not limited to plants, fish, insects, animals and birds)?		✓	
B) Locally designated species (e.g., heritage or City street trees)?			✓
C) Wetland habitat (e.g., marsh, riparian and vernal pool)?			✓

Environmental Setting

The proposed project site is located southeast corner of Vinci Avenue and Raley Boulevard, north of Interstate 80 in the City of Sacramento. In December of 2004, Foothill Associates conducted a Biological Resources Assessment of the project site and the following is a summary of this report. The entire site consists of 11± acres of land, of which approximately 7.5± acres are proposed for development and contains disturbed annual grassland. Within this community is a portion of a perennial drainage, Magpie Creek. Land uses and vegetation communities surrounding the site include light industrial complexes to the north and west and annual grassland and a tributary to Magpie Creek (Don Julio Creek) to the south and east.

The site is generally level. Elevations on site range from approximately 45 to 50 feet above the mean sea level. Surface runoff flows towards and exits the site via a roadside ditch on the western boundary of the site and via Magpie Creek and Don Julio Creek located south and east of the site.

Soils consist of San Joaquin fine sandy loam. This soil unit is a moderately deep and moderately

well drained soil located on low terraces between 20-90 feet above mean sea level. This soil unit formed in alluvium derived predominately from granitic rock. Slopes are complex. Water permeability is very slow and available water capacity is low. This soil unit is used mainly for irrigated hay and pasture or for dryland crops, such as wheat. Typically, vegetation in uncultivated areas within this soil unit consists of non-native annual grasses and herbaceous plant species and widely scattered oak trees (*Quercus* spp.). The hydric soils list for Sacramento County identifies one hydric inclusion, Dierssen, occurring within terraces of this soil unit.

One biological community, disturbed annual grassland, occurs on the BLT Warehouse site. This community provides habitat to a number of common species of wildlife and could potentially provide a suitable nesting or foraging habitat for special status species. The biological community, including associated common plant and wildlife species observed or that are expected to occur within this community, is described below.

The plant community covering the entire site is annual grassland, which is characterized primarily by an assemblage of non-native grasses and forbs. Much of the vegetation in this community is common to the Central Valley. Dominant grass species on the site consist of soft chess (*Bromus hordeaceus*), ripgut brome (*Bromus diandrus*), foxtail fescue (*Vulpia myuros*), and wild oat (*Avena* sp.). Common dominant herbaceous non-natives include yellow star thistle (*Centaurea solstitialis*) and Italian thistle (*Carduus pycnocephalus*). This vegetation community has been repeatedly disced as shown by furrows and turned soil present at the time of the biological assessment. This activity has increased the growth of ruderal plant species that are adapted to disturbance events.

Annual grassland habitat supports breeding, foraging, and shelter habitat for several species of wildlife. Species observed on the site during the biological assessment include western meadowlark (*Sturnella neglecta*), northern mockingbird (*Mimus polyglottos*), and black-tailed jackrabbit (*Lepus californicus*).

Special Status Species

Special Status species are plant and animal species that have been afforded special recognition by federal, state, or local resource agencies or organizations. Special-status species are defined as falling under one of the following categories:

- Listed or proposed for listing under CESA and/or FESA;
- Protected under other regulations (e.g. Migratory Bird Treaty Act (MBTA));
- Listed by California Department of Fish and Game (CDFG) as a Species of Special Concern;
- Listed by the U.S. Fish and Wildlife Services (USFWS) as a Species of Concern;
- Listed by the California Native Plant Society (CNPS) as being rare (a ranking of 1A, 1B, or 2);
or
- Any other species that would receive consideration according to the CEQA Guidelines.

Foothill Associates conducted record searches of the CDFG's California Natural Diversity Data Base (CNDDDB) and the USFWS list for special status species. Based upon these searches, no special status plant species have the potential to occur in the portion of the site that is expected to be impacted by construction activities. Magpie and Don Julio Creek, located south and east of the project area have some potential habitat for special status wetland plant species that are known to occur in the vicinity of the site. Several special-status animal species have the potential to occur on

the site or in the vicinity. Based on their field observations and literature review, the potential for occurrence has been determined for each species. Species that are known to be present or that are considered to have a high potential to occur on the site include the following: white-tailed kite (*Elanus leucurus*), Swainson's hawk (*Buteo swainsonii*), and other raptor species protected by Fish and Games Codes and the MBTA. Species that are considered to have a low potential to occur on the site include the following: California horned lizard (*Phrynosoma coronatum frontale*), ferruginous hawk (*Buteo regalis*), loggerhead shrike (*Lanius ludovicianus*), mountain plover (*Charadrius montanus*), and western burrowing owl (*Athene cunicularia hypugaea*). Giant garter snake (*Thamnophis gigas*) has the potential to occur in Magpie Creek and Don Julio Creek to the south and east.

The white-tailed kite is a medium-sized raptor and is a yearlong resident in coastal and valley lowlands of California. White-tailed kite typically breed from February to October, peaking from May to August. This species nests near the top of dense oak, willow, or other large trees. There are seven CNDDDB records for white-tailed kite within five miles of the project site.

Swainson's hawks migrate from their wintering grounds to their breeding grounds from early March through early April. On their breeding grounds, Swainson's hawks prefer open habitats including mixed and short grass grasslands, with scattered trees or shrubs for perching; dry grasslands; irrigated meadows, and edges between two habitat types. Breeding occurs from late March to late August, peaking in late May through July. In the Central Valley of California, Swainson's hawk nest in stands with few trees in juniper-sage flats, riparian woodlands and oak woodlands. This species nests in close proximity to suitable foraging habitat. Swainson's hawks leave their breeding grounds to return to their wintering grounds in late August or early September. There are several records of in the CNDDDB for Swainson's hawk within ten miles of the site.

Other raptor species forage and nest in a variety of habitats throughout Sacramento County. Raptor nests are protected under the MBTA and Section 3503.5 of the California Fish and Game Code, which makes it illegal to destroy any active raptor nest. Large trees in the vicinity of the site along Magpie Creek and Don Julio Creek.

The California horned lizard is found in a variety of grassland and woodland habitats. It forages in open area between shrubs primarily on ants and other insects. There are no CNDDDB records for this species within five miles of the project site. The annual grassland habitats on the site provides potential habitat for this species.

Ferruginous hawk is a winter resident and migrant to California. In the winter, this species can be found throughout California, with the exception of the extreme northeastern and northwestern regions. Ferruginous hawks migrate to California in August or September and return to their breeding grounds in late February or early March. This species occurs in open habitats including grasslands, shrubsteppes, sagebrush, deserts, saltbrush-greaseweed shrublands, and outer edges of pinyon-pine and other forest habitats. There are no CNDDDB records of ferruginous hawk within five miles of the project site. There is suitable wintering habitat for ferruginous hawk in the annual grassland on the site.

The loggerhead shrike utilizes open habitats with scattered shrubs and trees, posts, fences, utility lines, and occurs often in cropland. This species nests from March to May, building twig nests within the dense foliage of shrubs or trees that conceal the nest. There are no CNDDDB records for

loggerhead shrike within five miles of the project area. However, the annual grassland habitat on this site provides potential foraging habitat for this species. There is no significant shrub habitat on the site, and therefore the species is not expected to nest on the site.

Mountain plovers winter in California in agricultural fields and grassland habitats below 3,000 feet elevation. They do not breed in California. There are no CNDDDB records for this species within five miles of the projects. However, the annual grassland on the site provides marginal potential wintering habitat for this species.

The western burrowing owl is a small ground-dwelling owl that occurs in western North America from Canada to Mexico, and east to Texas and Louisiana. Although in certain areas of its range western burrowing owls are migratory, these owls are predominately non-migratory in California. The breeding season for western burrowing owls occurs from February to August, peaking in April and May. Western burrowing owls nest in burrows in the ground, often in old ground squirrel burrows. This owl is also known to use artificial burrows including pipes, culverts, and nest boxes. There are five CNDDDB records for this species within five miles of the project area. The annual grassland does provide suitable habitat for this species to occur.

Giant garter snake (GGS) inhabits freshwater marshes and low gradient streams. Also found in drainage canals and irrigation ditches. Habitat requirements for the GGS consist of adequate water during the snake's active season (early spring through mid-fall) to provide food and cover; emergent, herbaceous wetland vegetation, such as cattails and bulrushes, for escape cover and foraging habitat during the active season; grassy banks and openings in waterside vegetation for basking; and higher elevation uplands for cover and refuge from flood waters during the snake's winter dormant season. The nearest known location is just west of the Natomas Drain, southwest of the Rio Linda. The nearest record of this species listed within the CNDDDB is approximately 3.9 miles to the northwest. However, according to the McClellan AFB Draft Final Reuse Plan Final SEIR, a snake was sighted at McClellan Park along Robla Creek. As a result, potential habitat could occur along Magpie Creek and Don Julio Creek when there is water present.

Wetlands/Waters of the United States

The U.S. Army Corps of Engineers (Corps) and the United States Environmental Protection Agency (EPA) regulate the discharge of dredge and fill material into "waters of the United States" under Section 404 of the Clean Water Act. Wetlands are defined for regulatory purposes as "those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions." Wetlands generally include swamps, marshes, bogs, vernal pools, and similar areas (33 CFR 328.3, 40 CFR 230.3). No wetlands were evidenced on the site during the field assessment conducted on May 25, 2004 by North Fork Associates.

A total of 0.27 acre of perennial drainage has been delineated within the site. Perennial drainages are feature that do not meet the three-parameter criteria for vegetation, hydrology and soils but do convey water and exhibit an "ordinary high water mark". Perennial drainages generally convey unidirectional water flows throughout the entire year. Perennial drainages typically consist of a channel, bed, and bank and are devoid of vegetation due to the scouring effect of flowing water. Perennial drainages are often bordered by wetland vegetation communities of various composition and cover depending on flow rates, duration flows and soil types. The proposed development is

located west of the perennial drainage.

Standards of Significance

For purposes of this environmental document, an impact would be significant if any of the following conditions or potential thereof, would result with implementation of the proposed project:

- Creation of a potential health hazard, or use, production or disposal of materials that would pose a hazard to plant or animal populations in the area affected;
- Substantial degradation of the quality of the environment, reduction of the habitat, reduction of population below self-sustaining levels of threatened or endangered species of plant or animal;
- Affect other species of special concern to agencies or natural resource organizations (such as regulatory waters and wetlands); or
- Violate the Heritage Tree Ordinance (City Code 12:64.040).

For the purposes of this report, "special-status" has been defined to include those species, which are:

- Listed as endangered or threatened under the federal Endangered Species act (or formally proposed for, or candidates for, listing);
- Listed as endangered or threatened under the California Endangered Species Act (or proposed for listing);
- Designated as endangered or rare, pursuant to California Fish and Game Code (Section 1901);
- Designated as fully protected, pursuant to California Fish and Game Code (Section 3511, 4700, or 5050);
- Designated as species of concern by U.S. Fish and Wildlife Service (USFWS), or as species of special concern to California Department of Fish and Game (CDFG);
- Plants or animals that meet the definitions of rare or endangered under the California Environmental Quality Act (CEQA);

Answers to Checklist Questions

Question A

The entire project site consists of approximately 11± acres of vacant undeveloped land; however, through the lot line adjustment, development is proposed on approximately 7.5± acres. Foothill Associates prepared a Biological Assessment of the subject site in March of 2005. There was no habitat for special status plants on site.

No white-tailed kites were observed on the site during the biological assessment. However the annual grasslands on the site provide good potential foraging habitat for this species and there are scattered trees immediately adjacent to the project site that could provide potential nesting habitat for this species. Therefore, the potential for this species to forage on the site is high. This species would not be expected to nest directly on the site but could potentially nest near the site.

Swainson's hawks were not observed on the site during the biological assessment field survey as

it was during the winter months. Potential foraging habitat for this species occurs within the annual grassland on the site. Trees found along the Don Julio and Magpie Creek to the east and the south of the site provide potential nesting habitat for Swainson's hawk. However there are a no nest trees on the site itself that would provide nesting habitat for this species. Consequently this species has a high potential to forage on the site, but is not expected to nest on the site. Additionally, other raptor species could potentially nest immediately adjacent to the site along both Don Julio Creek and Magpie Creek. During the site assessment a red-tailed hawk (*Buteo jamaicensis*) and an American kestrel (*Falco sparverius*) were observed foraging near the project site. Active raptor nests are protected by the California Fish and Game Code Section 3503.5 and the MBTA. If construction activities occur during the nesting season (February to August), impacts could occur to raptor species. As a result, the mitigation measures BR- are required to ensure that impacts to Swainson's hawk and other raptor species are less-than-significant.

No ferruginous hawks were observed on site during the field assessment. Although no hawks were observed during the assessment, there is suitable wintering habitat for this species in the annual grasslands. Consequently, this species has a low potential to occur on the site during the winter months. Since this species would only be expected to occur during the winter months, it would not be expected to occur on the site during the typical construction season. Therefore, no significant impacts to this species are expected since initial grading would not be expected to occur during the rainy season. Therefore, no impacts to this species are expected and no mitigation is expected to be necessary.

There were no loggerhead shrikes were observed on the site during the biological assessment. However, the annual grassland habitat on the site provides potential foraging habitat for this species. There is no significant shrub habitat on the site, and therefore, the species is not expected to nest on the site. Therefore, the potential for this species to occur on the site is low. No impacts to this species' nesting habitat are expected to occur due to lack of suitable nesting habitat on the site and no further discussion of mitigation for this species is expected to be necessary.

During the biological assessment field visit, no mountain plovers were observed on the project site. However, the annual grassland on the site provides marginal potential wintering habitat for this species. Therefore, the potential for this species to winter on the site is low. This species would only be expected to occur on the site during the rainy season. Therefore, no significant impacts to this species are expected since initial grading would not be expected to occur during the rainy season. Therefore, no impacts to this species are expected and no mitigation is necessary.

No western burrowing owls were observed during the biological assessment of the project site. Additionally, no suitable burrows were observed on the site, most likely due to the frequency of tilling that occurs on the site. However, annual grassland does provide suitable habitat for this species to occur. However, the frequent tilling of the site reduces the potential for this species to occur. Consequently this species has a low potential to occur on the site. However, to ensure impacts to burrowing owls remain less-than-significant, mitigation measure(s) BR-2 through BR - will be required.

No giant garter snakes were observed to occur on the proposed project site. Don Julio Creek on the east side of the proposed project site provides marginal habitat for the giant garter snake. However, this perennial stream does not always contain water for an entire year and would not

provide habitat in the absence of water. The nearest known occurrence of the snake is approximately 4 miles to the northwest. An additional sighting of the snake occurred on Robla Creek in the McClellan Business Park to the northeast of the project. However, the project as proposed is not located at the perennial stream. Development of the proposed project is located away from the creek to the west. Therefore, with the implementation of the mitigation measures listed below, impacts to GGS will remain less-than-significant.

Don Julio Creek itself, and the wetland communities associated with the creek are considered sensitive habitats. Therefore, care should be taken during any construction activities to ensure that no materials exit the site boundaries and encroach upon or enter Don Julio Creek and Magpie Creek. The project will be required to prepare a Storm Water Pollution Prevention Plan (SWPPP) to ensure that no soils or other materials from the site impact Don Julio Creek and/or Magpie Creek or affect the water quality of the creeks.

To ensure less-than-significant impacts to special status species, particularly Swainson's hawks, burrowing owls and giant garter snakes, the project will be required to comply with the mitigation measures listed below to ensure potential impacts are less-than-significant.

Question B

The only local species the City protects are "Heritage Trees." The City protects "Heritage Trees" by ordinance (City Code 12.64). Heritage Trees are defined by Sacramento's Heritage Tree Ordinance as:

- a. Any trees of any species with a trunk circumference of one hundred (100) inches or more, which is of good quality in terms of health, vigor of growth and conformity to generally accepted horticultural standards of shape and location for its species.
- b. Any native Quercus species, Aesculus California or Platanus Racemosa, having a circumference of thirty-six (36) inches or greater when a single trunk, or a cumulative circumference of thirty-six (36) inches or greater when a multi-trunk.
- c. Any tree thirty-six (36) inches in circumference or greater in a riparian zone. The riparian zone is measured from the center line of the water course to thirty (30) feet beyond the high water line.
- d. Any tree, grove of trees or woodland trees, designated by resolution of the city council to be of special historical or environmental value or of significant community benefit.

There are no trees located on the site, that will be impacted by the proposed project. Therefore, impacts to locally designated species including Heritage trees are not anticipated to occur from the proposed project.

Question C

Potential jurisdictional waters of the U.S. on the site include approximately 0.27 acre of a perennial drainage (Don Julio Creek). This feature is expected to be protected by a proposed lot line adjustment that will result in no project-related impacts. Additionally, the project will be required to prepare a Storm Water Pollution Prevention Plan (SWPPP) to ensure that no soils or other

materials from the site impact Don Julio Creek and/or Magpie Creek or affect the water quality of the creeks. Therefore, impacts to wetland habitat is anticipated to be less-than-significant.

Mitigation Measures

- BR-1. Prior to commencement of construction activities, the applicant/developer shall have a qualified biologist conduct pre-construction surveys on the project site for the presence or absence of special status species, including California horned lizard, Swainson's hawk, burrowing owls, and giant garter snake. The surveys shall be conducted in accordance with California Department of Fish and Game protocol.
- BR-2. If evidence of California horned lizard is observed, the applicant/developer shall consult with CDGF and complete all protocol measures for the protection of the special status species observed.
- BR-3. For Swainson's hawk, the project applicant shall consult with the CDFG and complete one of the following measures, if necessary:
- a. Projects within one mile of an active nest tree shall provide one of the following:
 - i. One acre of Habitat Management (HM) land (at least 10% of the HM land requirements shall be met by fee title acquisition or a conservation easement allowing for the active management of the habitat, with the remaining 90% of the HM lands protected by a conservation easement that is acceptable to the Department) on agricultural land or other suitable habitats which provide foraging habitat for Swainson's hawk, for each acre of development authorized (1:1 ration); **or**
 - ii. One-half acre of HM land (all of the HM land requirements shall be met by fee title acquisition or a conservation easement that is acceptable to the Department) which allows for the active management of the habitat for prey production on the HM lands, for each acre of development authorized (0.5:1 ratio).
 - b. Projects within 5 miles of an active nest tree but greater than one mile from the nest tree:
 - i. 0.75 acres of HM land for each acre of urban development authorized (0.75:1 ration) shall be provided. All HM lands protected under this requirement may be protected through fee title acquisition or conservation easement (acceptable to the Department) on agricultural lands or other suitable habitats which provide foraging habitat for Swainson's hawk.
 - c. Projects within 10 miles of an active nest tree but greater than 5 miles from an active nest tree:
 - i. 0.5 acres of HM land for each acre of urban development authorized (0.5:1 ratio) shall be provided. All HM lands protected under this requirement may be protected through fee title acquisition or conservation easement (acceptable to the Department) on agricultural lands or other suitable habitats which provide foraging habitat for Swainson's hawk.

OR

BR-4. The applicant/developer shall pay into a fee program established jointly by the City of Sacramento and the Department of Fish and Game, if available.

OR

BR-5. The applicant/developer shall satisfy any other mitigation measures that the Department of Fish and Game develops and deems appropriate.

BR-6. If active raptor nests are found, no construction activities shall occur within 500 feet of the nests until the young have fully fledged or a qualified biologist determines that the nest is no longer active.

BR-7. If active owl burrows are located during the pre-construction surveys, it is recommended that a 250-foot buffer zone be established around each burrow with an active nest until the young have fledged and are able to exit the burrow.

BR-8. For occupied burrows without active nesting occurring, active burrows where the young have fledged, and/or development commences after the breeding season (typically thought to be February-August), passive relocation of the birds shall be performed. Passive relocation involves installing a one-way door at the burrow entrance, which encourages the owls to move from the occupied burrow. CDFG should be consulted for current guidelines and methods for passive relocation of any owls found on site.

Findings

With the implementation of the mitigation measures listed above, the proposed project would not result in significant impacts to biological resources.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
8. ENERGY			
<i>Would the proposal result in impacts to:</i>			
A) Power or natural gas?			✓
B) Use non-renewable resources in a wasteful and inefficient manner?			✓
C) Substantial increase in demand of existing sources of energy or require the development of new sources of energy?			✓

Environmental Setting

Pacific Gas and Electric (PG&E) is the natural gas utility for the City of Sacramento. Not all areas are currently provided with gas service. PG&E gas transmission pipelines are concentrated north of the City of Sacramento. Distribution pipelines are located throughout the City, usually underground along City and County public utility easements (PUEs).

The Sacramento Municipal Utility District (SMUD) supplies electricity to the City of Sacramento. SMUD operates a variety of hydroelectric, photovoltaic, geothermal and co-generation powerplants. SMUD also purchases power from PG&E and the Western Area Power Administration. Major electrical transmission lines are located in the northeastern portion of the City of Sacramento.

Standards of Significance

Gas Service. A significant environmental impact would result if a project would require PG&E to secure a new gas source beyond their current supplies.

Electrical Services. A significant environmental impact would occur if a project resulted in the need for a new electrical source (e.g., hydroelectric and geothermal plants).

Answers to Checklist Questions

Questions A - C

Development of the proposed project would require the use of energy when completed and also during construction. However, this energy use would not require the development of new sources of energy nor would it result in substantial increases in demand for energy. The proposed project is consistent with the designated land use and would not substantially increase energy consumption beyond what was originally planned for through the North Sacramento Community Plan. Therefore a less-than-significant impact is expected.

Mitigation Measures

No mitigation measures are required.

Findings

The project would not result in impacts to energy resources.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
9. HAZARDS			
<i>Would the proposal involve:</i>			
A) A risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)?			✓
B) Possible interference with an emergency evacuation plan?			✓
C) The creation of any health hazard or potential health hazard?			✓
D) Exposure of people to existing sources of potential health hazards?			✓
E) Increased fire hazard in areas with flammable brush, grass, or trees?			✓

Environmental Setting

The proposed project site is currently vacant and undeveloped land in the North Sacramento Community Plan area. The site is just west of the former McClellan Air Force Base that was decommissioned July of 2002. During a site visit conducted in September of 2004 the site was vacant and had been disked. There was no evidence of any hazardous substances located on the site.

Standards of Significance

For the purposes of this document, an impact is considered significant if the proposed project would:

- expose people (e.g., residents, pedestrians, construction workers) to existing contaminated soil during construction activities;
- expose people (e.g., residents, pedestrians, construction workers) to asbestos-containing materials; or
- expose people (e.g., residents, pedestrians, construction workers) to existing contaminated groundwater during de-watering activities; or
- expose people (e.g., residents, pedestrians, construction workers) to increase fire

hazards.

Answers to Checklist Questions

Questions A, C & D

The project site does not appear to contain any hazardous materials. During a site visit in September of 2004 no evidence of hazardous substances were observed. However, due to the proximity of the site to the McClellan Air Force Base site and the unknown activities that may have occurred at the site, contaminants could be discovered during regular construction or excavation activities. Construction activities are regulated by the Occupational Health & Safety Administration (OSHA) and state and local building codes. Because construction activities are required to comply with all applicable health and safety laws, hazards impacts during construction and use of the site are anticipated to be less-than-significant.

Questions B & E

The proposed project consists of developing a warehouse. The project would not interfere with an emergency evacuation plan. The proposed project site if developed would eliminate the potential for brush fires to occur at the site. The proposed project is required to meet the Uniform Fire Code standards. Therefore, impacts to emergency evacuation plans and fire hazards are considered to be less-than-significant.

Mitigation Measures

No mitigation is required.

Findings

The proposed project would result in less-than-significant impacts regarding hazards.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
10. <u>NOISE</u>			
<i>Would the proposal result in:</i>			
A) Increases in existing noise levels? Short-term Long Term			✓ ✓
B) Exposure of people to severe noise levels? Short-term Long Term			✓ ✓

Environmental Setting

The SGPU DEIR indicated that the three major noise sources in the City of Sacramento are surface traffic, aircraft, and the railroad (AA-1). The major noise source in the project area is aircraft noise from McClellan Park which has runways approximately a mile to the east of the project site. According to the SGPU DEIR, the portions of the proposed project site are within the 65 Ldn noise contour for McClellan Park (SGPU DEIR, AA-35). The former Air Force Base is closed now and has different mix of aircraft use, which in general are quieter than military aircraft.

Standards of Significance

Thresholds of significance are those established by the Title 24 standards and by the City's General Plan Noise Element and the City Noise Ordinance. Noise and vibration impacts resulting from the implementation of the proposed project would be considered significant if they cause any of the following results:

- Exterior noise levels at the proposed project, which are above the upper value of the normally acceptable category for various land uses (SGPU DEIR AA-27) caused by noise level increases due to the project. The maximum normally acceptable exterior community noise exposure for commercial uses is 65 dB Ldn, for residential backyards it is 60 dB Ldn, and for residential interior it is 45 dB Ldn;
- Construction noise levels not in compliance with the City of Sacramento Noise Ordinance;
- Occupied existing and project residential and commercial areas are exposed to vibration peak particle velocities greater than 0.5 inches per second due to project construction;

- Project residential and commercial areas are exposed to vibration peak particle velocities greater than 0.5 inches per second due to highway traffic and rail operations; and
- Historic buildings and archaeological sites are exposed to vibration peak particle velocities greater than 0.25 inches per second due to project construction, highway traffic, and rail operations.

Construction-generated sound is exempt from limits if construction activities take place between the hours of 7:00 a.m. and 6:00 p.m. Monday-Saturday and between 9:00 a.m. and 6:00 p.m. on Sundays as specified in Section 8.68.080 of the City of Sacramento Noise Ordinance.

Answers to Checklist Questions

Questions A and B

The major noise source in the project area is aircraft noise from McClellan Park. Based upon the noise contours presented in the SGPU DEIR, page AA-35, a portion of the proposed project is located within the 65 Ldn noise contour but outside the 70 dB Ldn noise contour. The SGPU DEIR identifies a 70 dB as the upper limit for “normally acceptable” exterior noise levels for industrial land use. The proposed project is located right around the 65 Ldn contour and is therefore, not anticipated to be significantly affected by aircraft noise from McClellan Park.

Development of the proposed project site as a warehouse will generate new sources of noise. The proposed layout of the project has the loading docks for the warehouse located on the southern side of the building, which is directed to vacant land. Additionally, the site is surrounded by either vacant undeveloped land or other industrial uses. Based upon this site design and proximity of the project to other industrial uses, operations at the site are anticipated to have a less-than-significant impact on any sensitive receptors. Both the current General Plan and North Sacramento Community Plan land use designations for this area are Industrial. As a result a less-than-significant noise impact is anticipated from operations of the site.

Noise would also be generated from construction of the proposed project. However, construction-generated sound is exempt from limits if construction activities take place between the hours of 7:00 a.m. and 6:00 p.m. Monday-Saturday and between 9:00 a.m. and 6:00 p.m. on Sundays as specified in Section 8.68.080 of the City of Sacramento Noise Ordinance.

Mitigation Measures

No Mitigation required.

Findings

With the implementation of the mitigation measures identified in this section, the proposed project would result in less-than-significant noise impacts.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
11. PUBLIC SERVICES <i>Would the proposal have an effect upon, or result in a need for new or altered government services in any of the following areas:</i>			
A) Fire protection?			✓
B) Police protection?			✓
C) Schools?			✓
D) Maintenance of public facilities, including roads?			✓
E) Other governmental services?			✓

Environmental Setting

The nearest fire station to the proposed project site is Station No. 17 located at 1311 Bell Avenue, located approximately 1.5 miles to the south.

The area is served by the Sacramento City Police Department. The William J. Kinney Police Facility is located approximately 2.5 miles to the south at 3550 Marysville Boulevard.

The proposed project site is within the Robla and Grant Joint Union High School Districts.

Standards of Significance

For the purposes of this report, an impact would be considered significant if the project resulted in the need for new or altered services related to fire protection, police protection, school facilities, roadway maintenance, or other governmental services.

Answers to Checklist Questions

Questions A - E

Although government services would be needed to serve the project site, this would not result in the need for an alteration to existing services nor would it result in the need to construct any new facilities to provide the additional services. The proposed project is consistent with the designated land uses for the site. Therefore, a less-than-significant impact on public services is anticipated.

Mitigation Measures

No mitigation is required.

Findings

The proposed project would result in less-than-significant impacts to public services.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
12. UTILITIES			
<i>Would the proposal result in the need for new systems or supplies, or substantial alterations to the following utilities:</i>			
A) Communication systems?			✓
B) Local or regional water supplies?			✓
C) Local or regional water treatment or distribution facilities?			✓
D) Sewer or septic tanks?			✓
E) Storm water drainage?			✓
F) Solid waste disposal?			✓

Environmental Setting

Telephone. SBC provides telephone service to the project site and throughout the surrounding area. Telephone service to the project area is provided primarily with aboveground transmission lines.

Water. The City provides water service from a combination of surface and groundwater sources. The area south of the American River is served by surface water from the American and Sacramento Rivers. The City also pumps groundwater to areas north of the American River. Eventually, the City intends to balance its use of surface and groundwater, requiring surface water in the north area.

Stormwater Drainage. The proposed project is located within Drainage Basin G200. The project site is northwest of Don Julio Creek and north of Magpie Creek. Existing drainage from the site occurs by way of percolation into the soil, or surface flows to Don Julio Creek, or to either Vinci Avenue to the north or Raley Boulevard to the west.

Sewage. Sanitary sewer service is available to North Sacramento. The Sacramento Regional County Sanitation District (SRCSD) provides sewage treatment for the cities of Folsom and Sacramento and County Sanitation District (CSD)-1, which serve the unincorporated urban portions of the County and portions of Sacramento.

The SRCSD is responsible for the operation of all regional interceptors and wastewater treatment plants, while local collection districts operate the systems that transport less than 10 million gallons of waste flow daily. This area of the City has localized sewer service provided by the City.

Solid Waste. The project is required to meet the City's Recycling and Solid Waste Disposal Regulations (Chapter 17.72 of the Zoning Ordinance). The purpose of the ordinance is to regulate the location, size, and design of features of recycling and trash enclosures in order to provide adequate, convenient space for the collection, storage, and loading of recyclable and solid waste material for existing and new development; increase recycling of used materials; and reduce litter.

Standards of Significance

For purposes of this environmental document, an impact is considered significant if the proposed project would:

- Result in a detriment to microwave, radar, or radio transmissions;
- Create an increase in water demand of more than 10 million gallons per day;
- Substantially degrade water quality;
- Generate more than 500 tons of solid waste per year; or
- Generate storm water that would exceed the capacity of the storm water system.

Answers to Checklist Questions

Question A

The proposed project is consistent with the designated uses of the site and would not create impacts to existing communication systems, nor create the need for new communication systems. Therefore, a less-than-significant impact is anticipated.

Questions B, C, and E

The proposed project will be required to connect to the City's water distribution and drainage systems. All connections to the City's utility system will be done to the satisfaction of the City's Department of Utilities. The City's Department of Utilities has reviewed the proposed project to ensure that adequate water is available.

Since the project is not served by a regional water quality control facility and is greater than 1 acre, both source controls and on-site treatment control measures are required. Additionally, post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Source control measures are required (refer to "*Guidance Manual for On-site Stormwater Quality Control Measures*" January 2000 for appropriate source control measures).

Because the project is required to comply with the City's ordinances, the project impacts on the City's water supply, water distribution infrastructure, and drainage facilities are anticipated to be less-than-significant.

Question D

The proposed project is consistent with the designated uses for the site. The site will be required to connect to the existing sanitary sewer system located in Vinci Avenue and Raley Blvd. which

has adequate capacity for the proposed use. Sanitary sewer piping constructed by the applicant to handle the sewer flows generated by the site. All public sewers shall be coordinated with and approved by the Department of Utilities. As the project poses no change in designated land use, the proposed project is anticipated to have a less-than-significant impact on sewer services.

Question F

Prior to issuance of a building permit by the Building Division the applicant would be required to comply with the City's Zoning Ordinance (Title 17.72 of the City Code). This section addresses recycling and solid waste disposal requirements for new and existing developments, which are designed to reduce impacts from the disposal of solid waste. Because the proposed project will be required to comply with this ordinance, it is anticipated to result in less-than-significant impacts from solid waste.

Mitigation Measures

No mitigation is required.

Findings

The proposed project would result in less-than-significant impacts to utility systems.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
13. AESTHETICS, LIGHT AND GLARE			
<i>Would the proposal:</i>			
A) Affect a scenic vista or adopted view corridor?			✓
B) Have a demonstrable negative aesthetic effect?			✓
C) Create light or glare?			✓
D) Create shadows on adjacent property?			✓

Environmental Setting

The project site is not in an adopted view corridor or a scenic vista. The project area is presently vacant and primarily surrounded by vacant land and industrial uses. To the east of the site is the former McClellan Air Force Base. The project site is located within the Expanded North Area Design Review District.

Standards of Significance

Visual impacts would include obstruction of a significant view or viewshed or the introduction of a façade which lacks visual interest and compatibility which would be visible from a public gathering or viewing area.

Shadows. New shadows from developments are generally considered to be significant if they would shade a recognized public gathering place (e.g., park) or place residences/child care centers in complete shade.

Glare. Glare is considered to be significant if it would be cast in such a way as to cause public hazard or annoyance for a sustained period of time.

Light. Light is considered significant if it would be cast onto oncoming traffic or residential uses.

Answers to Checklist Questions

Questions A and B

The proposed project is not within an identified scenic corridor or viewshed so impacts to an identified scenic corridor or viewshed would be less-than-significant. The proposed project is

located within the Expanded North Area Design Review District and will be required to get approval for the design of the building. Therefore, the proposed project is anticipated to have a less-than-significant impact on aesthetics.

Questions C and D

The proposed project would require improvements to the City rights-of-way. These improvements may require the installation of street lighting. The lighting would be installed to meet City standards. Additionally, landscaping will be installed as required by City Ordinance.

With the design and orientation of lighting in compliance with the City Ordinance, impacts associated with light and glare are anticipated to be less-than-significant.

Mitigation Measures

No mitigation is required.

Findings

The project is determined to have a less-than-significant impact to aesthetics, light, or glare.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
14. CULTURAL RESOURCES			
<i>Would the proposal:</i>			
A) Disturb paleontological resources?		✓	
B) Disturb archaeological resources?		✓	
C) Affect historical resources?		✓	
D) Have the potential to cause a physical change, which would affect unique ethnic cultural values?			✓
E) Restrict existing religious or sacred uses within the potential impact area?			✓

Environmental Setting

The proposed project is within a Primary Impact Area as defined by the Sacramento General Plan Update Draft Environmental Impact Report (SGPU) (DEIR, V-5). The SGPU defines a Primary Impact Area as an area that is most sensitive to urban development due to the potential presence of cultural resources.

The proposed project area is currently vacant and does not appear to contain any evidence of historical or cultural resources. The site is north and west of Don Julio Creek, north of Magpie Creek and west of the former McClellan Air Force Base.

Standards of Significance

Cultural resource impacts may be considered significant if the proposed project would result in one or more of the following:

1. Cause a substantial change in the significance of a historical or archaeological resource as defined in CEQA Guidelines Section 15064.5 or
2. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature.

Answers to Checklist Questions

Questions A - D

The project site does not contain any known cultural or historical resources, nor were any evident during a site visit in September of 2004. During construction where excavation could occur, previously unidentified cultural or historical resources may be unearthed. The mitigation measures listed below shall be implemented to ensure a less-than-significant impact:

Question E

There are no known existing religious or sacred uses on the project site. Therefore, it is not anticipated that religious or sacred uses will be impacted by the proposed project.

Mitigation Measures

- CR-1. If subsurface archaeological or historical remains are discovered during construction, work in the area shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.
- CR-2. If human burials are encountered, all work in the area shall stop immediately and the Sacramento County Coroner's office shall be notified immediately. If the remains are determined to be Native American in origin, both the Native American Heritage Commission and any identified descendants must be notified and recommendations for treatment solicited (CEQA Section 15064.5); Health and Safety Code Section 7050.5; Public Resources Code Section 5097.94 and 5097.98.

Findings

The project is expected to have less-than-significant impacts on cultural resources with the incorporation of the above mitigation measures.

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
15. RECREATION <i>Would the proposal:</i>			
A) Increase the demand for neighborhood or regional parks or other recreational facilities?			✓
B) Affect existing recreational opportunities?			✓

Environmental Setting

There are no existing recreational amenities within the project site, as the site is currently vacant private property. Surrounding uses consist of vacant land and industrial uses. The site is west of the former McClellan Air Force Base and north of Magpie Creek.

Standards of Significance

Recreation impacts would be considered significant if the project created a new demand for additional recreational facilities or affected existing recreational opportunities.

Answers to Checklist Questions

Questions A and B

The proposed project would not affect existing recreational opportunities because there are no existing recreational amenities within the project site. The proposed project is consistent with the North Sacramento Community Plan and the Sacramento General Plan Update land use designations. Additionally, the proposed use of the site for industrial uses would not create the need for additional park or recreational facilities. Therefore, recreational impacts are anticipated to be less-than-significant.

Mitigation Measures

No mitigation is required.

Findings

The proposed project would result in less-than-significant impacts to recreational resources.

MANDATORY FINDINGS OF SIGNIFICANCE

Issues:	Potentially Significant Impact	Potentially Significant Impact Unless Mitigated	Less-than-significant Impact
16. <u>MANDATORY FINDINGS OF SIGNIFICANCE</u>			
A. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?		✓	
B. Does the project have the potential to achieve short-term, to the disadvantage of long-term environmental goals?			✓
C. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)			✓
D. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? Disturb paleontological resources?		✓	

Mandatory Findings of Significance Discussion

- A. As discussed in the Biological Resources section, the project will not degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, or threaten to eliminate a plant or animal community. Mitigation measures have been included to ensure impacts to biological resources are less-than-significant. Additionally, the project does not have the potential to eliminate important examples of major periods of California history or prehistory.
- B. As discussed in the preceding section, the project does not have the potential to achieve short-term, to the disadvantage of long-term environmental goals.
- C. When impacts are considered along with, or in combination with other impacts, the project-related impacts are less-than-significant. The proposed project will not add substantially to any cumulative effects. Project related impacts would be mitigated to a less-than-significant level; therefore cumulative effects are not considered a significant impact.
- D. The project does not have environmental effects that could cause substantial adverse effects on human beings, either directly or indirectly with the implementation of mitigation measure for potential air quality and noise impacts. The site is not known to contain any hazards. However, construction activities could reveal previously unknown hazards. The proposed project is required to comply with all applicable laws concerning hazardous materials. There are no known paleontological resources on the site. Mitigation measures concerning how to handle paleontological resources were included in the case previously unidentified resources are uncovered during construction activities.

SECTION IV. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below potentially would be affected by this project.

- | | |
|--|--|
| <input type="checkbox"/> Land Use and Planning | <input type="checkbox"/> Hazards |
| <input type="checkbox"/> Population and Housing | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Geological Problems | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Water | <input type="checkbox"/> Utilities and Service Systems |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Aesthetics, Light & Glare |
| <input type="checkbox"/> Transportation/Circulation | <input checked="" type="checkbox"/> Cultural Resources |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Energy and Mineral Resources | <input checked="" type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> None Identified | |

SECTION V. DETERMINATION

On the basis of the initial evaluation:

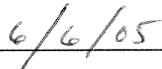
I find that the Proposed Project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

- X I find that although the Proposed Project could have a significant effect on the environment, there will not be a significant effect in this case because the project-specific mitigation measures described in Section III have been added to the project. A NEGATIVE DECLARATION will be prepared.

I find that the Proposed Project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.



Signature



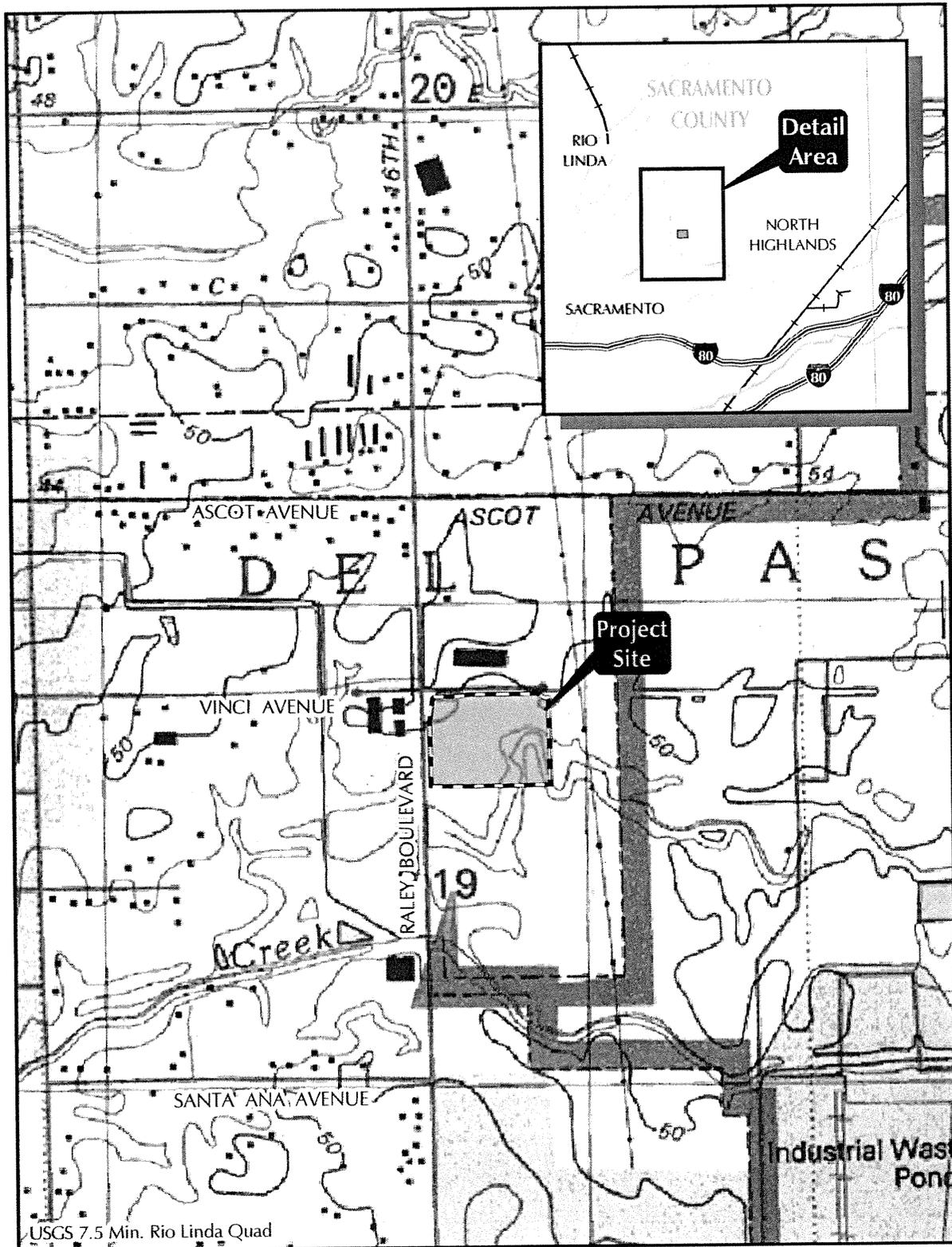
Date

Scott Johnson

Printed Name

ATTACHMENT A

Vicinity Map/Location Map



USGS 7.5 Min. Rio Linda Quad

SITE AND VICINITY

FOOTHILL ASSOCIATES
 ENVIRONMENTAL CONSULTING • PLANNING
 LANDSCAPE ARCHITECTURE



0 500 1000
 SCALE IN FEET

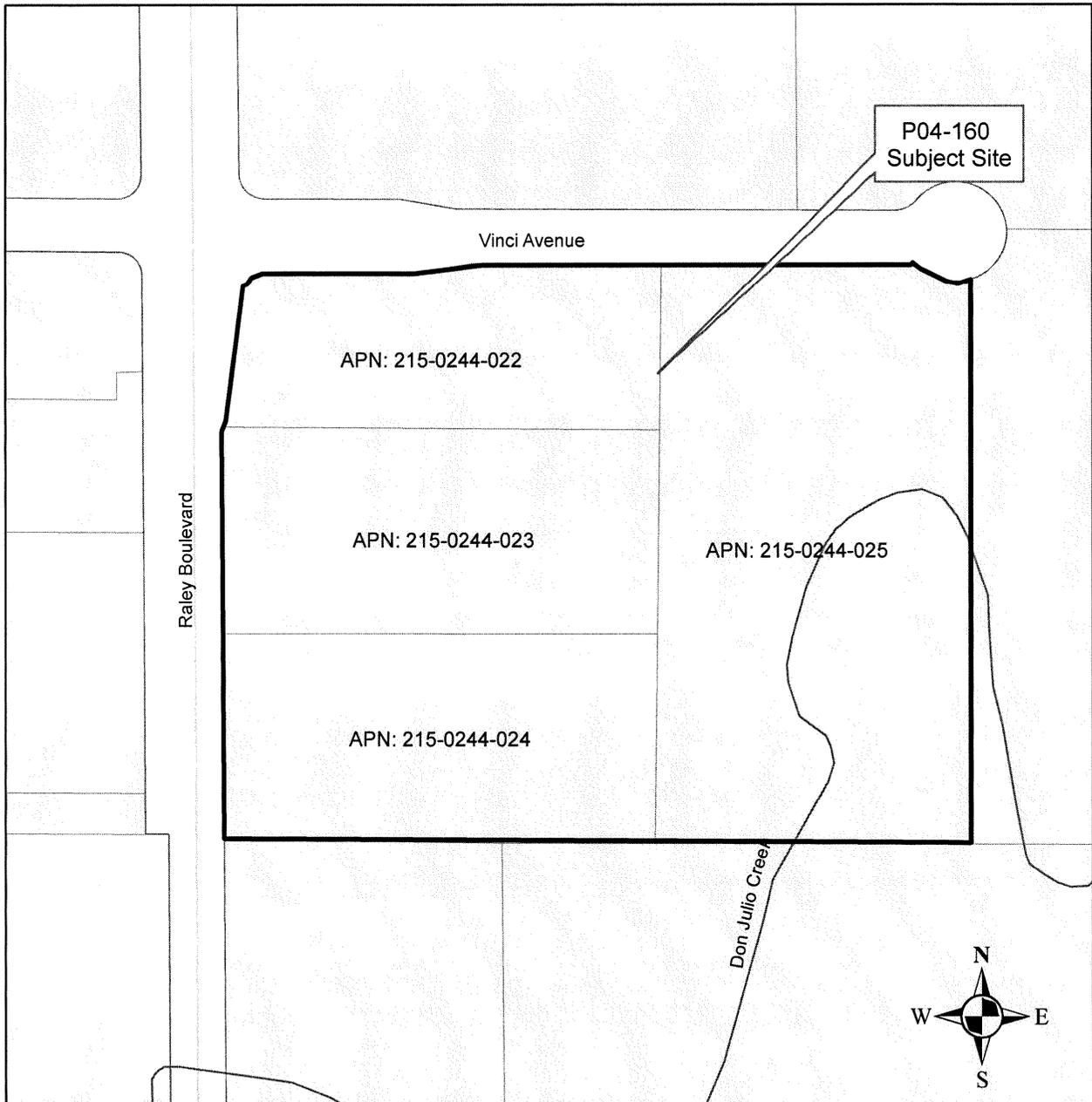
Drawn By: MAB
 Date: 02/25/05

FIGURE

BLT WAREHOUSE

site_and_vicinity.mxd
 © 2005

P04-160 BLT Warehouse
Assessor's Parcel Number
Exhibit



ATTACHMENT B

Project Plans

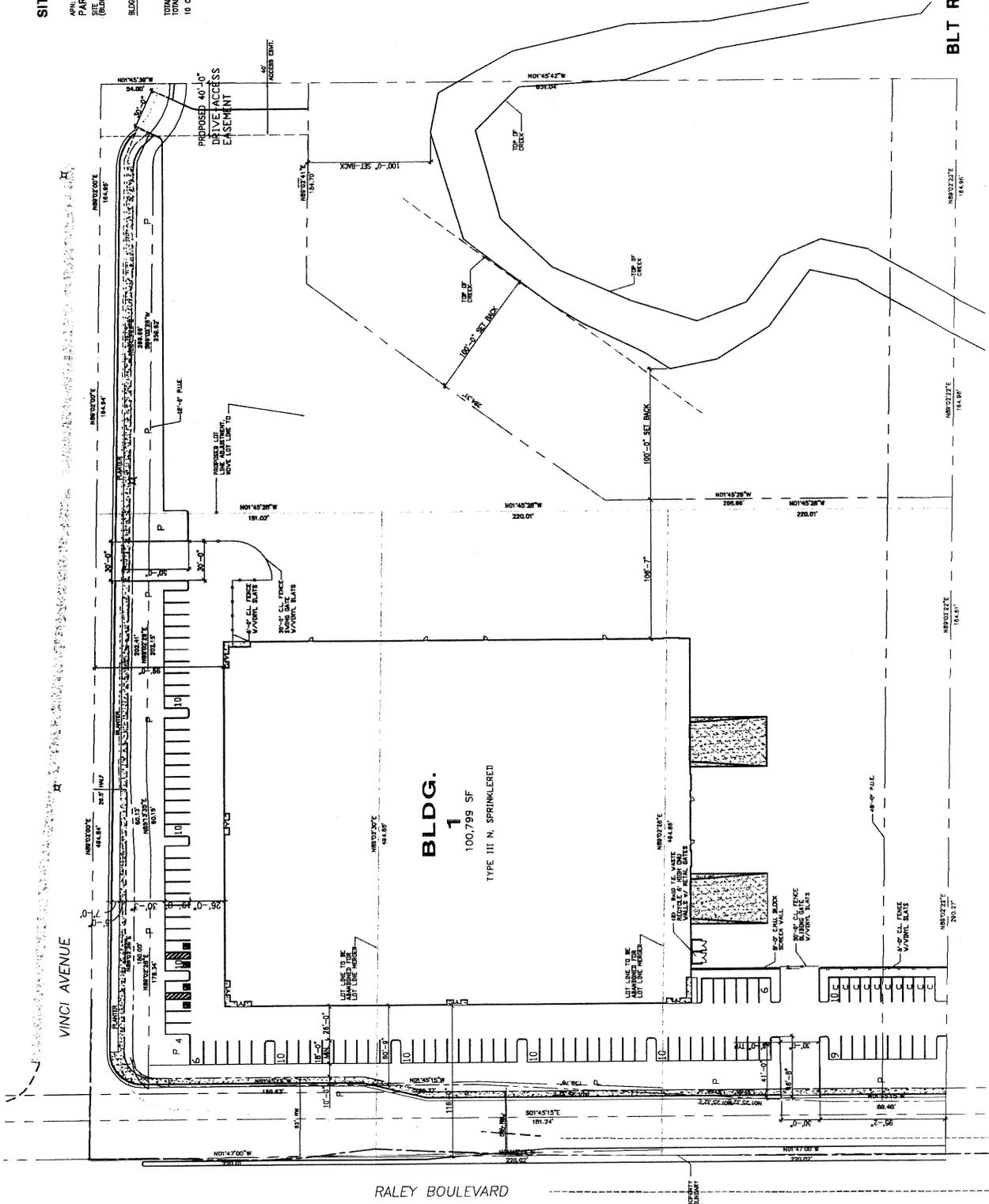
SITE DATA:

APN: 215-014-022, 031, & 024
 PARKING ANALYSIS:
 SITE SF = 262,248 SF = 7.2 ACRES
 (BLDG. 1) SF = 100,799 SF = 2.7% COVERAGE
 BLDG. 1: 100,799 S.F. @ 1/1000 WAREHOUSE - REQUIRED: 101
 PROMISED: 101

TOTAL PARKING REQUIRED: 101
 TOTAL PARKING PROVIDED: 101
 10 COMPACT PARKING SPACES = 10%

BLT RALEY WAREHOUSE

RALEY BLVD
 SACRAMENTO, CALIFORNIA
 MARK III ENGINEERING CONTRACTORS



SITE PLAN

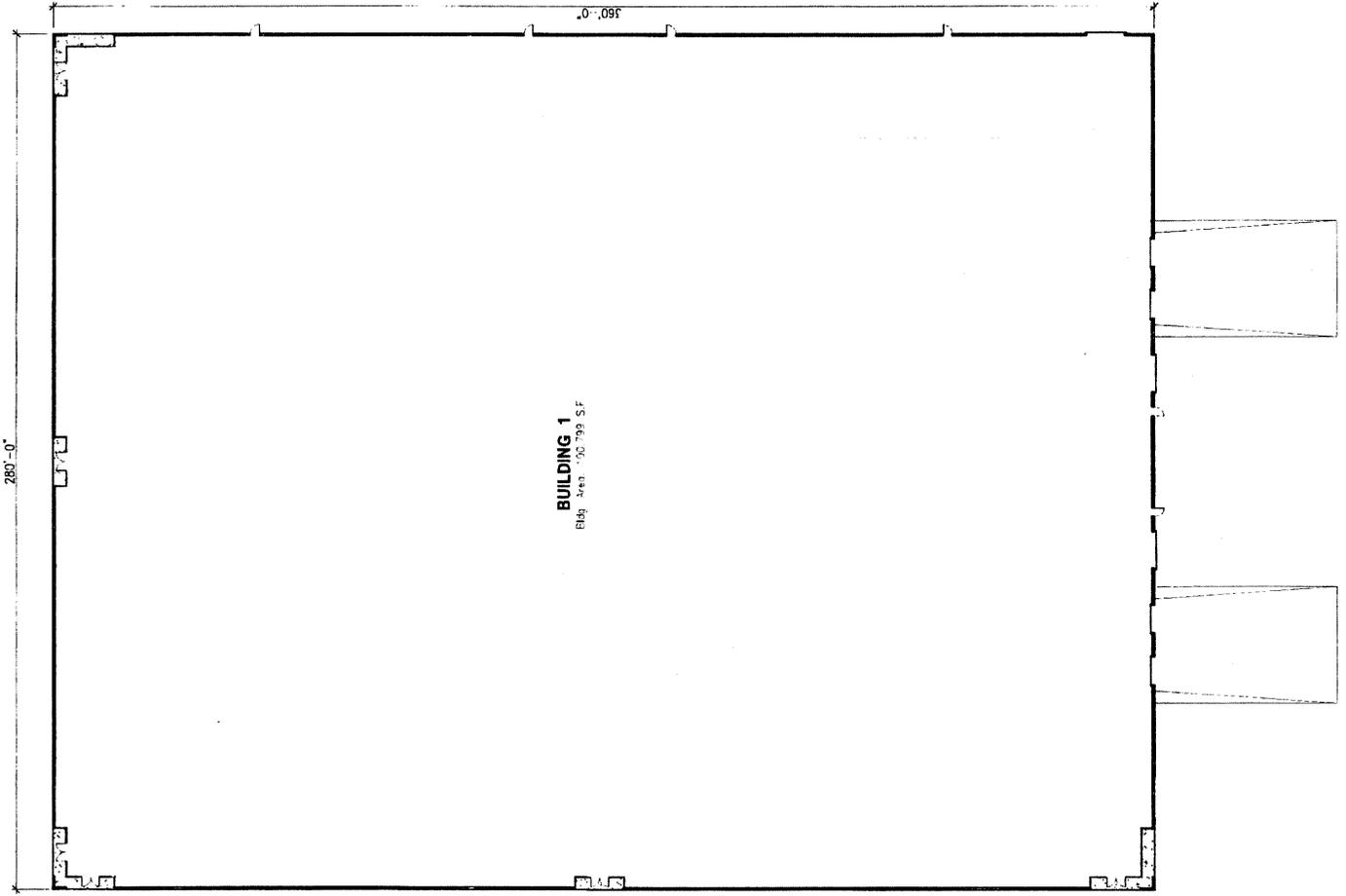


REVISED

P04-160

REC'D 5/76/05





BUILDING 1
Bldg. Area: 100,799 SF

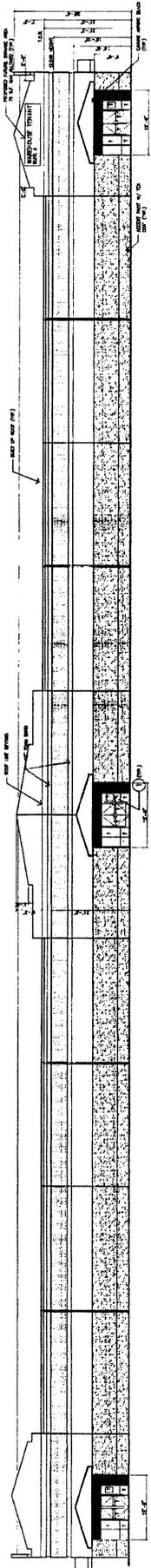


ENC 001 - 10/97

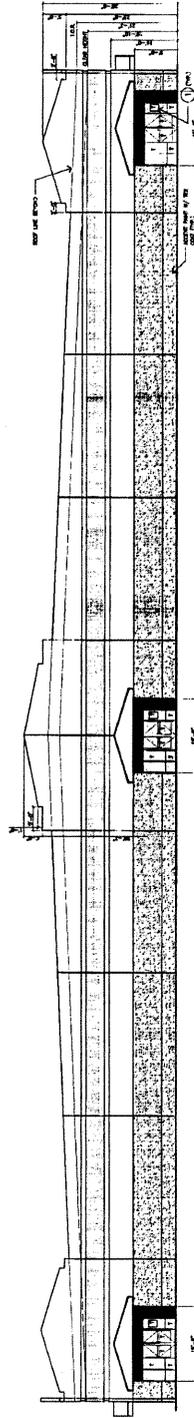
BLT RALEY
RALEY BLVD
SACRAMENTO, CALIFORNIA
MARK III ENGINEERING CONTRACTORS

FLOOR PLAN

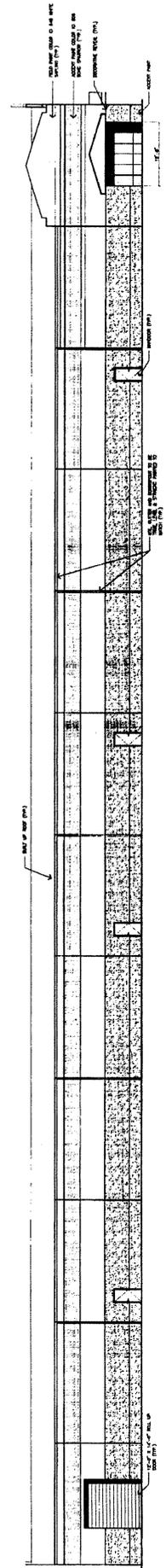




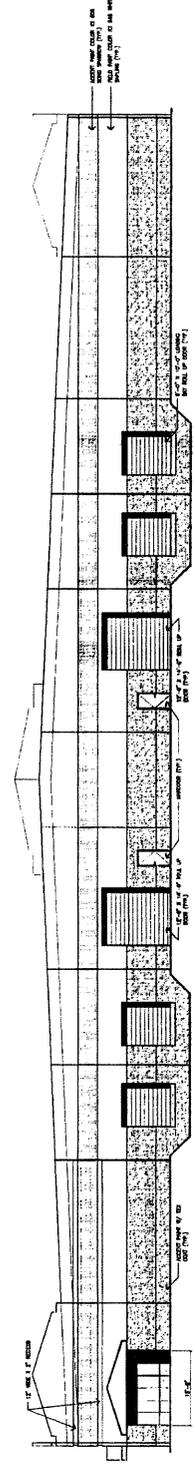
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

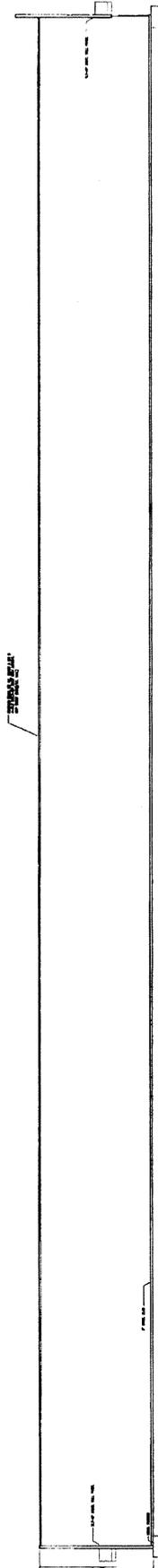


SOUTH ELEVATION

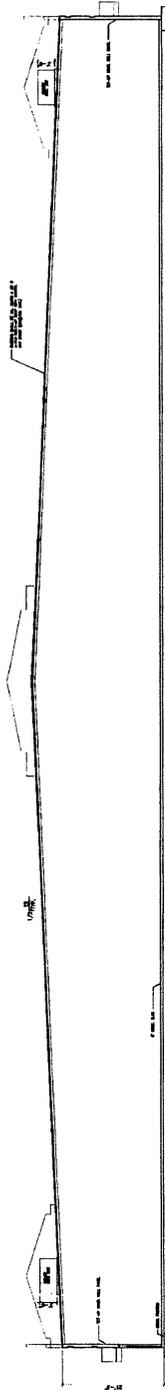
BUILDING ELEVATIONS

BLT RALEY
 RALEY BLVD
 SACRAMENTO, CALIFORNIA
 MARK III ENGINEERING CONTRACTORS





NORTH SOUTH SECTION



EAST WEST SECTION

BUILDING SECTIONS

BLT 2012-012

BLT RALEY

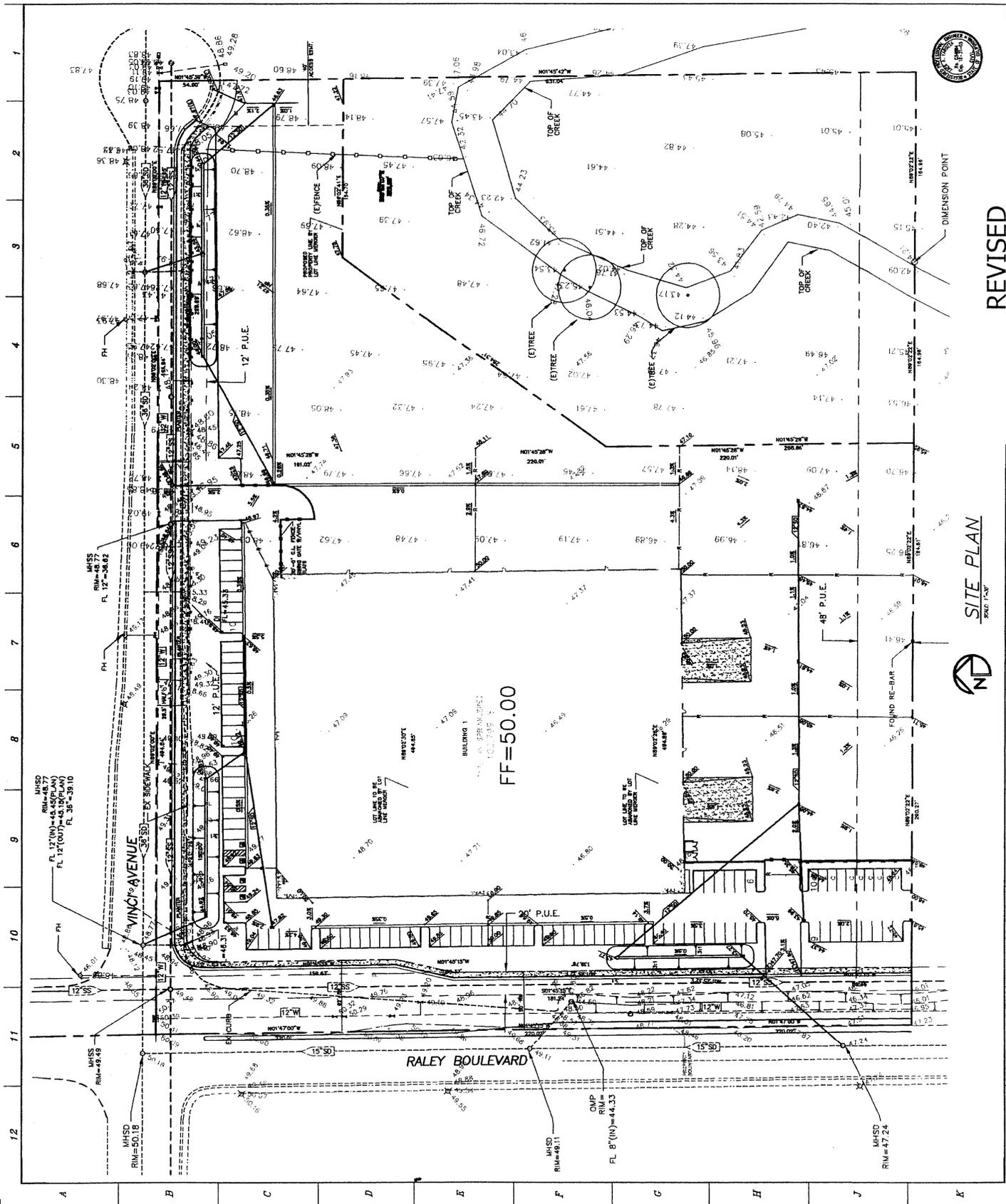
RALEY BLVD
SACRAMENTO, CALIFORNIA
MARK III ENGINEERING CONTRACTORS



PROJECT:
RALEY AND VINCI
 SACRAMENTO, CA.
 100,799 SF OFFICE

Pe
Peabody Engineering
 1700 COLLEGE AVENUE, SUITE 100
 SACRAMENTO, CA 95811
 TEL: (916) 441-1111 FAX: (916) 441-1112

PRELIMINARY GRADING PLAN
 SHEET NO. 1301.001
 DATE: 02/27/05
 DRAWN BY: S. SANFORD
 CHECKED BY: J. VAREZZA
 C-0 OF SHEETS



REVISED
P04-160
 REC'D 5/26/05

SITE PLAN
 SCALE: 1"=40'

Attachment 1
NOTICE OF DECISION AND FINDINGS OF FACT FOR
BLT RALEY WAREHOUSE, LOCATED AT THE SOUTHEAST CORNER OF RALEY
BOULEVARD AND VINCI AVENUE, SACRAMENTO, CALIFORNIA (P04-160)

At the regular meeting of July 28, 2005, the City Planning Commission heard and considered evidence in the above-entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. Approved the Environmental Determination: Mitigated Negative Declaration;**
- B. Approved the Mitigation Monitoring Plan;**
- C. Approved the Parcel Merger to merge four parcels totaling 11.82± undeveloped acres into two parcels in the Light Industrial Review (M-1-R) zone;**
- D. Approved the Plan Review to construct a 100,799± square foot warehouse building on a 7.5± acre parcel in the Light Industrial Review (M-1-R) zone.**

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. Mitigated Negative Declaration: The City Planning Commission **approves** the Mitigated Negative Declaration, based upon the following findings:
 - 1. The Mitigated Negative Declaration was prepared and circulated for the above-identified project pursuant to the requirements of CEQA;
 - 2. The proposed Mitigated Negative Declaration and comments received during the public review process were considered prior to action being taken on the project; and
 - 3. Based upon the Initial Study and the comments received during the public review process, there is no substantial evidence that the project will have a significant effect on the environment.
- B. Mitigation Monitoring Plan: The Mitigation Monitoring Plan is **approved** based upon the following findings of fact:
 - 1. One or more mitigation measures have been added to the above-identified project;

2. A Mitigation Monitoring Plan has been prepared to ensure compliance and implementation of the mitigation measures for the above-identified project, a copy of which is attached as Exhibit 1A;
 3. The Mitigation Monitoring Plan meets the requirements of Public Resources Code Sec. 21081.6; and
 4. The Mitigation Monitoring Plan is approved, and the mitigation measures shall be implemented and monitored as set forth in the Plan.
- C. Parcel Merger: The Parcel Merger to merge four parcels totaling 11.82± undeveloped acres into two parcels in the Light Industrial Review (M-1-R) zone is **approved** on the following findings of fact subject to the conditions of approval:
1. The parcel merger is consistent with the City's General Plan which designates the subject site as Heavy Commercial or Warehouse;
 2. The resulting parcels, together with the provisions for their design and improvement, are consistent with the North Sacramento Community Plan and the Subdivision Ordinance, which is Chapter 16 of the City Code.
 3. Per the City's Zoning Ordinance, any parcel or parcels developed for industrial or commercial uses for which access has been approved by the planning commission or city council shall not be required to have street frontage; and
 4. All existing streets and/or utility easements of record are reserved.
- D. Plan Review: The Plan Review to construct a 100,799± square foot warehouse building on a 7.5± acre parcel in the Light Industrial Review (M-1-R) zone is **approved** based on the following findings of fact subject to the conditions of approval:
1. The proposed development is consistent with the General Plan designation of Heavy Commercial or Warehouse and North Sacramento Community Plan designation of Industrial. The project supports the General Plan policy to maintain and strengthen Sacramento's role as a major West Coast warehousing/distribution center and the Community Plan goal to provide the opportunity to develop a large portion of the West-of-McClellan area as a regional warehousing and distribution facility area.
 2. Adequate infrastructure will be provided to serve the subject site and the parcels can be accessed from adjacent streets;
 3. The proposed project meets building coverage, setback and parking requirements described in the Zoning Ordinance;
 4. The proposed project is consistent with the adjacent industrial developments and the building will be constructed on top of a pad that is above flood level

and for that portion of the site which will remain in the AE flood zone the applicant has agreed on a hold harmless agreement with the City of Sacramento.

CONDITIONS OF APPROVAL

C. Parcel Merger to merge four parcels on 11.82± undeveloped acres into two parcels in the Light Industrial Review (M-1-R) zone.

General

- C1. The applicant shall file an application for a Certificate of Compliance with the Development Engineering and Finance Division. The applicant must submit all documents required by the submittal requirements checklist and pay the necessary fees.
- C2. The applicant must file for a Waiver of Parcel Map.
- C3. The applicant shall pay off or segregate existing assessments.

Utilities

- C4. The following shall be completed prior to issuance of a certificate of compliance. Only one domestic water service per parcel is allowed. Any excess domestic water services must be abandoned to the satisfaction of the Department of Utilities. The applicant should be advised that the tap record research and verification of tap locations by the field crews involved prior to sign-off of this condition may take a considerable amount of time, therefore, all requests should be submitted in a timely manner.

D. Plan Review to construct a 100,799± square foot warehouse building on a 7.5± acres parcel in the Light Industrial Review (M-1-R) zone.

Planning/General

- D1. Development of this site shall be in compliance with the attached exhibits (Exhibits 1B thru 1H), except as conditioned. Any modification to the project shall be subject to review by Planning staff prior to the issuance of building permits. Any significant modifications to the project may require subsequent entitlements.
- D2. An approved Transportation Management Plan shall be required prior to issuance of a building permit. Requirements and implementation of the TMP shall be demonstrated and/or provided on site prior to the issuance of the Certificate of Occupancy.

- D3. Comply with all requirements included in the Mitigation Monitoring Plan (Exhibit 1A) for P04-160.
- D4. The applicant shall obtain all necessary building permits prior to construction.
- D5. Building elevations shall be consistent with Exhibit F in providing storefront systems and articulated parapet elements facing public streets.
- D6. Lighting shall be designed so as not to produce hazardous and annoying glare to motorists, adjacent properties, or the general public. All fixtures should be placed in a manner that avoids glare when observed from the street or other public areas and complies with City's lighting level requirements.
- D7. Landscaping plans shall be submitted to the Building Division - Site Conditions Unit for review and approval by the Site Conditions Unit and the Landscape Architecture Section. The scope of the review shall include plant species selection, landscape materials, irrigation system, and calculation to ensure that the 50% shading requirement is met.
- D8. A minimum of 10-foot landscape setback shall be kept adjacent to Raley Boulevard and a minimum of 20-foot landscape setback shall be kept adjacent to Vinci Avenue.
- D9. The trash enclosure shall be complementary to the main building and shall meet all requirements of the Sacramento City Code, Chapter 17.72 (Recycling and Solid Waste Disposal Regulations), including, but not limited to, perimeter landscaping, masonry walls, solid metal gate, concrete apron, overhead clearance, signs and setbacks.
- D10. Any roof-mounted mechanical and communications equipment shall be completely screened from view from public streets by use of parapet walls or the like.
- D11. All proposed signage shall comply with the Sign Ordinance for detached and attached signage in the M-1 zone and a sign permit shall be obtained for each sign. All monument signs shall not exceed six feet in height.
- D12. All outdoor storage areas shall be screened with a minimum 6 foot high masonry wall complementary to the building.
- D13. The area that is directly to the east and south sides of the building shall be used for truck loading and yard area only and shall be separated from the parking area with fencing and masonry wall; there shall be no parking allowed in this area.

- D14. Fencing, including rolling gates, visible from the street shall be wrought iron, tubular steel painted to complement the main building.
- D15. The project is required to provide 101 parking spaces or at the ratio of 1 parking space per 1000 gross square feet.
- D16. The proposal is required to meet the Sacramento City Code regulations, regarding bicycle parking (Section 17.64.050). Bicycle parking shall be located in a secure area located in close proximity public view. Five bicycle parking is required for the project, fifty percent of which shall be Class I facilities.
- D17. A minimum two-foot high parapet wall on all four sides of the building (with the exception of the areas where the roof line is articulated) to screen the mechanical equipment on the roof, if applicable.
- D18. Provide striped pedestrian crossing markings between entrances and parking area.

Development Engineering & Financing Division

- D19. Construct standard improvements as noted in these conditions pursuant to section 16.48.110 of the City Code. Improvements shall be designed and constructed to City standards in place at the time that the Building Permit is issued. All improvements shall be designed and constructed to the satisfaction of the Development Engineering and Finance Division. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards.
- D20. All new driveways shall be designed and constructed to City Standards to the satisfaction of the Development Engineering and Finance Division. Any existing site driveways shall be redesigned and reconstructed, if necessary, to City Standards to the satisfaction of the Development Engineering and Finance Division.
- D21. The minimum throat distance for all site driveways shall be 50' (throat distance is that distance a vehicle can move from the public right-of-way into a given site before encountering a conflict with parking stalls, aisles, etc).
- D22. The site plan shall conform to A.D.A. requirements in all respects.
- D23. The applicant/owner shall merge the existing parcels that cover the project site which creates the parcel boundary shown on the proposed site plan prior to obtaining any Building Permits.

- D24. The applicant shall construct full frontage improvements on Vinci Avenue. Frontage improvements shall include the dedication, design, and construction of Vinci Avenue, adjacent to the subject property, to a 26.5-foot half-street section. This shall include a 5' separated sidewalk, 6' planter, 6" vertical curb plus gutter, and a 15' unstriped travel way - measured from the face-of-curb to the street centerline. The design and construction of such improvements shall be to City Standards and to the satisfaction of the Development Engineering and Finance Division.
- D25. Dedicate sufficient Right-of-Way and construct a modified expanded intersection on Raley Boulevard. The desing of the modified expanded intersection is as follows: The expanded intersection shall be designed with one left turn lane, three through lanes, a bike lane, a right turn pocket lane, and curb gutter and sidewalk all within the 62' right-of-way. The construction of Raley Boulevard shall include a median and be constructed to City codes and standards and to the satisfaction of the Development Engineering and Finance Division.
- D26. Dedicate sufficient Right-of-Way and construct Raley Boulevard to a modified 50-foot half street section. Raley Boulevard half street section shall be dedicated, designed, and constructed as a standard 6-lane arterial with a 5' attached sidewalk, a 5' bike lane, and a 12' foot landscaped median. The construction of Raley Boulevard shall include a median and be constructed to City codes and standards and to the satisfaction of the Development Engineering and Finance Division.
- D27. The site plan shall conform to the parking requirements set forth in chapter 17 of City Code (Zoning Ordinance).
- D28. The design of walls, fences, signage, and landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The Development Engineering and Finance Division shall determine the area of exclusion.

Utilities

The following are conditions for the **Plan Review** that shall be approved by the Department of Utilities prior to issuance of a building permit:

- D29. Only one domestic water service is allowed per parcel. Any new domestic water services shall be metered.
- D30. Multiple fire services are allowed per parcel and may be required.

- D31. Provide a sanitary sewer service to the satisfaction of the Department of Utilities.
- D32. An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual).
- D33. A portion of the site is located in the floodplain as determined by the Corps of Engineers study. The applicant is responsible for any necessary permits from the Corps of Engineers, Fish and Game, USFWS, SAFCA, American River Flood Control District, State Reclamation Board or any other applicable agency. Prior to issuance of building permit, the applicant shall provide documentation, to the satisfaction of the Department of Utilities, that no permits are necessary or that the necessary permits have been obtained.
- D34. The proposed project is located in the 100-year floodplain, designated as an **AE zone** (base flood elevation (BFE) **48.0** feet) on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) dated July 6, 1998. Finished lot pad elevation shall be a minimum of 1.0 ft above the 100-year flood elevation and approved by the Department of Utilities. (See Advisory Note A) An elevation certificate will be required with the building permit application and before final inspection. For structures built with the lowest adjacent grade at or above the BFE applicant may apply through the City of Sacramento to FEMA for a Letter of Map Revision (LOMR) to remove the structure from the Special Flood Hazard Area.
- D35. The applicant shall dedicate a drainage easement to the City of Sacramento for all that portion of the site that remains within the 100-year flood plain below elevation 48.0 feet (AE Flood Zone following a LOMR). The drainage easement shall be to the satisfaction of the Department of Utilities.
- D36. The watershed is small and flooding occurs fairly rapidly. Storage of solid waste, floatable materials and hazardous materials shall be prohibited in any areas below the 100-year flood elevation. The applicant shall enter into a hold harmless agreement with the City of Sacramento for the area within the AE Flood Zone that is susceptible to flooding. The hold harmless agreement shall remove the City from responsibility / liability for flood damage of any permanent facilities or interim items that are stored or parked within the AE Flood Zone. The agreement shall be to the satisfaction of the Department of Utilities and the City Attorney.
- D37. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. Grading shall not

impair the passage of flood flows or result in a loss of flood plain storage volume. No grading shall occur until the grading plan has been reviewed by SAFCA and reviewed and approved by the Department of Utilities.

- D38. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.
- D39. This project will disturb greater than 1 acre of property, therefore the project is required to comply with the State "NPDES General Permit for Stormwater Discharges Associated with Construction Activity" (State Permit). To comply with the State Permit, the applicant will need to file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Stormwater Pollution Prevention Plan (SWPPP) prior to construction. A copy of the State Permit and NOI may be obtained at www.swrcb.ca.gov/stormwtr/construction.html. The SWPPP will be reviewed by the Department of Utilities prior to issuing a grading permit or approval of improvement plans to assure that the following items are included: 1) vicinity map, 2) site map, 3) list of potential pollutant sources, 4) type and location of erosion and sediment BMPs, 5) name and phone number of person responsible for SWPPP, 6) certification by property owner or authorized representative.
- D40. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since the project is not served by a regional water quality control facility and is greater than 1 acre, both source controls and on-site treatment control measures are required. Specific source controls are required for (1) commercial/industrial material storage, (2) commercial/industrial outdoor loading/unloading of materials, (3) commercial/industrial vehicle and equipment fueling, (4) commercial/industrial vehicle and equipment maintenance, repair and washing, (5) commercial/industrial outdoor process equipment operations and maintenance and (6) commercial/industrial waste handling. Storm drain message is required at all drain inlets. On-site treatment control measures are also required and may affect site design and site configuration and therefore, should be considered during the early planning stages. Improvement plans must include the source controls and on-site treatment control measures selected for the site. Refer to the "Guidance Manual for On-Site Stormwater Quality Control Measures", dated January 2000, for appropriate source control measures and on-site treatment control measures.
- D41. The applicant must determine if they are required to obtain the State "NPDES General Permit for Stormwater Discharges Associated with

Industrial Activity". Applicant shall submit the determination to the Department of Utilities for approval. The submittal must include the applicable Standard Industrial Classification (SIC) code(s), which describe the business activities that will be occurring at the facility.

Building

- D42. Prior to the issuance of a building permit, a water flow test shall be obtained from Utilities and the fire flow calculated. With the fire flow calculated the applicant shall determine if the proposed building area and construction type complies with the Fire Code. If not, the building area shall be reduced or a change in construction type will be needed.
- D43. This site is in a flood zone and FEMA flood requirements shall apply.
- D44. Handicap access shall be provided.

Fire

- D45. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.
- D46. Provide the required fire hydrants in accordance with CFC 903.4.2 and Appendix III-B, Section 5.
- D47. Provide appropriate Knox access for site.
- D48. If applicable, roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.
- D49. Locate and identify Fire Department Connections (FDCs) on address side of building within 40 feet of a fire hydrant.
- D50. Turning radii into the parking lot that fronts Raley Boulevard does not meet Fire Department access requirements. All turning radii for fire access shall be designed as 35' inside and 55' outside.

Solid Waste Division

- D51. Development is required to submit a recycling plan for this development, prior to the issuances of any Tenant Improvement permits, that includes the following:
 - a. The applicant needs to identify the recyclable commodities that will be diverted from the waste stream, at the construction phase and at the

- tenant occupancy phase. The project proponent should plan to divert cardboard, mixed paper, and beverage containers.
- b. The applicant should indicate how employees/tenants would be instructed in the use of the trash/recycling receptacles. This can be accomplished through employer training policy, handouts, and signage in the trash/recycling enclosures.
 - c. The applicant is required to submit a site plan indicating the location and size of trash and recycling enclosures.

SAFCA

- D52. No solid waste or hazardous materials shall be kept or stored in any areas below the 100-year flood elevation.
- D53. Prior to the issuance of building permits, a flood easement shall be obtained from the City for all areas within the 100-year flood zone.

CSD-1

- D54. Prior to issuance of building permits, the applicant shall provide documentation that connection to the District's sewer system is to the satisfaction of CSD-1. Sacramento County Improvement Standards apply to sewer construction.
- D55. Each parcel and each building with a sewage source shall have a separate connection to the CSD-1 sewer system.

Advisory Notes: Utilities

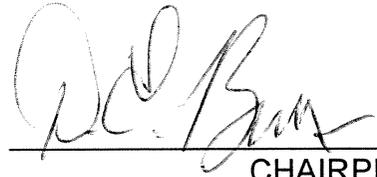
- A. The proposed project is located in an area that is subject to flooding from flood events less frequent than a 100-year flood. Applicant is advised to consider finished lot pad at elevation 50 feet or higher to reduce chance of flooding.
- B. Prior to design of the subject building, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the fire suppression systems.
- C. There is a flood control project being designed by Sacramento Area Flood Control Agency (SAFCA) to improve the Magpie Creek Diversion, and provide flood detention east of Raley Boulevard. This site is a portion of the area to be used as flood detention.

Advisory Notes: Solid Waste Division

- D. Divert construction waste. Project proponent should plan to target cardboard, wood waste, scrap metal, brick, concrete, asphalt, and dry wall for recovery. The developer should submit the following information to the Solid Waste Division:
- Method of recovery
 - Hauler information
 - Disposal facility
 - Diversion percentage
 - Weigh tickets documenting disposal and diversion
- E. The Solid Waste Division provides free waste audits to interested businesses. City staff will then recommend a method of waste management to the businesses to increase waste diversion at the greatest cost avoidance.
- F. Businesses that choose private sector service should ask about the recycling opportunities that company offers. Recycling should still be cheaper than disposal.
- G. Businesses that subscribe to City solid waste collection and disposal services are also provided recycling services as a package. The Solid Waste Division provides a variety of commercial services. They include commercial solid waste collection and disposal, commercial recycling, in-office recycling, and debris box services.

Advisory Notes: SRCSD

- H. Existing Sacramento Regional County Sanitation District (SRCSD) facilities serving this proposed project are capacity constrained. Ultimate capacity will be provided by the construction of the Lower Northwest and Upper Northwest Interceptors, currently scheduled for completion in 2010. SRCSD is working to identify potential interim projects to provide additional capacity. SRCSD and County Sanitation District 1 (CSD-1) will issue sewer permits to connect to the system if it is determined that capacity is available and the property has met all other requirements for service. This process is "first come, first served". There is no guarantee that capacity will be available when actual requests for sewer service are made. Once connected, the property has the entitlement to use the system. However, its entitlement is limited to the capacity accounted for by the payment of the appropriate SRCSD fees.
- I. Developing this property may require the payment of additional sewer impact fees. Applicant should contact the Fee Quote Desk at (916) 876-6100 for sewer impact fee information.



CHAIRPERSON

ATTEST:



SECRETARY TO CITY PLANNING COMMISSION

7/29/05

DATE (P04-160)

- | | |
|------------|-----------------------------|
| Exhibit 1A | Mitigation Monitoring Plan |
| Exhibit 1B | Parcel Merger |
| Exhibit 1C | Site Plan |
| Exhibit 1D | Preliminary Grading Plan |
| Exhibit 1E | Floor Plan |
| Exhibit 1F | Building Elevations |
| Exhibit 1G | Building Sections |
| Exhibit 1H | Preliminary Landscape Plans |

Exhibit 1A – Mitigation Monitoring Plan

**BLT RALEY WAREHOUSE (P04-160)
MITIGATION MONITORING PLAN**

This Mitigation Monitoring Plan (MMP) has been required by and prepared for the City of Sacramento Development Services Department, Environmental Planning Services, 1231 I Street, Room 300, Sacramento, CA 95814, pursuant to CEQA Guidelines Section 21081.6.

SECTION 1: PROJECT IDENTIFICATION

Project Name / File Number: BLT Raley Warehouse (P04-160)
Owner/Developer- Name: BLT Enterprises of Sacramento
Attn: Shawn Guttersen
Address: 8491 Fruitridge Road
Sacramento, CA 95826

Project Location / Legal Description of Property (if recorded):

The project site is located at the southeast corner of Raley Boulevard and Vinci Avenue in the North Sacramento Community Plan area of the City of Sacramento, Sacramento County (APNs: 215-0244-022, -023, -024 and -025).

Project Description:

The project consists of various entitlements, including a Parcel Merger to merge four parcels on 11.82± undeveloped acres into two parcels and a Plan Review for the construction of a 100,799± square foot warehouse building on a 7.5± acres parcel in the Light Industrial Review (M-1-R) zone.

SECTION 2: GENERAL INFORMATION

The Plan includes mitigation for Biological Resources and Cultural Resources. The intent of the Plan is to prescribe and enforce a means for properly and successfully implementing the mitigation measures as identified within the Initial Study for this project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this Plan shall be funded by the owner/developer identified above. This Mitigation Monitoring Plan (MMP) is designed to aid the City of Sacramento in its implementation and monitoring of mitigation measures adopted for the proposed project.

The mitigation measures have been taken verbatim from the Initial Study and are assigned the same number they have in the document. The MMP describes the actions that must take place to implement each mitigation measure, the timing of those actions, and the entities responsible for implementing and monitoring the actions. The developer will be responsible for fully understanding and effectively implementing the mitigation measures contained within the MMP. The City of Sacramento will be responsible for ensuring compliance.

Exhibit 1A – Mitigation Monitoring Plan

BLT RALEY WAREHOUSE (P04-160)
MITIGATION MONITORING PLAN

Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	VERIFICATION OF COMPLIANCE		
			Compliance Standards	Timing	Verification of Compliance (Initials/Date)
<p>7. Biological:</p> <p>BR-1. Prior to commencement of construction activities, the applicant/developer shall have a qualified biologist conduct pre-construction surveys on the project site for the presence or absence of special status species, including California horned lizard, Swainson's hawk, burrowing owls, and giant garter snake. The surveys shall be conducted in accordance with California Department of Fish and Game protocol.</p> <p>BR-2. If evidence of California horned lizard is observed, the applicant/developer shall consult with CDGF and complete all protocol measures for the protection of the special status species observed.</p> <p>BR-3. For Swainson's hawk, the project applicant shall consult with the CDFG and complete one of the following measures, if necessary:</p> <ul style="list-style-type: none"> a Projects within one mile of an active nest tree shall provide one of the following: <ul style="list-style-type: none"> i. One acre of Habitat Management (HM) land (at least 10% of the HM land requirements shall be met by fee title acquisition or a conservation easement allowing for the active management of the habitat, with the remaining 90% of the HM lands protected by a conservation easement that is acceptable to the Department on agricultural land or other suitable habitats which provide foraging habitat for Swainson's hawk, for each acre of development authorized (1:1 ration); or ii. One-half acre of HM land (all of the HM land requirements shall be met by fee title 	<p>Applicant / developer</p> <p>Applicant / developer</p> <p>Applicant / developer</p>	<p>City Development Services Department, CA Dept. of Fish & Game.</p> <p>City Development Services Department, CA Dept. of Fish & Game.</p>	<p>Pre-construction biological surveys shall be completed as specified and submitted with grading/building plans.</p> <p>Mitigation Measures, including construction-timing restrictions shall be included on the Construction Specifications</p>	<p>Prior to issuance of any grading or building permit, measures identified on plans shall be verified for compliance. The Development Services Department shall assure that measures are identified on construction plans and confirm compliance prior to issuance of any grading or building permit.</p>	

Exhibit 1A – Mitigation Monitoring Plan

BLT RALEY WAREHOUSE (P04-160)
MITIGATION MONITORING PLAN

VERIFICATION OF COMPLIANCE					
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials/Date)
<p>acquisition or a conservation easement that is acceptable to the Department) which allows for the active management of the habitat for prey production on the HM lands, for each acre of development authorized (0.5:1 ratio).</p> <p>b Projects within 5 miles of an active nest tree but greater than one mile from the nest tree:</p> <p>i. 0.75 acres of HM land for each acre of urban development authorized (0.75:1 ratio) shall be provided. All HM lands protected under this requirement may be protected through fee title acquisition or conservation easement (acceptable to the Department) on agricultural lands or other suitable habitats which provide foraging habitat for Swainson's hawk.</p> <p>c Projects within 10 miles of an active nest tree but greater than 5 miles from an active nest tree:</p> <p>i. 0.5 acres of HM land for each acre of urban development authorized (0.5:1 ratio) shall be provided. All HM lands protected under this requirement may be protected through fee title acquisition or conservation easement (acceptable to the Department) on agricultural lands or other suitable habitats which provide foraging habitat for Swainson's hawk.</p>			<p>Mitigation Measures shall be included on the map and on the Construction Specifications. Mitigation measures shall be made a condition of the Special Permit</p>	<p>Prior to issuance of any grading or building permit, measures identified on</p>	
<p>BR-4. The applicant/developer shall pay into a fee program established jointly by the City of Sacramento and the Department of Fish and Game, if available.</p> <p>OR</p> <p>BR-5. The applicant/developer shall satisfy any other mitigation</p>	<p>Applicant / developer</p>	<p>City Development Services Department, CA Dept. of Fish &</p>	<p>Mitigation measures shall be made a condition of</p>		

Exhibit 1A – Mitigation Monitoring Plan

BLT RALEY WAREHOUSE (P04-160)
MITIGATION MONITORING PLAN

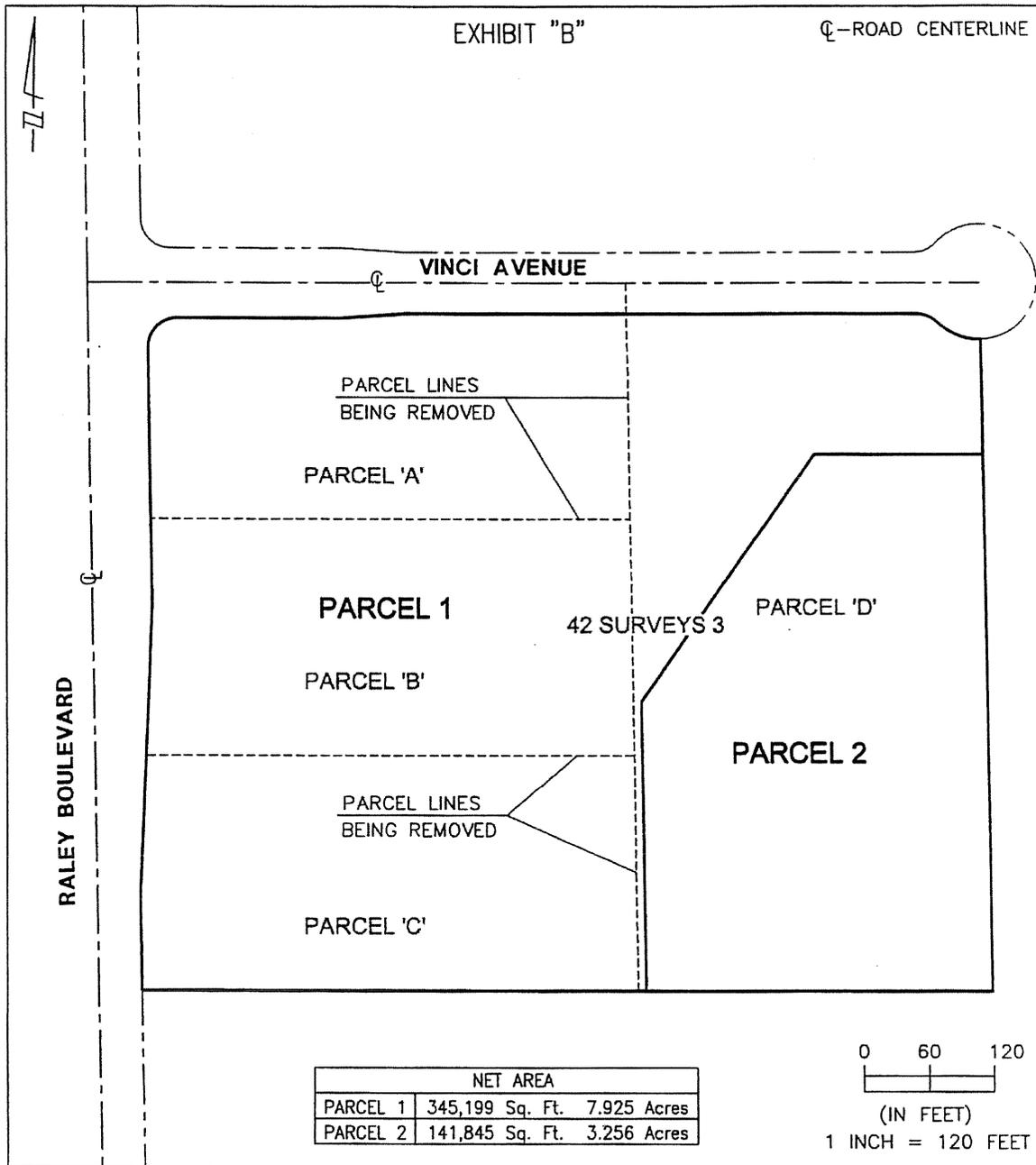
Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	VERIFICATION OF COMPLIANCE		
			Compliance Standards	Timing	Verification of Compliance (Initials/Date)
measures that the Department of Fish and Game develops and deems appropriate.		Game.	the Special Permit	plans shall be verified for compliance.	
BR-6. If active raptor nests are found, no construction activities shall occur within 500 feet of the nests until the young have fully fledged or a qualified biologist determines that the nest is no longer active.	Applicant / developer	City Development Services Department, CA Dept. of Fish & Game.		The Development Services Department shall assure that measures are identified on construction plans and confirm compliance prior to issuance of any grading or building permit.	
BR-7. If active owl burrows are located during the pre-construction surveys, it is recommended that a 250-foot buffer zone be established around each burrow with an active nest until the young have fledged and are able to exit the burrow.	Applicant / developer	City Development Services Department, CA Dept. of Fish & Game.	Mitigation Measures shall be included on the map and on the Construction Specifications. Mitigation measures shall be made a condition of the Special Permit		
BR-8. For occupied burrows without active nesting occurring, active burrows where the young have fledged, and/or development commences after the breeding season (typically thought to be February-August), passive relocation of the birds shall be performed. Passive relocation involves installing a one-way door at the burrow entrance, which encourages the owls to move from the occupied burrow. CDFG should be consulted for current guidelines and methods for passive relocation of any owls found on site.	Applicant / developer	City Development Services Department, CA Dept. of Fish & Game.			

Exhibit 1A – Mitigation Monitoring Plan

BLT RALEY WAREHOUSE (P04-160)
MITIGATION MONITORING PLAN

Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	VERIFICATION OF COMPLIANCE		
			Compliance Standards	Timing	Verification of Compliance (Initials/Date)
<p>14. Cultural Resources:</p> <p>CR-1. If subsurface archaeological or historical remains are discovered during construction, work in the area shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.</p> <p>CR-2. If human burials are encountered, all work in the area shall stop immediately and the Sacramento County Coroner's office shall be notified immediately. If the remains are determined to be Native American in origin, both the Native American Heritage Commission and any identified descendants must be notified and recommendations for treatment solicited (CEQA Section 15064.5); Health and Safety Code Section 7050.5; Public Resources Code Section 5097.94 and 5097.98.</p>	<p>Applicant / developer</p>	<p>City Development Services Department</p>	<p>Notes shall be included on the Construction Specifications.</p> <p>Notes shall be included on the Construction Specifications.</p>	<p>Measures shall be implemented in field during grading and construction activities.</p> <p>Measures shall be implemented in field during grading and construction activities.</p>	

Exhibit 1B – Parcel Merger



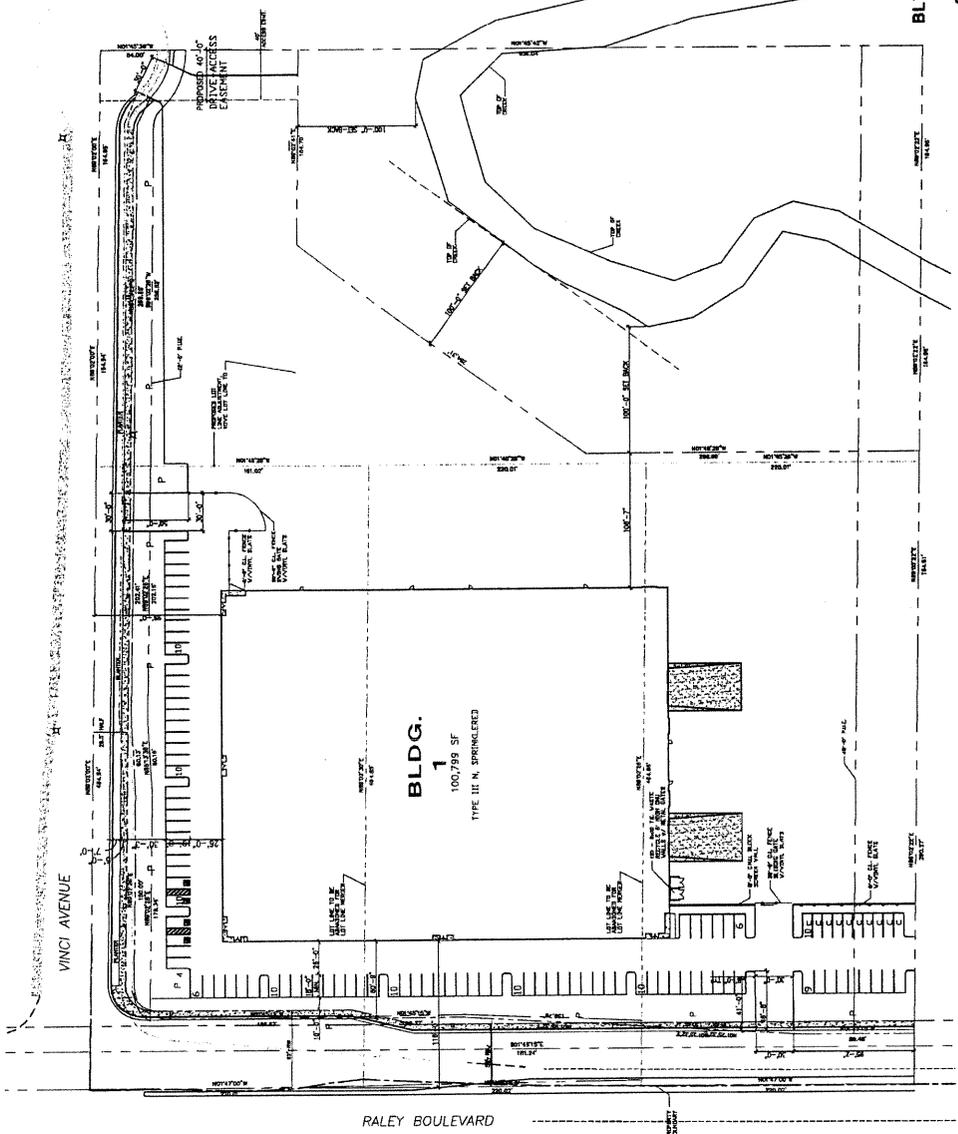
CITY OF SACRAMENTO		LOT MERGER		CALIFORNIA	
SACRAMENTO COUNTY		SACRAMENTO COUNTY		JOB NO. 1301.001	
DESIGN: STAFF		Peabody Engineering		SCALE: 1"=120'	
DRAWN: STAFF		1700 Alhambra Blvd., Suite 102		DATE: 07-19-05	
CHECKED: AXD		Sacramento, CA. 95816		SHEET NO.	
		(916) 731-8088 office (916) 731-8089 fax		1 OF 1	

Exhibit 1C - Site Plan

SITE DATA:
 PPN 215-014-021, 022, 023, 024
 PARKING ANALYSIS:
 TABLE TO 100,000 SF SITE COVERAGE
 TABLE TO 100,000 SF SITE COVERAGE
 TABLE TO 100,000 SF SITE COVERAGE

BLDG. 1: 100,799 SF, 8 / 11,000 MANEUVERABLE - REQUIRED: 101
 PROVIDED: 101

TOTAL PARKING REQUIRED: 101
 TOTAL PARKING PROVIDED: 101
 IS CORRECT? (MINIMUM SPACES = 106)



BLT RALEY WAREHOUSE
 RALEY BLYD
 SACRAMENTO, CALIFORNIA
 MARK III ENGINEERING CONTRACTORS



REVISED
P04-160
 REC'D 5/26/05



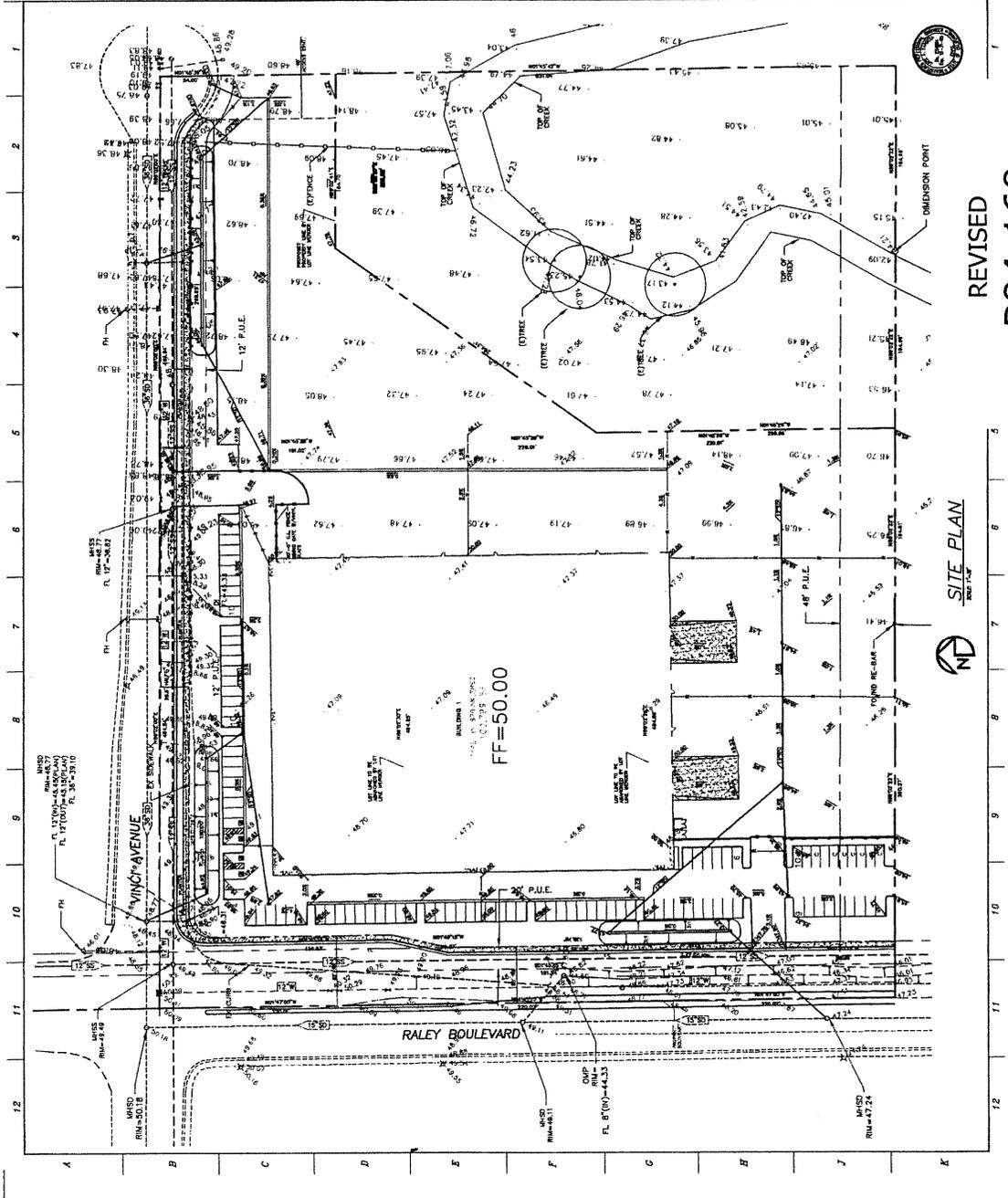
Exhibit 1D - Preliminary Grading Plan

PROJECT:
RALEY AND VINCI
SACRAMENTO, CA.
100,799 SF OFFICE

SCALE:
AS SHOWN

Pe
Peabody Engineering
1000 UNIVERSITY AVENUE, SUITE 200
SACRAMENTO, CA 95833
TEL: 916.441.1100
WWW.PEABODYENGINEERING.COM

PRELIMINARY
GRADING PLAN
JOB NO. 1301.001 SHEET NO.
DATE: 07/27/05 C-0
DRAWN BY: S. WATSON
CHECKED BY: J. MAROZZA OF SHEETS

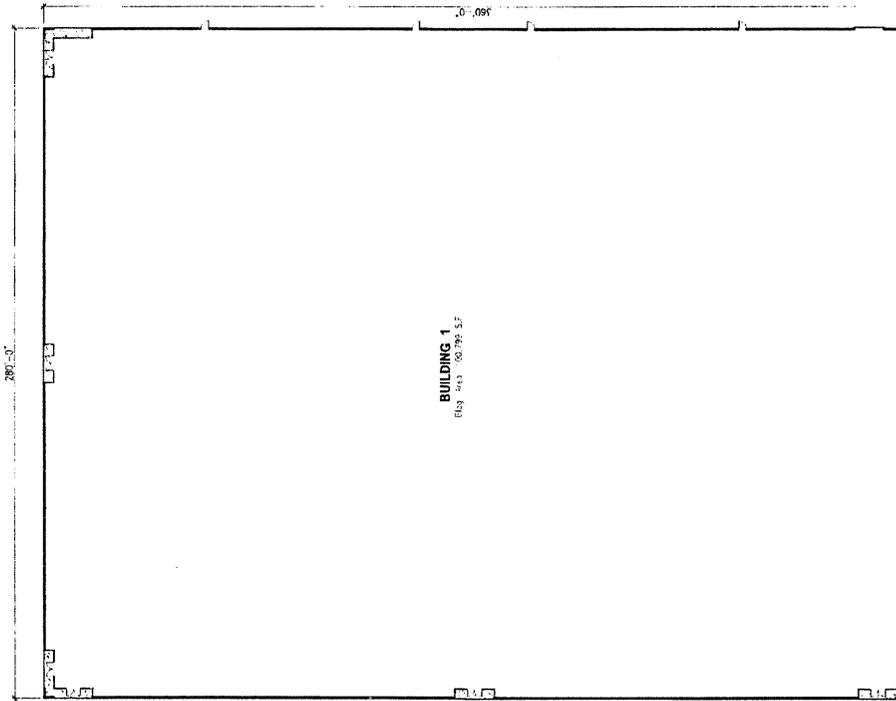


REVISED
P04-160
REC'D 5/26/05

SITE PLAN
PROJECT PLAN



Exhibit 1E – Floor Plan



BLT RALEY
 RALEY BLVD
 SACRAMENTO, CALIFORNIA
 MARK III ENGINEERING CONTRACTORS

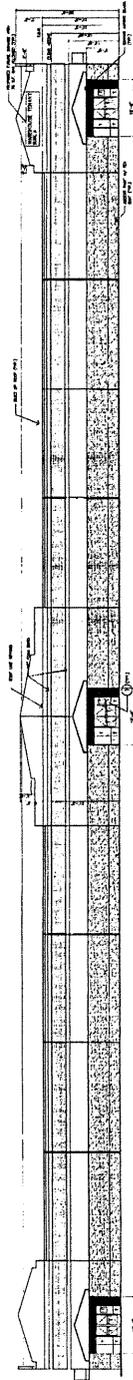
2



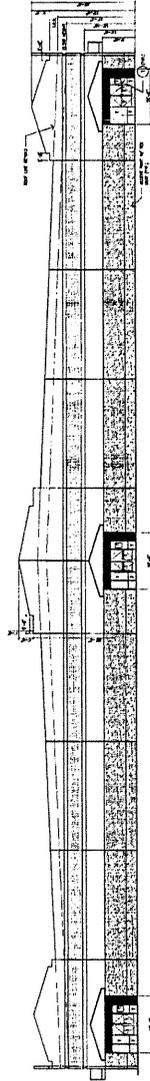
FLOOR PLAN



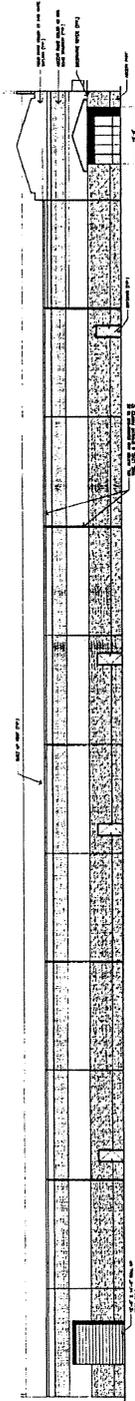
Exhibit 1F – Building Elevations



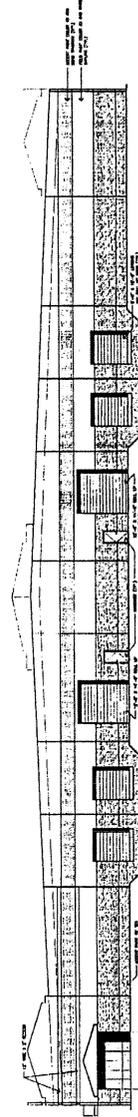
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

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 RALEY BLVD
 SACRAMENTO, CALIFORNIA
 MARK III ENGINEERING CONTRACTORS

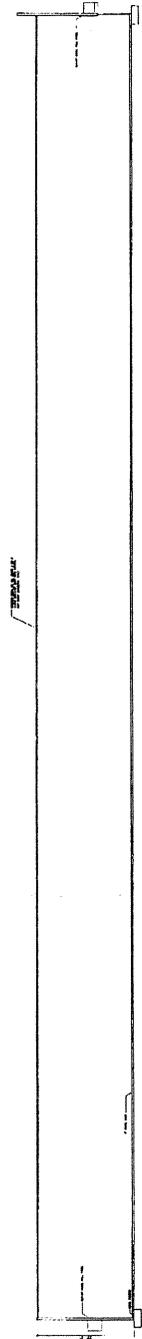
DATE: 7/28/05

BUILDING ELEVATIONS

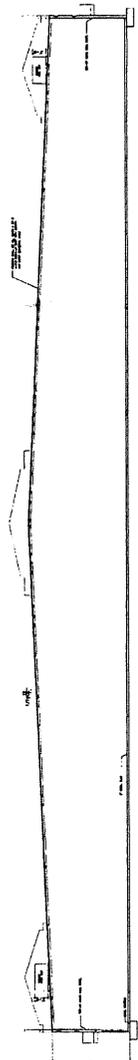
3



Exhibit 1G – Building Sections



NORTH SOUTH SECTION



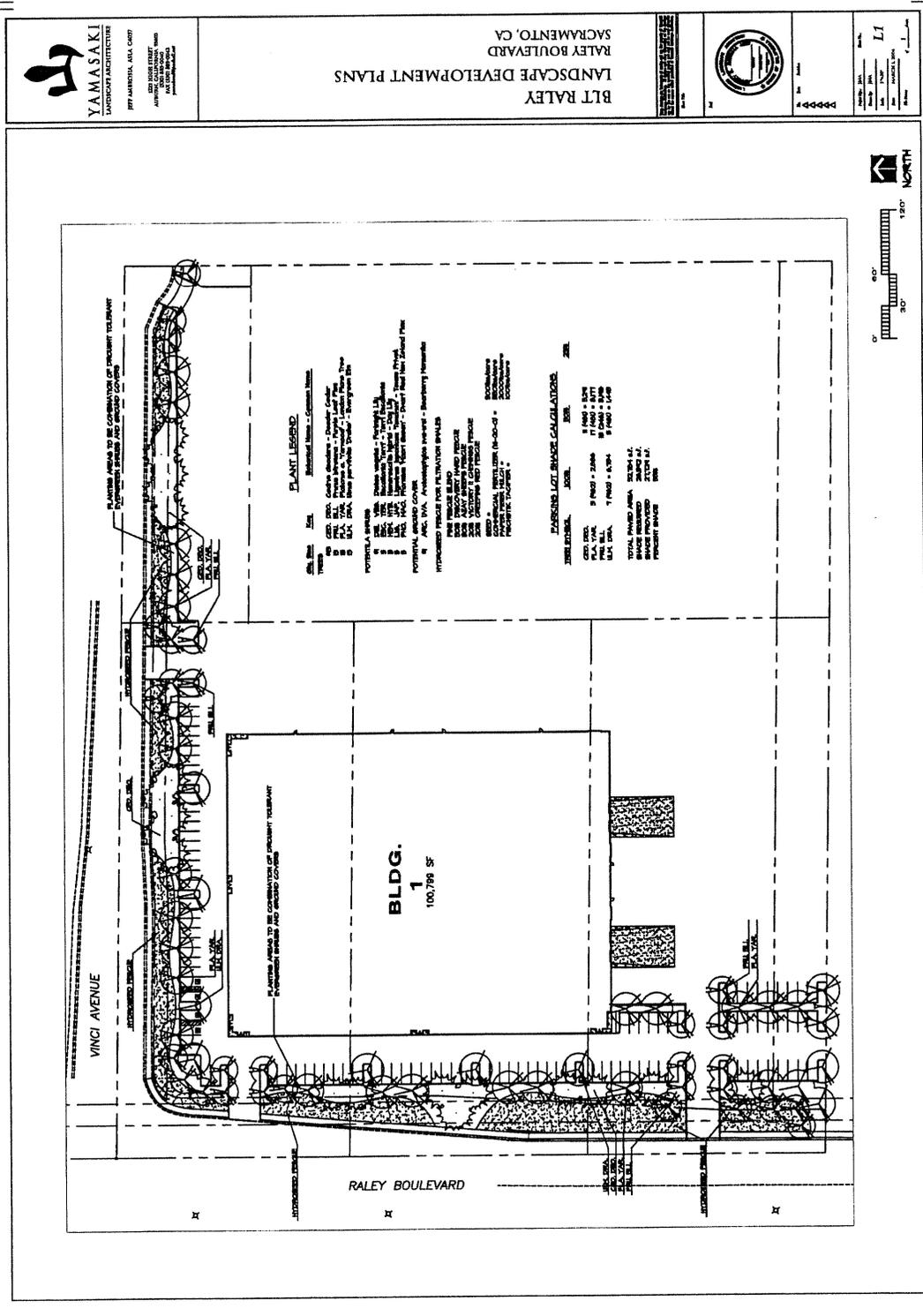
EAST WEST SECTION

BUILDING SECTIONS

BLT RALEY
 RALEY BLVD
 SACRAMENTO, CALIFORNIA
 MARK III ENGINEERING CONTRACTORS



Exhibit 1H – Preliminary Landscape Plans



Michael Bumgardner
Bumgardner Biological Consulting
11571 Prospect Hill Drive
Gold River, CA 95670

.....
Bumgardner Biological Consulting

August 30, 2011

Shawn Guttersen
BLT Enterprises
433 Soscol Avenue
Suite A-100
Napa, CA 94559

Dear Mr. Guttersen:

As per your request, I conducted a site reconnaissance of the 7.9+ acre property located southeast of the intersection of Raley Boulevard and Vinci Avenue in Sacramento County, California (i.e., property). The site reconnaissance was conducted on August 25, 2011 with the intent of determining whether there are any waters on the property that are subject to the jurisdiction of either the U.S. Army Corps of Engineers (USACE) or California Department of Fish and Game (DFG) under Section 404 of the Clean Water Act and Section 1600 *et seq.* of the California Fish and Game Code respectively.

Previous environmental assessment of the 11.1+ acres southeast of the intersection of Raley Boulevard and Vinci Avenue was conducted by Foothill Associates in 2005. This latter assessment described the land as supporting disturbed annual grassland and a perennial drainage (i.e., Magpie Creek). Magpie Creek was the only jurisdictional water that was found on this land. However, a recent lot line adjustment places the portion of this land containing Magpie Creek in a separate 3.2+ acre lot. Thus, the creek no longer occurs on the property.

Furthermore, my site reconnaissance confirmed the original assessment by Foothill Associates that described the property as supporting disturbed annual grassland. Though the property and surrounding undeveloped properties have all been disked in recent months (likely to remove fuel loads subject to wildfire), there is substantial evidence of the vegetative cover that occurred on the property prior to disking. The majority of this vegetation consists of annual grasses (e.g., bromes [*Bromus* sp.] and wild oat [*Avena* sp.]) and yellow star-thistle [*Centaurea solstitialis*] (Photographs 1, 2, and 3). These species are characteristic of disturbed annual grasslands in California. There is no evidence of hydrophytic vegetation, hydric soils, or wetlands hydrology on the property. Consequently, there is no evidence of waters that are subject to the jurisdiction of either the USACE or DFG and no consultation with these latter agencies is necessary prior to development of the property.

.....
*Quality Biological Services Through Technical
Proficiency and Experienced Management*

August 30, 2011

Page 2

The findings of this assessment are valid for 90 days after the date of the site reconnaissance. Should you need any additional information please do not hesitate to contact me (916-638-7368).

Sincerely,

A handwritten signature in cursive script that reads "Michael Bumgardner".

Michael Bumgardner

Figure 1



Figure 1 shows the property from the corner of Raley Blvd. and Vinci Ave. as viewed to the southeast. The property has been disced, but remnant annual grasses and yellow star-thistle can still be seen. Riparian vegetation associated with Magpie Creek can be seen in the background, but is on an adjacent property to the east. No evidence of jurisdictional waters can be seen in the photograph.

Figure 2

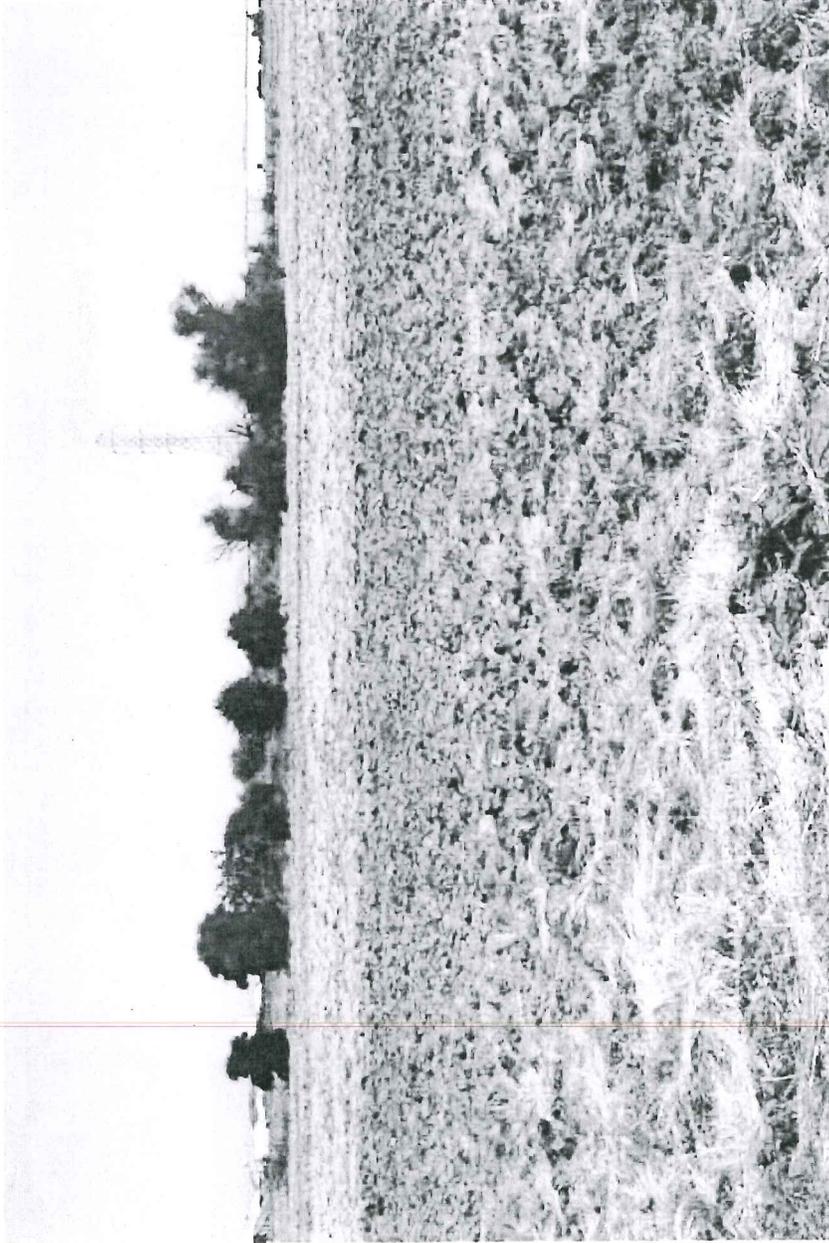


Figure 2 shows the property from the approximate center of the property as viewed to the east. The remnant vegetation consists mostly of annual grasses. Riparian vegetation associated with Magpie Creek can be seen in the background, but is on the adjacent property to the east. No evidence of jurisdictional waters can be seen in the photograph.

Figure 3



Figure 3 shows the property from the cul-de-sac at the east end of Vinci Ave. as viewed to the southwest. The property has been disked, but remnant annual grasses can still be seen. Riparian vegetation associated with Magpie Creek can be seen in the background, but is on an adjacent property to the south. No evidence of jurisdictional waters can be seen in the photograph.